

PROPOSED INTERNAL MINIMUM BUILDING SETBACKS

- SUP for this development
- Front - 0' (steps and stairs 0' setback)
- Side (Duplex) - 0' (Interior Common Wall)
- Side - 2.5'
- Rear - 2.5' (steps and stairs 0' setback)

Note: Existing Setbacks for underlying zoning
 Per Town of Carrboro Land Use Ordinance Section 15-104 Building Setback Requirements
 Town of Carrboro Zoning: R-3-CZ
 Watershed Zoning Overlay Designation: Jordan Lake Unprotected
 Boundary Setback 20 ft
 RW Setback 35 ft

PARCEL DATA
 Orange County Tax Information (Per Orange County GIS)
 Parcels Included in this Project: 3

Parcel 1
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area

Parcel 2
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area

Parcel 3
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area
 Parcel ID: 1570250110 - 0.266 - 0.10 Use Area

Newbury

310 Lucas Lane
 904 Homestead Road
 800 Homestead Road

CARRBORO HOMESTEAD ROAD NEIGHBORHOOD ARCHITECTURAL INTEGRATED SUBDIVISION (AIS)

SPECIAL USE PERMIT - A Homestead Road Carrboro, North Carolina

Applicant / Developer / Owner:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, NC 27516
 919-422-6477
 located within:

The Town of Carrboro
 Orange County, North Carolina,
 OWASA Water and Sewer Jurisdiction

SITE SUMMARY INFORMATION:

Total Property Area: 9.7 Acres ± (423,156 sq ±)
 Zone: R-3-CZ Ordinance No. 18 / FY 2022-23
 Proposed Building Height: Less than 35 ft.
 Density Calculation By Zoning Approval: 44 Primary Residential units and 12 Accessory Dwelling units.
 Residential Density Calculations (Per LZO Section 15-119.1):
 Max Number of Units: 44 lots maximum allowed under the approved Conditional Zoning (above)
 Proposed Number of Units = 36 Dwelling Units Proposed: Single Family, Single Family with ADU, Duplex.
 Final Plat shall indicate the type of Dwelling Unit proposed for each lot.

Existing easements: 29,540 sq. ft.
 15 to 25 percent slopes: 0 sq. ft.
 Greater than 25 percent slopes: 600 sq. ft.
 Total of these areas: 30,140 sq. ft.

Total Number of Proposed Dwelling Units: 36
 Total Number of Proposed Lots: 30

This project will be a single-phase development major subdivision, Code Number: 26.200

Existing Use:	Undeveloped / Vacant (Wooded)
Proposed Use:	24 Single Family Detached Residences, Code Number: 1.111 12 (6 Buildings) Multifamily Family Duplex Residences, Code Number: 1.232 (Number of Residential Units Proposed = 36)

(Maximum Number of ADU units = 10), Code Number: 1.220 locations to be shown on final plat)
 Development Specific Size Limited Unit Requirements:
 15% limit (1,350sq. ft.) 3.0 units Rounds to 3 UNITS
 10% limit (1,100sq. ft.) 5.4 units Rounds to 5 UNITS
 This development shall comply with the sized limited units provision under the UDO and shall provide at least one affordable housing unit fee-in-lieu payment due prior to final plat recordation in accordance with the approved conditional zoning approval. Size-limited unit locations shall be shown on the SP-2.

Existing Impervious Surface Area: 1,469 sq. ft. (0.034 acres) = 0.35% of site
 Total Proposed Impervious Surface Area: 109,922 sq. ft. (2.51 acres) = 25.9% of site

Disturbed Area Proposed: 325,095 sq. ft. (7.46 acres)
 Impervious / Stormwater Control Measures based on impervious surface area proposed above.

Vehicular Parking:
 For each residence, two (2) parking spaces excluding the garage will be provided within the proposed driveway not encroaching into the proposed public sidewalk. OR one (1) space plus one garage at alley access lots not encroaching the private alley pavement line.

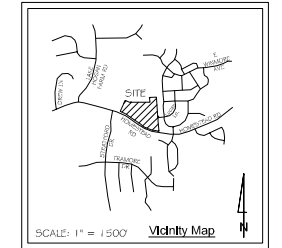
Recreational Points Required: 374
 Recreational Points Provided: 512

Open Space Requirement (Per LZO Section 15-119.0):
 At least 40% of the total acreage of the development shall remain permanently in open space.
 Total Development Acreage (area reported in square feet) = 423,156 sq. ft.
 40% of Development Area (Acreage - area reported in square feet)
 = 169,013 sq. ft. (the minimum required open space area).

*Note: This development is proposed as an Architectural Integrated Subdivision (AIS) per LZO Section 15-119.1 which allows smaller lot sizes. However, per 15-119.1(b), the number of dwelling units in an AIS may not exceed the maximum number of lots in the approved zoning. (See Official Town Zoning Map 9-1-2023)

Minimum Tree Canopy Coverage Standards (Section 15-319)
 Minimum Canopy Coverage = 40% of parcel area including easements, water bodies, right-of-way
 = 0.40 x (376,157-25,400) sq. ft. = 139,503 sq. ft. min. required.
 Exist. Canopy Coverage = 112,161 sq. ft. (existing protected tree canopy to remain)
 Public Coverage Deficit = 27,342 sq. ft. deficit.
 Replacement rate: One replacement tree per 500 sq. ft. of tree canopy deficit.
 Replacement Trees Required = 27,342 sq. ft. / 500 sq. ft. = 55 trees required.
 Replacement Trees Provided = 55 trees proposed.

Property Location (Address) (PIN) for property:
 PIN: 87720283-10
 PIN: 8772024644
 PIN: 8772024650



OPEN SPACE TABLE - NEWBURY	Square Feet	Acres	Percentage
Primary Constrained Lands	423,156	9.71	100
Total Site Area	34,277	2.18	22%
Stream Buffer West	18,372	0.88	4%
Stream Buffer East	66,522	1.54	16%
Homestead Road Buffer Net stream buffers	600	0.01	0%
Steep Slopes >25%			
Primary Constrained Lands Total, all set aside as Common Open Space	178,171	4.09	42%
Other Open Spaces set aside as Common Open Space	15,645	0.36	4%
Required Open Space	169,013	3.88	40%
Provided Open Space	139,503	4.45	40%

SHEET INDEX:

Cover Sheet	Cover
Existing Conditions Plan	1
Existing Tree Plan	2
Approved Conceptual Project Design	CP-1
Preliminary Subdivision Plan	SP-2
Open Space and Recreation Plan	OR-3
Constraints Plan	300
Open Space and Recreation Lot Details	3A
Utility Plan	UP-4
Preliminary Profile Sheets	UP-4A
Homestead Road Sidewalk Plan	4B
Homestead Road Turn Lane Plan	4C
Belvedere / Homestead Road Intersection	4D
Landscape Plan	LP -5
Grading & Storm Drainage Plan	GP-6
Erosion Control Plan	EP-7.1
Erosion Control Plan	EP-7.2
Erosion Control Plan	EP-7.3
Erosion Control Plan	EP-7.4A
Erosion Control Plan	EP-7.4B
Erosion Control Details	EP-8
Erosion Control Details	EP-9
Erosion Control Details	EP-10
Detail Sheet(s)	100

CARRBORO REQUIREMENTS (for construction plan and permitting review):

- The project requires: A) Town Council Approval, B) Construction Plan Approval, C) Receipt of CAPS, and D) Preconstruction Meeting prior to beginning construction.
- Planning and zoning shall receive copies of all permitting, encroachment and construction easement documents.
- Home Owner's Association Documents shall be submitted to planning and zoning for review and approval prior to Final Plat Approval.
- A Disclosure Sign Plan shall be submitted to planning and zoning for review and approval prior to Final Plat Approval.

OWASA REQUIREMENTS (for construction plan and permitting review):

- Prior to the submittal of construction drawings, the development shall provide OWASA with a project fact sheet for the project. Potential easements and design provisions for continuation of utilities through and beyond the project may be required at the time of Project Fact sheet and Construction Drawing review.

NCDOT REQUIREMENTS (for construction plan and permitting review):

- An NCDOT Driveway Permit is required for connection to Homestead Road. This permit will include the construction of an eastbound exclusive left turn lane on Homestead Road at the proposed entrance with 100' of full storage and appropriate transitions subject to NCDOT requirements.
- An NCDOT 3-Party Encroachment agreement is required with the Town of Carrboro for the proposed Homestead Road sidewalk construction.
- An NCDOT 3-Party Encroachment agreement is required with OWASA for the proposed connections to existing water main in Homestead Road.

CALL BEFORE YOU DIG! ITS THE LAW
 ULOCO North Carolina One Call Center
 1-800-632-4949

COVER

3-14-2023

NTS

B5B/C/D/H

1-22-1011

COVER SHEET

10-22-2024

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.

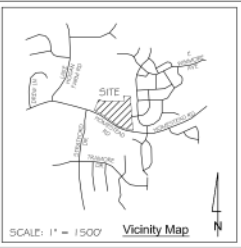
LAND ENGINEERING AND DEVELOPMENT SERVICES

CARRBORO HOMESTEAD
Plan: 1-22-1011

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Orange County Tax Information (Per Orange County GIS)
Parcels Included in this Project: 3

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Orange County Tax Information (Per Orange County GIS)
Parcels Included in this Project: 3
Parcel County File Book Reference: 20-14 and 125-23
PIN: 07720M-14-1, 2-GA, 3-O Lotic Line
PIN: 07720M-24-4-1, 2-WA, 3-WA Homestead Road
PIN: 07720M-42-1-4, 3-PA, 2-PA Homestead Road
Assessor: Douglas R. Herring
Mapmaker: Jordan Lee
Aerial Base: Google Earth
Data Reference: 05-0706, 10-11-11
Town of Carrboro Council Group A-C-C
Owner: Parker Lofts, LLC

UTM COORDINATES
UTM Zone 18T, UTM Easting 694000, UTM Northing 4190000
Projected UTM coordinates are shown for the parcel corners. All elevations are in feet above sea level.



Total Area of Lot
1-recombined, Lot 2A
& Lot 2B:
423,155.2 Sq. Ft.
9.714 Acres

PIN: 0779-28-1455
BURGUNDY LANE HOA, INC.
PRIVATE OPEN SPACE
BURGUNDY LANE
D.B. 6621-159
P.B. 120-137
P.B. 121-180

PIN: 0779-28-4632
EDGARDO R. GARZA
LOT 3, ALMA POTTS ESTATE
D.B. 772-166
P.B. 45-29

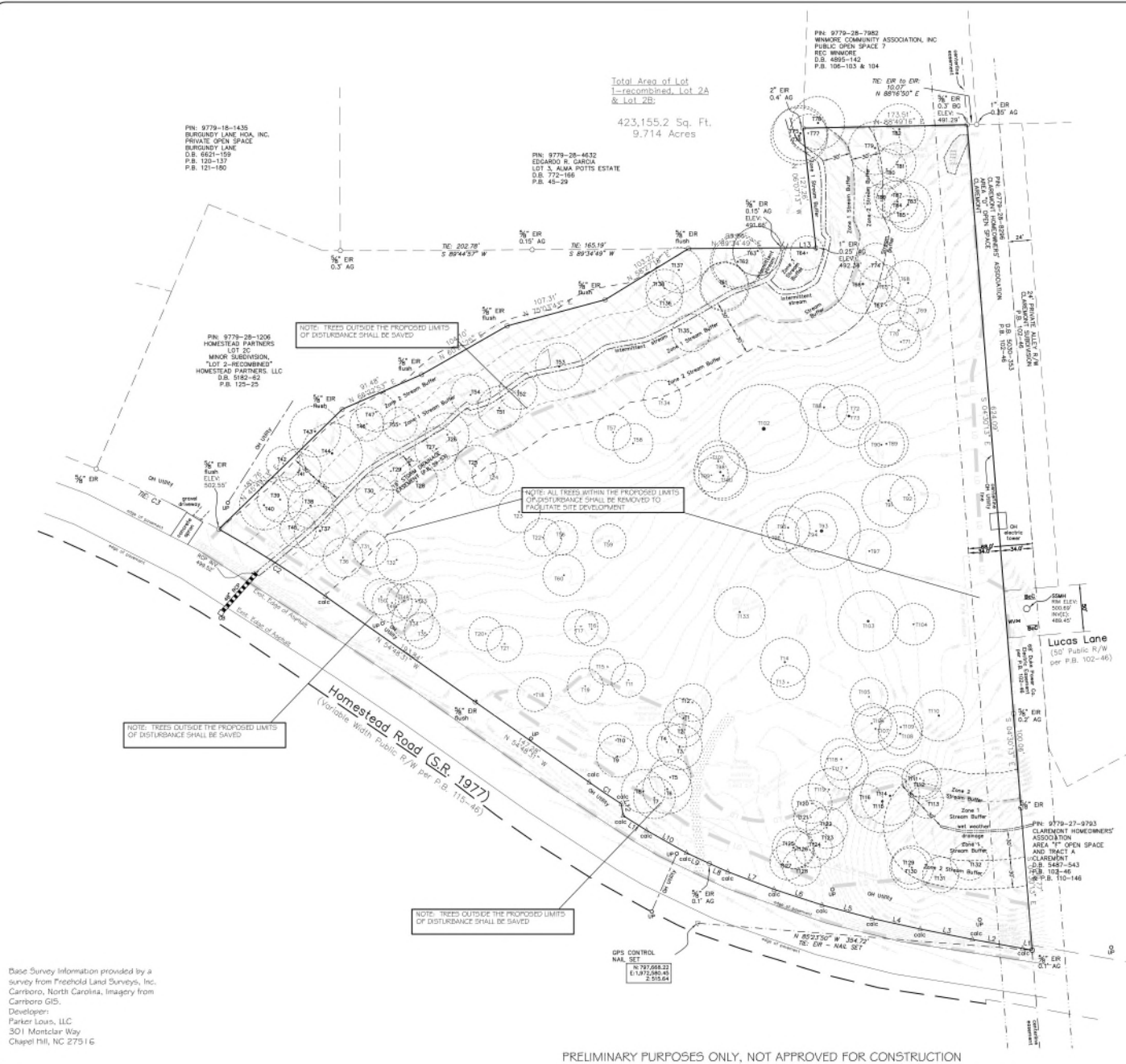
PIN: 0779-28-1206
HOMESTEAD PARTNERS
LOT 2C
MNR SUBSIDIARY
"LOT 2-RECOMBINED"
HOMESTEAD PARTNERS, LLC
D.B. 5182-62
P.B. 125-25

Lot 2B
P.B. 125-25
188,135.5 Sq. Ft.
4.319 Acres

Lot 2A
P.B. 125-25
121,269.4 Sq. Ft.
2.784 Acres

LOT 1-
Recombined
P.B. 120-14
113,700.3 S.F.
2.611 Acres

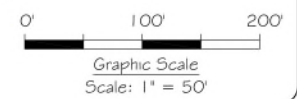
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196	24"	PINE
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199	24"	PINE
200	24"	PINE



Strike Through Indicates trees to be removed



CALL BEFORE YOU DIG! IT'S THE LAW
ULOCO North Carolina One Call Center
1-800-632-4949

Base Survey Information provided by a survey from Freehold Land Surveys, Inc. Carrboro, North Carolina. Imagery from Carrboro GIS.
Developer:
Parker Lucas, LLC
301 Montclair Way
Chapel Hill, NC 27516

PRELIMINARY PURPOSES ONLY, NOT APPROVED FOR CONSTRUCTION

2

3-14-2022

1" = 50'

BSB/CDH

1-22-10-11

EXISTING TREE PLAN

0-22-2024

NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
24924
CHARLES D. WILFONG
C-1939

NEWBURY
PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
160 EAST HARRIS STREET
RAVENNA, OHIO 44150
Land Engineering and Development Services

PHASING INFORMATION:
All one phase

FLOOD INFORMATION:
All areas zone X

CANOPY TREE INFORMATION:
Tree Inventory for Town of Carrboro shall be provided for trees in excess of:
10" Diameter or greater, or rare specimen trees

REFUSE COLLECTION INFORMATION:
Home shall be served by roll out refuse and recycle containers

BUS STOP INFORMATION:
No bus stop is proposed

PRIVATE ALLEY INFORMATION:
A paved private alley, 10' wide, with a 20' private access and utility easement
M: Placement Section 2" Asphalt over 6" Base concrete slabs. Parking and cross access is allowed within the easement, parking is not allowed within the alley pavement.

STREET TREE NOTE:
Required Street Trees will be planted within the public right of way.

