

400 Roberson Street Building Improvements

Date: 04/10/15
Job Name: 400 Roberson Street
Job Number: 1957-0041
Project Developer: Tom Caruso
Project Manager: Tom Caruso
Architect: Brian Griffith, AIA, LEED AP BD+C



Owner: Duncan Yaggy
Owner Representative: Nathan Milian, CSM: NR Milian & Associates
Landscape Architect: David Swanson, PLA, Swanson And Associates PA

SITE DATA

Tract size: 2.03 ACRES 88,427 sf
Existing Use Category: 3.000, 3.100, 3.110, 3.120, 3.130, 3.140, 3.150, 3.200, 3.210, 3.220, 3.230, 3.240 and 3.250

Building Square Footage: 17,864 s.f. (before and after)

Parking Information -

Number of spaces required: 54 spaces required for office use

Number of existing spaces: 87 spaces are existing

Number of proposed spaces: no additional - 87 spaces to be provided

Bicycle Parking provided: 6 - all covered

Orange County PIN 9778-95-2758

B-1G

Downtown Neighborhood Protection District (DNP)

(B-1-G) No property line setbacks, 30 ft from street centerline,
south property line 8 ft setback adjoining R-3 residential district

Project Description

The commercial facility at 400 Roberson Street has been a member of the Carrboro area for approximately 40 years. Due to changing needs of its occupants the building is proposed to be renovated.

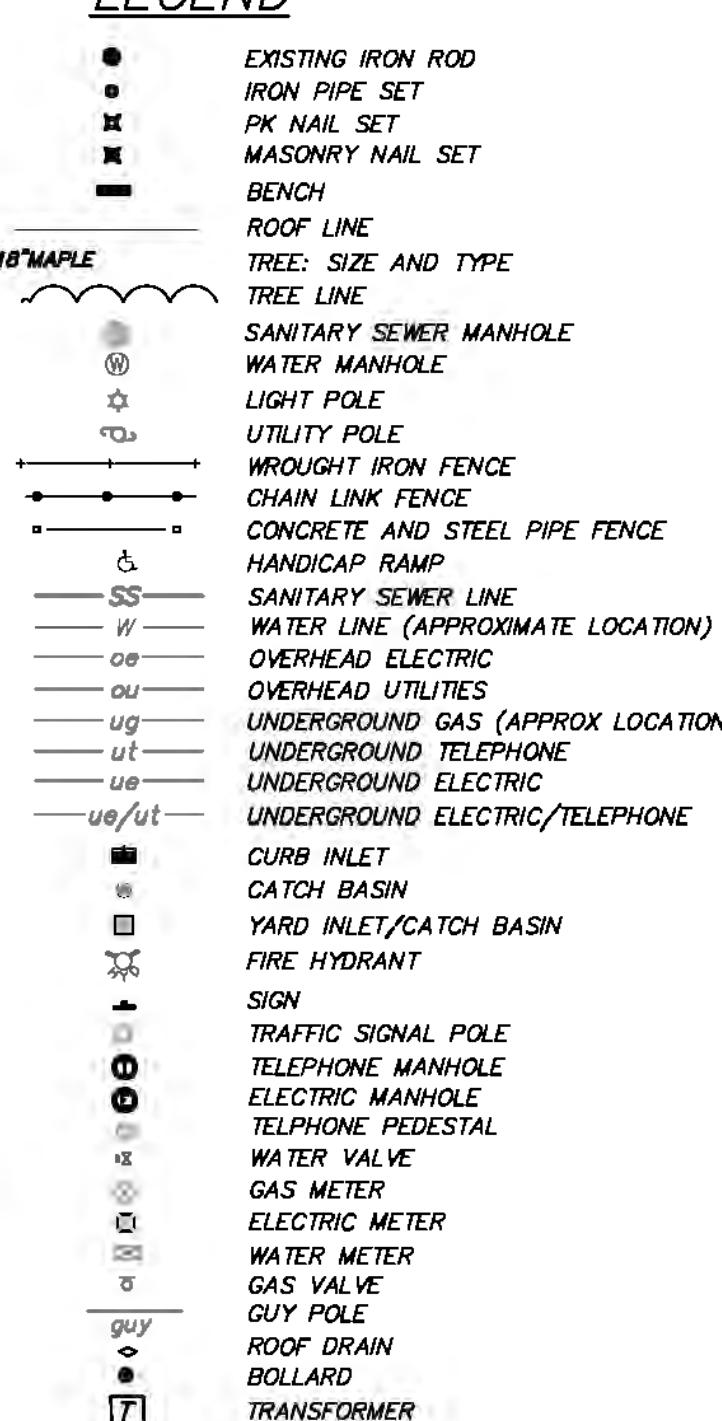
The focus of the renovations are on the exterior walls and roof of the building and the immediate surroundings which include:

