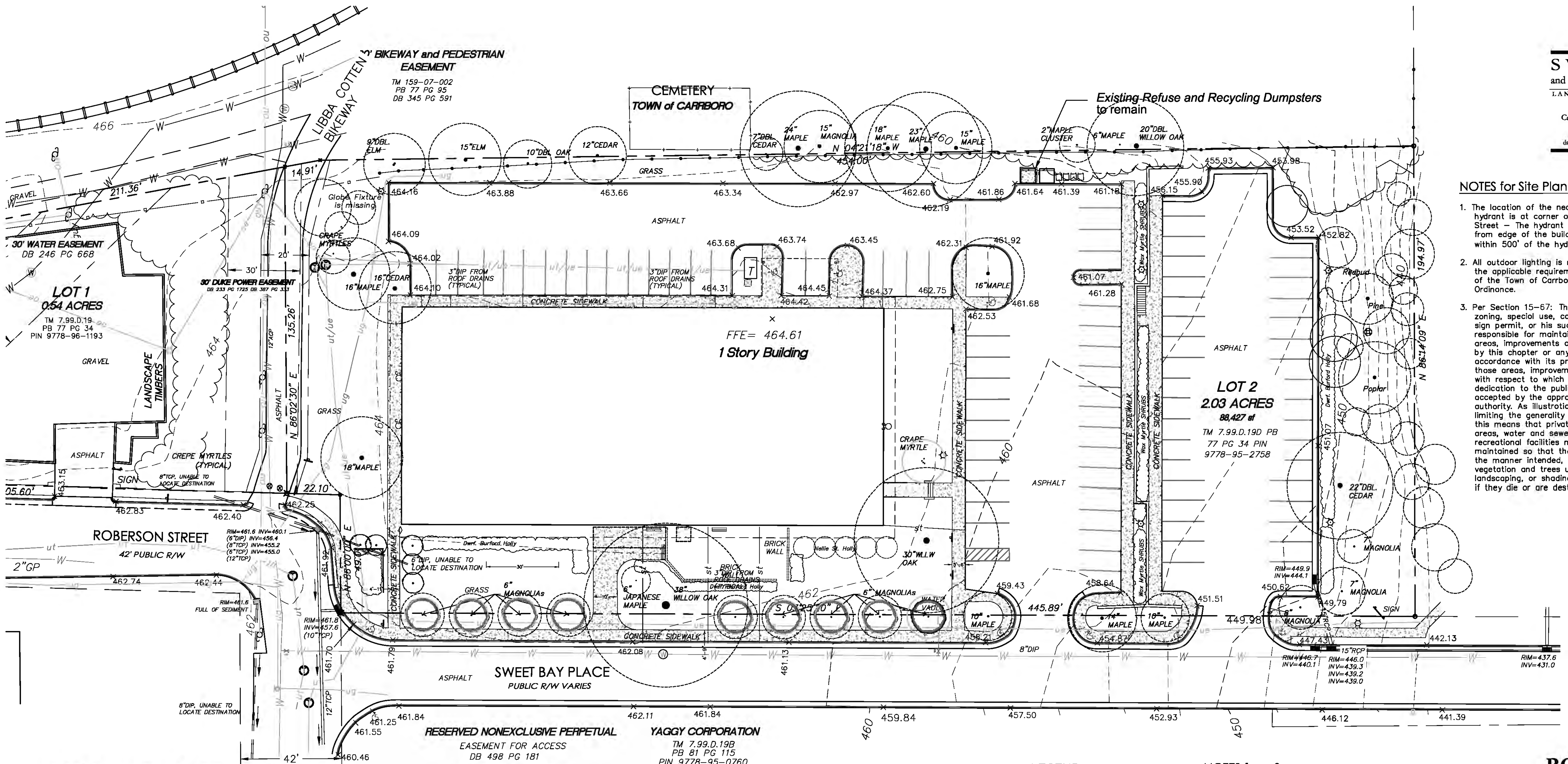


NOTES for Site Plan:

1. The location of the nearest existing fire hydrant is at corner of Roberson and Main Street - The hydrant is located 260 ft. from edge of the building. The building is within 500' of the hydrant.
2. All outdoor lighting is required to meet the applicable requirements of Article XV of the Town of Carrboro Land Use Ordinance.
3. Per Section 15-67: The recipient of any zoning, special use, conditional use, or sign permit, or his successor, shall be responsible for maintaining all common areas, improvements or facilities required by this chapter or any permit issued in accordance with its provisions, except those areas, improvements or facilities with respect to which an offer of dedication to the public has been accepted by the appropriate public authority. As illustrations, and without limiting the generality of the foregoing, this means that private roads and parking areas, water and sewer lines, and recreational facilities must be properly maintained so that they can be used in the manner intended, and required vegetation and trees used for screening, landscaping, or shading must be replaced if they die or are destroyed.



400 Roberson Street Building Improvements

Date: 04/10/15
Job Name: 400 Roberson Street
Job Number: 1957-0041
Project Developer: Tom Caruso
Project Manager: Tom Caruso
Architect: Brian Griffith, AIA, LEED AP BD+C



Owner: Duncan Yaggy
Owner Representative: Nathan Milian, CSM: NR Milian & Associates
Landscape Architect: David Swanson, PLA, Swanson And Associates PA

SITE DATA

Tract size: 2.03 ACRES 88,427 sf
Existing Use Category:
Proposed Use Category: 3,000, 3,100, 3,110, 3,120, 3,130, 3,140, 3,150, 3,200, 3,210, 3,220, 3,230, 3,240 and 3,250

Building Square Footage: 17,864 s.f. (before and after)
Parking Information -
Number of spaces required: 54 spaces required for office use
Number of existing spaces: 87 spaces are existing
Number of proposed spaces: no additional - 87 spaces to be provided
Bicycle Parking provided: 6 - all covered

Orange County Zoning District: B-1G
Overlay District: Downtown Neighborhood Protection District (DNP)
Building Setbacks: (B-1-G) No property line setbacks, 30 ft from street centerline, south property line 8 ft setback adjoining R-3 residential district
PIN 9778-95-2758

Project Description

The commercial facility at 400 Roberson Street has been a member of the Carrboro area for approximately 40 years. Due to changing needs of its occupants the building is proposed to be renovated.