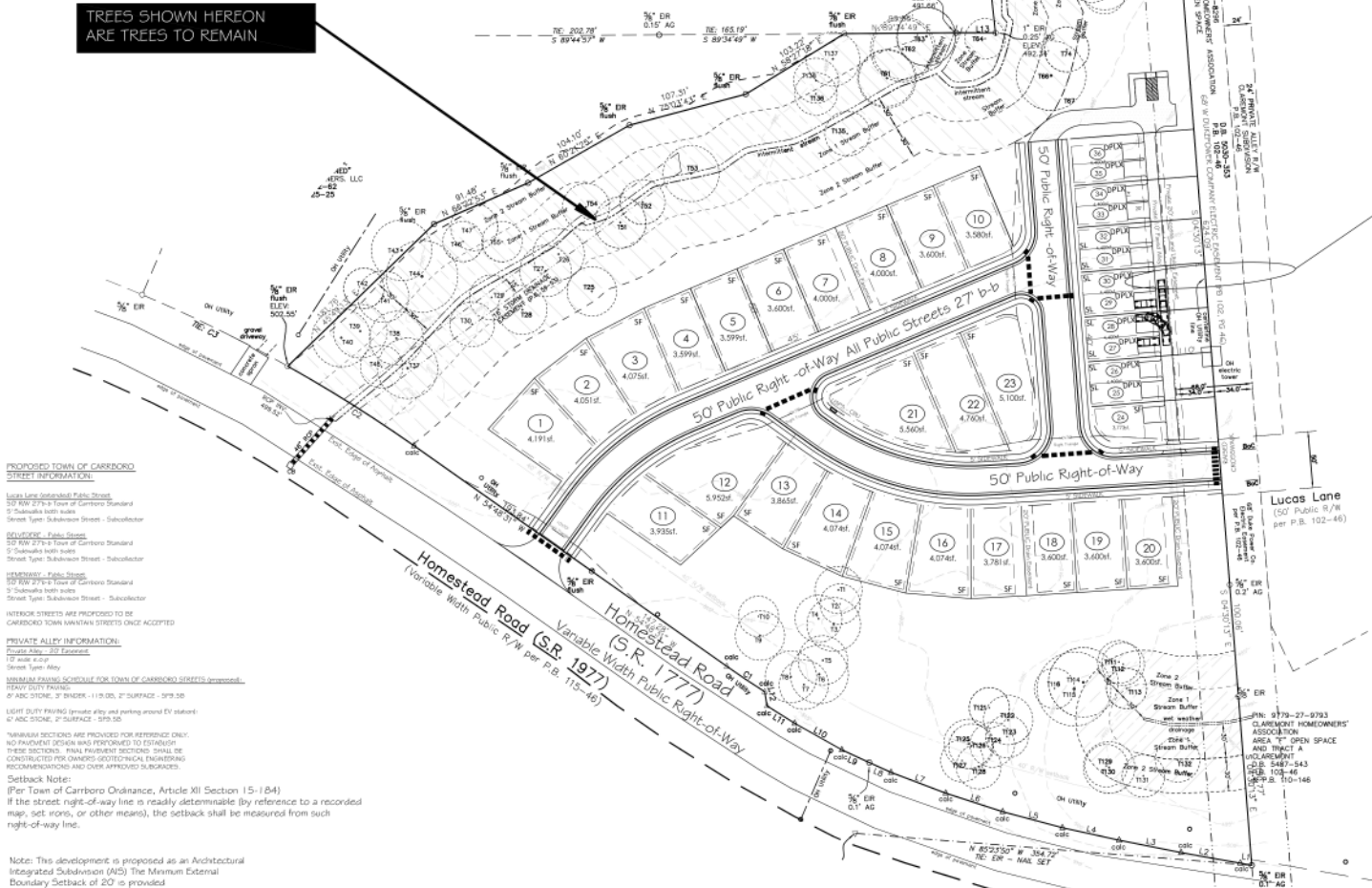
TREES SHOWN HEREON
ARE TREES TO REMAIN

INDICATION KEY FOR UNIT TYPE
SF = SINGLE FAMILY LOTS - CITY, 24 UNITS
DPLX = DUPLEX LOTS - CITY, 12 UNITS
SL = SIZE LIMITED LOTS - 8 UNITS

Lot Designation Key
DL = Dual Limited
DPLX = Duplex
SF = Single Family

Property Identification Numbers (PIN) for property:
PIN: 97792001 (i.e. 310 Lucus Lane)
PIN: 9779272444 (304 Homestead Road)
PIN: 9779204143 (450 Homestead Road)

CARRBORO
HOMESTEAD SUBDIVISION
PG: 1-22-1011



PROPOSED TOWN OF CARRBORO STREET INFORMATION:

Lucas Lane (Intersected) Public Street
30' RW 27'-6" Town of Carrboro Standard
5' Subgrade both sides
Street Type: Subdivision Street - Subcollector

W/UT/DRW - Public Street
30' RW 27'-6" Town of Carrboro Standard
5' Subgrade both sides
Street Type: Subdivision Street - Subcollector

W/UT/DRW - Public Street
30' RW 27'-6" Town of Carrboro Standard
5' Subgrade both sides
Street Type: Subdivision Street - Subcollector

INTERIOR STREETS ARE PROPOSED TO BE CARRBORO TOWN MAINTAIN STREETS ONCE ACCEPTED

PRIVATE ALLEY INFORMATION:
Private Alley: SF Easement
10' wide 4'-0" curb
Street Type: Alley

MINIMUM FINISH SCHEDULE FOR TOWN OF CARRBORO STREETS (as amended):
READY DUTY PAVING:
6" ABC S100E, 2" BINDER, 11" S100, 2" SURFACE - 375.30
LIGHT DUTY FINISH (limited area and existing around ER stations):
6" ABC S100E, 2" SURFACE - 375.30

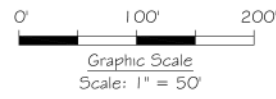
*MINIMUM SETBACKS ARE PROVIDED FOR REFERENCE ONLY. NO FINISH SETBACKS WERE PERFORMED TO ESTABLISH THESE SETBACKS. FINAL FINISH SETBACKS SHALL BE CONSTRUCTED PER OWNERS' GEOTECHNICAL ENGINEERING RECOMMENDATIONS AND OVER APPROVED SUBDIVISION SETBACK NOTE:
(Per Town of Carrboro Ordinance, Article XII Section 15-1 B4)
If the street right-of-way line is readily determinable by reference to a recorded map, set, iron, or other means, the setback shall be measured from such right-of-way line.

Note: This development is proposed as an Architectural Integrated Subdivision (AIS) The Minimum External Boundary Setback of 20' is provided

Base Survey Information provided by a survey from Freshold Land Surveys, Inc. Carrboro, North Carolina. Imagery from Carrboro GIS.
Developer:
Parker Lous, LLC
301 Montclair Way
Chapel Hill, NC 27516

AN NCDOT DRIVEWAY PERMIT IS REQUIRED FOR THIS PROJECT

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UOLOCO North Carolina One Call Center
1-800-632-4949



SP-2

3-14-2022
1" = 50'
BSB/CDH

3-30-2022
12-9-2022
2-12-2024

1-22-1011

Preliminary Subdivision Plan

1-22-2024

CHARLES D. HUFFINE
C-1939

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
100 EAST HARRIS STREET
SUITE 200
RANDLEM, NC 27587
Land Engineering and Development Services

Attachment C

DATE: 10/16/2023
PROJECT: Newbury Subdivision
CLIENT: The L.E.A.D.S. Group, P.A.
PREPARED BY: Parker, Louis, LLC
DATE: 10/16/2023
PROJECT: Newbury Subdivision
CLIENT: The L.E.A.D.S. Group, P.A.
PREPARED BY: Parker, Louis, LLC

Property Identification Numbers (PIN) for property:
 PIN 97702001 (1.6 - 2.0 Acres)
 PIN 9779270244 (304 Homestead Road)
 PIN 97702004 (203 Homestead Road)
CARRBORO HOMESTEAD
 FIG. 142-1011



PROPERTY LINE (typ.)

WOODED AREA - MIXED

STORMWATER CONTROL AREA

60' STREAM BUFFER

COMMON OPEN SPACE
 A
 B

EV CHARGING STATION

EV CHARGING STATION NOTES:
 2 Charging connections are proposed in one unit.
 Traffic shall circulate one way counterclockwise from south to north in the alley to the public street "2".
 One way travel Lane 12' wide with parking and aster dimensions 10' x 20' each.
 Drive and parking stalls shall be light duty asphalt or concrete pavement section (typical) with 5' wide sidewalk / concrete apron 4' thick north of charger lanes and surrounding concrete side. The center aisle will be stamped as shown for access.
 See Detail for Charge Concept.

OPEN SPACE TABLE - NEWBURY			
Existing Conditioned Lands:			
Total Site Area:	423,158	5.17	100
Stream Buffer Area:	36,377	2.16	22%
Homestead Road Buffer / Wet Stream Buffers:	66,922	1.58	30%
Woods - 147%	490	0.01	0%
Proposed Conditioned Lands Total, all set aside as Common Open Space:	176,171	4.09	42%
Other Open Space set aside as Common Open Space:	15,040	0.36	6%
Required Open Space	191,211	4.68	48%
Provided Open Space	205,513	4.93	50%

Recreational Areas and Facilities Requirement (Per LUO Section 15.196):
 For Single Family Detached and Duplexes: (36 dwelling units proposed) ¹(1.039 points per dwelling unit)
 Recreation Points Required = 374.04
 Recreation Points Provided = 1 @ Sandhill (1.097 @ 310 sf. = 30.07)
 Recreation Points Provided = 1 @ 4-Stride Walking Trail (1.016 @ 276 = 60.4)
 Recreation Points Provided = 1 @ 20' x 160' - Naturalized Play Field (1.017 x 20,116 = 221.3)
 Recreation Points Provided = 2 @ Swingset (1.76 @ 516 sf. = 90.8)
 Recreation Points Provided = 1 @ 2 - Gazebo and Pic Nic Grill Areas (314 sf. min)
 Total Provided Points = 512.5

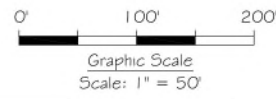
Naturalized Play Field Area Narrative:
 The Naturalized Play Field Area maintained by the Homeowners' Association consists of mowed lawns and cleared areas surrounded by a perimeter trail system.
 Included in this area are the individual features noted in the use table adjacent to this narrative.
 Large canopy trees will remain where possible to provide both interest and shade to the play field area.
 Access to this open space shall be from the south and play areas will include lands within the Power Line easement.
 Trails access the adjacent stream where residents can walk or jog to enjoy natural areas and habitat.
 The play area drains to the north and west towards the existing stream.
 Required play field area: 20,000 sq. ft. Minimum.

RIGHT OF WAY CONSTRUCTION and MINIMUM PAVING SCHEDULE:
 Utility construction within the public right of way, street cross section, and paving section thickness per Carrboro Town Standards Specifications and Details.

Base Survey Information provided by a survey from Freehold Land Surveys, Inc. Carrboro, North Carolina. Imagery from Carrboro GIS.
 Developer:
 Parker, Louis, LLC
 301 Montclair Way
 Chapel Hill, NC 27516

HOMESTEAD ROAD BUFFER DETERMINATION NOTE:
 Homestead Road Frontage = 906'
 A minimum 50' Homestead Road Buffer is provided.
 A maximum 200' Homestead Road Buffer is respected.
 Average Homestead Road Buffer provided: 107.3'
 (05,977 sf. / 966 ft. = 107.3')

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 ULOCO North Carolina One Call Center
 1-800-632-4949



OR-3

3-14-2023
 1" = 50'
 B5B/C/D/H

3-30-2022
 12-9-2022
 2-28-2023
 3-23-2023

1-22-1011

OPEN SPACE AND RECREATION PLAN

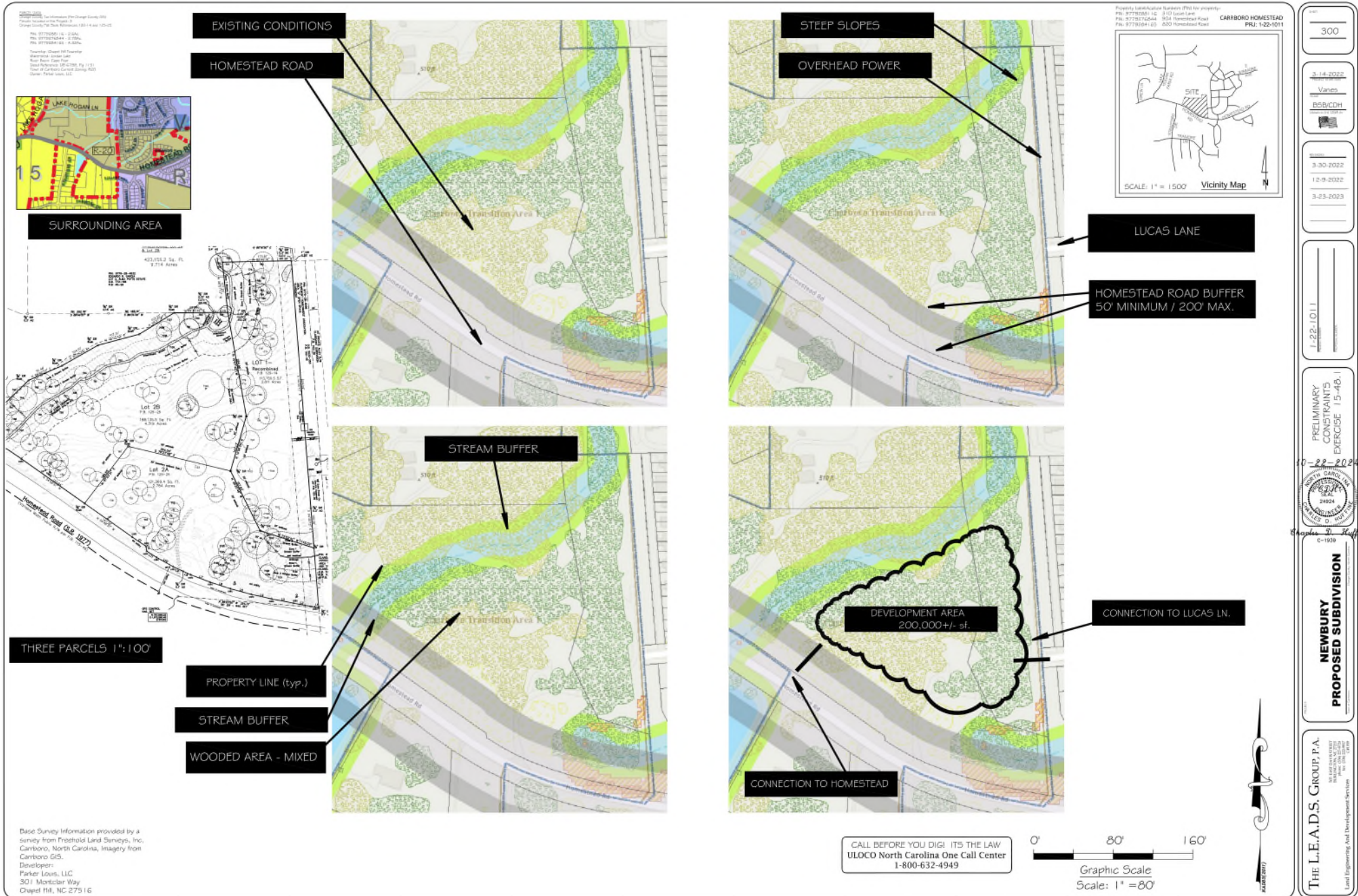
10-22-2023

North Carolina State Seal
 JOHN W. HOOPER
 GOVERNOR

C-1939

NEWBURY PROPOSED SUBDIVISION

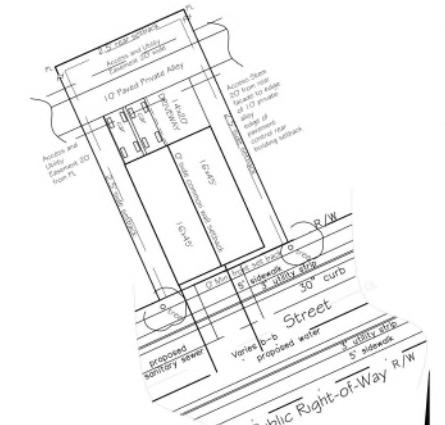
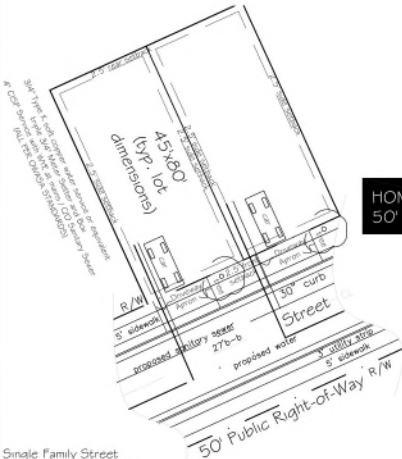
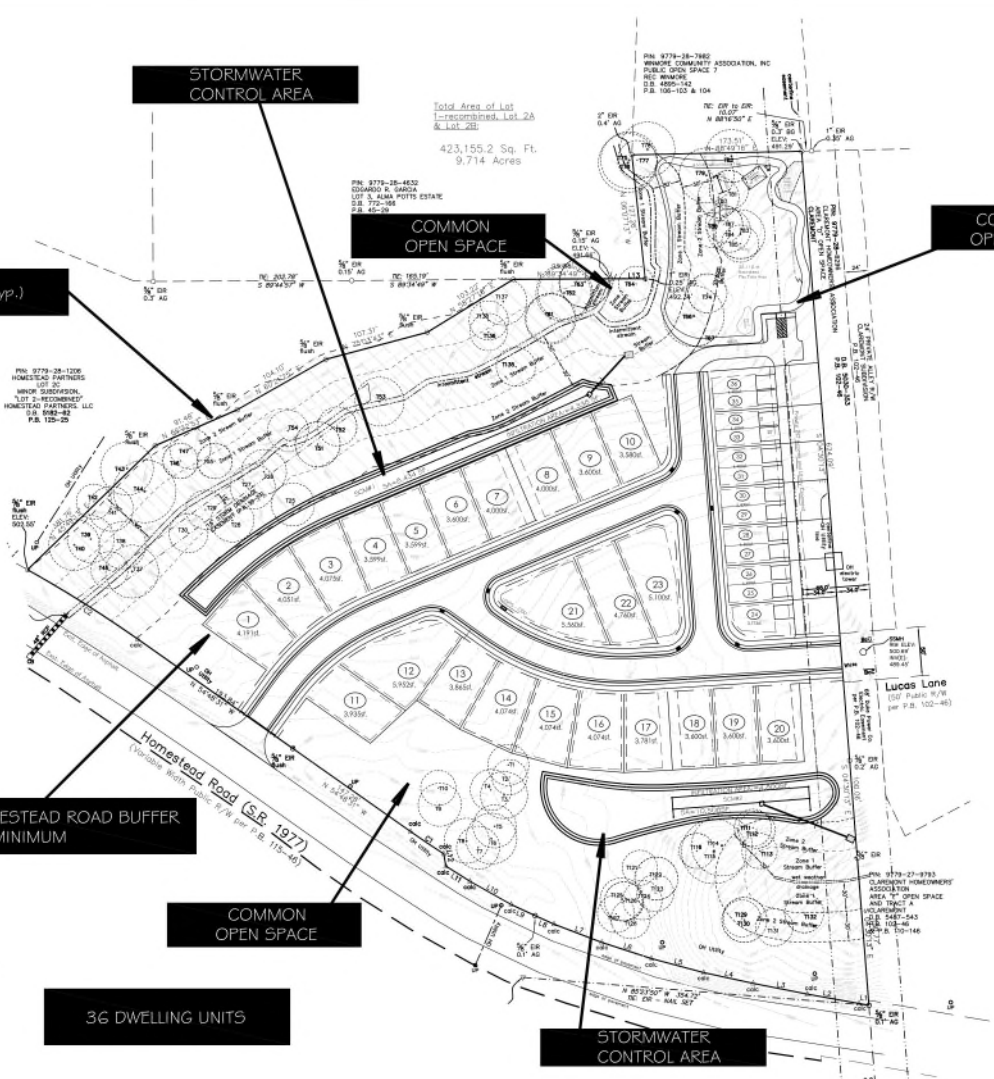
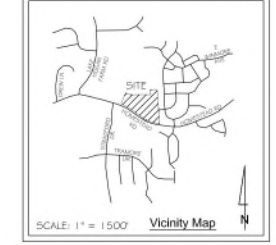
THE L.E.A.D.S. GROUP, P.A.
 100 SOUTH MAIN STREET, SUITE 200
 CARRBORO, NC 27510
 919.328.1100
 Lead Engineering and Development Services



Base Survey Information provided by a survey from Freshhold Land Surveys, Inc. Carrboro, North Carolina. Imagery from Carrboro GIS. Developer: Parker Loons, LLC 301 Monticlan Way Chapel Hill, NC 27516

NOTES:
 Change Order No. Information P/C Change Order 024
 Provide details of the Project to:
 Change Order Per Book Addendum (20-4 and 120-23)
 P.O. #779500-12 - 2nd
 P.O. #779500-13 - 3rd
 P.O. #779500-14 - 4th
 Number Change To Facility
 Information available
 Street Information: P.O. #7795, Pg. 1 (1)
 State of North Carolina Chapter 160-202
 Owner: Parker-Louis, LLC

Property Identification Numbers (PIN) for property:
 PIN: 9779-20-116 - 310 Lucas Lane
 PIN: 9779-20-124 - 304 Homestead Road
 PIN: 9779-20-125 - 650 Homestead Road
CARBORO HOMESTEAD
 PIN: 1-22-1011



Single Family Street Building Area Enlarged 20' scale - Private Lot

NOTE: 0' from setback for steps and porches.