- Energy Conservation using modern materials and systems.
- Updating aesthetics of the exterior.
- Better site access around the building and to the public pedestrian system.
- Flexibility in design to meet the needs of tenants and flexibility in adjusting the size of spaces internally in the building.
- Provide a valuable asset to its owner which will allow for future use and upkeep of the facility.

Due to the age of the facility, many existing items on the site and building are not in keeping with Carrboro's current guidelines. However, the proposed project strides toward these goals while meeting the budgetary restrictions of the owner. New items to the project will be in keeping with the Town of Carrboro's requirements.

- Please see the Limits of Work boundary shown on the site plan. All items outside this boundary are existing and no modification or improvement are planned unless noted otherwise.
- The increase in site impervious area is shown to be less than 5,000 square feet in area.
- The architectural building sconces will be under 1,800 lumens.
- Wall packs to provide nighttime site access and security will be shielded & dark sky approved.
- HVAC condensing units will be provided on the ground and be screened with new landscaping.
- The building materials shown in the rendering are representative. Please refer to the manufacturer samples for the specific colors.

LEGEND



NOTES from Survey:

1. BASE MAP FROM Survey by RILEY SURVEYING, P.A.
Phillip Riley, PLS, Pres., Riley Surveying, PA
3326 Durham Chapel Hill Blvd, Ste B-100
Durham, NC 27707
919-667-0742 919-730-3051(cell)
DATED AUG. 10, 2000, REV. SPT. 27, 2000 and
JAN. 08, 2001.
NOTE: Due to the date of the survey, if user
relies on any information shown on the
digital version of this survey, it shall be
without any liability to Riley Surveying and
Jose L. Torres, PLS.
2. VERTICAL DATUM BASED ON NCGS MONUMENT
OR 14', ELEV=446.76 NGVD 29
3. HORIZONTAL GROUND DISTANCES SHOWN
HEREON.
4. UNDERGROUND UTILITIES SHOWN HEREON
SHOULD BE CONSIDERED AS APPROXIMATE
ONLY. CONTRACTORS ARE ADVISED TO HAVE
ALL UNDERGROUND UTILITIES MARKED PRIOR
TO ANY EXCAVATIONS.

400 ROBERSON STREET

Carrboro, NC

The YAGGY
CORPORATION

revisions

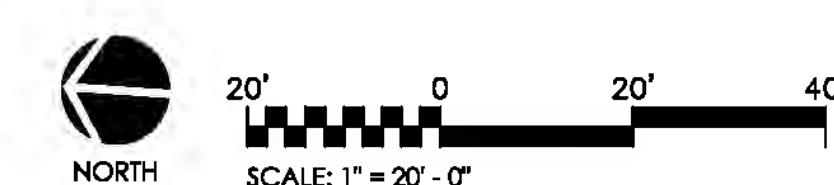
1. May 26, 2015 (Town Comments)