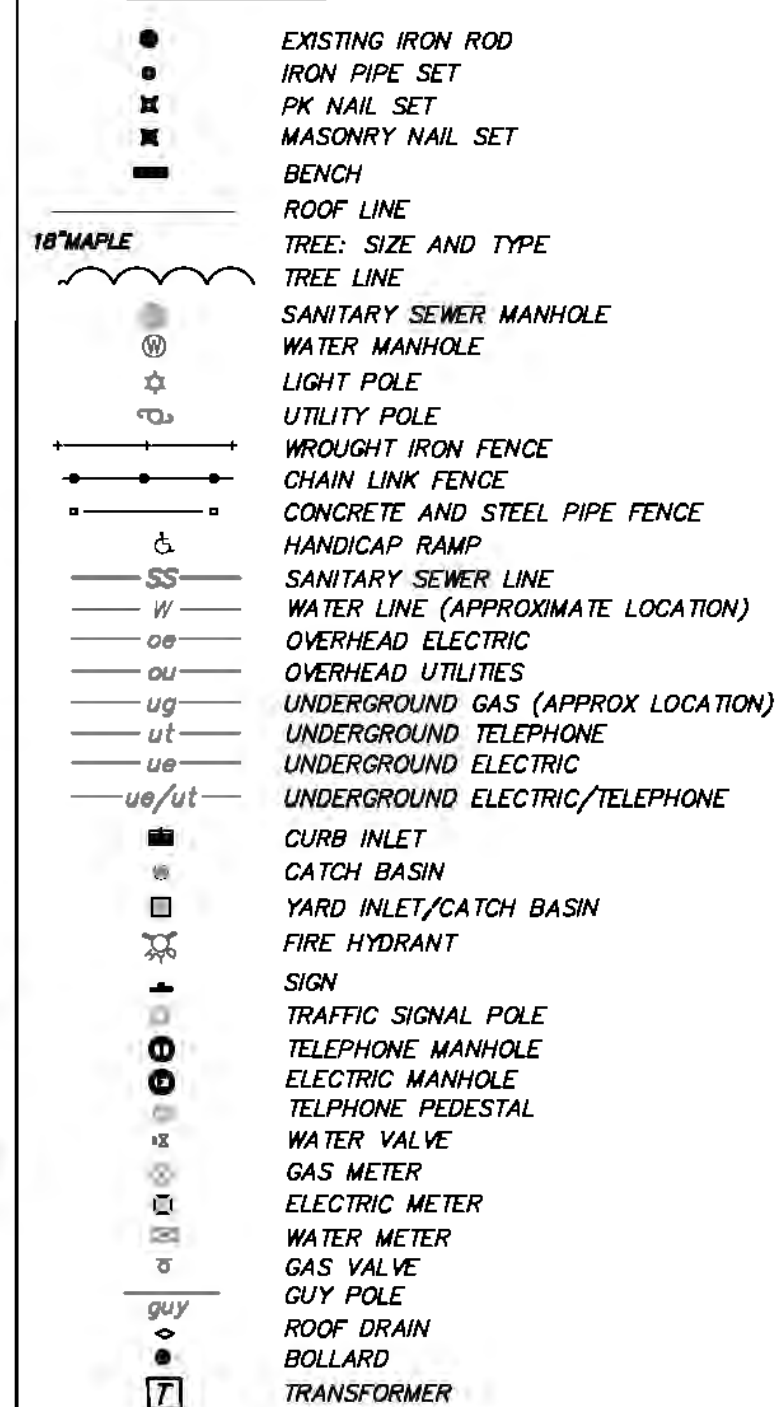
The focus of the renovations are on the exterior walls and roof of the building and the immediate surroundings which include:

- Energy Conservation using modern materials and systems.
- Updating aesthetics of the exterior.
- Better site access around the building and to the public pedestrian system.
- Flexibility in design to meet the needs of tenants and flexibility in adjusting the size of spaces internally in the building.
- Provide a valuable asset to its owner which will allow for future use and upkeep of the facility.

Due to the age of the facility, many existing items on the site and building are not in keeping with Carrboro's current guidelines. However, the proposed project strides toward these goals while meeting the budgetary restrictions of the owner. New items to the project will be in keeping with the Town of Carrboro's requirements.

- Please see the Limits of Work boundary shown on the site plan. All items outside this boundary are existing and no modification or improvement are planned unless noted otherwise.
- The increase in site impervious area is shown to be less than 5,000 square feet in area.
- The architectural building sconces will be under 1,800 lumens.
- Wall packs to provide nighttime site access and security will be shielded & dark sky approved.
- HVAC condensing units will be provided on the ground and be screened with new landscaping.
- The building materials shown in the rendering are representative. Please refer to the manufacturer samples for the specific colors.

LEGEND



NOTES from Survey:

1. BASE MAP FROM Survey by RILEY SURVEYING, P.A. Phillip Riley, PLS, Pres. Riley Surveying, PA 3326 Durham Chapel Hill Blvd. Ste B-100 Durham, NC 27707 919-667-0742 919-730-3051(cell) DATED AUG., 10, 2000, REV. SPT. 27, 2000 and JAN. 08, 2001.
- NOTE: Due to the date of the survey, if user relies on any information shown on the digital version of this survey, it shall be without any liability to Riley Surveying and Jose L. Torres, PLS.
1. AREA BY COORDINATES.
2. VERTICAL DATUM BASED ON NC85 MONUMENT "OR 14", ELEV=464.76 NGVD '29
3. HORIZONTAL GROUND DISTANCES SHOWN HEREON.
4. UNDERGROUND UTILITIES SHOWN HEREON SHOULD BE CONSIDERED AS APPROXIMATE ONLY. CONTRACTORS ARE ADVISED TO HAVE ALL UNDERGROUND UTILITIES MARKED PRIOR TO ANY EXCAVATIONS.