Street Trees shall be planted within the Public Right of Way
 No bike Parking is proposed
 All Open Space proposed is "Private" Open Space

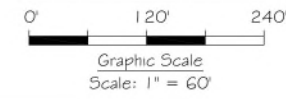
RIGHT OF WAY CONSTRUCTION AND MINIMUM PAVING SCHEDULE:
 Utility construction within the public right of way, street cross section, and paving section thickness per Carboro Town Standard Specifications and Details.

Base Survey Information provided by a survey from Freshhold Land Surveys, Inc. Carboro, North Carolina, imagery from Carboro GIS.

Developer:
 Parker-Louis, LLC
 301 Montclair Way
 Chapel Hill, NC 27516

RECREATION SUMMARY INFORMATION:
 Recreational Areas and Facilities Requirement (Per LJO Section 15.1-9c).
 For Single Family Detachments and Duplexes: (36 dwelling units proposed) *110.39 points per dwelling unit
 Recreation Points Required = 374.04
 Recreation Points Provided = 1 @ Sandbox (.097 @ 310 sf. = 30.07)
 Recreation Points Provided = 1 @ 4-Wide Walking Trail (.016 @ 4,276 = 68.4)
 Recreation Points Provided = 1 @ 20' x 11' Golf - Naturalized Play Field (.011 x 20,116 = 221.3)
 Recreation Points Provided = 2 @ Swingset (1.76 @ 516 sf. = 90.8)
 Recreation Points Provided = 1 @ 2 - Gazebos and Pic Nic Grill Areas (31.4 sf. min)
 Total Provided Points = 512.5

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 1-800-632-4949



3A

3-14-2022

1" = 60'

B5B/C/D/H

1-22-1011

OPEN SPACE LOT AND DETAIL SHEET

10-22-2022

THE L.E.A.D.S. GROUP, P.A.
 500 PARKWAY DRIVE
 SUITE 200
 RAYLEIGH, NC 27601
 (919) 487-1111
 Lead Engineering and Development Services

NEWBURY SUBDIVISION
 PROPOSED SUBDIVISION

C-1939

GENERAL NOTES:
 1. All construction methods and materials shall conform to the DWASA and Town of Carrboro Standard Specifications & Details and the NC Plumbing Code.
 2. Boundary and topographic information provided by a survey prepared by Prochilo Land Surveying. Existing feature information, aerial imagery and base mapping constraints information obtained from Orange County GIS and Town of Carrboro GIS, as well as Orange County Register of Deeds.
 3. Water service is provided via a tie to existing water main as shown on the plan.
 4. Sanitary sewer service is proposed via a tie to existing sanitary sewer main as shown on the plan.
 5. Exact size and location of all applicable utilities and easements to be field verified prior to construction.
 6. Contact the project engineer immediately with any conflicts regarding the design or construction of the project. All field adjustments shall be verified by the project engineer prior to construction.
 7. Construction and location of sidewalk, slopes, landings, approaches, ramps, and accessible routes shall be in accordance with the ANSI 20039 Handicap Code or latest Accessibility Code revision or applicable FROWAG standards.
 8. Contractor shall contact project engineer to observe formwork for site curbs, concrete sidewalks, and other items as well as string lines or other controls prior to the placement of concrete, setting base course stone, or the placement of asphalt.
 9. Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone placement, and other materials testing functions shall be in accordance with the project geotechnical engineer's guidance, specifications, recommendations, and testing standards.

Water / Sewer Note:
 3G existing utility total:
 12 @ 36" Sewers
 24 @ 36" Sewers
 Total Sewer Demand Requested: 11.52Dgals

Water Proposed 12" DIP Per DWASA
 Sewer Proposed 8" DIP Per DWASA (all gravity)

Fire Flow Calculations shall be provided with Construction Drawings.
 No common use or recycling facilities are proposed for the common areas.

UTILITY UTILITIES PROPOSED:
 Electric Service is proposed.
 Voice, Video and Data Service is proposed.

FIRE PROTECTION NOTE:
 Special hump detail shall be reviewed by the fire department during construction drawing review. All hydrants shall be operational prior to social construction.

Utilities Note:
 All proposed utilities will be placed underground.
 Piedmont Electric Proposes Power to this project.

USPS CLUSTER MAILBOX

TIE TO EXISTING MUNICIPAL WATER & SEWER

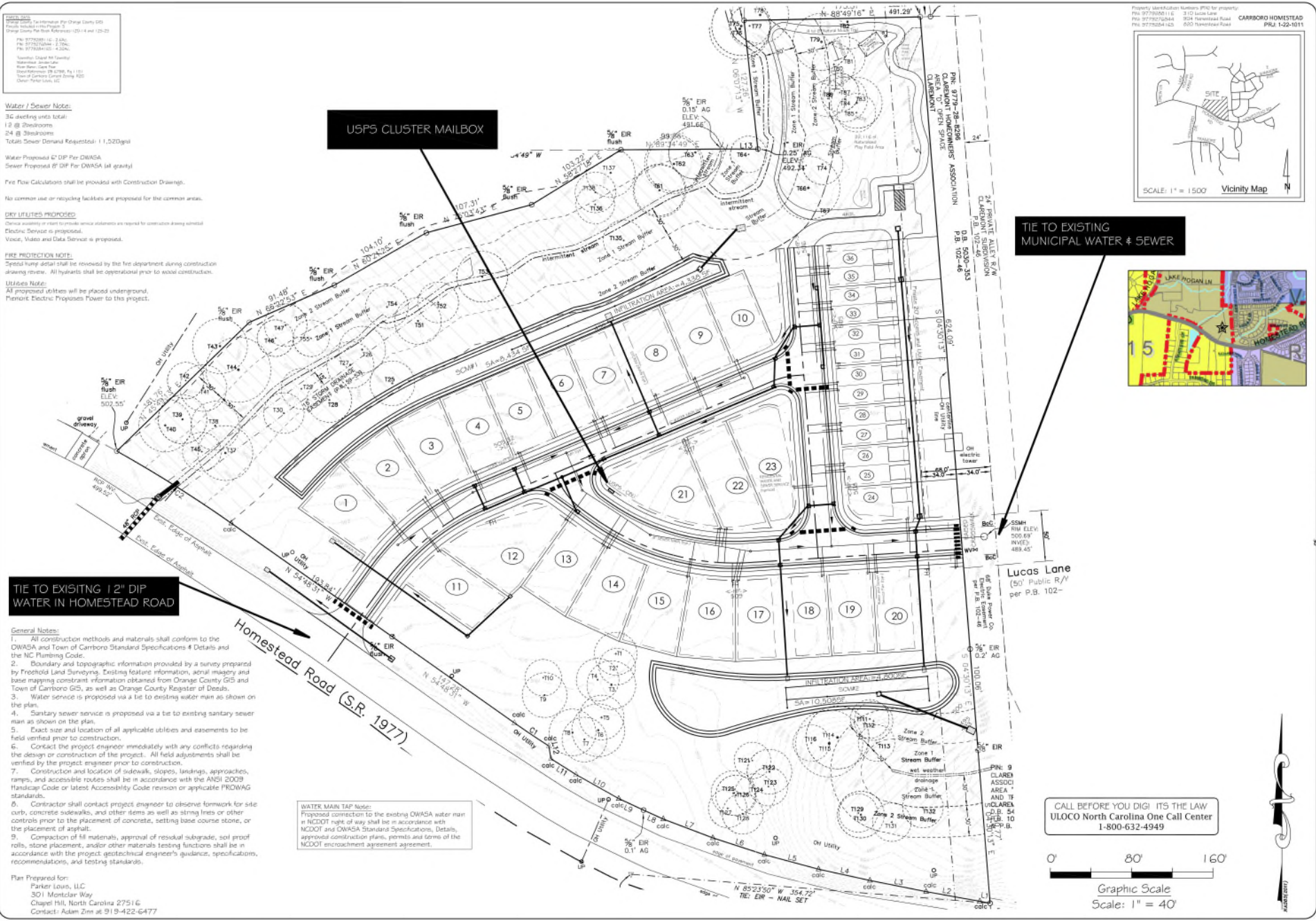
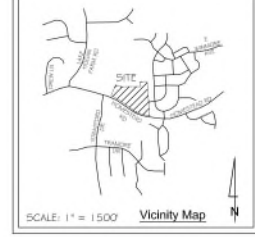
TIE TO EXISTING 12" DIP WATER IN HOMESTEAD ROAD

General Notes:
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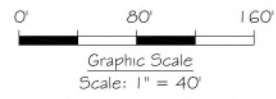
WATER MAIN TAP Note:
 Proposed connection to the existing DWASA water main in NCDOT right of way shall be in accordance with NCDOT and DWASA Standard Specifications, Details, approved construction plans, permits and terms of the NCDOT encroachment agreement agreement.

Plan Prepared for:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zinn at 319-422-6477

Property Identification Numbers (PIN) for property:
 PIN 977950011.6 310 Lucas Lane
 PIN 9779270244 304 Homestead Road
 PIN 9779204423 850 Homestead Road
CARRBORO HOMESTEAD
 P.L. 142-1011



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UP-4

3-14-2022
 1" = 40'
 BSB/CDH

3-30-2022
 12-9-2022
 2-28-2023
 3-23-2023
 5-25-2023

1-22-1011

PROPOSED MUNICIPAL UTILITY PLAN

0-22-2024

SEAL OF NORTH CAROLINA
 2024
 JAMES D. HOFFMAN
 C-1930

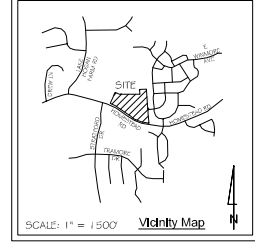
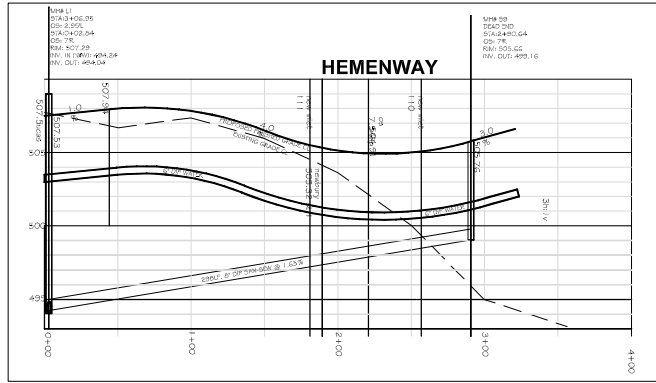
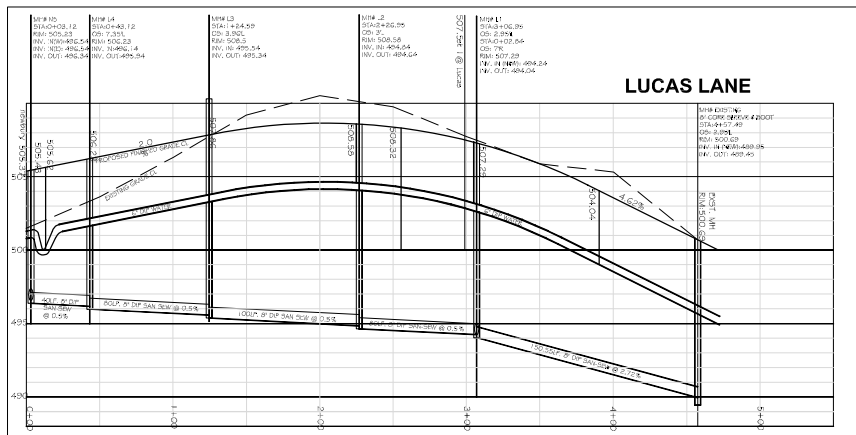
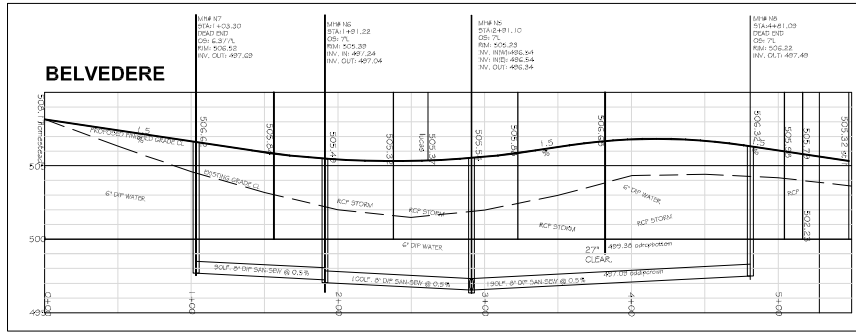
NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
 100 PARKWAY CENTER
 SUITE 200
 RALEIGH, NC 27601
 (919) 871-1111
 Lead Engineering and Development Services

GENERAL NOTES:
 For information on Orange County GIS
 Visit: www.ocgov.com/gis
 Orange County Public Works Extension 180-14 and 15-25
 P.O. Box 16000, Orlando, FL 32816
 Tel: 407-241-2344
 Fax: 407-241-2344
 Tel: 407-241-4300
 County: Clerk's Office
 Address: 1000 E. Lake
 Room: 2000
 Date: 08/14/2023
 User: Adam Zinn
 Project: 24924

MINIMUM PAVEMENT SCHEDULE
 HEAVY DUTY PAVING:
 6" ABC DIRT, 3" BINDER - 1 1/2" CB, 2" SURFACE - SF9.5B
 LIGHT DUTY PAVING:
 6" ABC STONE, 2" SURFACE - SF9.5B
 *MINIMUM SECTIONS ARE PROVIDED FOR REFERENCE ONLY.
 NO PAVEMENT DESIGN WAS PERFORMED TO ESTABLISH
 THESE SECTIONS. FINAL PAVEMENT SECTIONS SHALL BE
 CONSTRUCTED PER OWNERS GEOTECHNICAL ENGINEERING
 RECOMMENDATIONS AND OVER APPROVED SUBGRADE.

Property Identification Numbers (PINs) for property:
 PIN: 0772500116 3-01 West Lane
 PIN: 077376264 304 Homestead Road
 PIN: 0773354102 650 Homestead Road
CARRBORO HOMESTEAD
 Pkg: 1-22-11



General Notes:

- All construction methods and materials shall conform to the OWASA and Town of Carrboro Standard Specifications & Details and the NC Planning Code.
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- Construction and location of sidewalk, slopes, landings, approaches, ramps, and accessible routes shall be in accordance with the ANSI 2009 (Handicap Code or latest Accessibility Code revision or applicable PROWAG standards.
- Contractor shall contact project engineer to observe formwork for site curbs, concrete sidewalks, and other items as well as string lines or other controls prior to the placement of concrete, setting base course stone, or the placement of asphalt.
- Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone placement, and/or other materials testing functions shall be in accordance with the project geotechnical engineer's guidance, specifications, recommendations, and testing standards.

Plan Prepared for:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zinn at 919-422-6477

CALL BEFORE YOU DIG! ITS THE LAW
 ULOCO North Carolina One Call Center
 1-800-632-4949



Scale: 1" = 40' HORIZONTAL 1" = 4' VERTICAL

UP-4A PROFILES

3-14-2023

1" = 40'

B5B/C/D/H

PROPOSED PRELIMINARY STREET PROFILES

10-22-2024

24924

Charles D. Huffman

C-1939

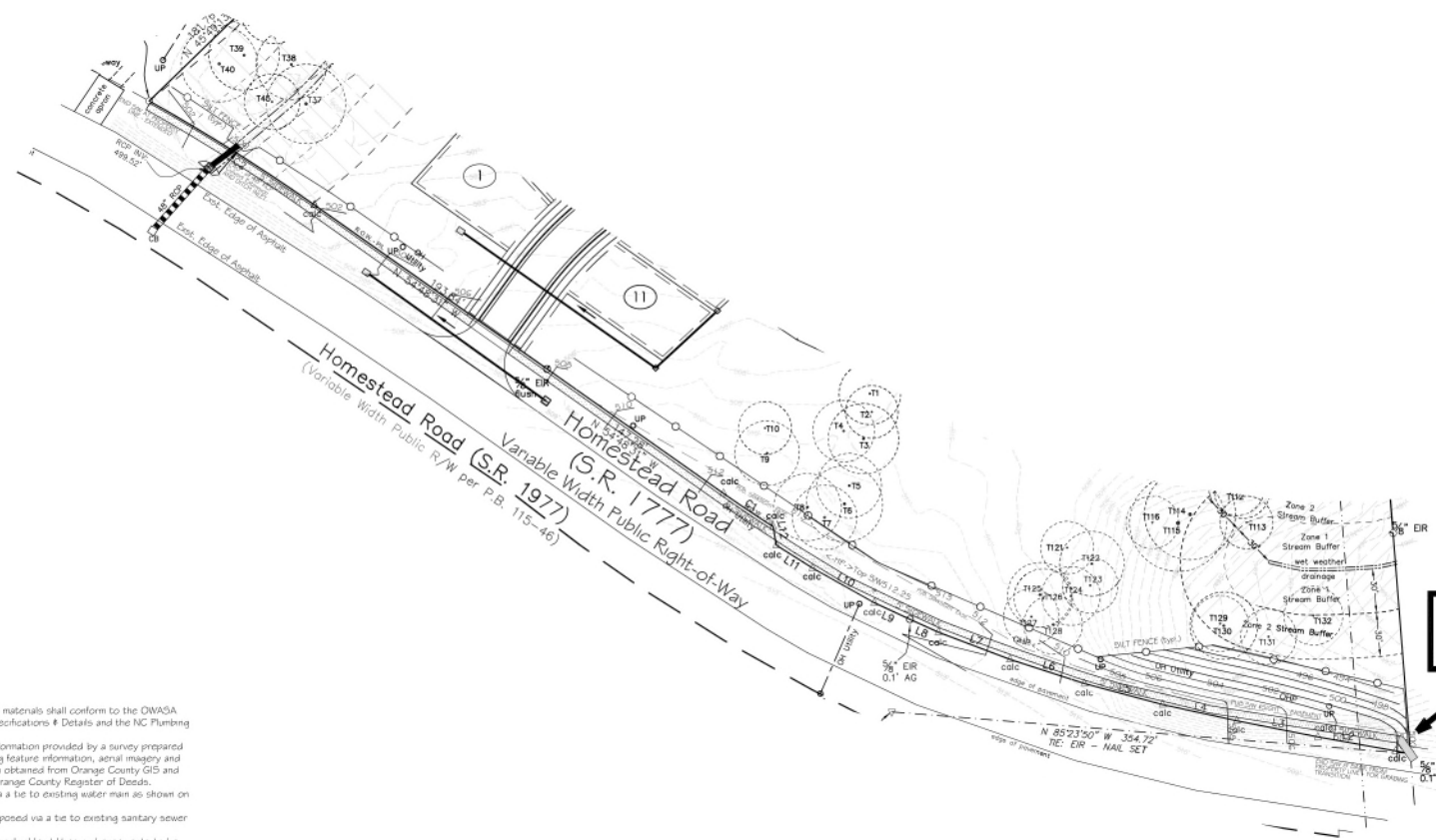
NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
 1500 S. GARDEN CITY BLVD.
 SUITE 200
 GARDEN CITY, NC 27529
 919-487-1111
 www.leadsgroup.com

Attachment C

PROJECT DATA: See information for Orange County GIS
 Project located in the Phase 2
 Orange County Plat Book References 120-14 and 120-23
 File: 977927644 - 2.dwg
 Plot: 977927644 - 2.plt
 Location: Chapel Hill Township
 Subdivision: Jordan Lake
 Base: Mean-Cape Feet
 Date of Creation: January 2022
 Owner: Parker Louis, LLC

Property Identification Numbers (PIN) for property:
 Pin 977925001 (i.e. 31 Old Lenoir Lane)
 Pin 977927644 (S.R. Homestead Road)
 Pin 977928442 (R57 Homestead Road)
CARRBORO HOMESTEAD
 P.L. 142-1011

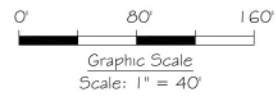


This 8' to 10' section of Town Standard Sidewalk to connect to existing sidewalk in Homestead Road shall be provided upon Town verification of adequate right of way or easement.