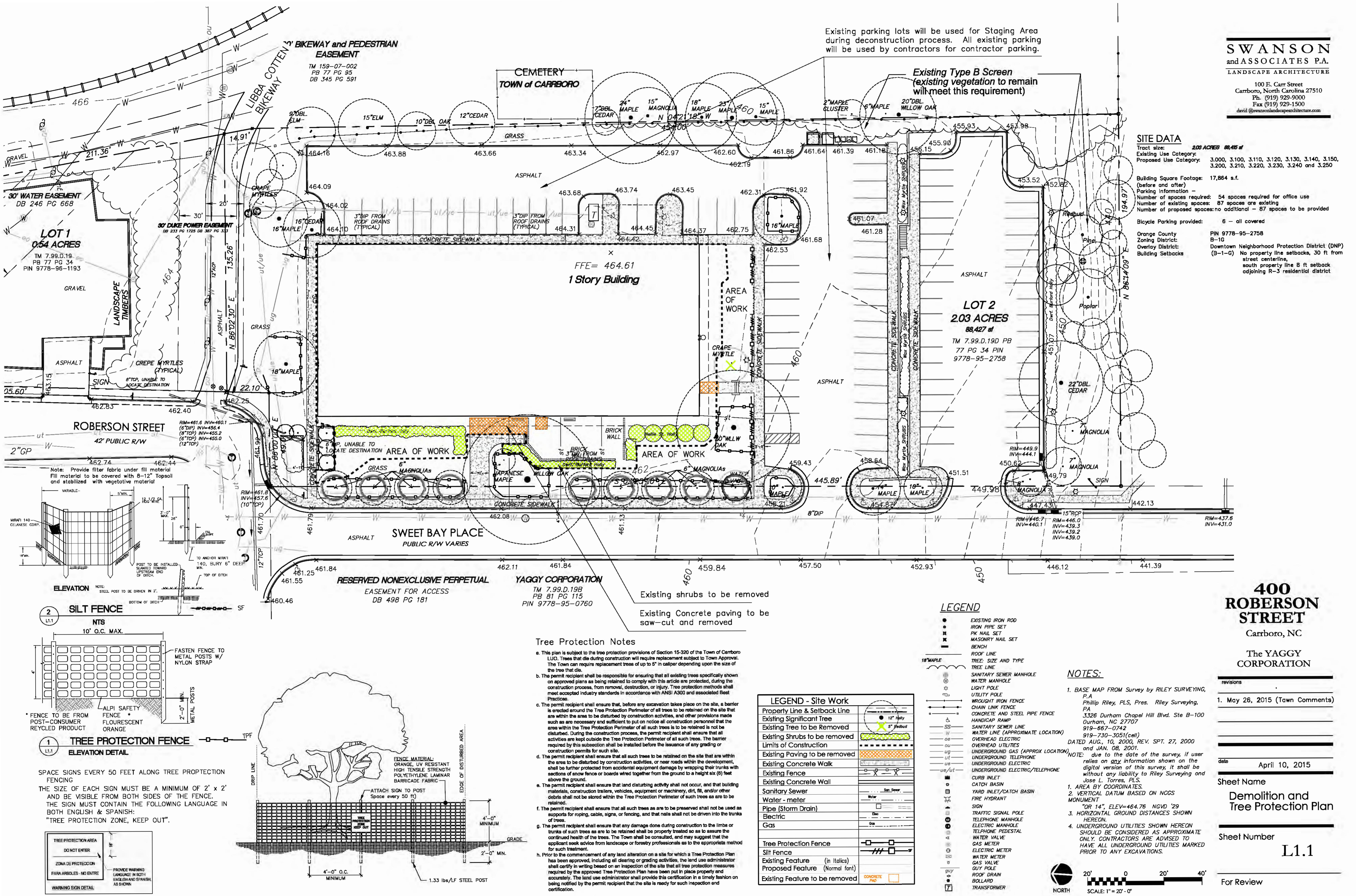
date April 10, 2015

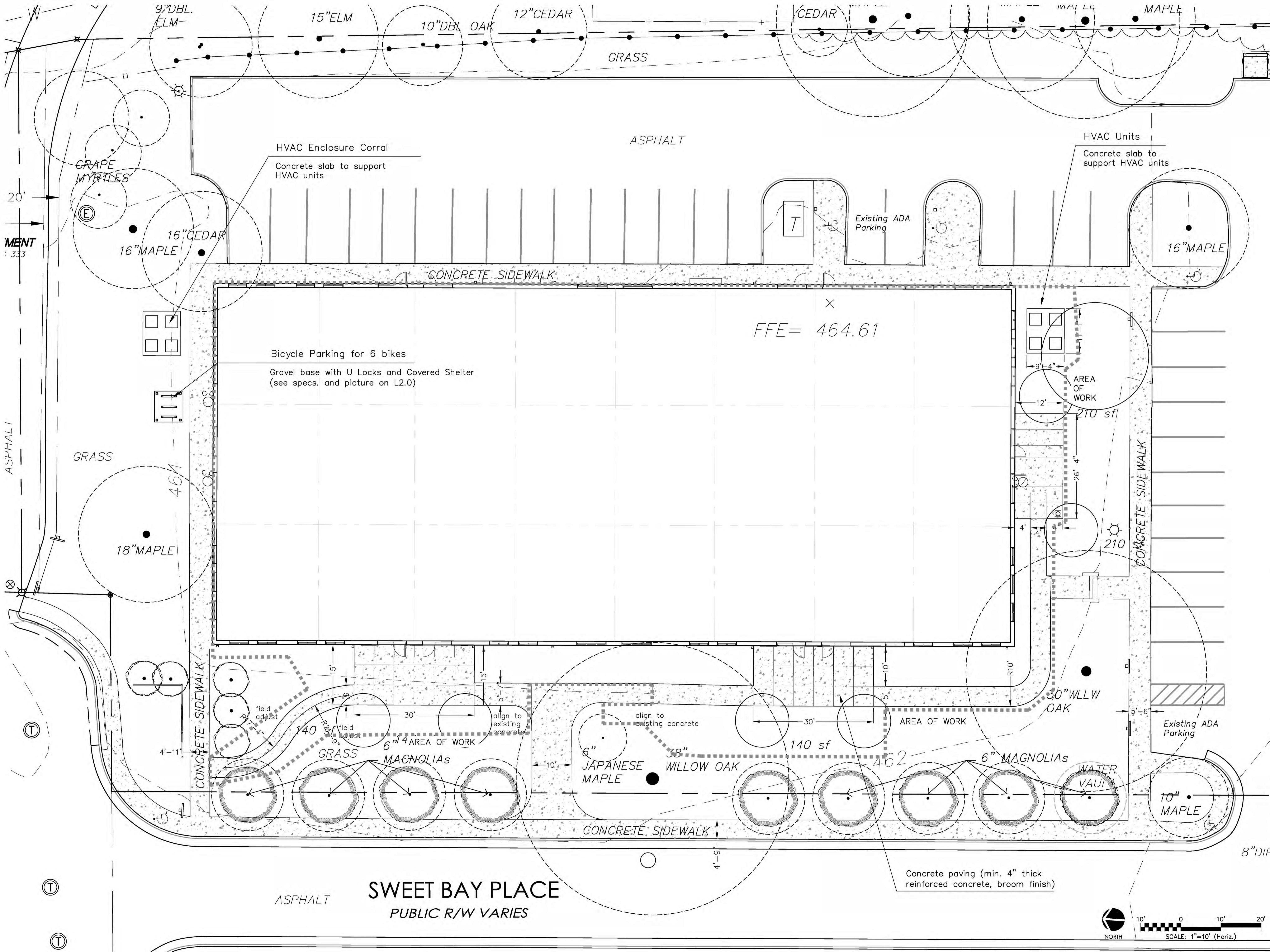
Sheet Name
Existing Conditions
Plan

Sheet Number
L1.0

For Review







**SWANSON
and ASSOCIATES P.A.
LANDSCAPE ARCHITECTURE**

100 E. Carr Street
Durham, North Carolina 27510
Ph. (919) 929-9000
Fax (919) 929-1500
swanson@swansonlandscapearchitecture.com