400 ROBERSON STREET

Carrboro, NC

The YAGGY CORPORATION

revisions

1. May 26, 2015 (Town Comments)

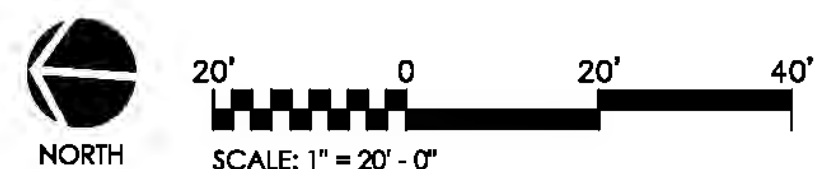
date April 10, 2015

Sheet Name
Existing Conditions Plan

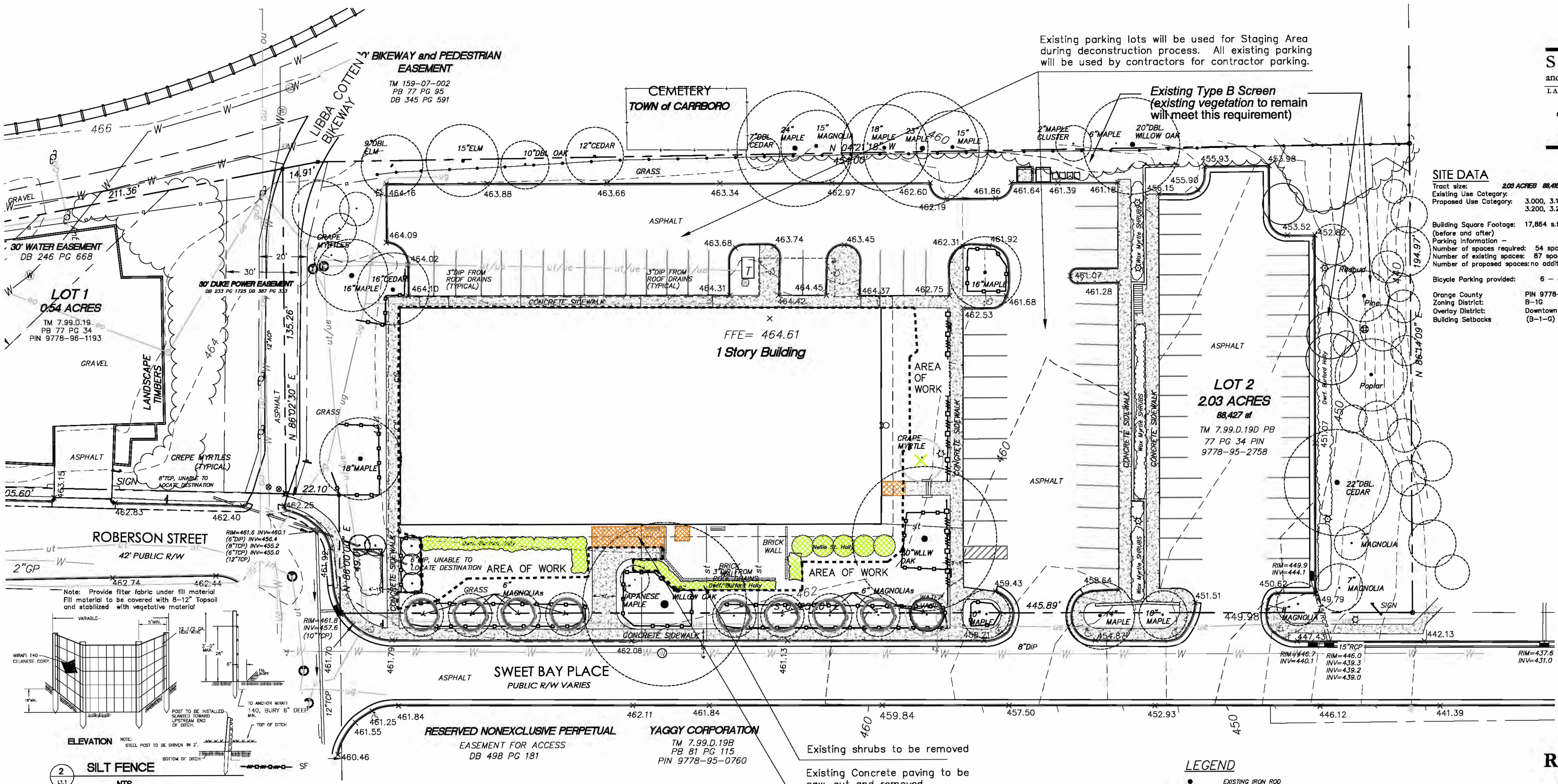
Sheet Number

L1.0

For Review



SITE DATA
Tract size: 2.08 ACRES 88,415 sf
Existing Use Category:
Proposed Use Category: 3,000, 3,100, 3,110, 3,120, 3,130, 3,140, 3,150, 3,200, 3,210, 3,220, 3,230, 3,240 and 3,250
Building Square Footage: 17,864 s.f.
(before and after)
Parking Information -
Number of spaces required: 54 spaces required for office use
Number of existing spaces: 87 spaces are existing
Number of proposed spaces: no additional - 87 spaces to be provided
Bicycle Parking provided: 6 - all covered
Orange County
Zoning District:
Overlay District:
Building Setbacks
PIN 9778-95-2758
B-1G
Downtown Neighborhood Protection District (DNP)
(B-1-G) No property line setbacks, 30 ft from street centerline, south property line 8 ft setback adjoining R-3 residential district



Tree Protection Notes

- This plan is subject to the tree protection provisions of Section 15-320 of the Town of Carrboro LUG. Trees that die during construction will require replacement subject to Town Approval. The Town can require replacement trees of up to 5" in caliper depending upon the size of the tree that dies.
- The permit recipient shall be responsible for ensuring that all existing trees specifically shown on approved plans as being retained to comply with this article are protected, during the construction process, from removal, destruction, or injury. Tree protection methods shall meet accepted industry standards in accordance with ANSI A300 and associated Best Practices.
- The permit recipient shall ensure that, before any excavation takes place on the site, a barrier is erected around the Tree Protection Perimeter of all trees to be retained on the site that are within the area to be disturbed by construction activities, and other provisions made such as are necessary and sufficient to put on notice all construction personnel that the area within the Tree Protection Perimeter of all such trees is to be retained is not to be disturbed. During the construction process, the permit recipient shall ensure that all activities are kept outside the Tree Protection Perimeter of all such trees. The barrier required by this subsection shall be installed before the issuance of any grading or construction permits for such site.
- The permit recipient shall ensure that all such trees to be retained on the site that are within the area to be disturbed by construction activities, or near roads within the development, shall be further protected from accidental equipment damage by wrapping their trunks with sections of snow fence or boards wired together from the ground to a height six (6) feet above the ground.
- The permit recipient shall ensure that land disturbing activity shall not occur, and that building materials, construction trailers, vehicles, equipment or machinery, dirt, fill, and/or other debris shall not be stored within the Tree Protection Perimeter of such trees as are to be retained.
- The permit recipient shall ensure that all such trees as are to be preserved shall not be used as supports for roping, cable, signs, or fencing, and that nails shall not be driven into the trunks of trees.
- The permit recipient shall ensure that any damage done during construction to the limbs or trunks of such trees as are to be retained shall be properly treated so as to assure the continued health of the trees. The Town shall be consulted, and may suggest that the applicant seek advice from landscape or forestry professionals as to the appropriate method for such treatment.
- Prior to the commencement of any land alteration on a site for which a Tree Protection Plan has been approved, including all clearing or grading activities, the land use administrator shall certify in writing based on an inspection of the site that all tree protection measures required by the approved Tree Protection Plan have been put in place properly and accurately. The land use administrator shall provide this certification in a timely fashion on being notified by the permit recipient that the site is ready for such inspection and certification.

LEGEND

- EXISTING IRON ROD
- IRON PIPE SET
- PK NAIL SET
- MASONRY NAIL SET
- BENCH
- ROOF LINE
- TREE: SIZE AND TYPE
- TREE LINE
- SANITARY SEWER MANHOLE
- WATER MANHOLE
- LIGHT POLE
- WROUGHT IRON FENCE
- CHAIN LINK FENCE
- CONCRETE AND STEEL PIPE FENCE
- HANDICAP RAMP
- SANITARY SEWER LINE
- WATER LINE (APPROXIMATE LOCATION)
- OVERHEAD ELECTRIC
- UNDERGROUND GAS (APPROX LOCATION)
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- UNDERGROUND ELECTRIC/TELEPHONE
- CURB INLET
- CATCH BASIN
- YARD INLET/CATCH BASIN
- FIRE HYDRANT
- SIGN
- TRAFFIC SIGNAL POLE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE PEDESTAL
- WATER VALVE
- GAS METER
- ELECTRIC METER
- WATER METER
- GAS VALVE
- GY VALVE
- ROOF DRAIN
- BOLLARD
- TRANSFORMER

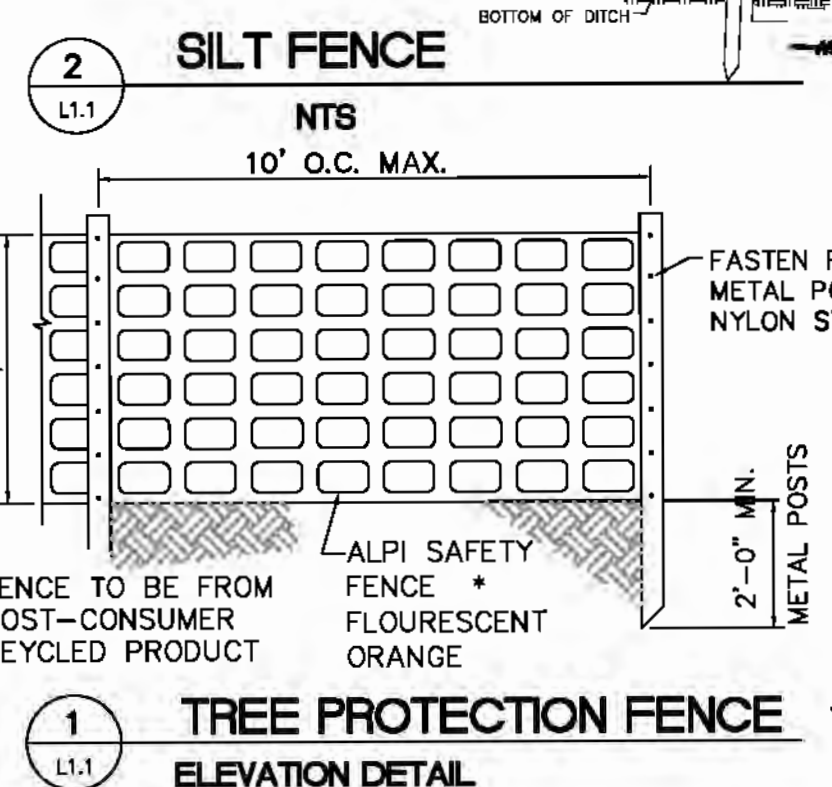
LEGEND - Site Work	
Property Line & Setback Line	
Existing Significant Tree	
Existing Tree to be Removed	
Existing Shrubs to be removed	
Limits of Construction	
Existing Paving to be removed	
Existing Concrete Walk	
Existing Fence	
Existing Concrete Wall	
Sanitary Sewer	
Water - meter	
Pipe (Storm Drain)	
Electric	
Gas	
Tree Protection Fence	
Silt Fence	
Existing Feature (in Italics)	
Proposed Feature (Normal font)	
Existing Feature to be removed	

NOTES:

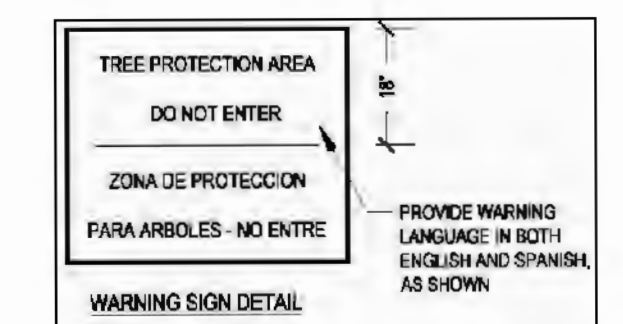
- BASE MAP FROM Survey by RILEY SURVEYING, P.A. Philip Riley, PLS, Pres. Riley Surveying, PA 3326 Durham Chapel Hill Blvd. Ste B-100 Durham, NC 27707 919-667-0742 919-730-3051(cell) DATED AUG., 10, 2000, REV. SPT. 27, 2000 and JAN. 08, 2001.
- AREA BY COORDINATES.
- HORIZONTAL DATUM BASED ON NCGS MONUMENT "OR 14", ELEV=464.76 NGVD '29 SHOULD BE CONSIDERED AS APPROXIMATE ONLY. CONTRACTORS ARE ADVISED TO HAVE ALL UNDERGROUND UTILITIES MARKED PRIOR TO ANY EXCAVATIONS.
- UNDERGROUND UTILITIES SHOWN HEREON

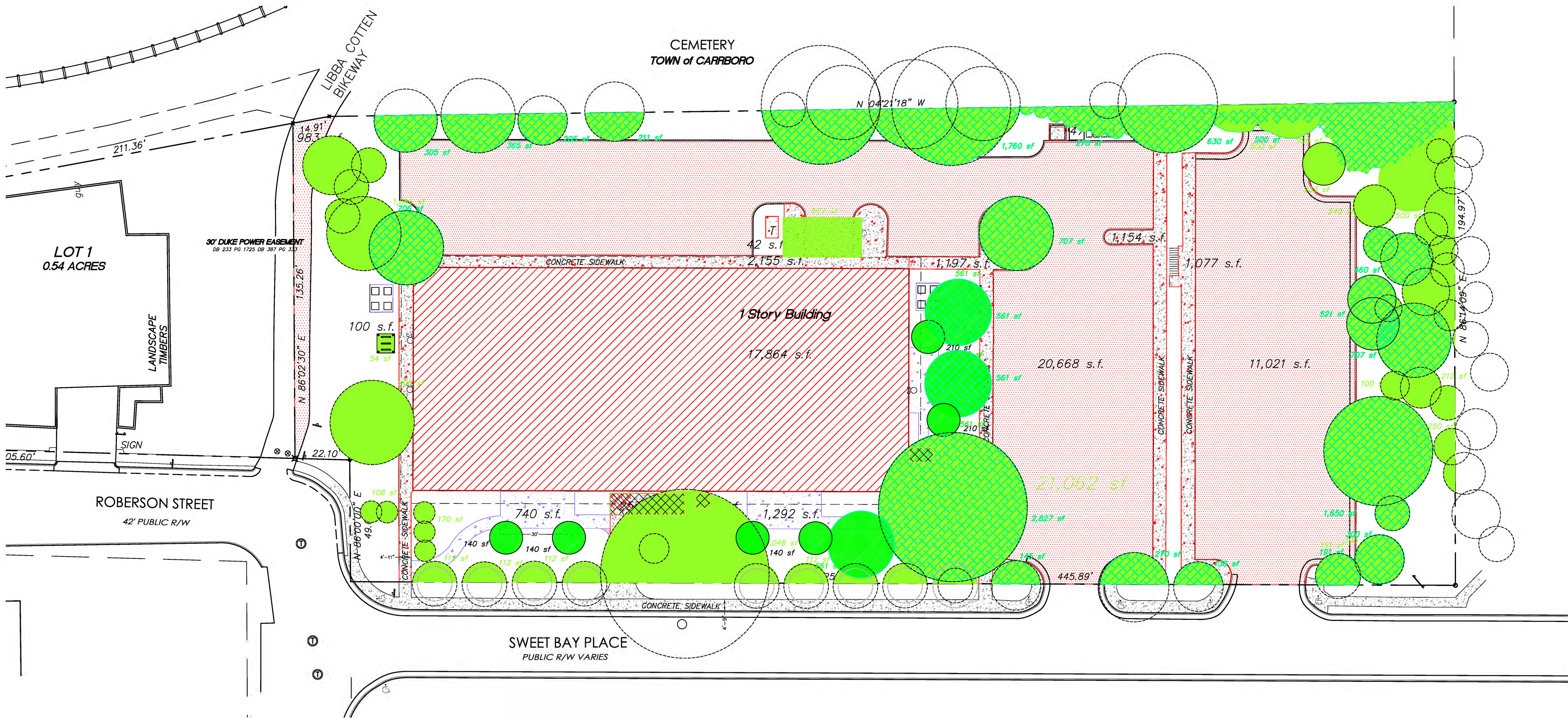
400 ROBERSON STREET
Carrboro, NC
The YAGGY CORPORATION

revisions
1. May 26, 2015 (Town Comments)
date
April 10, 2015
Sheet Name
Demolition and Tree Protection Plan
Sheet Number
L1.1
For Review



SPACE SIGNS EVERY 50 FEET ALONG TREE PROTECTION FENCING
THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE.
THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH:
"TREE PROTECTION ZONE, KEEP OUT".





LEGEND for TREE CANOPY CALCULATIONS

Total Canopy Area using canopy based on the canopy related to tree caliper size radius LOT AREA = 88,427 SF REQUIRED at 30% of LOT AREA	= 26,528 SF		
EXISTING TREE CANOPY			
EXISTING CANOPY AREA	= 22,590 SF		22,590 sf
OTHER COVERED CANOPY AREA	= 504 SF		
PROPOSED TREE CANOPY			
PROPOSED CANOPY AREA Based on 8 new trees at 500 sf each	= 4,000 SF		4,000 sf
OTHER COVERED CANOPY AREA	= 54 SF		
TOTAL CANOPY AREA			
Total Canopy Area ~ 30+ %	= 26,590 SF		
TREE CANOPY FOR VEHICULAR ACCOMMODATIONS AREA (VAA)			
Total Canopy Area using canopy based on the canopy related to tree caliper size radius LOT PARKING AREA (20,688 SF + 11,021 SF) REQUIRED at 35% of VAA EXISTING CANOPY AREA for VAA EXISTING AREA	= 31,689 SF = 11,091 SF = 14,686 SF = 46.3%		14,686 sf

IMPERVIOUS SURFACE AREA CALCULATIONS

EXISTING IMPERVIOUS SURFACE = 55,743 SQ. FT.	
AREA IMPERVIOUS SURFACE	
BUILDING FOOTPRINT 18,000 SF	
PARKING (ASPHALT) 31,689 SF	
WALKWAYS 6,007 SF DUMPSTER PAD 47 SF	
AREA IMPERVIOUS SURFACE TO BE REMOVED = 398 SF	
CONCRETE WALKS, PADS 398 SF	
AREA IMPERVIOUS SURFACE TO BE ADDED = 2,232 SF	
HVAC PADS 200 SF CONCRETE PAVING 2,032 SF	