- General Notes:**
- All construction methods and materials shall conform to the DWASA and Town of Carrboro Standard Specifications & Details and the NC Plumbing Code.
 - Boundary and topographic information provided by a survey prepared by Prochold Land Surveying. Existing feature information, aerial imagery and base mapping constraint information obtained from Orange County GIS and Town of Carrboro GIS, as well as Orange County Register of Deeds.
 - Water service is proposed via a tie to existing water main as shown on the plan.
 - Sanitary sewer service is proposed via a tie to existing sanitary sewer main as shown on the plan.
 - Exact size and location of all applicable utilities and easements to be field verified prior to construction.
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 - Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone placement, and/or other materials testing functions shall be in accordance with the project geotechnical engineer's guidance, specifications, recommendations, and testing standards.

Plan Prepared for:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zinn at 919-422-6477

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4B

3-14-2022

1" = 40'

B5B/CDH

1-22-1011

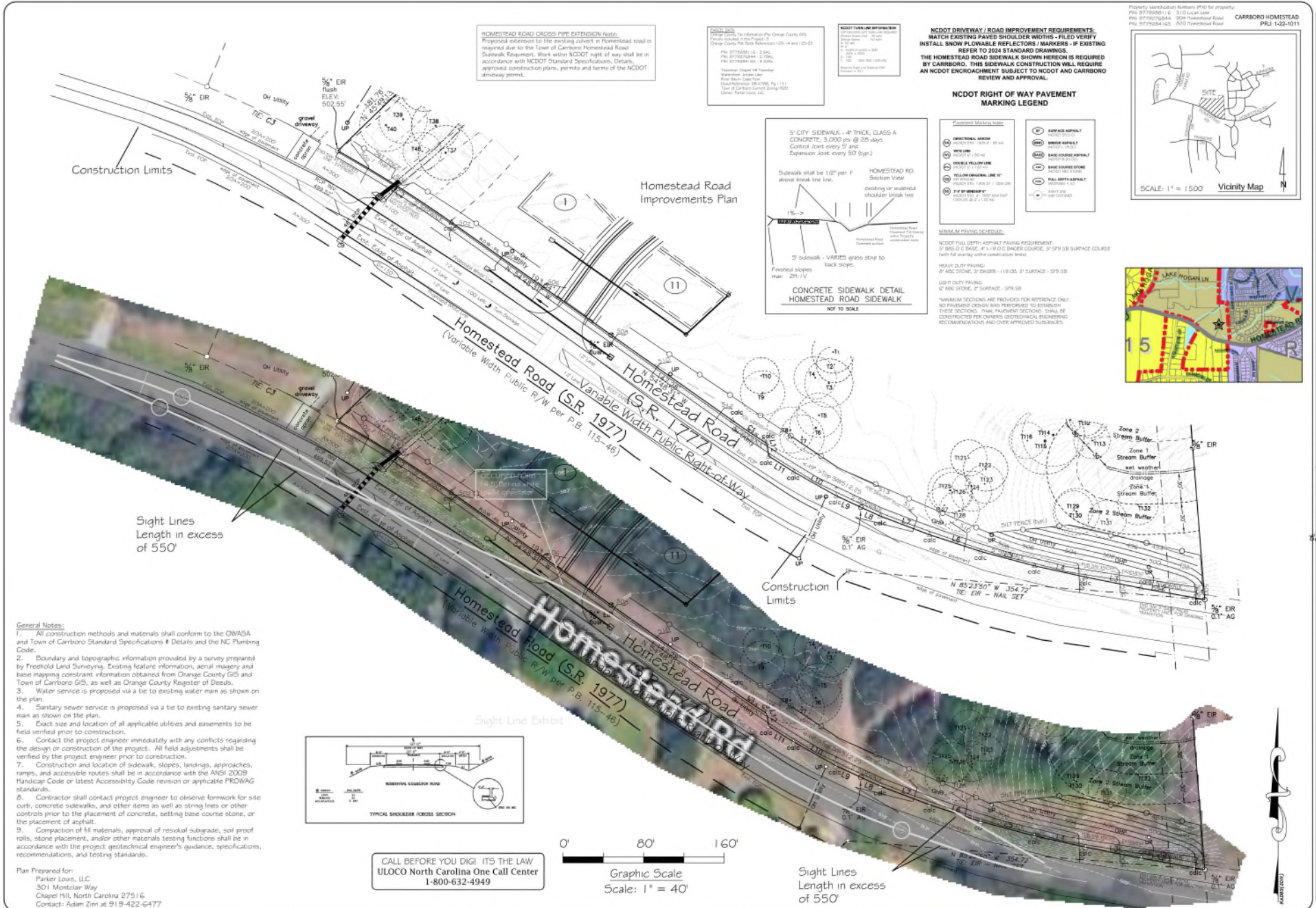
PROPOSED HOMESTEAD ROAD SIDEWALK ROAD SIDEWALK PLAN

0-22-2022

NORTH CAROLINA
 STATE ENGINEER
 24924
 CHARLES D. WATKINS
 C-1930

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
 100 EAST CHERRY STREET
 SUITE 100
 CHAPEL HILL, NC 27514
 Land Engineering And Development Services



HOMESTEAD ROAD CROSS PIPE EXTENSION Note:
Proposed extension to the existing culvert in Homestead Road is required due to the Town of Carrboro Homestead Road Sidewalk Reimbursement. Work within NCDOT right of way shall be in accordance with NCDOT Standard Specifications, Details, approved construction plans, permits and terms of the NCDOT driveway permit.

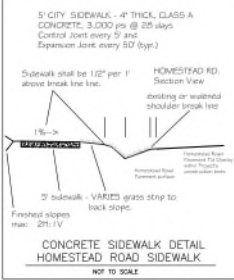
PROJECT DATA:
Project Name: Carrboro One Call Center (OCC)
Project Number: 19-001
City: Carrboro, NC
County: Orange
Project Manager: [Name]
Date: [Date]

PROJECT TEAM AND INFORMATION:
Client: [Name]
Designer: [Name]
Checker: [Name]

NCDOT DRIVEWAY / ROAD IMPROVEMENT REQUIREMENTS:
MATCH EXISTING PAVED SHOULDER WIDTHS - FIELD VERIFY
INSTALL SNOW PLOWABLE REFLECTORS / MARKERS - IF EXISTING
REFER TO 2024 STANDARD DRAWINGS.
THE HOMESTEAD ROAD SIDEWALK SHOWN HEREON IS REQUIRED BY CARRBORO. THIS SIDEWALK CONSTRUCTION WILL REQUIRE AN NCDOT ENCROACHMENT SUBJECT TO NCDOT AND CARRBORO REVIEW AND APPROVAL.

NCDOT RIGHT OF WAY PAVEMENT MARKING LEGEND

Symbol	Description
(Symbol)	SECTIONAL MARKING
(Symbol)	STOP LINE
(Symbol)	DOUBLE YELLOW LINE
(Symbol)	YELLOW/RED/WHITE LINE
(Symbol)	RIGHT OF WAY MARKING
(Symbol)	PAVEMENT MARKING
(Symbol)	PAVEMENT MARKING
(Symbol)	PAVEMENT MARKING

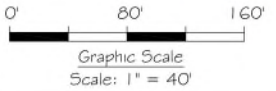
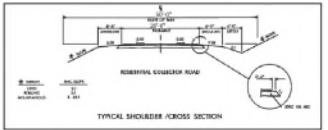


Property Identification Numbers (PIN) for property:
Pin: 077905001 (i.e. 31.01 Local Line)
Pin: 07790750244 (i.e. 304 Homestead Road)
Pin: 07790241423 (i.e. 633 Homestead Road)

CARRBORO HOMESTEAD
PIL: 1-22-1011



- General Notes:**
- All construction methods and materials shall conform to the DWADA and Town of Carrboro Standard Specifications & Details and the NC Plumbing Code.
 - Boundary and topographic information provided by a survey prepared by Prothold Land Surveying. Existing feature information, aerial imagery and base mapping constraints information obtained from Orange County GIS and Town of Carrboro GIS, as well as Orange County Register of Deeds.
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CALL BEFORE YOU DIG! IT'S THE LAW
ULOCCO North Carolina One Call Center
1-800-632-4949

Plan Prepared for:
Farker Lous, LLC
301 Montclair Way
Chapel Hill, North Carolina 27516
Contact: Adam Zinn at 319-422-6477

4C

3-14-2022

1" = 40'

BSB/CDH

1-22-1011

PROPOSED HOMESTEAD ROAD TURN LANE ROAD TURN PLAN

0-22-2024

NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
24924
CHARLES D. WOFFORD

Charles D. Wofford

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
LAND ENGINEERING AND DEVELOPMENT SERVICES

PROJECT INFO: For Information For Change Orders (CO)
 Project: 2022-15-316
 Project Name: Newbury Proposed Subdivision
 Project Location: 1201-4 and 1202-22
 PA: 97720001-1-2-2022
 PE: 97720001-2-2022
 PE: 97720001-3-2022
 PE: 97720001-4-2022
 PE: 97720001-5-2022
 PE: 97720001-6-2022
 PE: 97720001-7-2022
 PE: 97720001-8-2022
 PE: 97720001-9-2022
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 PE: 97720001-99-2022
 PE: 97720001-100-2022

Property Identification Numbers (PIN) for property:
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 PIN: 97720001-2-1-2022 Homestead Road
 PIN: 97720001-3-1-2022 Homestead Road
 PIN: 97720001-4-1-2022 Homestead Road
 PIN: 97720001-5-1-2022 Homestead Road
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 PIN: 97720001-97-1-2022 Homestead Road
 PIN: 97720001-98-1-2022 Homestead Road
 PIN: 97720001-99-1-2022 Homestead Road
 PIN: 97720001-100-1-2022 Homestead Road

STREET TREE NOTE:
 Required Street Trees shall be planted within the public right of way.

STREET TREE NOTES:
 Street trees shall be selected from the Town of Carrboro Approved Street Tree Planting list and spaced at not less than 1 tree per 30 feet. Not less than 4 species are to be selected to create the mixture of street trees planted. No shade trees are allowed as street trees in Carrboro.

Lucas Lane: Length of Street = 400' (Street Trees Required - 24)
 Bellevue Way: Length of Street = 540' (Street Trees Required - 36)
 Homestead Street: Length of Street = 330' (Street Trees Required - 22)

PLANTING TABLE

Symbol	Tree Name	Quantity	Notes
(10)	Eastern Red oak	21	Container Min. Caliper at Planting = 2.5", Min. Height at Planting = 6'
(9)	American Hornbeam	21	Container Min. Caliper at Planting = 2.5", Min. Height at Planting = 6'
(11)	Laurel oak	21	Container Min. Caliper at Planting = 2.5", Min. Height at Planting = 6'
(7)	Tulip Poplar	21	Container Min. Caliper at Planting = 2.5", Min. Height at Planting = 6'
(6)	Southern Wax Myrtle	N/A	Container Min. Height at Planting = 18"

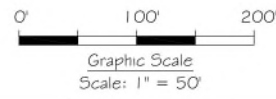
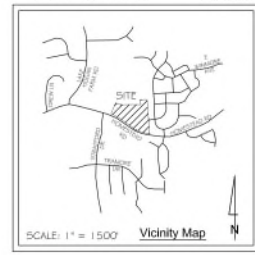
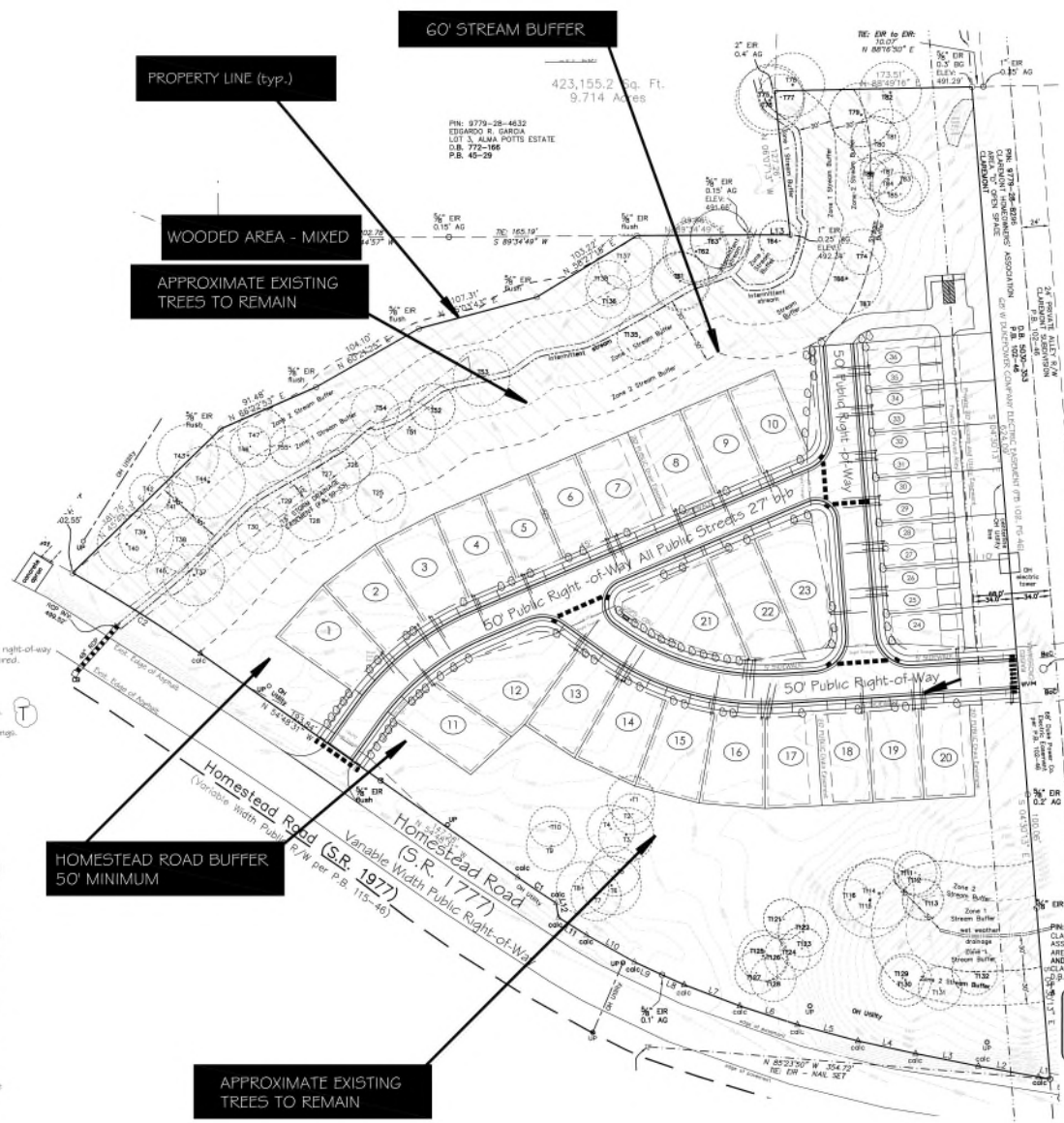
Note: Tree Replacement: Average Tree Spacing = 30 ft.
 Street Trees: Average Tree Spacing = 30 ft.

Minimum Tree Canopy Coverage Standards [Section 15-319]
 Minimum Canopy Coverage = 10% of parcel area including driveways, water bodies, right-of-way
 = 0.40 x (376,157-29,400) sq. ft. = 139,503 sq. ft. min. required.
 Exist. Canopy Coverage = 112,161 sq. ft. (existing protected tree canopy to remain)
 Deficit: Coverage Deficit = 27,342 sq. ft. deficit.
 Replacement ratio: One replacement tree per 500 sq. ft. of tree canopy deficit.
 Replacement Trees Required = 27,342 sq. ft. / 500 sq. ft. = 55 trees required.
 Replacement Trees Provided = 55 trees proposed as street and supplemental trees.

A detailed tree planting location plan shall be provided in the construction drawings.
 A detailed Street Lighting plan shall be provided in the construction drawings.

- General Notes:**
- All construction methods and materials shall conform to the DWASA and Town of Carrboro Standard Specifications & Details and the NC Planning Code.
 - Boundary and topographic information provided by a survey prepared by Prochola Land Surveying. Existing feature information, aerial imagery and base mapping constraint information obtained from Orange County GIS and Town of Carrboro GIS, as well as Orange County Register of Deeds.
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Plan Prepared for:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zinn at 919-422-6477



CALL BEFORE YOU DIG! ITS THE LAW
 ULOCO North Carolina One Call Center
 1-800-632-4949

SIDEWALK CONSTRUCTION NOTES:
 Sidewalks shall be constructed in accordance with Town of Carrboro Details and Specifications including the EXCEPTION that expansion joints placed every 30' as opposed to every 50' mandated in the Town Construction Details.

LP-5

3-14-2022
 1" = 50'
 BSB/CDH

3-30-2022
 12-9-2022
 2-28-2023
 3-23-2023
 5-25-2023

1-22-1011

LANDSCAPE PLAN

10-22-2024

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
 LAND ENGINEERING AND DEVELOPMENT SERVICES

ORANGE COUNTY
 Planning and Zoning Department
 100 N. 1st St., Suite 200
 Orange, NC 27559
 Phone: 919.857.2200
 Fax: 919.857.2201

ORANGE COUNTY DESIGN CONTROL JURISDICTION
 Township: Orange 01
 County: Orange
 State: North Carolina
 Parcel: 01-00-0000-0000-0000
 Project: 100-0000-0000-0000

EROSION CONTROL LEGEND

	LIMITS OF DISTURBANCE
	SILT FENCE
	CONSTRUCTION ENTRANCE
	DEVIATION CATCH
	BAFFLES
	SILT FENCE OUTLET (SFO)
	TREE FENCE
	INLET PROTECTION
	RIP-RAP OUTLET PROTECTION
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE

EROSION CONTROL NOTES:
 1) Sediment traps shall be top above adjacent / skinner later.
 2) 7 and 14 Day stabilization requirements apply to this site development project.
 3) Temporary Diversion and slopes shall be stabilized with seed straw and appropriate matting.
 4) Temporary Sediment Traps shall not be converted to Stormwater Cells until all contributing drainage areas are stabilized.

Additional Borrow / Waste Note:
 If the same person conducts the land-disturbing activity and any related borrow or waste activity, the related borrow or waste activity shall constitute part of the land-disturbing activity unless the borrow or waste activity is regulated by the Division of Solid Waste Management. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be considered separate land-disturbing activities and must be permitted either through the Sedimentation and Pollution Control Act, as a one-use-borrow site or through the Mining Act.