**400
ROBERSON
STREET**

Carthage, NC

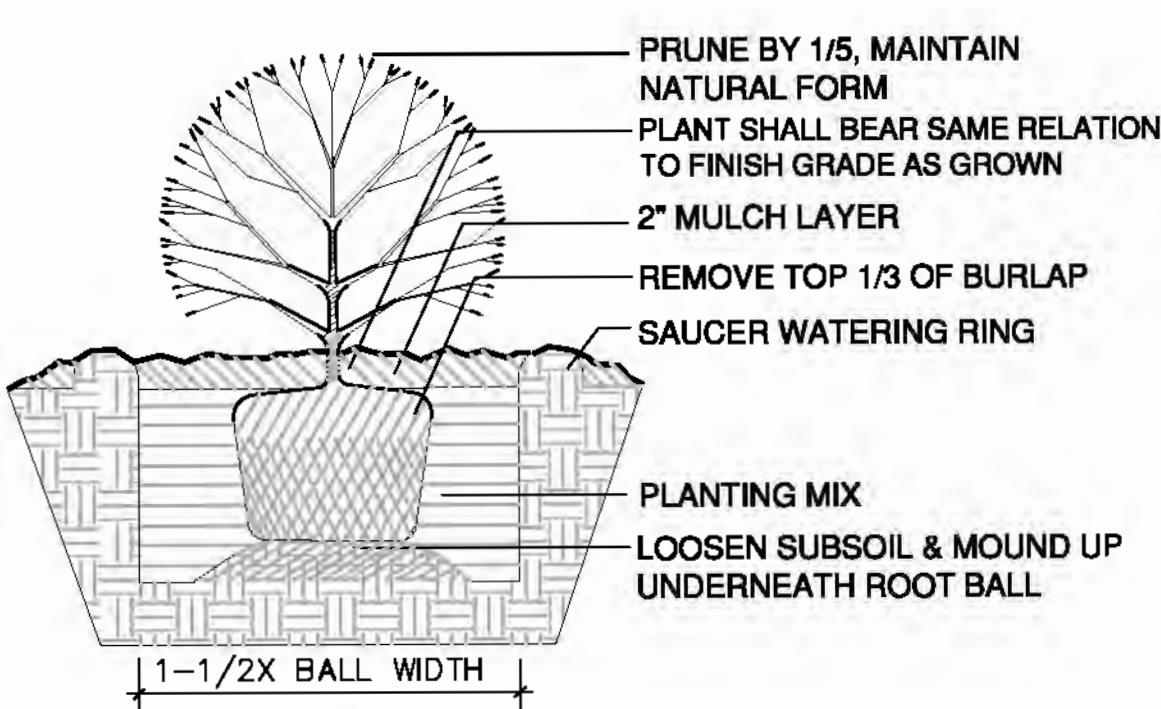
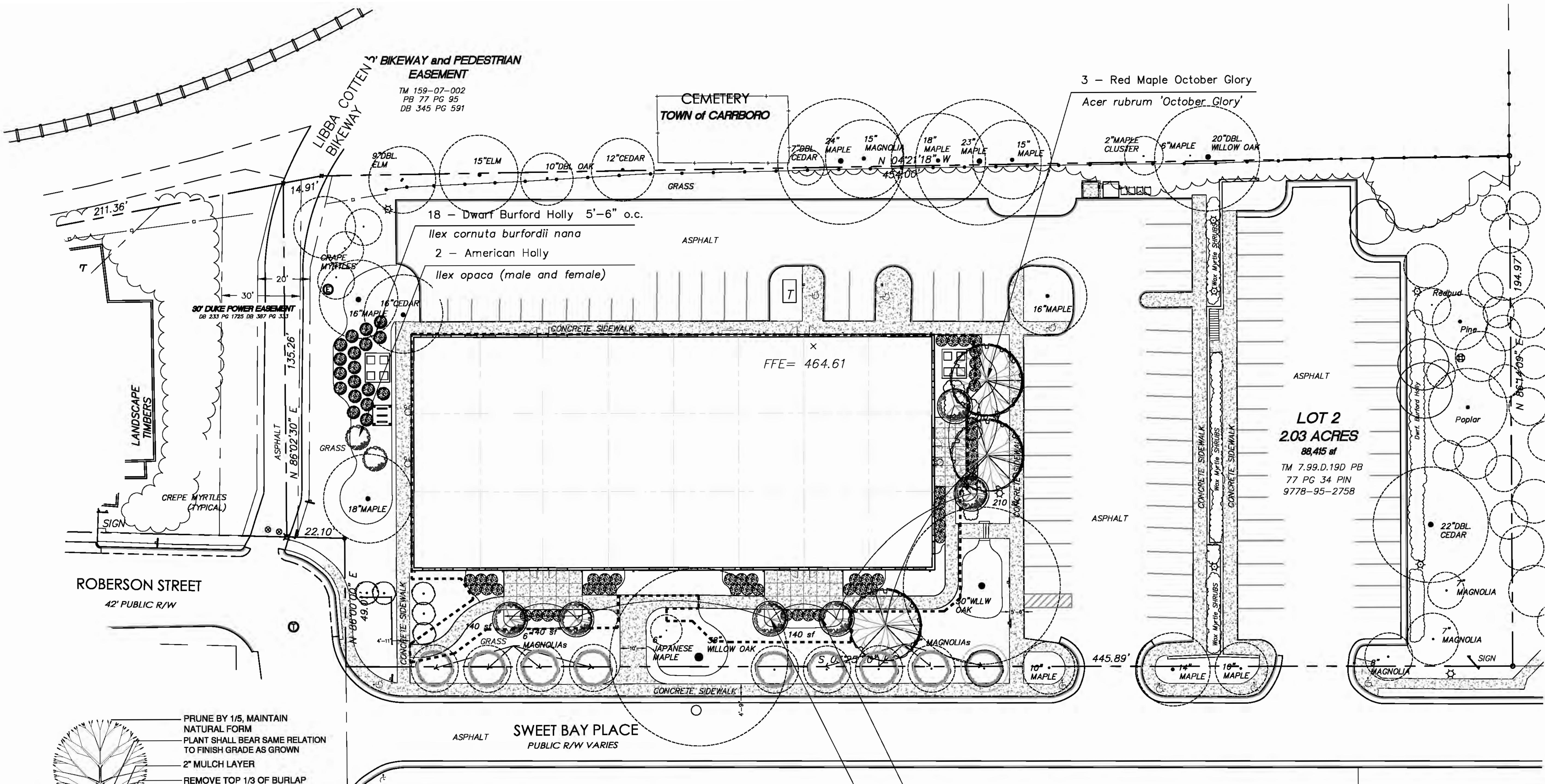
revisions