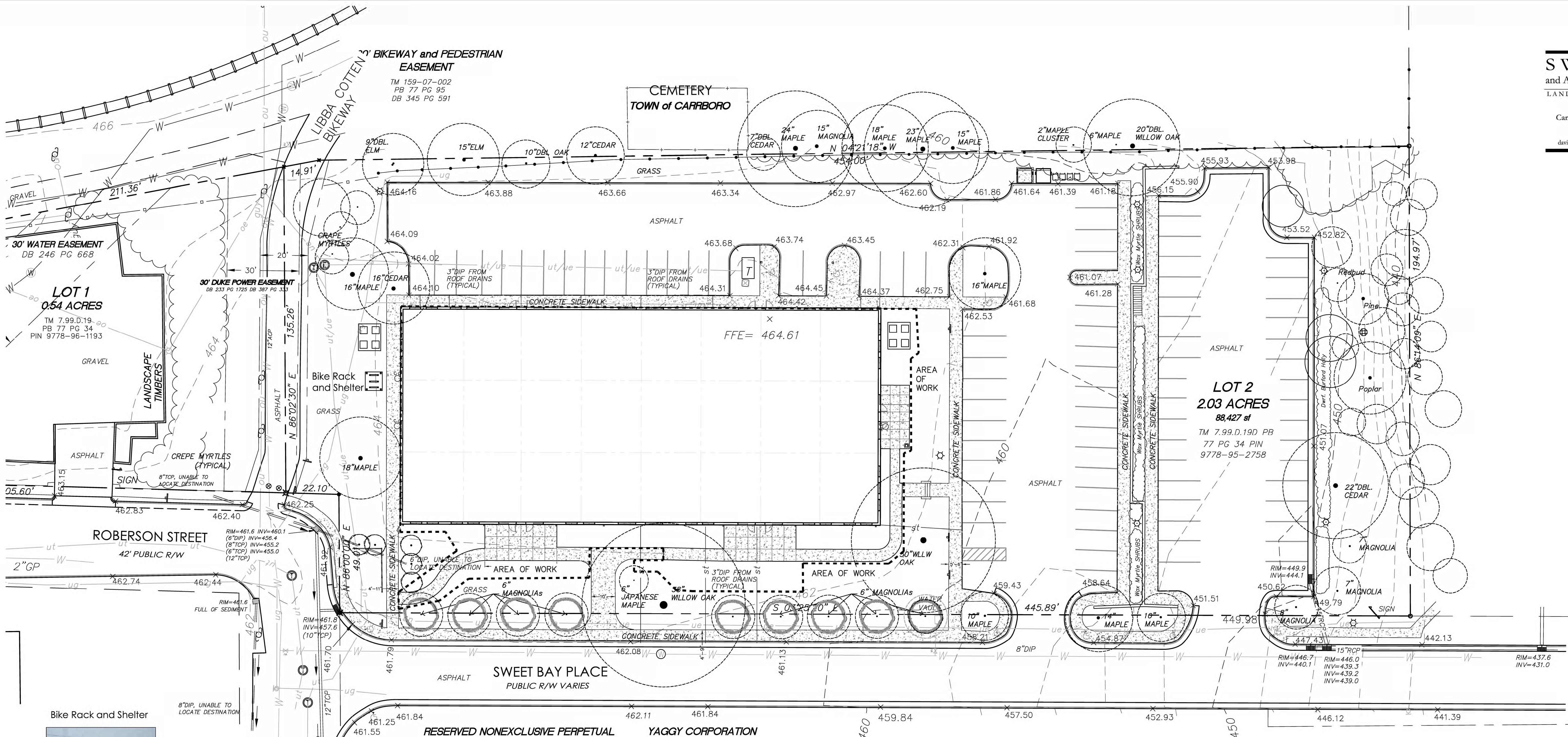
NOTES:

1. BASE MAP FROM Survey by RILEY SURVEYING, P.A.
Phillip Riley, PLS, Pres. Riley Surveying, PA
3326 Durham Chapel Hill Blvd. Ste B-100
Durham, NC 27707
919-667-0742
919-730-3051(cell)
DATED AUG., 10, 2000, REV. SPT. 27, 2000 and
JAN., 08, 2001
NOTE: due to the date of the survey, if user
relies on any information shown on the
digital version of this survey, it shall be
without any liability to Riley Surveying and
Jose L. Torres, PLS.
2. AREA BY COORDINATES.
3. VERTICAL DATUM BASED ON NCOS MONUMENT
"OR 14", ELEV=464.76 NGVD '29
4. HORIZONTAL GROUND DISTANCES SHOWN
HEREON.
5. UNDERGROUND UTILITIES SHOWN HEREON
SHOULD BE CONSIDERED AS APPROXIMATE
ONLY. CONTRACTORS ARE ADVISED TO HAVE
ALL UNDERGROUND UTILITIES MARKED PRIOR
TO ANY EXCAVATIONS.

400
ROBERSON
STREET
Carrboro, NC

The YAGGY
CORPORATION

revisions	
1. May 26, 2015 (Town Comments)	
date	April 10, 2015
Sheet Name	Impervious Surface Area Calculations Plan
Sheet Number	L1.2
For Review	



Wareham Cycle Shelter

- Manufactured from round steel supports which are shot blasted and polyester powder coated to ensure a rust free frame
- Tough and scratch resistant polycarbonate roof shields cycles from the elements
- Excellent visibility reduces cycle theft and vandalism
- Heavy duty steel construction ensures structure resistance
- Design does not allow shelter to be vandalized by being climbed on
- Weather resistant
- Utilizes light weight aluminum cross members with a unique brackets system which allows for a quick and easy installation
- Can accommodate 6 cycles
- 15 Year Guarantee

<https://www.nobutts.com/Cycle-Shelters/Wareham-Cycle-Shelter#sthash.T6xplvBA.dpuf>



Concept Perspective View
from Concept plan by Bobbitt A&E, PLLC
600 Germantown Rd., Raleigh, NC
design@bobbitt.com (919) 851-1980

BOBBITT
DESIGN/BUILD

LEGEND - Site Work	
Property Line & Setback Line	
Existing Significant Tree	
Existing Tree to be Removed	
Existing Shrubs to be removed	
Limits of Construction	
Existing Paving to be removed	
Existing Concrete Walk	
Existing Fence	
Existing Concrete Wall	
Sanitary Sewer	
Water - meter	
Pipe (Storm Drain)	
Electric	
Gas	
Tree Protection Fence	
Silt Fence	
Existing Feature (in Italics)	
Proposed Feature (Normal font)	
Existing Feature to be removed	

LEGEND	
	EXISTING IRON ROD
	IRON PIPE SET
	PK NAIL SET
	MASONRY NAIL SET
	BENCH
	ROOF LINE
	TREE: SIZE AND TYPE
	TREE LINE
	SANITARY SEWER MANHOLE
	WATER MANHOLE
	LIGHT POLE
	UTILITY POLE
	WROUGHT IRON FENCE
	CHAIN LINK FENCE
	CONCRETE AND STEEL PIPE FENCE
	HANDICAP RAMP
	SANITARY SEWER LINE
	WATER LINE (APPROXIMATE LOCATION)
	OVERHEAD ELECTRIC
	OVERHEAD UTILITIES
	UNDERGROUND GAS (APPROX LOCATION)
	UNDERGROUND TELEPHONE
	UNDERGROUND ELECTRIC
	UNDERGROUND ELECTRIC/TELEPHONE
	CURB INLET
	CATCH BASIN
	YARD INLET/CATCH BASIN
	FIRE HYDRANT
	SIGN
	TRAFFIC SIGNAL POLE
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE PEDESTAL
	WATER VALVE
	GAS METER
	ELECTRIC METER
	WATER METER
	GAS VALVE
	GUY POLE
	ROOF DRAIN
	BOLLARD
	TRANSFORMER

NOTES:

- BASE MAP FROM Survey by RILEY SURVEYING, P.A. Philip Riley, PLS. Pres. Riley Surveying, PA 3326 Durham Chapel Hill Blvd. Ste B-100 Durham, NC 27707 919-667-0742 919-730-3051(cell)
- DATED AUG., 10, 2000, REV. SPT. 27, 2000 and JAN. 08, 2001.
- NOTE: Due to the date of the survey, if user relies on any information shown on the digital version of this survey, it shall be without any liability to Riley Surveying and Jose L. Torres, PLS.
- AREA BY COORDINATES.
- VERTICAL DATUM BASED ON NCOS MONUMENT "OR 14", ELEV=464.76 NGVD '29
- HORIZONTAL GROUND DISTANCES SHOWN HEREON.
- UNDERGROUND UTILITIES SHOWN HEREON SHOULD BE CONSIDERED AS APPROXIMATE ONLY. CONTRACTORS ARE ADVISED TO HAVE ALL UNDERGROUND UTILITIES MARKED PRIOR TO ANY EXCAVATIONS.