Site Soil Classification:
 Undisturbed. Classification of near surface soils shall be made per Owner's geotechnical engineering recommendations based on the evaluation of exposed subgrade soils.

General Notes:
 1. All construction methods and materials shall conform to the OWASA and Town of Carrboro Standard Specifications & Details and the NC Planning Code.
 2. Boundary and topographic information provided by a survey prepared by Prochold Land Surveying. Existing feature information, aerial imagery and base mapping constraint information obtained from Orange County GIS and Town of Carrboro GIS, as well as Orange County Register of Deeds.
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 6. Contact the project engineer immediately with any conflicts regarding the design or construction of the project. All field adjustments shall be verified by the project engineer prior to construction.
 7. Construction and location of sidewalk, slopes, landings, approaches, ramps, and accessible routes shall be in accordance with the ANSI 2009 Handbook Code or latest Accessibility Code revision or applicable PROWAG standards.
 8. Contractor shall contact project engineer to observe formwork for site curb, concrete sidewalks, and other items as well as stream or other controls prior to the placement of concrete, setting base course stone, or the placement of asphalt.
 9. Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone placement, and/or other materials testing functions shall be in accordance with the project geotechnical engineer's guidance, specifications, recommendations, and testing standards.

Plan Prepared for:
 Parker Lous, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zinn at 919-422-6477

EROSION CONTROL CONSTRUCTION SCHEDULE
 1. Obtain plan approval and other applicable permits if needed.
 2. Flag clearing limits, limits of disturbance, and designate tree save areas (if any) as noted.
 3. Hold pre-construction meeting one week prior to initiation of any work. Pre-construction meeting must be coordinated with Orange County Erosion Control Department. Contact Orange County Erosion Control Department to schedule the on-site pre-construction meeting.
 4. Install construction entrance as shown.
 5. Clear only the areas needed to install perimeter silt fencing and tree protection fencing as shown prior to the initiation of clearing, grubbing, and grading activities. Install perimeter silt fence, silt fence outlets, and tree protection fence as shown on the approved erosion control plan.
 6. Clear only the areas needed to install stockpile silt fence and concrete wash pit. Install stockpile silt fence and concrete wash pit as shown on the approved erosion control plan.
 7. Install the jobsite plan and permit box, rain gauge, and attach appropriate signage.
 8. Contact Keny Overre with Orange County to schedule a silt fence inspection prior to performing any additional work.

PERIMETER MEASURES
 (SILT FENCE DIVERSIONS OR OTHERS)

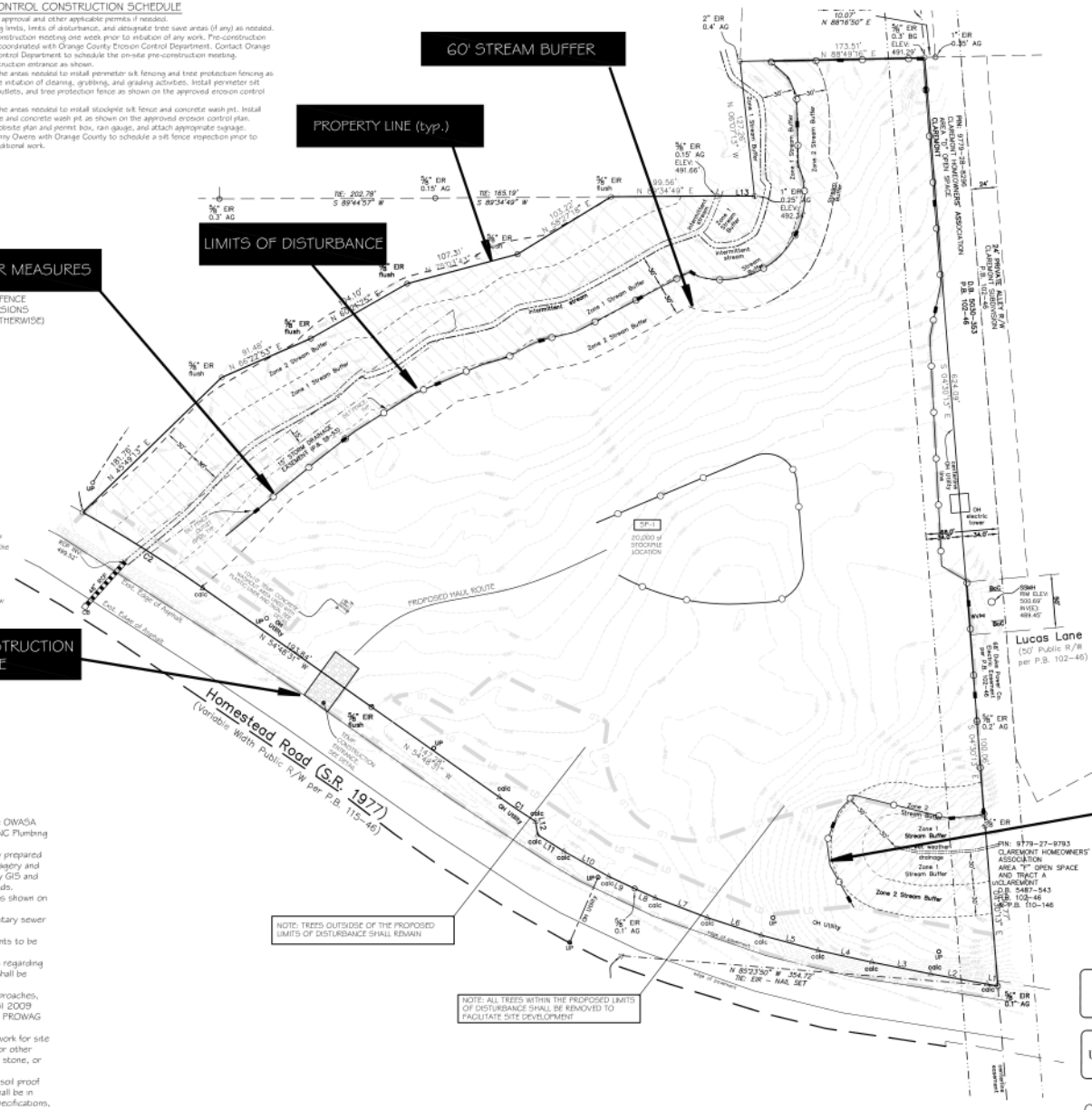
LIMITS OF DISTURBANCE

PROPERTY LINE (typ.)

60' STREAM BUFFER

TEMPORARY CONSTRUCTION ENTRANCE

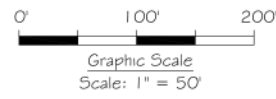
ADDITIONAL SILT FENCE



NOTE: TREES OUTSIDE OF THE PROPOSED LIMITS OF DISTURBANCE SHALL REMAIN

NOTE: ALL TREES WITHIN THE PROPOSED LIMITS OF DISTURBANCE SHALL BE REMOVED TO FACILITATE SITE DEVELOPMENT

AN ORANGE COUNTY EROSION CONTROL PERMIT IS REQUIRED FOR THIS DEVELOPMENT
 CALL BEFORE YOU DIG! ITS THE LAW
 ULOCO North Carolina One Call Center
 1-800-632-4949



Property Identification Numbers (PIN) for property:
 Pin 077925001 (i.e. 310 Lucas Lane)
 Pin 077925044 (304 Homestead Road)
 Pin 077925042 (302 Homestead Road)

CARRBORO HOMESTEAD
 PLS: 142-1011

SCALE: 1" = 150'

EROSION CONTROL NOTES:
 Proposed Disturbed Area = 325,095 sq. ft. (7.46 acres)
 1. Limits of Disturbance shall be property lines, silt fencing, temporary diversion ditches, or as shown on plan.
 2. In areas where the property boundary, disturbance limits, and/or silt fencing are parallel and overlap, lines are offset to provide clarity.
 3. A Land Disturbing Permit is required when the proposed land disturbance is greater than 10,000 square feet (Per Orange County UDO). The site proposes to disturb more than 10,000 square feet.
 4. Additional erosion control measures will be required during construction in order to control erosion if deemed necessary by on-site inspection.
 5. All erosion control measures shall be inspected once every 7 calendar days or after a rainfall event having precipitation greater than 1/2 inch in any 24 hour period. The inspection shall be documented in writing, and damaged or ineffective measures be repaired or replaced as needed.
 6. A self-inspection must be made of the project after each phase and documented in writing. The self-inspection will be performed in addition to the NPDES self monitoring report required by the General Permit as described above.
 7. All erosion and sediment control devices shall be properly maintained during all phases of construction until the completion of all construction activities and / or contributing areas have been stabilized. Existing measures may require adjustment or modification and additional control measures may be required in order to control erosion and/or off-site sedimentation if determined necessary by on site inspection.
 8. All Erosion Control devices are designed for the 25 year storm event.
 9. All berm slopes and ditch lines must be stabilized with synthetic matting and appropriate anchoring.
 10. Slopes in excess of 3H:1V require synthetic matting and appropriate anchoring.

EP-7.1

3-14-2022

1" = 50'

BSB/CDH

1-22-1011

EROSION CONTROL PLAN

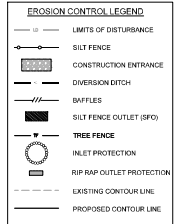
0-22-2024

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
 1000 CHARLOTTE ROAD
 SUITE 200
 CHARLOTTE, NC 28203
 (704) 581-1111
 Lead Engineering And Development Services

Attachment C

ORANGE COUNTY EROSION CONTROL JURISDICTION
 Orange County, NC
 Planning and Development Department
 200 S. Orange Street, Suite 100
 Orange, NC 27559
 Phone: 919-859-4444
 Fax: 919-859-4444
 Email: erc@orange-nc.gov



EROSION CONTROL NOTES:
 1. Sediment basins shall be top-down dissonant / skimmer basins.
 2. 7 and 14 day stabilization requirements apply to this site development project.
 3. Temporary Diversion and Slopes shall be stabilized with seed straw and appropriate mulching.
 4. Temporary Sediment Traps shall not be converted to Bio-retention Cells until all contributing drainage areas are stabilized.

Additional Borrow / Waste Note:
 If the same person conducts the land-disturbing activity and any related borrow or waste activity, the related borrow or waste activity shall constitute part of the land-disturbing activity unless the borrow or waste activity is regulated by the Division of Solid Waste Management. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be considered separate land disturbing activities and must be permitted either through the Sedimentation and Pollution Control Act as a one-use-borrow site or through the Mining Act.

Site Soils Classification:
 Unclassified. Classification of near surface soils shall be made per Owner's geotechnical engineering recommendations based on the evaluation of exposed subgrade soils.

General Notes:
 1. All construction methods and materials shall conform to the OWASA and Town of Carboro Standard Specifications # 2 Details and the NC Plumbing Code.
 2. Boundary and topographic information provided by a survey prepared by Fritchland Land Surveying. Existing feature information, aerial imagery and base mapping constraint information obtained from Orange County GIS and Town of Carboro GIS, as well as Orange County Register of Deeds.
 3. Water service is proposed via a tie to existing water main as shown on the plan.
 4. Sanitary sewer service is proposed via a tie to existing sanitary sewer main as shown on the plan.
 5. Exact size and location of all applicable utilities and easements to be field verified prior to construction.
 6. Contact the project engineer immediately with any conflicts regarding the design or construction of the project. All field adjustments shall be verified by the project engineer prior to construction.
 7. Construction and location of sidewalk, slopes, landings, approaches, ramps, and accessible routes shall be in accordance with the ANSI 2009 Handicap Code or latest Accessibility Code revision or applicable FROWAC standards.
 8. Contractor shall contact project engineer to observe formwork for site curbs, concrete sidewalks, and other items as well as string lines or other controls prior to the placement of concrete, setting base course stones, or the placement of asphalt.
 9. Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone placement, and/or other materials testing functions shall be in accordance with the project geotechnical engineer's guidance, specifications, recommendations, and testing standards.

Plan Prepared for:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zim at 919-422-6477

EROSION CONTROL CONSTRUCTION SCHEDULE

1. Disturb only the footprint and a minimal access path to install the sediment basins.
2. Construct the temporary sediment basins.
3. Place expedited materials within the designated stockpile site fence perimeter.
4. Install permanent Bio-retention Cells near structure and outer pipes at each basin.
5. After the Fabricated Skimmer Decks to the devastating orifice and tie skimmer pipe to a secure location at each basin.
6. Seed and stabilize the disturbed area consisting of any bare soil within 7 days. Note that slopes in excess of 3:1 HV require synthetic matting and appropriate anchoring.
7. All disturbed areas escaping any perimeter silt fence or temporary sediment basin shall be stabilized the same day as worked by the end of each day.
8. Once each sediment basin is fully installed and stabilized, call Kenny Owens for a basin inspection. No other work can occur until the basins have passed inspection.

PERIMETER MEASURES

(SILT FENCE DIVERSIONS OR OTHERWISE)

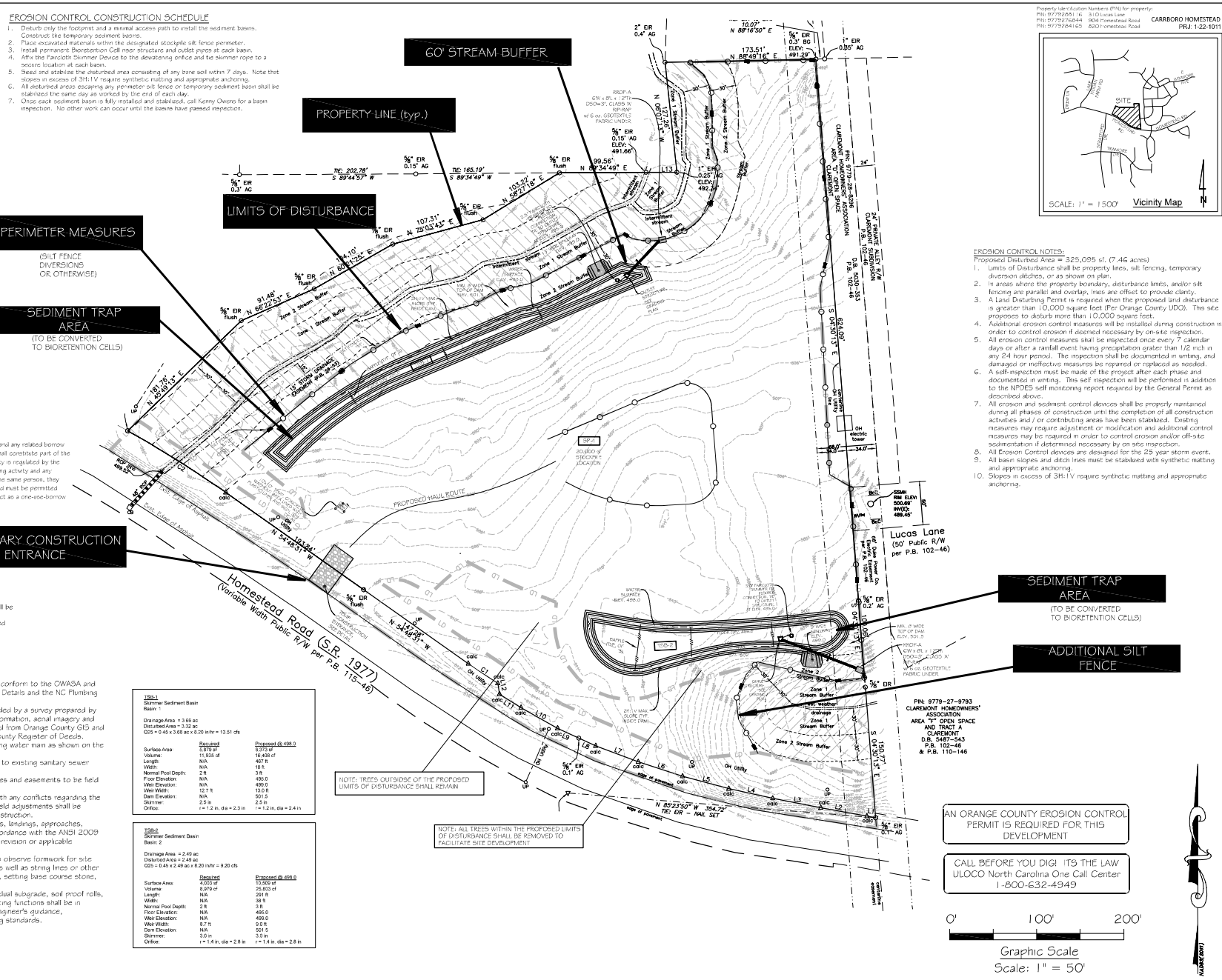
SEDIMENT TRAP AREA

(TO BE CONVERTED TO BIORETENTION CELLS)

TEMPORARY CONSTRUCTION ENTRANCE

3803 Skimmer Sediment Basin		
Drainage Area	4.36 ac	Proposed @ 450 gpd
Disturbed Area	7.32 ac	
Q25 = 0.46 x 3.08 ac @ 0.20 in/hr = 13.51 cfs		
Surface Area	5,979 sq ft	
Volume	11,538 cu ft	
Length	NA	467 ft
Width	NA	18 ft
Normal Pool Depth	2 ft	3 ft
For Elevation	NA	495.0
Water Elevation	NA	495.0
Water Depth	NA	12.1 ft
Dam Elevation	NA	501.5
Skimmer	2.5 ft	2.5 ft
Orifice	1.2 m dia x 2.3 m	1.2 m dia x 2.4 m

3803c Skimmer Sediment Basin		
Drainage Area	2.40 ac	Proposed @ 450 gpd
Disturbed Area	2.40 ac	
Q25 = 0.46 x 2.40 ac @ 0.20 in/hr = 9.20 cfs		
Surface Area	4,200 sq ft	
Volume	8,376 cu ft	
Length	NA	26.50 ft
Width	NA	29 ft
Normal Pool Depth	2 ft	3 ft
For Elevation	NA	495.0
Water Elevation	NA	495.0
Water Depth	NA	9.0 ft
Dam Elevation	NA	501.5
Skimmer	3.0 ft	3.0 ft
Orifice	1.4 m dia x 2.8 m	1.4 m dia x 2.8 m

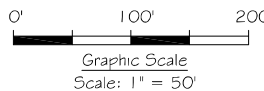


NOTE: TREES OUTSIDE OF THE PROPOSED LIMITS OF DISTURBANCE SHALL REMAIN

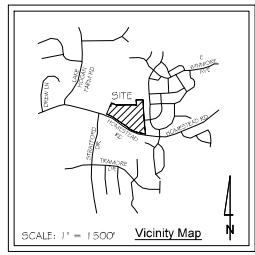
NOTE: ALL TREES WITHIN THE PROPOSED LIMITS OF DISTURBANCE SHALL BE REMOVED TO FACILITATE SITE DEVELOPMENT

AN ORANGE COUNTY EROSION CONTROL PERMIT IS REQUIRED FOR THIS DEVELOPMENT

CALL BEFORE YOU DIG! ITS THE LAW
 ULOCO North Carolina One Call Center
 1-800-632-4949



Property Identification Number (PIN) for property:
 PIN: 9779296 | 14 | 3 | D Lucas Lane
 PIN: 977929604 | 104 Homestead Road
 PIN: 9779296165 | 800 Homestead Road
CARRBORO HOMESTEAD
 PRJ: 132-1011



EP-7.2

3/14/2022

1" = 50'

BSE/CDH

1-22-1011

EROSION CONTROL PLAN

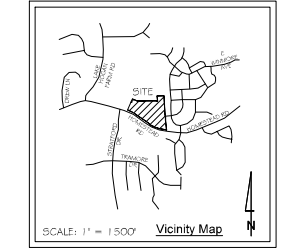
10-22-2024

NEWBURY PROPOSED SUBDIVISION

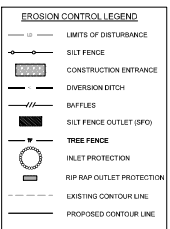
THE L.E.A.D.S. GROUP, P.A.