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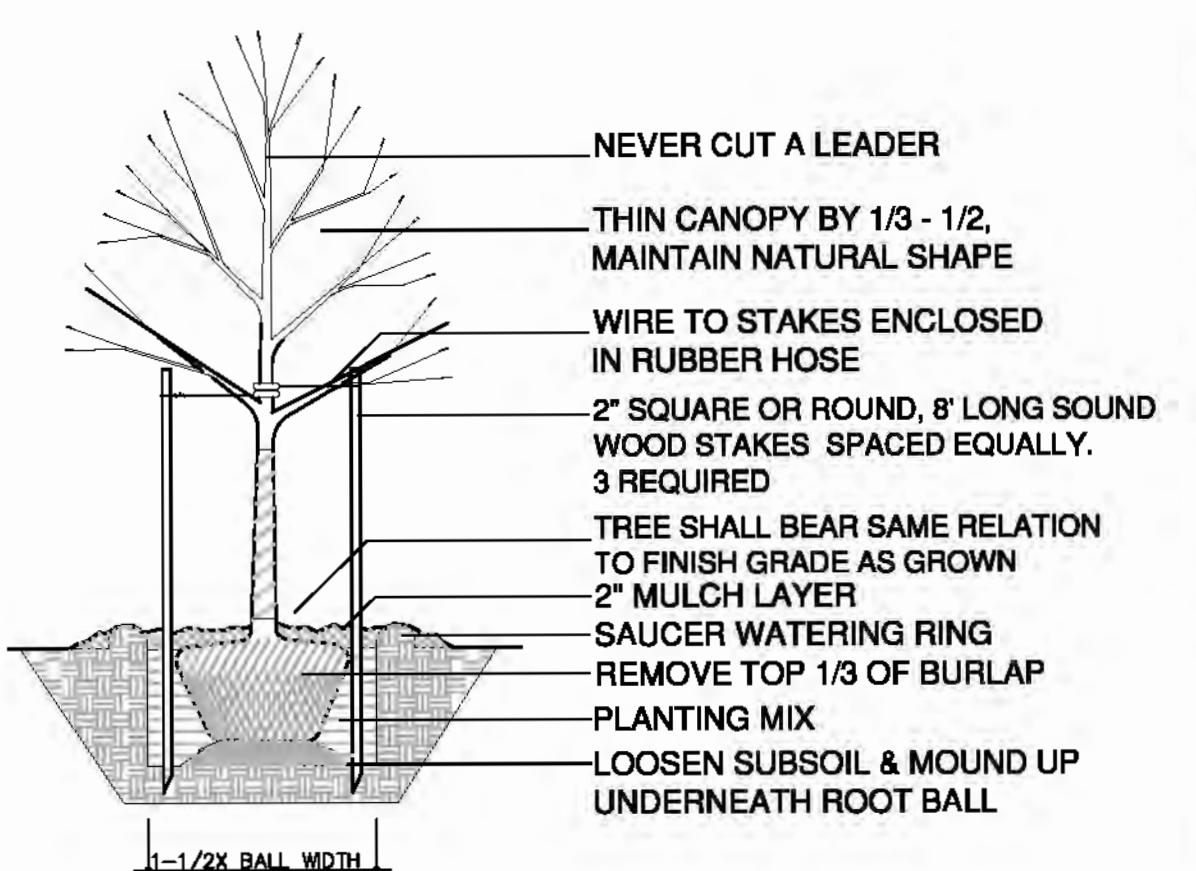
Proposed Detailed Hardscape Plan