400
ROBERSON STREET
Carrboro, NC

The YAGGY CORPORATION

revisions

1. May 26, 2015 (Town Comments)

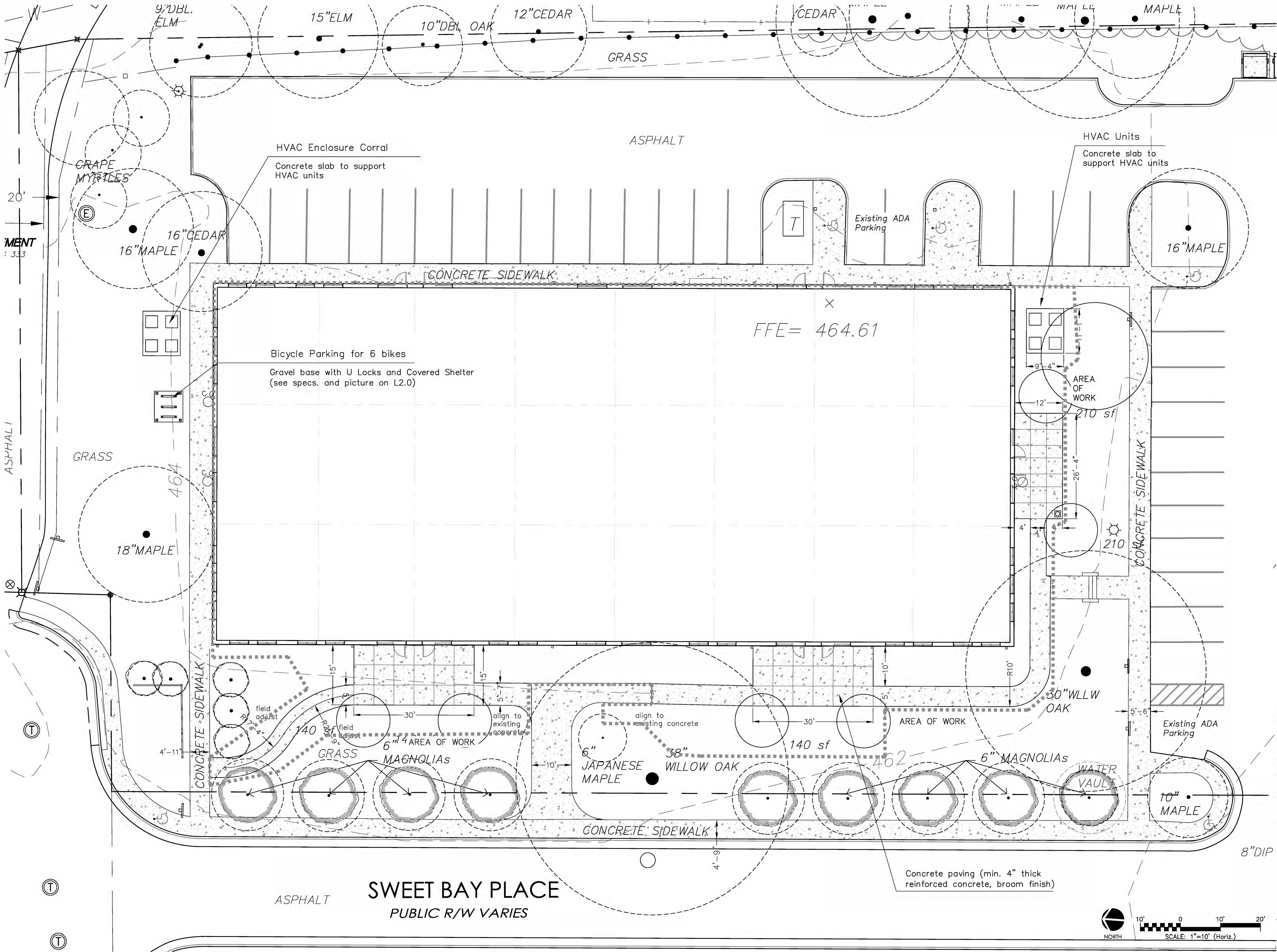
date April 10, 2015

Sheet Name
Site Plan

Sheet Number

L2.0

For Review



SWANSON
and ASSOCIATES P.A.
LANDSCAPE ARCHITECTURE

100 E. Carr Street
Carrboro, North Carolina 27510
Ph. (919) 929-9000
Fax (919) 929-1500
david@swansonlandscapearchitecture.com

400
ROBERSON
STREET
Carrboro, NC
The YAGGY
CORPORATION

revisions
1. May 26, 2015 (Town Comments)

date April 10, 2015

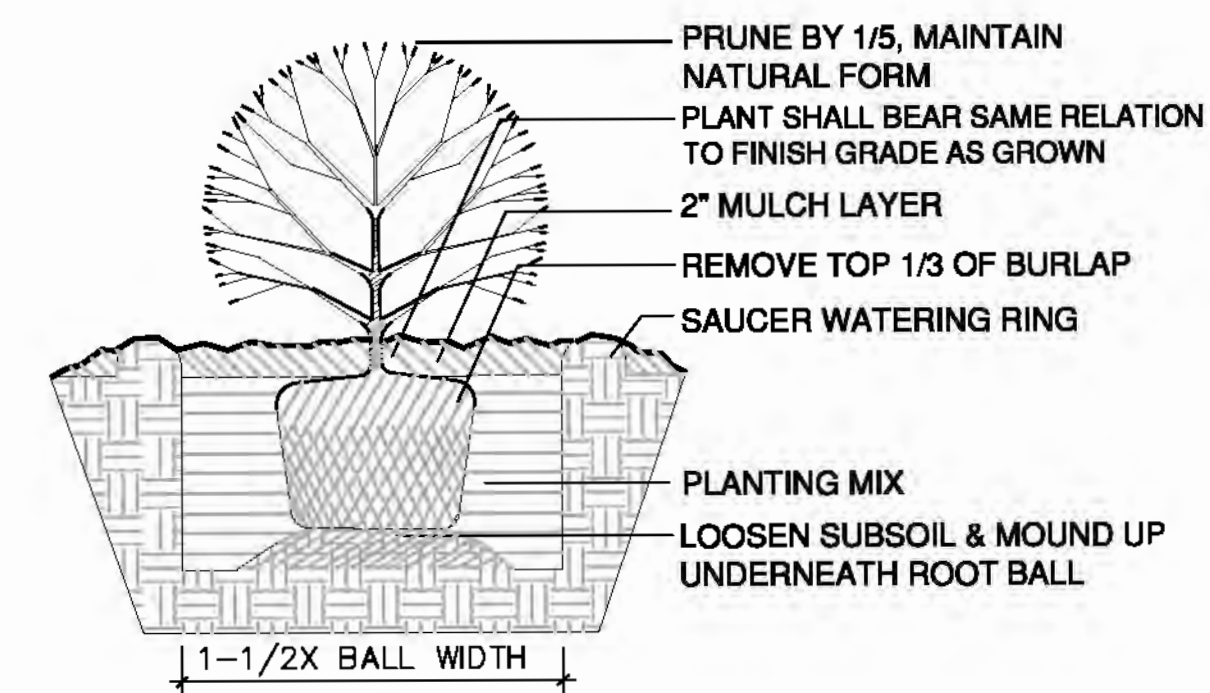
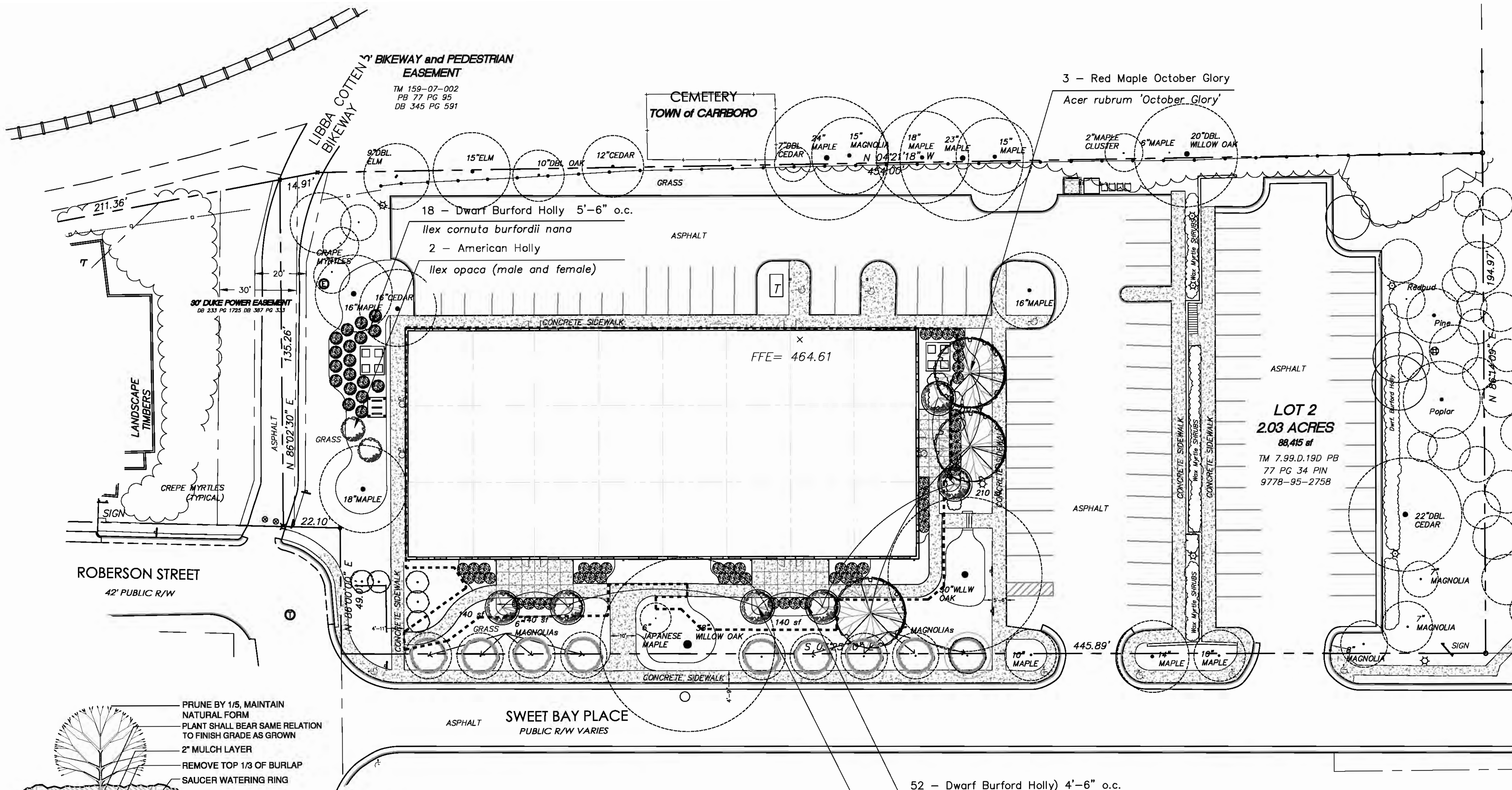
Sheet Name
Proposed Detailed
Hardscape Plan