Land Engineering and Development Services

Property Identification Number (PIN) for property:
 PIN: 9779296 | 1 | 3 | 0 Lucas Lane
 PIN: 9779294 | 65 | 304 Homestead Road
 PIN: 9779294 | 65 | 303 Homestead Road
CARRBORO HOMESTEAD
 PRJ: 1-22-1011



ORANGE COUNTY EROSION CONTROL JURISDICTION
 Orange County, North Carolina
 27611
 919-850-1100
 www.orangetype.com



EROSION CONTROL NOTES:
 1. Sediment basins shall be top-down disassembled / disassembled basins.
 2. 7' and 14' day stabilization requirements apply to this site development project.
 3. Temporary Diversion and Slopes shall be stabilized with seed straw and appropriate matting.
 4. Temporary Sediment Traps shall not be converted to BioRetention Cells until all contributing drainage areas are stabilized.

Additional Borrow / Waste Note:
 If the same person conducts the land-disturbing activity and any related borrow or waste activity, the related borrow or waste activity shall constitute part of the land-disturbing activity unless the borrow or waste activity is regulated by the Division of Solid Waste Management. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be considered separate land disturbing activities and must be permitted either through the Sedimentation and Pollution Control Act as a non-use-borrow site or through the Mining Act.

Site Soils Classification:
 Unclassified. Classification of near surface soils shall be made per Owner's geotechnical engineer's recommendations based on the evaluation of exposed subgrade soils.

General Notes:
 1. All construction methods and materials shall conform to the OWSA and Town of Carrboro Standard Specifications & Details and the NC Plumbing Code.
 2. Boundary and topographic information provided by a survey prepared by Freshold Land Surveying. Existing feature information, aerial imagery and base mapping constraint information obtained from Orange County GIS and Town of Carrboro GIS, as well as Orange County Register of Deeds.
 3. Water service is proposed via a tie to existing water main as shown on the plan.
 4. Sanitary sewer service is proposed via a tie to existing sanitary sewer main as shown on the plan.
 5. Exact size and location of all applicable utilities and easements to be field verified prior to construction.
 6. Contact the project engineer immediately with any conflicts regarding the design or construction of the project. All field adjustments shall be verified by the project engineer prior to construction.
 7. Construction and location of sidewalk, slopes, landings, approaches, ramps, and accessible routes shall be in accordance with the ANSI 2009 Handicap Code or latest Accessibility Code revision or applicable FROWAC standards.
 8. Contractor shall contact project engineer to observe formwork for site curbs, concrete sidewalks, and other items as well as string lines or other controls prior to the placement of concrete, setting base course stones, or the placement of asphalt.
 9. Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone placement, and/or other materials testing functions shall be in accordance with the project geotechnical engineer's guidance, specifications, recommendations, and testing standards.

Plan Prepared for:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zim at 919-422-6477

EROSION CONTROL CONSTRUCTION SCHEDULE

- Once each basin passes inspection only, disturb the minimal amount necessary to install the temporary diversion ditches as shown on plan.
- Install temporary diversion ditches, slope drains, and rip-rap dividers. Seed and stabilize all measures.
- Once the temporary diversion ditches are installed and stabilized, call Kenny Owens to schedule a diversion ditch inspection.
- Once the diversion ditches have passed inspection, clearing and grading of the project can occur. Perform clearing, top soil stripping, and any grading operations.
- Install storm drainage pipes per the grading and storm drainage plan.
- Complete subgrade preparation and place diversion roadway materials.
- Backfill prepared roadway areas, fine grade.
- Seed and stabilize all bare soil areas.
- Install any perimeter fences, landscape, seed and stabilize.
- Call Kenny Owens to schedule an inspection.

PERIMETER MEASURES

(SILT FENCE DIVERSIONS OR OTHERWISE)

SEDIMENT TRAP AREA

(TO BE CONVERTED TO BIORETENTION CELLS)

TEMPORARY CONSTRUCTION ENTRANCE

30x30 Storm Sediment Basin

Drainage Area = 3.65 ac
 Disturbed Area = 7.32 ac
 Q25 = 6.45 cfs @ 2.00 in/hr = 13.31 cfs

Parameter	Required	Proposed @ 60% D
Surface Area	5,979 sq ft	8,375 sq ft
Volume	11,558 cu ft	18,468 cu ft
Length	N/A	467 ft
Width	N/A	18 ft
Normal Pool Depth	2 ft	3 ft
Floor Elevation	N/A	496.0
Wall Elevation	N/A	498.0
Water Depth	N/A	12.1 ft
Water Elevation	N/A	501.5
Skimmer	2.5 ft	2.5 ft
Orifice	1.2 in. dia = 2.3 in	1.2 in. dia = 2.4 in

30x30 Storm Sediment Basin

Basin 2

Drainage Area = 2.45 ac
 Disturbed Area = 2.49 ac
 Q25 = 6.45 cfs @ 2.00 in/hr = 9.20 cfs

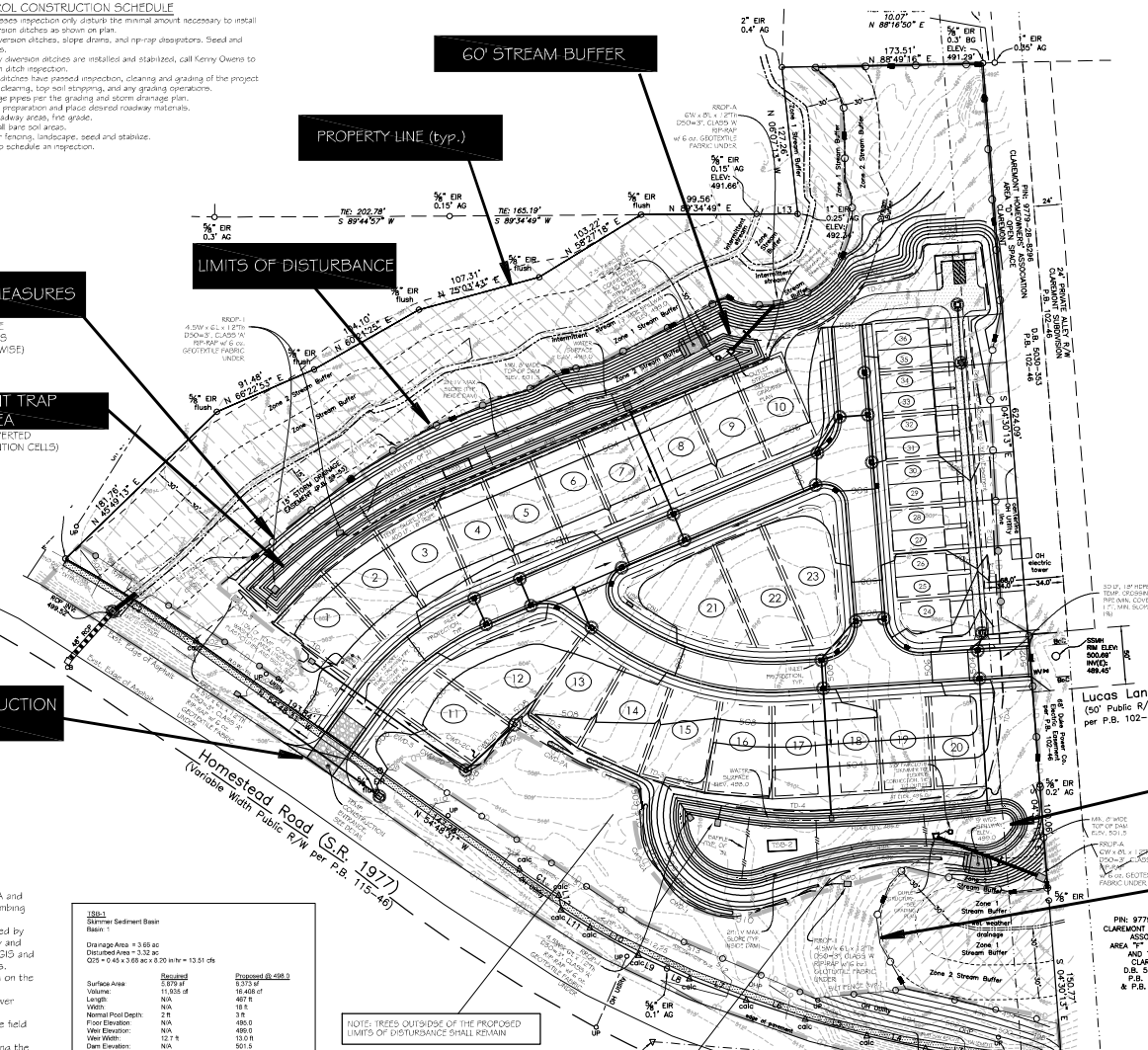
Parameter	Required	Proposed @ 60% D
Surface Area	4,209 sq ft	10,209 sq ft
Volume	8,418 cu ft	26,263 cu ft
Length	N/A	291 ft
Width	N/A	34 ft
Normal Pool Depth	2 ft	3 ft
Floor Elevation	N/A	496.0
Wall Elevation	N/A	501.0
Water Depth	N/A	9.0 ft
Water Elevation	N/A	501.5
Skimmer	2.5 ft	2.5 ft
Orifice	1.4 in. dia = 2.8 in	1.4 in. dia = 2.8 in

TEMPORARY DIVERSION DITCH SCHEDULE

DITCH	WIDTH (ft)	DEPTH (ft)	Q ₁₀ (cfs)	SLOPE (%)	VELOCITY (fps)	FLOW DEPTH (ft)	SHEAR STRESS (psf)	LINER	PERMISSIBLE SHEAR STRESS (psf)	SAFETY FACTOR
TD-1	1.00	1.00	0.3	6.38%	1.81	0.78	0.31	NAG-575 (per equivalent)	1.6	5.78
TD-2	2.00	1.50	4.5	1.09%	2.48	0.58	0.43	NAG-575 (per equivalent)	1.6	3.75
TD-3	1.00	1.50	0.8	4.20%	2.27	0.15	0.40	NAG-575 (per equivalent)	1.6	4.00
TD-4	2.00	1.50	3.8	1.80%	2.80	0.46	0.52	NAG-575 (per equivalent)	1.6	3.07
CWD-1	2.00	1.50	0.7	4.80%	2.22	0.16	0.39	NAG-575 (per equivalent)	1.6	4.12
CWD-2A,B,C,D	2.00	1.50	1.7	2.50%	2.44	0.27	0.43	NAG-575 (per equivalent)	1.6	3.76
CWD-3	2.00	1.50	1.1	4.00%	2.52	0.18	0.46	NAG-575 (per equivalent)	1.6	3.48

NOTE: TREES OUTSIDE OF THE PROPOSED LIMITS OF DISTURBANCE SHALL REMAIN.

NOTE: ALL TREES WITHIN THE PROPOSED LIMITS OF DISTURBANCE SHALL BE REMOVED TO FACILITATE SITE DEVELOPMENT.



EROSION CONTROL NOTES:

- Proposed Disturbed Area = 325,095 sq. ft. (7.46 acres)
- Limits of Disturbance shall be property lines, silt fencing, temporary diversion ditches, or as shown on plan.
- In areas where the property boundary, disturbance limits, and/or silt fencing are parallel and overlap, lines are offset to provide clarity.
- A Land Disturbing Permit is required when the proposed land disturbance is greater than 10,000 square feet (Per Orange County UDO).
- Additional erosion control measures will be installed during construction in order to control erosion if deemed necessary by on-site inspection.
- All erosion control measures shall be inspected once every 7 calendar days or after a rainfall event having precipitation greater than 1/2 inch in any 24 hour period. The inspection shall be documented in writing, and damage or ineffective measures shall be repaired or replaced as needed.
- A self-inspection must be made of the project after each phase and documented in writing. This self-inspection will be performed in addition to the IPDES self monitoring report required by the General Permit as described above.
- All erosion and sediment control devices shall be properly maintained during all phases of construction until the completion of all construction activities and / or contributing areas have been stabilized. Existing measures may require adjustment or modification and additional control measures may be required in order to control erosion and/or off-site sedimentation if determined necessary by on-site inspection.
- All Erosion Control devices are designed for the 25 year storm event.
- All base slopes and ditch lines must be stabilized with synthetic matting and appropriate anchoring.
- Slopes in excess of 3H:1V require synthetic matting and appropriate anchoring.

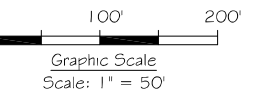
SEDIMENT TRAP AREA

(TO BE CONVERTED TO BIORETENTION CELLS)

ADDITIONAL SILT FENCE

AN ORANGE COUNTY EROSION CONTROL PERMIT IS REQUIRED FOR THIS DEVELOPMENT

CALL BEFORE YOU DIG! IT'S THE LAW
 ULOCO North Carolina One Call Center
 1-800-632-4949



EP-7.3

3/14/2022
 1" = 50'

BSE/CDH
 BENTON & BOWEN

1-22-1011

EROSION CONTROL PLAN

10-22-2024

NEWBURY PROPOSED SUBDIVISION

Charles R. Huffman

1-120

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.

Land Engineering and Development Services

1-800-632-4949

1-800-632-4949

1-800-632-4949

1-800-632-4949

1-800-632-4949

1-800-632-4949

1-800-632-4949

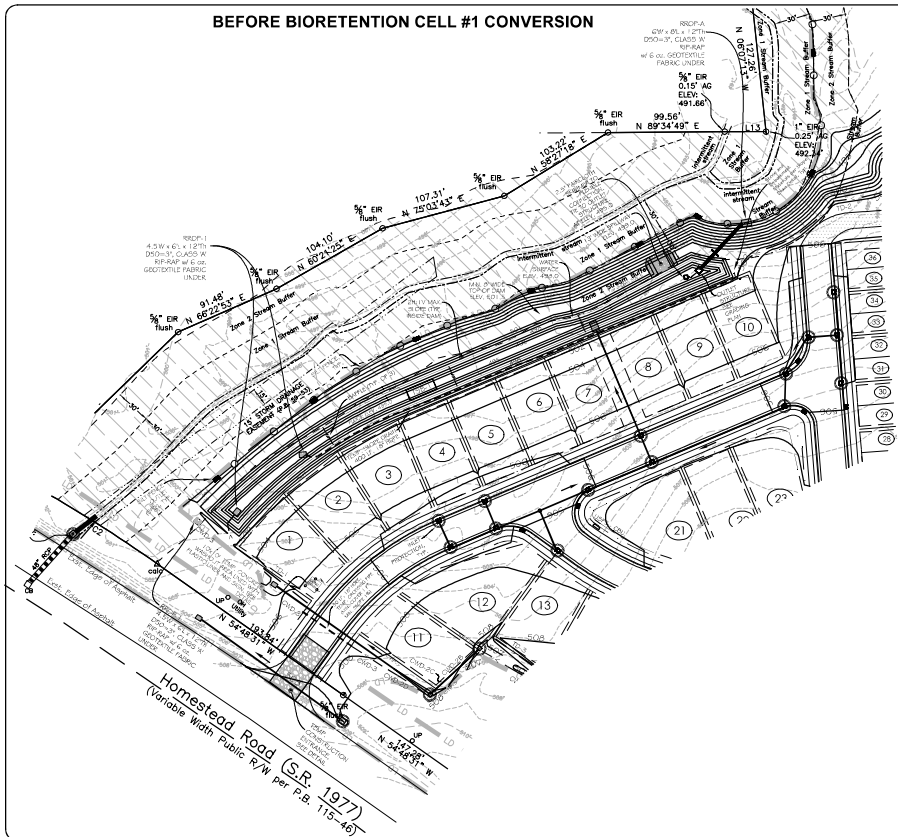
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1-800-632-4949

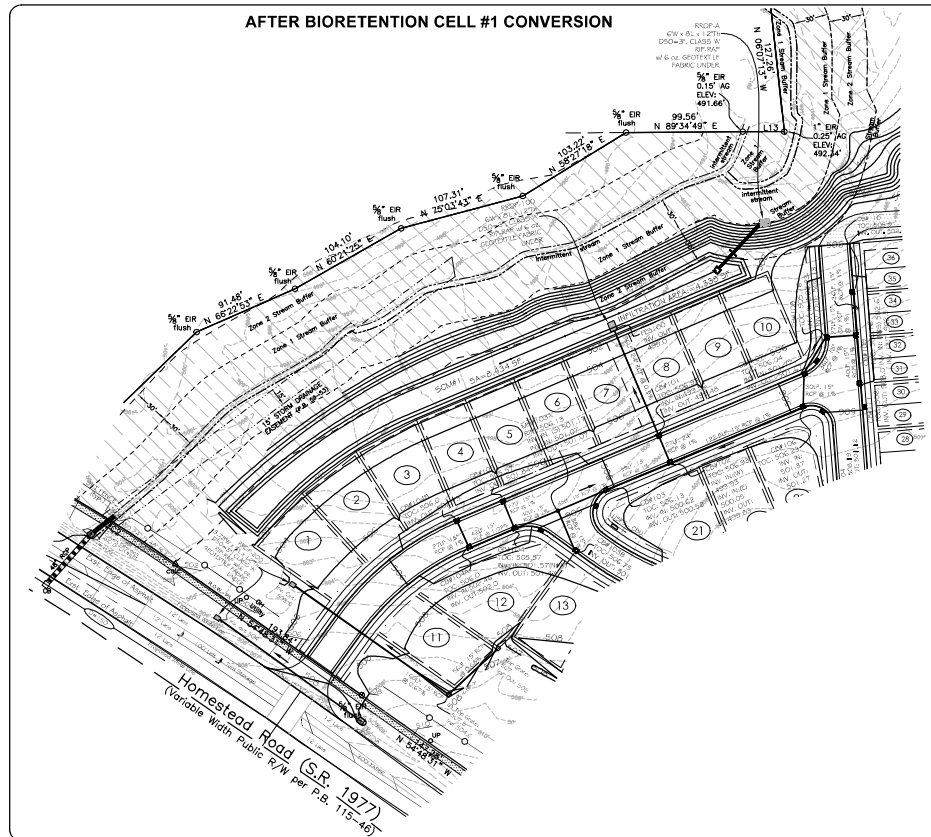
1-800-632-4949

1-800-632-4949

BEFORE BIORETENTION CELL #1 CONVERSION



AFTER BIORETENTION CELL #1 CONVERSION



- General Notes:**
- All construction methods and materials shall conform to the OWASA and Town of Carboro Standard Specifications # Details and the NC Plumbing Code.
 - Boundary and topographic information provided by a survey prepared by Freshold Land Surveying. Existing feature information, aerial imagery and base mapping constraint information obtained from Orange County GIS and Town of Carboro GIS, as well as Orange County Register of Deeds.
 - Water service is proposed via a tie to existing water main as shown on the plan.
 - Sanitary sewer service is proposed via a tie to existing sanitary sewer main as shown on the plan.
 - Exact size and location of all applicable utilities and easements to be field verified prior to construction.
 - Contact the project engineer immediately with any conflicts regarding the design or construction of the project. All field adjustments shall be verified by the project engineer prior to construction.
 - Construction and location of sidewalk, slopes, landings, approaches, ramps, and accessible routes shall be in accordance with the ANSI 2009 Handicap Code or latest Accessibility Code revision or applicable FROWAC standards.
 - Contractor shall contact project engineer to observe formwork for site curb, concrete sidewalks, and other items as well as string lines or other controls prior to the placement of concrete, setting base course stone, or the placement of asphalt.
 - Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone placement, and/or other materials testing functions shall be in accordance with the project geotechnical engineer's guidance, specifications, recommendations, and testing standards.