Sheet Number

For Review

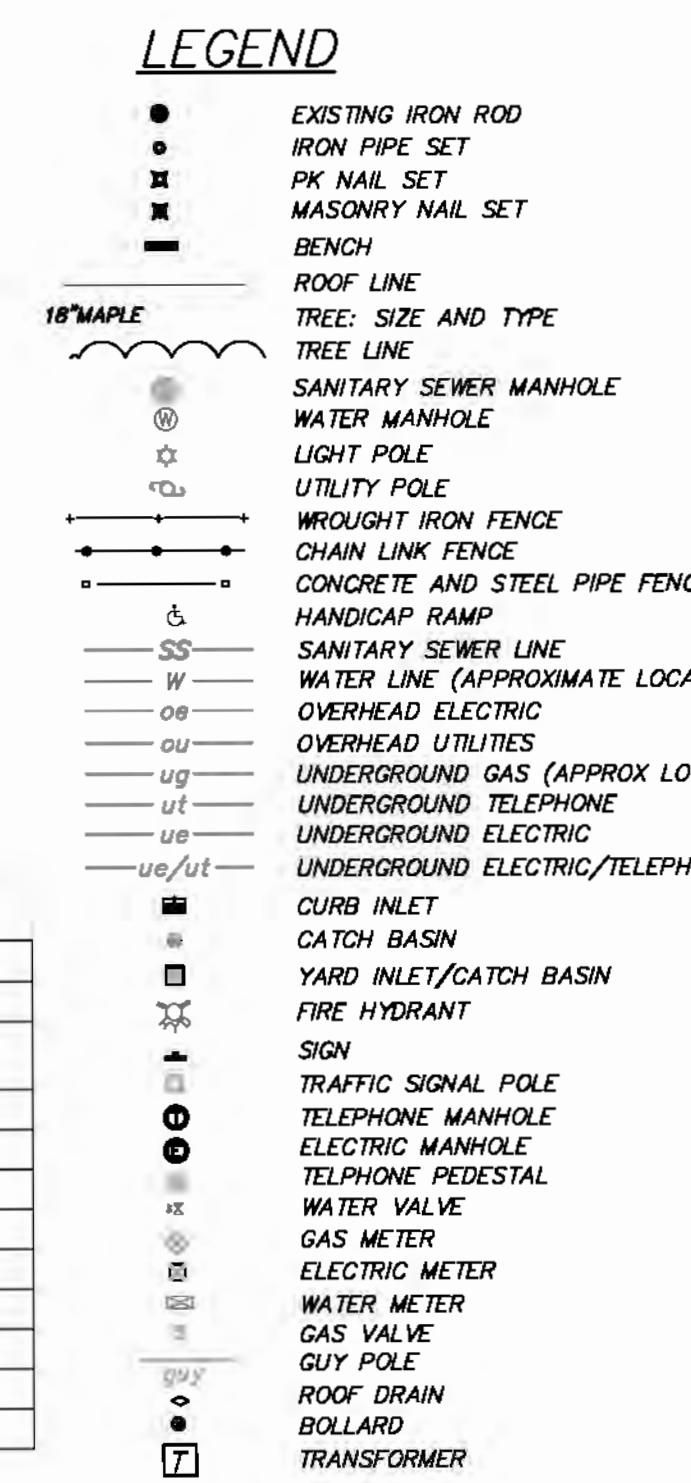


2
Shrub Detail
L3.0
N.T.S.



1
Tree Detail
L3.0
Scale: N.T.S.

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS / DESIGN INTENT
TREES					
Ar	3	Acer rubrum	Red Maple	3-4" cal	Shade Canopy Tree
Cc	6	Cercis canadensis	Red Bud	5-6'	Small Flowering Tree
Cp	alt	Crataegus phaeopyrum	Washington Hawthorn	8-10'	Winter Interest
SHRUBS					
Io	2	Ilex opaca (male & female)	American Holly	6-8'	Large Scale Shrub/Tree
IRP	alt	Ilex x Red 'Patriot'	Patriot Red Holly	6-8'	
INS	alt	Ilex x Nellie R Stevens	Nellie Stevens Holly	6-8'	
AG	alt	Cephaelotaxus harringtonia 'Prostrata'	Spreading Japanese Plum Yew	3 GAL.	Evergreen spreading shrub
Icc	70	Ilex cornuta Burfordii Nana	Dwarf Burford Holly	5 GAL.	Evergreen shrub for foundation plantings