Sheet Number
L2.1

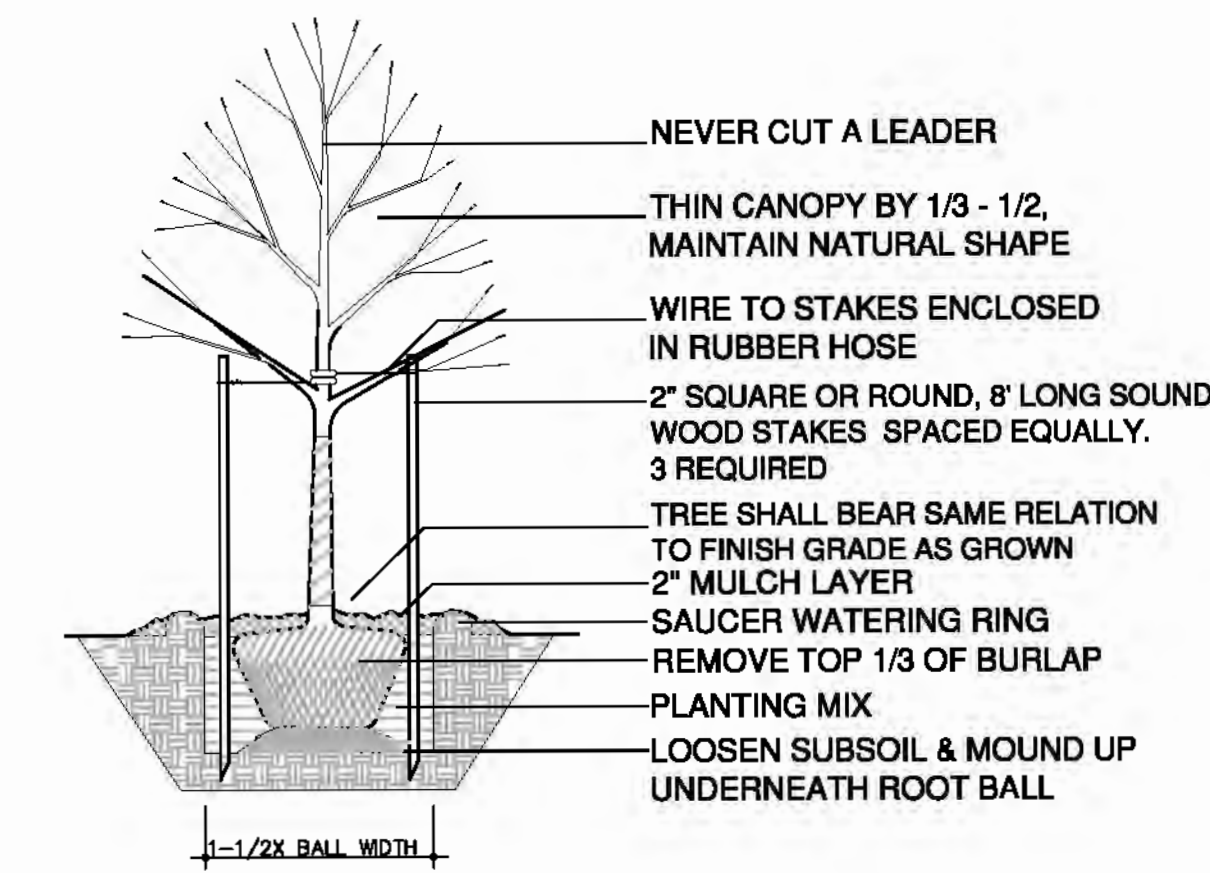
For Review



10' 0 10' 20'
SCALE: 1"=10' (Horiz.)