Plan Prepared for:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zim at 919-422-6477

EROSION CONTROL CONSTRUCTION SCHEDULE

- Call Kerry Owens for established ground cover inspection. All areas contributing drainage to the Bioretention Cell shall be seeded to 80% established grass coverage per square foot of area and/or be covered with final surface materials such as mulch, slabs, gravel, or pavement.
- After ground cover inspection, prepare areas for temporary sediment basin construction.
- Muck out and remove sedimentation from sediment basin to obtain desired bottom elevation of the Bioretention Cell excavation.
- Install Bioretention Cell facilities and any remaining storm drainage pipes. Eject any remaining sumps.
- Proceed with Bioretention Cell construction per the plans and specifications with periodic inspections by engineer as required.
- Prepare finished surface Bioretention Cell sod and stabilize Bioretention Cell areas.
- Seed and stabilize the balance of any bare surrounding areas.
- Call for inspection.
- Call for Bioretention Cell As-Built Inspection Survey and Certification.

Additional Borrow / Waste Note:

If the same person conducts the land-disturbing activity and any related borrow or waste activity, the related borrow or waste activity shall constitute part of the land-disturbing activity unless the borrow or waste activity is regulated by the Division of Solid Waste Management. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be considered separate land-disturbing activities and must be permitted either through the Sedimentation and Pollution Control Act as a one-use-borrow site or through the Mining Act.

EROSION CONTROL NOTES:

Proposed Disturbed Area = 325,095 sq. ft. (7.46 acres)

- Limits of Disturbance shall be property lines, silt fencing, temporary diversion ditches, or as shown on plan.
- In areas where the property boundary, disturbance limits, and/or silt fencing are parallel and overlap, lines are offset to provide clarity.
- A Land Disturbing Permit is required when the proposed land disturbance is greater than 10,000 square feet (Per Orange County UDO). This site proposes to disturb more than 10,000 square feet.
- Additional erosion control measures will be installed during construction in order to control erosion if deemed necessary by on-site inspection.
- All erosion control measures shall be inspected every 7 calendar days or after a rainfall event having precipitation greater than 1/2 inch in any 24 hour period. The inspection shall be documented in writing, and damaged or ineffective measures be repaired or replaced as needed.
- A self-inspection must be made of the project after each phase and documented in writing. The self-inspection will be performed in addition to the NCEM self-monitoring report required by the General Permit as described above.
- All erosion and sediment control devices shall be properly maintained during all phases of construction until the completion of all construction activities and / or contributing areas have been stabilized. Existing measures may require adjustment or modification and additional control measures may be required in order to control erosion and/or off-site sedimentation if determined necessary by on site inspection.
- All Erosion Control devices are designed for the 25 year storm event.
- All bays slopes and ditch lines must be stabilized with synthetic matting and appropriate anchoring.
- Slopes in excess of 3:1:IV require synthetic matting and appropriate anchoring.

Site Soils Classification:
 Unclassified. Classification of near surface soils shall be made per Owner's geotechnical engineering recommendations based on the evaluation of exposed subgrade soils.

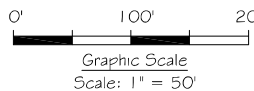
ORANGE COUNTY EROSION CONTROL JURISDICTION
 Towns: Chapel Hill, Town of Matthews, Wake Forest, Town of Cary, Town of Fuquay-Varina, Town of Morrisville, Town of North Hills, Town of Northwood, Town of Spring Lake, Town of Wake Forest, Town of Zebulon

EROSION CONTROL LEGEND

- 10' LIMITS OF DISTURBANCE
- SILT FENCE
- CONSTRUCTION ENTRANCE
- DIVERSION DITCH
- BAFFLES
- SILT FENCE OUTLET (SFO)
- TREE FENCE
- INLET PROTECTION
- RIP RAP OUTLET PROTECTION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE

AN ORANGE COUNTY EROSION CONTROL PERMIT IS REQUIRED FOR THIS DEVELOPMENT

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 ULOCO North Carolina One Call Center
 1-800-632-4949



EP-7.4A

3/14/2022
 1" = 50'
 BSEC/COH

I-22-1011

EROSION CONTROL PLAN

10-22-2024



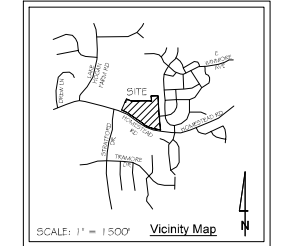
Charles R. Huffine

1120

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
 1000 W. HARRIS LANE
 SUITE 200
 WAKE FOREST, NC 27157
 Phone: 919-554-2200
 Fax: 919-554-2201
 www.theleadsgroup.com

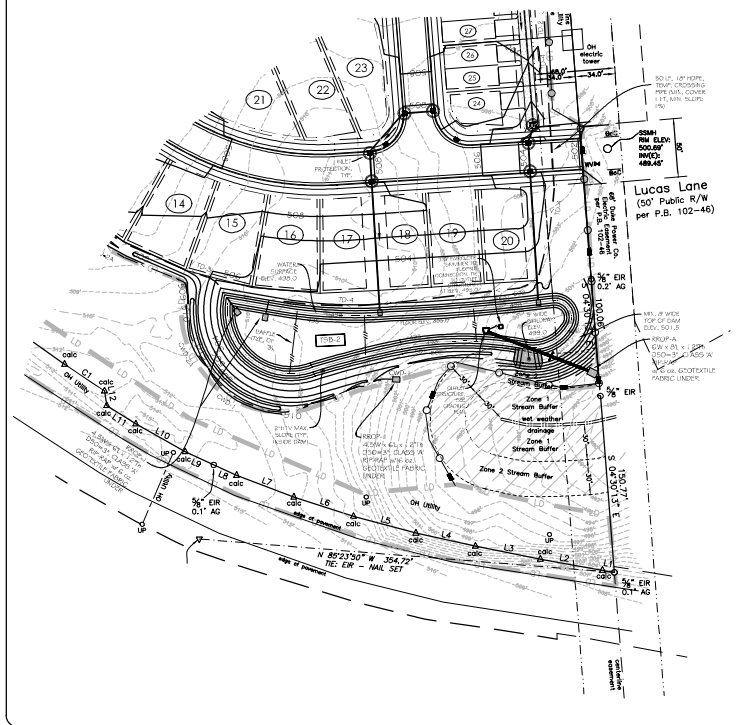
Property Identification Number (PIN) for property:
 PRJ 0779294 (1) 310 Lucas Lane
 PRJ 077929404 304 Homestead Road
 PRJ 07792941 (5) 520 Homestead Road
CARBORO HOMESTEAD
 PRJ 1-22-1011



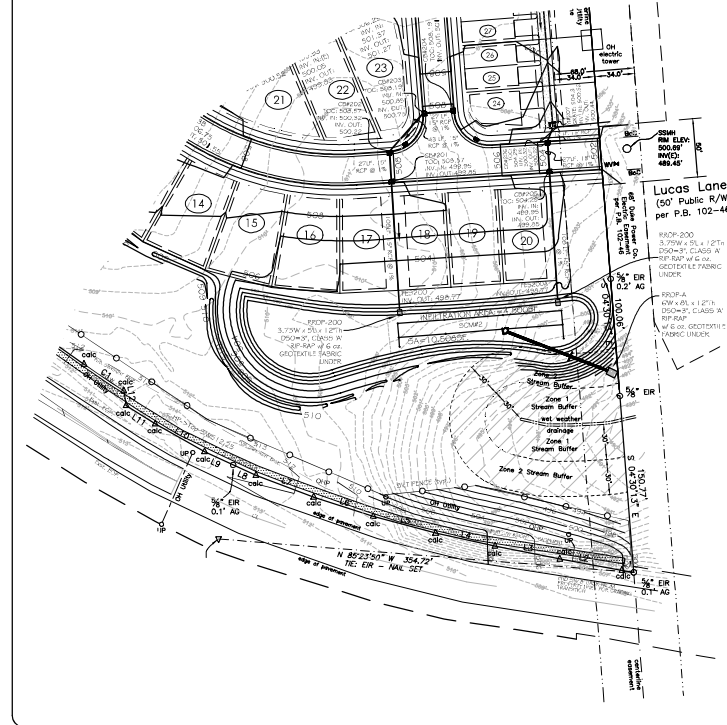
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[Symbol]	SILT FENCE
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[Symbol]	DIVERSION DITCH
[Symbol]	BAFFLES
[Symbol]	SILT FENCE OUTLET (SFO)
[Symbol]	TREE FENCE
[Symbol]	INLET PROTECTION
[Symbol]	NO SPILL OUTLET PROTECTION
[Symbol]	EXISTING CONTOUR LINE
[Symbol]	PROPOSED CONTOUR LINE

DATE: 04/22/2024
 Prepared by: [Signature]
 Checked by: [Signature]
 Drawn by: [Signature]
 Scale: 1" = 1500'
ORANGE COUNTY EROSION CONTROL JURISDICTION
 Regulated Construction Activity
 1. Construction of any building, structure, or other man-made structure
 2. Excavation, grading, or other earthmoving activity
 3. Clearing, grubbing, or other site preparation activity
 4. Temporary Sediment Traps shall not be converted to Bioretention Cells with all contributing drainage areas are stabilized.

BEFORE BIORETENTION CELL #2 CONVERSION



AFTER BIORETENTION CELL #2 CONVERSION



EROSION CONTROL CONSTRUCTION SCHEDULE

- General Notes:**
- All construction methods and materials shall conform to the OWASA and Town of Carboro Standard Specifications # Details and the NC Plumbing Code.
 - Boundary and topographic information provided by a survey prepared by Freshold Land Surveying. Existing feature information, aerial imagery and base mapping constraint information obtained from Orange County GIS and Town of Carboro GIS, as well as Orange County Register of Deeds.
 - Water service is proposed via a tie to existing water main as shown on the plan.
 - Sanitary sewer service is proposed via a tie to existing sanitary sewer main as shown on the plan.
 - Exact size and location of all applicable utilities and easements to be field verified prior to construction.
 - Contact the project engineer immediately with any conflicts regarding the design or construction of the project. All field adjustments shall be verified by the project engineer prior to construction.
 - Construction and location of sidewalk, slopes, landings, approaches, ramps, and accessible routes shall be in accordance with the ANSI 2009 Handicap Code or latest Accessibility Code revision or applicable FROWAC standards.
 - Contractor shall contact project engineer to observe formwork for site curb, concrete sidewalks, and other items as well as string lines or other controls prior to the placement of concrete, setting base course stone, or the placement of asphalt.
 - Compaction of fill materials, approval of residual subgrade, soil proof rolls, stone placement, and/or other materials testing functions shall be in accordance with the project geotechnical engineer's guidance, specifications, recommendations, and testing standards.

Plan Prepared for:
 Parker Louis, LLC
 301 Montclair Way
 Chapel Hill, North Carolina 27516
 Contact: Adam Zim at 919-422-6477

Additional Borrow / Waste Note:

If the same person conducts the land-disturbing activity and any related borrow or waste activity, the related borrow or waste activity shall constitute part of the land-disturbing activity unless the borrow or waste activity is regulated by the Division of Solid Waste Management. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be considered separate land-disturbing activities and must be permitted either through the Sedimentation and Pollution Control Act as a one-use-borrow site or through the Mining Act.

EROSION CONTROL NOTES:

- Proposed Disturbed Area = 325,095 sq. ft. (7.46 acres)
- Limits of Disturbance shall be property lines, silt fencing, temporary diversion ditches, or as shown on plan.
 - In areas where the property boundary, disturbance limits, and/or silt fencing are parallel and overlap, lines are offset to provide clarity.
 - A Land Disturbing Permit is required when the proposed land disturbance is greater than 10,000 square feet (Per Orange County UDC). This site proposes to disturb more than 10,000 square feet.
 - Additional erosion control measures will be installed during construction in order to control erosion if deemed necessary by on-site inspection.
 - All erosion control measures shall be inspected once every 7 calendar days or after a rainfall event leaving precipitation greater than 1/2 inch in any 24 hour period. The inspection shall be documented in writing, and damaged or ineffective measures be repaired or replaced as needed.
 - A self-inspection must be made of the project after each phase and documented in writing. This self-inspection will be performed in addition to the NPDES self monitoring report required by the General Permit as described above.
 - All erosion and sediment control devices shall be properly maintained during all phases of construction until the completion of all construction activities and / or contributing areas have been stabilized. Existing measures may require adjustment or modification and additional control measures may be required in order to control erosion and/or off-site sedimentation if determined necessary by on-site inspection.
 - All Erosion Control devices are designed for the 25 year storm event.
 - All basin slopes and ditch lines must be stabilized with synthetic matting and appropriate anchoring.
 - Slopes in excess of 3:1 V require synthetic matting and appropriate anchoring.

Site Soils Classification:

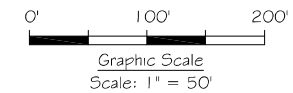
Unclassified. Classification of near surface soils shall be made per Owner's geotechnical engineering recommendations based on the evaluation of exposed subgrade soils.

EROSION CONTROL NOTES:

- Sediment basins shall be top down dewatered / sump basins.
- 7 and 14 Day stabilization requirements apply to this site development project.
- Temporary Diversion and slopes shall be stabilized with seed straw and appropriate matting.
- Temporary Sediment Traps shall not be converted to Bioretention Cells with all contributing drainage areas are stabilized.

AN ORANGE COUNTY EROSION CONTROL PERMIT IS REQUIRED FOR THIS DEVELOPMENT

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EP-7.4B

3-14-2022
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 1-22-1011
 EROSION CONTROL PLAN
 10-22-2024
 NORTH CAROLINA
 24924
 CHARLES R. STUFFINE
 919-422-6477
NEWBURY PROPOSED SUBDIVISION
 THE L.E.A.D.S. GROUP, P.A.
 1000 W. GARDNER ROAD
 SUITE 100
 CHAPEL HILL, NC 27516
 Land Engineering and Development Services

NOTES

- All construction methods and materials shall conform to the North Carolina Sediment Control Practice Standards and Specifications and Orange County Erosion Control.
- All erosion control practices shall be placed in the best location based on field conditions.
- Soiling Conditions are shown based on field surveys and best available records. Any discrepancies shall be reported to the engineer immediately.

NARRATIVE

This project is located in Orange County, North Carolina. The subject property is currently undeveloped and mostly wooded. Construction of a new residential subdivision is proposed on this property as shown on the site plan. The site is wooded, with slopes from 1 to 20%. The site is to be cleared and graded to provide suitable area for the proposed use. Drainage on the parcel ultimately flows as shown by the existing topography. Adjacent property is owned by various individuals, shown as adjacent owners on the plan. Clearing and striping operations beginning upon permitting. Near-surface soils are composed of USCS type CL and ML. Anticipated rough grading completion date: Not Known. Management Practices to be placed until all contributing erodible areas have been stabilized or practices can be replaced with permanent structures.

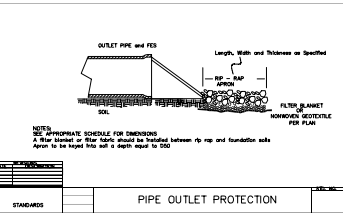
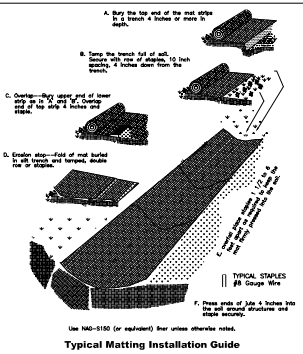
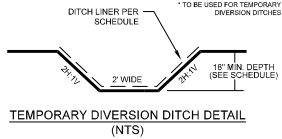
MAINTENANCE PLAN

- All erosion and sediment control practices shall be checked at the end of each run-off producing rainfall event but no less than once per week. Any needed repairs shall be made to maintain practices as designed.
- Sediment shall be removed from traps when storage capacity has been reduced to approximately 50% design capacity.
- All seeded areas shall be fertilized, irrigated, and mulched according to specifications in the vegetative plan to maintain a vigorous, dense vegetative cover.

RESPONSIBILITY

- All installation & maintenance of erosion and sediment control practices is the responsibility of the owner.
- Construction grading site shall be responsible for maintenance of erosion control measures unless arranged otherwise by the owner.
- Vegetative stabilization on all exposed areas during construction shall be implemented in accordance with the NEW STABILIZATION TIMEFRAMES as shown in the table below.
- Permanent vegetative cover shall be installed within (14) working days or (30) calendar days (whichever is shorter) following completion of construction or development.