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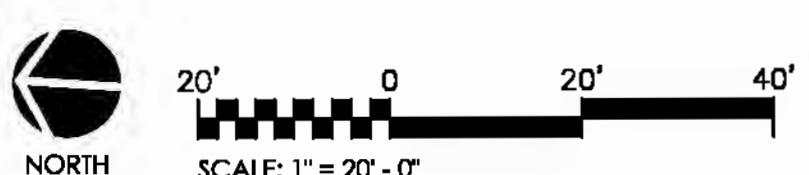
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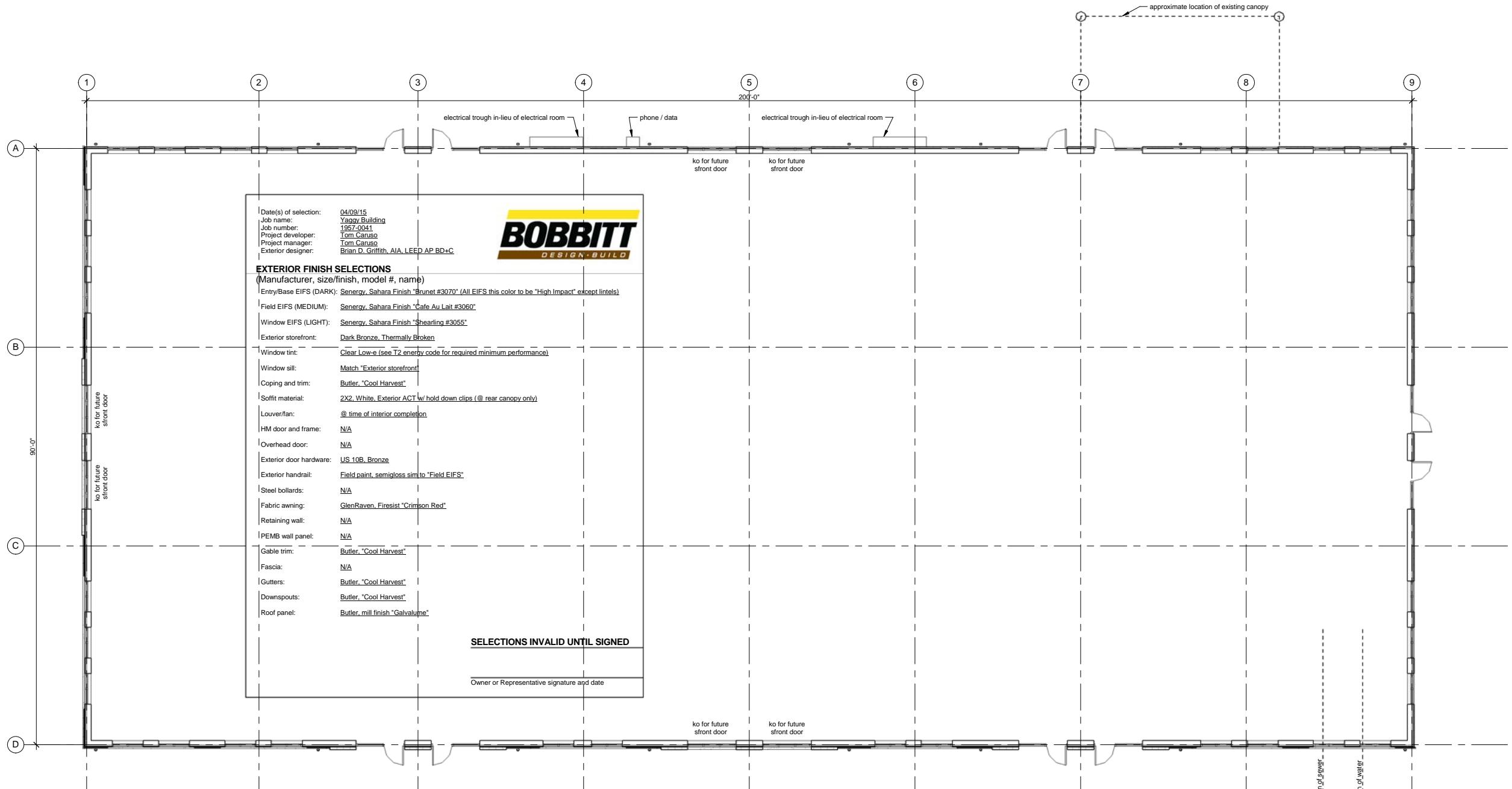
Landscape Plan

Sheet Number

L3.0

For Review



CONCEPTUAL
NOT FOR CONSTRUCTION

(2) SWEET BAY SKETCH