

PLAN SUBMITTAL DATES

SITE PLAN SUBMITTAL 1: APRIL 08, 2020

201 N. GREENSBORO CARRBORO, NORTH CAROLINA

OWNER

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LIC # C-1209
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ARCHITECTS LIC # C-104

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SUMMARY INFORMATION

PARCEL 1: ADDRESS: 201 N. GREENSBORO ST. PIN: 977864587 ACREAGE: 0.33 AC ZONING: B1(C) LOTS: ZONING: EXISTING: PROPOSED: OVERLAY: TOTAL SITE AREA: AREA OF DISTURBANCE: SITE AREA IN 100 YEAR FLOOD PLAIN: BUILDING DATA: EXISTING BUILDINGS: PROPOSED BUILDINGS: HEIGHT: LAND USE: EXISTING: PROPOSED:	PARCEL 2: ADDRESS: 100 CENTER ST. PIN: 977862555 ACREAGE: 0.20 AC ZONING: B2 2 B1(C) AND B2 NO CHANGE DOWNTOWN NEIGHBORHOOD PROTECTION 23,211 SF / 0.53 AC 18,592 SF / 0.43 AC 0 AC; FEMA MAP# 3710977800K, EFFECTIVE NOVEMBER 17, 2017 0 / 0 SF 1 / 16,186 SF 3 STORIES 42'-0" (45'-4" TO PARAPET) VACANT AND PARKING 2.11, 2.12, 2.15, 2.21, 2.22 (RETAIL) 3.1, 3.25 (OFFICE) 5.13, 5.30, 5.40 (CULTURAL AND SOCIAL) 6.11 (ENTERTAINMENT) 8.1, 8.2, 8.5, 8.6, 8.7 (RESTAURANT) 18.0 (TOWER AND RELATED STRUCTURES) 19.1 (OPEN AIR MARKET) 27.0 (COMBINATION USES)
LANDSCAPE SCREENING: REQUIRED VEHICULAR PARKING: REQUIRED: USE 2.1 (RETAIL) (JOINT USE PARKING REDUCTION) USE 3.1 (OFFICE) (JOINT USE PARKING REDUCTION) USE 8.0 (RESTAURANT) (JOINT USE PARKING REDUCTION) (JOINT USE PARKING REDUCTION) PROPOSED: BICYCLE PARKING: REQUIRED: USE 2.1 (RETAIL) USE 3.1 (OFFICE) USE 8.1 (RESTAURANT) TOTAL PROPOSED TOTAL IMPERVIOUS SURFACE: EXISTING: PROPOSED:	RE: SD-7.0 1 SPACE PER 300 SF GROSS FLOOR AREA 2,500 / 300 = 9 SPACES 9 / 1.2 = 8 SPACES 1 SPACE PER 400 SF GROSS FLOOR AREA 10,000 / 400 = 25 SPACES 25 / 1.2 = 21 SPACES 1 SPACE PER 100 SF GROSS FLOOR AREA 2,500 / 100 = 25 SPACES 25 / 1.2 = 21 SPACES 59 MINIMUM SPACES REQUIRED 50 MINIMUM SPACES REQUIRED 41 SPACES TOTAL 2 ADA 17 COMPACT (41%) 22 STANDARD 1 SPACE PER 10 AUTOMOBILE SPACES; MIN. 5 = 1 SPACE (8 SPACES / 10 = 1) 1 SPACE PER 10 AUTOMOBILE SPACES; MIN. 5 = 3 SPACES (25 SPACES / 10 = 3) 1 SPACE PER 10 AUTOMOBILE SPACES; MIN. 5 = 3 SPACES (25 SPACES / 10 = 3) 7 SPACES 8 SPACES (4 RACKS) UNCOVERED 6 SPACES (3 RACKS) COVERED (100% OF REQUIRED) 14 SPACES 20,087 sf (0.46 ac) = 86.5% 20,069 sf (0.46 ac) = 86.5%