2 Shrub Detail
L3.0 N.T.S.



1 Tree Detail
L3.0 Scale: N.T.S.

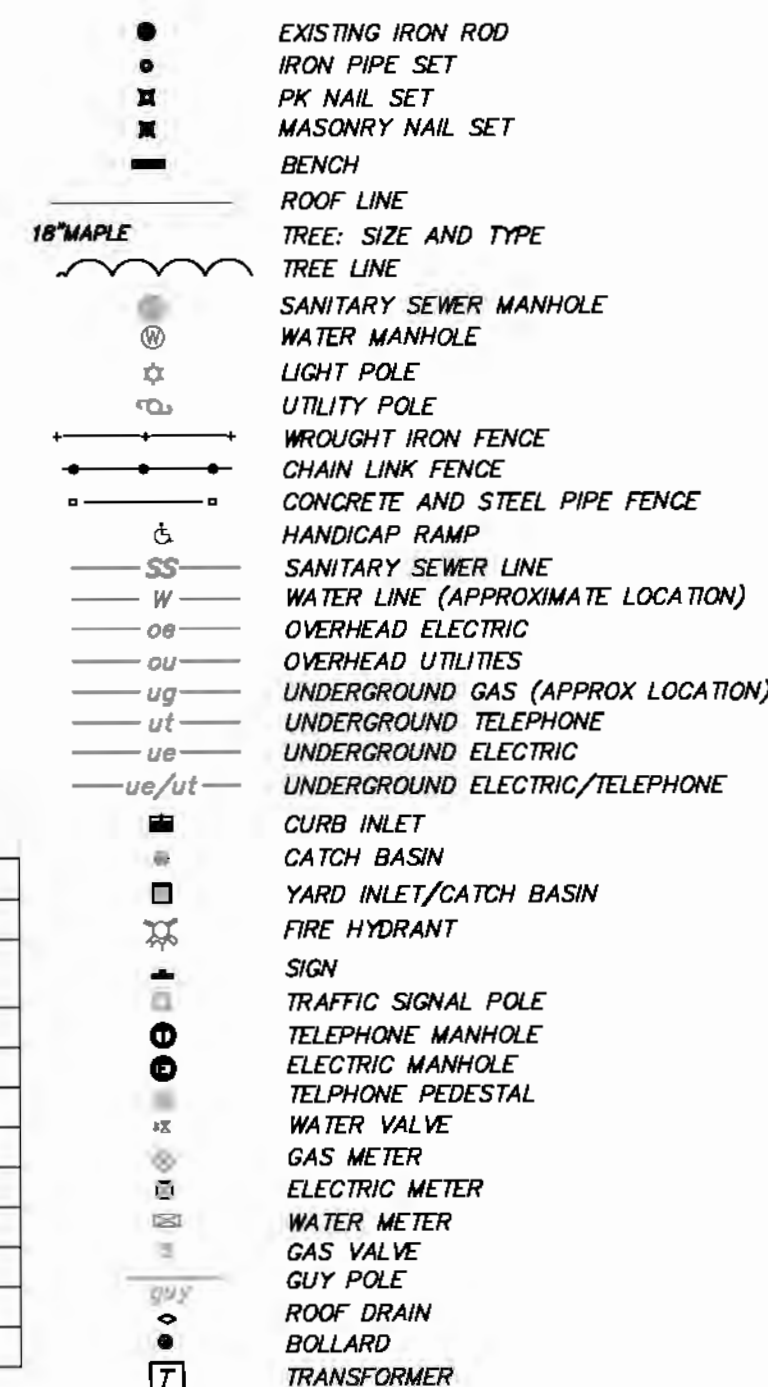
PLANTING NOTES:

- EXACT LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE INSTALLER. PLANTINGS SHALL BE ADJUSTED AS NECESSARY TO AVOID CONFLICT WITH UTILITIES.
- SUBSOIL CONDITIONS AND ADDITIONAL SUBSURFACE DRAINAGE REQUIREMENTS SHALL BE DETERMINED IN THE FIELD BY THE INSTALLER. ANY CONDITIONS DETRIMENTAL TO THE GROWTH AND HEALTH OF PROPOSED PLANT MATERIALS SHALL BE ADJUSTED TO MEET SITE CONDITIONS AND BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- PLANT MATERIAL SHALL BE PLANTED SO AS TO BEAR THE SAME RELATIONSHIP TO GRADE AS IN THE FIELD OR CONTAINER IN WHICH IT WAS GROWN.
- THE INSTALLER SHALL STAKE OUT ALL TREE, SHRUB AND BED EDGE LOCATIONS FOR THE LANDSCAPE ARCHITECT APPROVAL PRIOR TO BEGINNING PLANTING OPERATIONS. NOTIFY LANDSCAPE ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
- MULCH ALL DISTURBED AREAS WITH A MINIMUM OF 3" DEEP LAYER OF (DOUBLE) SHREDDED HARDWOOD BARK MULCH AS SHOWN ON PLANS. ALL DISTURBED SOIL SURFACES SHALL BE COVERED EITHER WITH LAWN, PLANTS, OR MULCH.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDING, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- IN CASE OF A DISCREPANCY BETWEEN THE PLANT COUNT ON THE PLANT LIST AND THE NUMBER OF PLANTS SHOWN ON THE PLAN, THE NUMBER OF PLANTS ACTUALLY DRAWN SHALL BE THE NUMBER REQUIRED. ALL PLANT MATERIAL TO MEET AAN STANDARDS FOR SIZE AND QUALITY.
- ALL PLANTS TO HAVE MIN. 1 YEAR WARRANTY.
- RESTORE DISTURBED LAWN AREAS AROUND BUILDING AND CONSTRUCTION SITE WITHIN LIMITS OF DISTURBANCE.

PLANT SCHEDULE

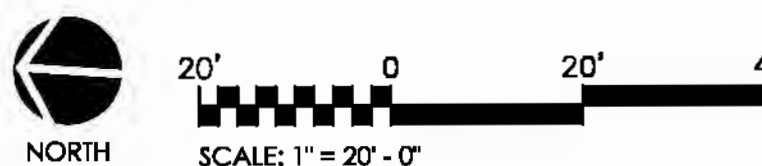
	SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS / DESIGN INTENT
TREES	Ar	3	Acer rubrum	Red Maple	3-4" cal	Shade Canopy Tree
	Cc	6	Cercis canadensis	Red Bud	5-6'	Small Flowering Tree
	Cp	alt	Crataegus phaenopyrum	Washington Hawthorn	8-10'	Winter Interest
SHRUBS	lo	2	Ilex opaca (male & female)	American Holly	6-8'	Large Scale Shrub/Tree
	IRP	alt	Ilex x Red 'Patriot'	Patriot Red Holly	6-8'	
	INS	alt	Ilex x Nellie R Stevens	Nellie Stevens Holly	6-8'	
	AG	alt	Cephalotaxus harringtonia 'Prostrata'	Spreading Japanese Plum Yew	3 GAL.	Evergreen spreading shrub
	lcc	70	Ilex cornuta Burfordii Nana	Dwarf Burford Holly	5 GAL.	Evergreen shrub for foundation plantings

LEGEND



NOTES:

- BASE MAP FROM SURVEY BY RILEY SURVEYING, P.A. Philip Riley, PLS, Pres. Riley Surveying, PA 3326 Durham Chapel Hill Blvd. Ste B-100 Durham, NC 27707 919-667-0742 919-730-3051 (cell) DATED AUG. 10, 2000, REV. SPT. 27, 2000 AND JAN. 08, 2001. NOTE: Due to the date of the survey, if user relies on any information shown on the digital version of this survey, it shall be without any liability to Riley Surveying and Jose L. Torres, PLS.
- AREA BY COORDINATES.
- VERTICAL DATUM BASED ON NGCS MONUMENT "OR 14", ELEV=464.76 NGVD '29
- HORIZONTAL GROUND DISTANCES SHOWN HEREON. UNDERGROUND UTILITIES SHOWN HEREON SHOULD BE CONSIDERED AS APPROXIMATE ONLY. CONTRACTORS ARE ADVISED TO HAVE ALL UNDERGROUND UTILITIES MARKED PRIOR TO ANY EXCAVATIONS.



400 ROBERSON STREET

Carrboro, NC

The YAGGY CORPORATION

revisions

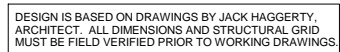
1. May 26, 2015 (Town Comments)

April 10, 2015

Sheet Name
Landscape Plan

Sheet Number
L3.0

For Review



① FLOOR PLAN - V5
1/8" = 1'-0"



② SWEET BAY SKETCH

**CONCEPTUAL
NOT FOR CONSTRUCTION**

BOBBITT A&E, PLLC
600 Germantown Road
Raleigh, North Carolina 27607

BOBBITT
DESIGN • BUILD

600 Germantown Road | Raleigh, North Carolina 27607
Ph (919) 851-1980 | Fx (919) 851-1982 |
design@bobbitt.com

DRAWN BY:
BDG

CHK BY: -

YAGGY CORPORATION PROPERTY
400 ROBERSON STREET
CARRBORO, NORTH CAROLINA

24 X 36
As indicated

04/09/15

1957-0041

FLOOR PLAN

A1
OF 1