NEW STABILIZATION TIMEFRAMES			
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS	NOTES
PERMITS/DESIGN/VALUES/STORMS/SEPT	7 DAYS	NONE	
HIGH QUALITY WATER PROTECT ZONES	7 DAYS - 14 DAYS EXCEPT FOR 7 DAYS - ALL OTHER AREAS	NONE	
SLOPES GREATER THAN 3:1	7 DAYS	NO STABILIZATION OF SLOPES IS ALLOWED UNLESS NOT STRENGTH ENHANCED BY GEOTECHNICAL MEASURES	
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS PER SLOPE DIRECTION THROUGH ALL ZONES	
ALL OTHER AREAS WITH SLOPES FLATTER THAN 3:1	14 DAYS	NONE EXCEPT FOR PERMITS/DESIGN/VALUES/STORMS/SEPT	

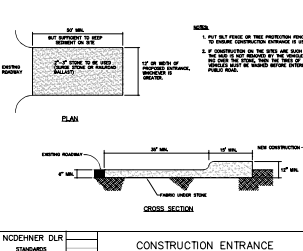
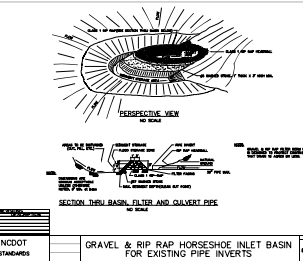
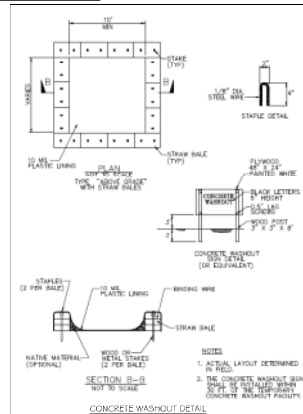
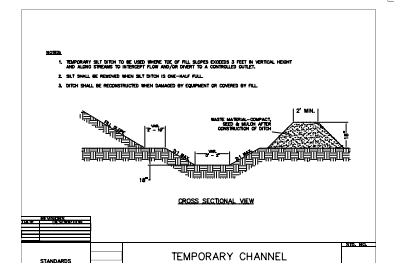
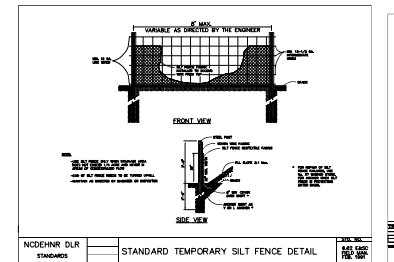
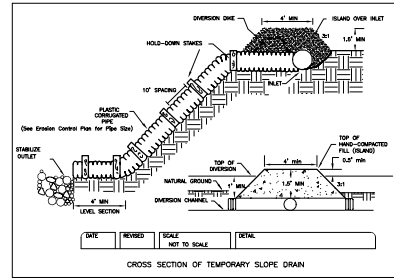


SEEDING SCHEDULE (SEASONAL)

AREA	DESCRIPTION	SEASON	SEEDING METHOD	SEEDING PREP.	SEEDING METHOD	MULCH	MAINTENANCE	NOTES
1.	Sloped Slope Area	Fall (10-20 to 11-25)	Fall	Kula (100lb/cu) Pelagron (250lb/cu) Eye gram	SF-1	SM-1	MU-1	MA-1
2.	Low Slope Area	Fall (10-20 to 11-25)	Fall	Kula (100lb/cu) Kula (100lb/cu) Cheltop (250lb/cu) Eye gram	SF-4	SM-2	MU-2	MA-1
1.	Sloped Slope Area	Winter (12-25 to 1-31)	Winter	Kula gram	SF-4	SM-2	MU-1	MA-1
2.	Low Slope Area	Winter (12-25 to 1-31)	Winter	Kula gram	SF-4	SM-2	MU-2	MA-1
1.	Sloped Slope Area	Spring (2-1 to 3-15)	Spring	Kula (100lb/cu) Kula (100lb/cu) Cheltop (250lb/cu) Eye gram	SF-4	SM-2	MU-2	MA-1
2.	Low Slope Area	Spring (2-1 to 3-15)	Spring	Kula (100lb/cu) Kula (100lb/cu) Cheltop (250lb/cu) Eye gram	SF-4	SM-2	MU-2	MA-1
1.	Sloped Slope Area	Summer (5-15 to 5-31)	Summer	German m (40lb/cu)	SF-2	SM-2	MU-1	MA-5
2.	Low Slope Area	Summer (5-15 to 5-31)	Summer	Kula (100lb/cu) Kula (100lb/cu) Cheltop (250lb/cu) German M (40lb/cu)	SF-4	SM-2	MU-2	MA-1

Institution of Erosion Control Measures Note: Temporary measures shall be installed with suitable construction practices, and shall be maintained and replaced prior to any permanent erosion control. Construction practices and materials shall be observed to ensure representative prior to additional grading operations.

EROSION CONTROL MEASURES DETAILS (NTS.)



VEGETATIVE PLAN

- Seedbed Preparation (SP):
- Fill slopes 3:1 or steeper to be seeded with a hydraulic seeder (permanent seedings)
 - Leave Last 4-6 inches of fill loose and uncompacted, allowing rocks, roots, large clods and other debris to remain on the slope.
 - Kludgen slope faces by making grooves of 2 to 3 inches deep, perpendicular to the slope.
 - Spread lime evenly over slopes at rates recommended by soil tests.
- SP-4 Gentle or flat slopes where topsoil is not used.
- Remove rocks and debris.
 - Apply lime and fertilizer at rates recommended by soil test; evenly spread and incorporate into the top 6\"/>
 - Break up large clods and rake into a loose, uniform seedbed.
 - Rake to loosen surface just prior to applying seed.

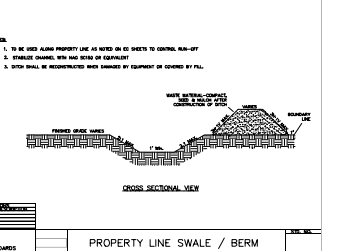
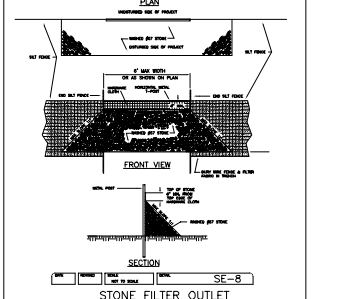
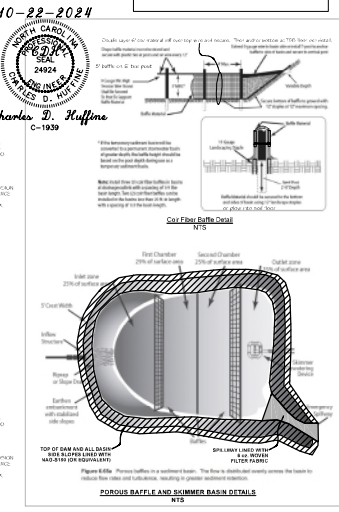
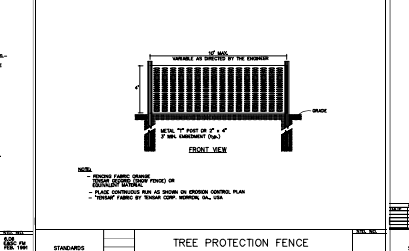
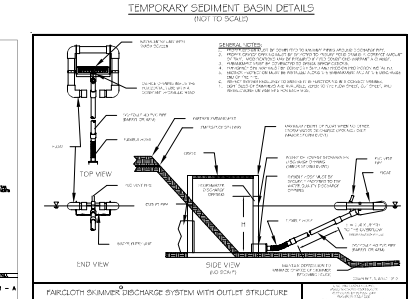
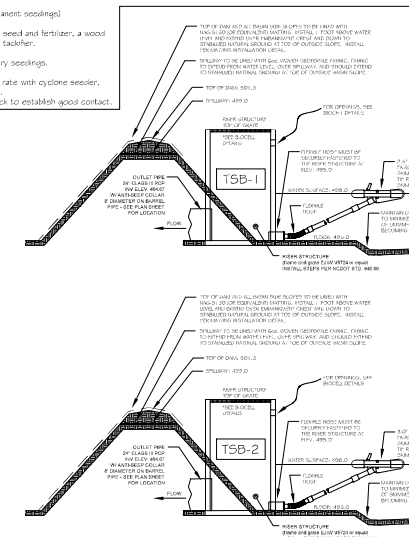
- Seeding Methods (SM):
- SM-1 Fill slopes 3:1 or steeper (permanent seedings)
- Use hydraulic seeding equipment to apply seed and fertilizer, a wood fiber mulch at 45lb/1,000 sq. ft., and mulch tackifier.
- SM-2 Gentle or flat slopes on temporary seedings.
- Broadcast seed at the recommended rate with cyclone seeder, drop spreader, or callibracker seeder.
 - Rake seed into the soil and lightly pack to establish good contact.

- Mulch (MU):
- MU-1 Slopes 3:1 or steeper
- In mid-summer, late fall or winter, apply 100lb/1,000 sq. ft. grain straw, cover with netting and staple to the slope. In spring or early fall use 45lb/1,000 sq. ft. wood fiber or a hydroseeder slurry.
- MU-2 Temporary Seedings
- Apply 50lb/1,000sq. ft. grain straw and tack with 1 | gal/1,000sq. ft. asphalt.
- Maintenance (MA):
- MA-1 Refertilize in late winter or early spring and mow as desired.
- MA-5 Topdress with 50lb/acre nitrogen in March. If cover is needed through the following summer, overseed with 50lb/acre Kula lespedeza.

Yearly Temporary Seeding Schedule

Winter and Early Spring (December 1 to February 28)
 Fertilizer: 100-10-10 at 700-1,000 lb/acre
 Seed: Eye gram 1,200 lb/acre and Annual lespedeza 50 lb/acre
 Mulch: 4,000 lb/acre straw

Summer (March 1 to September 31)
 Fertilizer: same and add 2,000 lb/acre agricultural limestone
 Seed: German M (40 lb/acre)
 Fertilizer: same
 Seed: Eye gram 1,200 lb/acre
 Fertilizer: same
 Mulch: same



10-22-2024
 NORTH CAROLINA
 PROFESSIONAL ENGINEER
 29424
 CHARLES D. HUFFINE
 C-1939

EP-8

3-14-2022
 NTS

BS&C/DH
 CONSULTANTS & ENGINEERS
 1000 W. MAIN ST.
 SUITE 200
 RALEIGH, NC 27601

10-22-2024

1-22-10-11
 PROFESSIONAL ENGINEER

EROSION CONTROL DETAILS

10-22-2024

NORTH CAROLINA
 PROFESSIONAL ENGINEER
 29424
 CHARLES D. HUFFINE
 C-1939

NEWBURY
 PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.
 1000 W. MAIN ST.
 SUITE 200
 RALEIGH, NC 27601
 Land Engineering And Development Services

THIS PROJECT IS LOCATED IN THE CAPE FEAR RIVER BASIN

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days [note this will determine if a site inspection is needed]. Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2)(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1)(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes, the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.



NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

EP-9

3-14-2022

NTS

BSE/CCH

1-22-1011

EROSION CONTROL DETAILS

10-22-2024

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.

LAND ENGINEERING AND DEVELOPMENT SERVICES

THIS PROJECT IS LOCATED IN THE CAPE FEAR RIVER BASIN

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> • Temporary grass seed covered with straw or other mulches and tackifiers • Hydroseeding • Rolled erosion control products with or without temporary grass seed • Appropriately applied straw or other mulch • Plastic sheeting 	<ul style="list-style-type: none"> • Permanent grass seed covered with straw or other mulches and tackifiers • Geotextile fabrics such as permanent soil reinforcement matting • Hydroseeding • Shrubs or other permanent plantings covered with mulch • Uniform and evenly distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuel, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

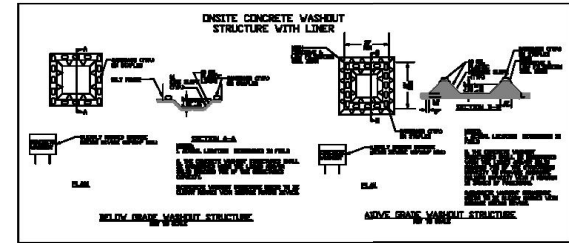
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within 10' perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or string defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection area on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.



EP-10

3-14-2022

NTS

BSE/CCH

1-22-10-11

EROSION CONTROL DETAILS

10-22-2024

CHARLES W. HUFFINE

PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.

Bioretention Cell Notes:

BCONTRACTORS: An AS-BUILT acceptable to Town of Carrboro shall be provided for the Bioretention Cell. Only cover items and proceed to the next step in the construction sequence after inspection from the owner's certifying agent and the Town Inspector.

The bioretention cell shall only be installed and constructed once ALL upstream disturbed areas have been stabilized. Please refer to the erosion control plan and erosion control details for seeding and stabilization lifelines.

Perforated underdrains shall have a minimum open area of 0.004 sq. in. per linear ft. of pipe.

All embankment fills shall be back-filled with low permeability structural fill material and compacted to at least 95% of standard proctor maximum density (ASTM D-698). Retaining wall backfills shall be compacted as specified by the wall designer or geotechnical engineer.

The media shall not be mechanically compacted. It shall be walked on or raked as it is placed within the excavation. Hand rake layers level as the bioretention cell excavation is filled to the design elevations.

Grass Seeding and Maintenance:

- 1) Trivy 1-4-19 Bermuda Sod grown on non-clay soils (or equivalent) shall be placed over smoothed media surface.
- 2) Starter fertilizer shall be applied at a rate of 1 lb. (Phosphorus free fertilizer) per 1000 sq. ft. area.
- 3) Initial fertilizer and ample water irrigation shall be provided and regulated by owner to establish vigorous growth.
- 4) The grass surface shall be push-mowed and accessed by foot traffic only to avoid compaction of filter media.

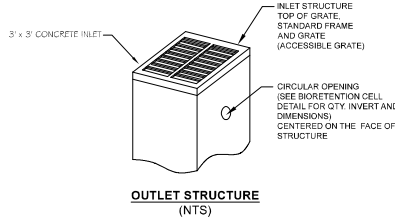
Bioretention Cell Materials TABLE:

Perforated underdrains - minimum open area of 0.004 sq. in. per linear ft. of pipe.
 Trivy 1-4-19 Bermuda Sod grown on non-clay soils (or equivalent) shall be placed over smoothed media surface.
 Starter fertilizer shall be applied at a rate of 1 lb. (Phosphorus free fertilizer) per 1000 sq. ft. area.
 Media shall be homogeneous soil mix of 75-85 percent by volume sand (USDA Soil Textural Classification ASTM C-33) & to 1-5 percent fines (silt and clay), and 3 to 10 percent organic matter (even as plant matter) shall be used.
 All low phosphorus content is desired for the soil mix. NOTE: Media material can be sent to NC Department of Agriculture (NCDA) labs to be analyzed or certified by the supplier.
 Soil media test results shall be provided to the engineer prior to use.
 The media shall be tested to determine an actual drainage rate after placement with the results provided to the certifying engineer.

Bioretention Cell Media Specification:

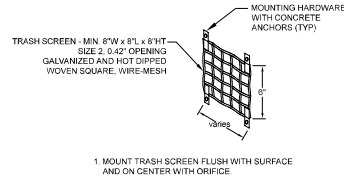
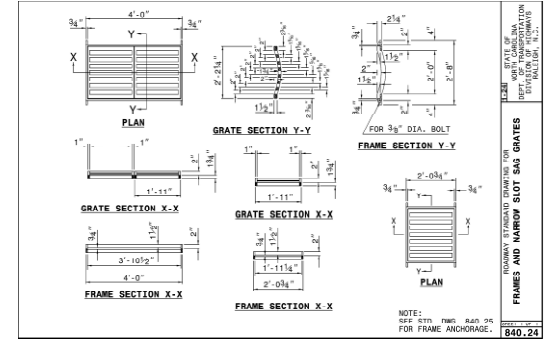
The approved media fill shall be uniform and free of stones, clumps, roots or other similar material greater than 2 inches. Media shall be a homogeneous soil mix of 75-85 percent by volume sand (USDA Soil Textural Classification ASTM C-33) & to 1-5 percent fines (silt and clay), and 3 to 10 percent organic matter (even as plant matter) shall be used.
 All low phosphorus content is desired for the soil mix. NOTE: Media material can be sent to NC Department of Agriculture (NCDA) labs to be analyzed or certified by the supplier.
 Soil media test results shall be provided to the engineer prior to use.
 The media shall be tested to determine an actual drainage rate after placement with the results provided to the certifying engineer.

Bioretention Cell Media and Sod can be obtained from:
 Media: Greensboro Mulch & Supply, 4532 E. NC Highway 150, Greensboro, NC 27224
 Sod: Super-Sod, 1225 Farmers Market Drive, Box 19, Raleigh, NC 27603
 Phone: 336.656.7067, 919.836.0492



Bioretention Cell #1 Riser and Frame + Accessible Grate.
 Finished Grass Floor Elevation: 499.0
 Surrounded by 3H-IV Slope and 4' high black aluminum fence with two 6' gates.

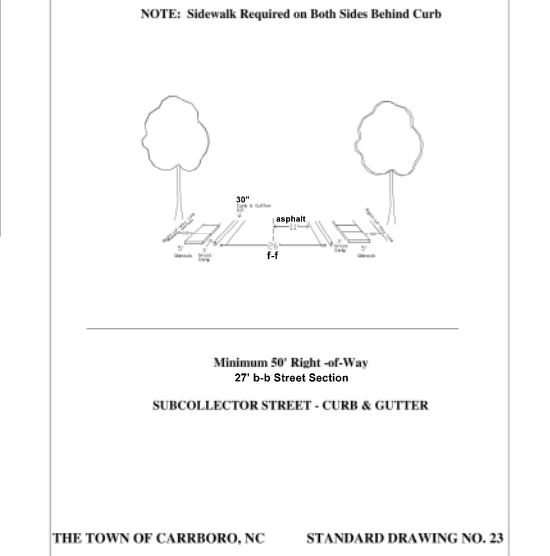
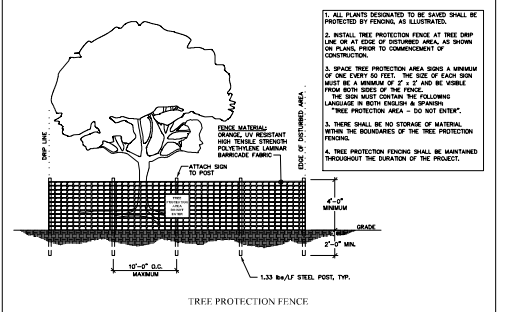
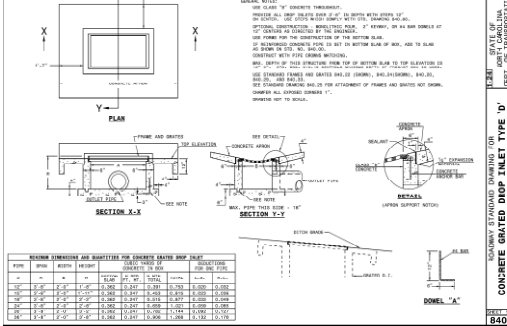
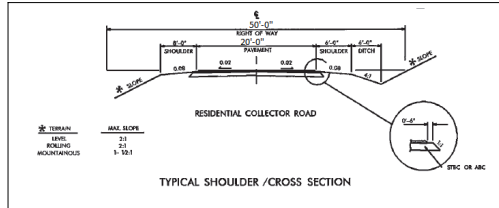
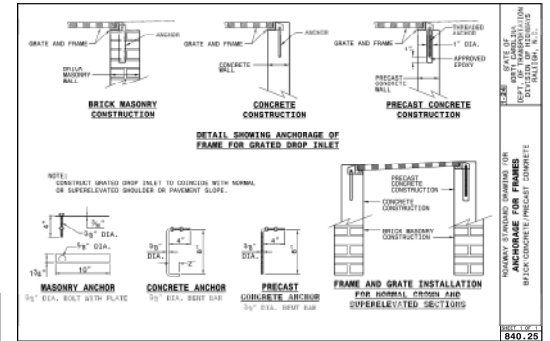
Bioretention Cell #2 Riser and Frame + Accessible Grate.
 Finished Grass Floor Elevation: 499.0
 Surrounded by 3H-IV Slope and 4' high black aluminum fence with two 6' gates.



TRASH SCREEN DETAIL (NTS)

SWP Certification Statement:

The stormwater management facilities and practices shown herein were designed to control and treat the runoff from the first 1 inch of rain over the drainage area. Our designs and plans are to comply with applicable standards and policies found in the N.C. Stormwater Management Manual and to any Town of Carrboro supplements to the SWP Design Manual, and to the best of my knowledge and belief, comply with Town of Carrboro Stormwater Ordinance.



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3-14-2022

NTS

BSE/CDH

1-22-1011

CONSTRUCTION DETAILS

10-22-2024

THE TOWN OF CARRBORO

24924

Charles R. Huffman

1-920

NEWBURY PROPOSED SUBDIVISION

THE L.E.A.D.S. GROUP, P.A.

Land Engineering And Development Services