TOWN OF CARRBORO NOTES

- PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT THE APPLICANT SPECIFICALLY PROVIDE FOR CORRUGATED CARDBOARD RECYCLING, ADDRESSING COMPLIANCE WITH ORANGE REGIONAL LANDFILL CARDBOARD RECYCLING REQUIREMENTS. WITHOUT PROVISION OF ONSITE CARDBOARD RECYCLING COLLECTION, THE OWNER MUST PROPOSE AN ALTERNATE METHOD OF CARDBOARD RECYCLING
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A DECONSTRUCTION ASSESSMENT CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF (JEFF SCOUTEN OR MATT TAYLOR 919.968.2788) CONCERNING BUILDINGS TO BE REMOVED FROM THIS SITE.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PREDEMOLITION / PRECONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- DEVELOPER/OWNER IS REQUIRED TO SCHEDULE AND COORDINATE AN ONSITE PRECONSTRUCTION MEETING PRIOR TO SITE DISTURBANCE WITH REPRESENTATIVES OF ALL APPROVING APPLICABLE AGENCIES.
- DEVELOPER/OWNER/CONTRACTOR IS REQUIRED TO CONSTRUCT AND MAINTAIN A CONSTRUCTION ENTRANCE FOR THE PROJECT SITE IN ACCORDANCE WITH ORANGE COUNTY EROSION CONTROL STANDARDS FOR CONSTRUCTION ENTRANCES. ALL MUD, STONE OR OTHER DEBRIS DEPOSITED UPON THE ADJOINING ROADWAY SURFACES SHALL BE REMOVED PROMPTLY. MECHANICAL SWEEPING OR WASHING MAY BE REQUIRED.
- DEVELOPER/OWNER/CONTRACTOR SHALL INSTALL AND MAINTAIN APPLICABLE WORK ZONE SIGNAGE IN ACCORDANCE WITH NCDOT STANDARDS FOR ALL ADJOINING PUBLIC STREET CONNECTIONS OR ACTIVITIES WITHIN A PUBLIC RIGHT-OF-WAY. SIGNAGE SHALL BE MOUNTED AND SECURED ON SIGNPOST UNLESS THE WORK REQUIRES THE USE OF TEMPORARY SIGNAGE THAT IS REMOVED DAILY.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND RELATED MATERIALS CANNOT BE PLACED, STORED AND/OR KEPT WITHIN ANY PORTION OF THE PUBLIC RIGHT OF WAY AT ANY TIME. ALL ONSITE MATERIALS SHALL BE SECURED AND CONFINED TO THE LOT UNDER CONSTRUCTION.
- ADD NOTE FOR FINAL PLAT: "NO PLANTINGS EXCEEDING A MATURE HEIGHT OF 30 INCHES, SHEDS, FENCES OR BUILDING STRUCTURES OR MODIFICATION OR ALTERATION OF THE DRAINAGE SYSTEM OR EASEMENT IS NOT PERMITTED WITHOUT APPROVAL FROM THE TOWN OF CARRBORO ZONING DIVISION."
- ALL INSTALLED BMPs MUST BE CERTIFIED BY THE ENGINEER OF RECORD AS CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND THAT ASBUILT CONSTRUCTION PLANS WILL BE SUBMITTED TO ORANGE COUNTY.
- SUBMITTAL OF THE TRAFFIC CONTROL PLAN FOR PEDESTRIAN AND BICYCLIST SHALL BE SUBMITTED AT THE CONSTRUCTION PLAN REVIEW STAGE. THE MUTCD/MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES SHALL BE THE REFERENCED FOR DESIGNING THE WORK ZONE AND REROUTING OF PEDESTRIANS AND BICYCLIST. REFERENCE MUTCD TRAFFIC CONTROL FOR WORK ZONES; CHAPTER 6D.01 TRAFFIC CONTROL FOR PEDESTRIANS AND WORKERS AND CHAPTER 9 TRAFFIC CONTROL FOR BICYCLIST.

GENERAL NOTES

- TOPOGRAPHIC AND PROPERTY INFORMATION BASED ON SURVEY BY TRIANGLE SURVEYORS DATED JAN 16, 2019
- THIS PROJECT IS SERVED BY EXISTING OWASA PUBLIC WATER AND SEWER IN NORTH GREENSBORO ST.
- AN ALL WEATHER TRAVEL SURFACE MUST BE IN PLACE PRIOR TO RECEIVING A BUILDING PERMIT.
- THE APPLICANT SHALL PROVIDE TO THE ZONING DIVISION, PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY FOR THE PROJECT OR BEFORE THE RELEASE OF A BOND IF SOME FEATURES ARE NOT YET IN PLACE AT THE TIME OF THE CERTIFICATE OF OCCUPANCY, MYLAR AND DIGITAL ASBUILTS FOR THE STORMWATER FEATURES OF THE PROJECT. DIGITAL ASBUILTS SHALL BE IN DXF FORMAT AND SHALL INCLUDE A BASE MAP OF THE WHOLE PROJECT AND ALL SEPARATE PLAN SHEETS. ASBUILT DXF FILES SHALL INCLUDE ALL LAYERS OR TABLES CONTAINING STORM DRAINAGE FEATURES. STORM DRAINAGE FEATURES SHALL BE CLEARLY DELINEATED IN A DATA TABLE. THE DATA WILL BE TIED TO HORIZONTAL CONTROLS.
- OPERATIONS AND USES ALLOWED BY THIS PROJECT WILL BE PERFORMED IN COMPLIANCE WITH THE "GOOD NEIGHBOR" STANDARDS CONTAINED IN ARTICLE XI, SECTIONS 15161 THROUGH 15169 OF THE TOWN OF CARRBORO LAND USE ORDINANCE.
- ANY SIGNAGE SHOWN IS FOR REPRESENTATIONAL PURPOSES ONLY AND ANY PROPOSED SIGNAGE WILL REQUIRE A SIGN PERMIT FROM THE TOWN OF CARRBORO
- FIRE LANE STRIPING WILL BE COORDINATED WITH THE CARRBORO FIRE MARSHALL PRIOR TO THE ISSUANCE OF THE C.O. PER CHAPTER 12 OF THE CARRBORO TOWN CODE.
- THE APPLICABLE CODE FOR THIS BUILDING IS THE 2018 NORTH CAROLINA FIRE CODE (NFCF), OR THE MOST CURRENT EDITION IN EFFECT AT THE TIME OF CONSTRUCTION. THE INTERNATIONAL FIRE CODE (IFC) WITH NORTH CAROLINA AMENDMENTS.
- TRASH COLLECTION WILL BE COLLECTED BY THE TOWN OF CARRBORO. THE PLAN PROPOSES A 8 CY MSW DUMPSTER THAT MAY REQUIRE AN INCREASED COLLECTION FREQUENCY. THE FREQUENCY WILL BE DETERMINED DURING NORMAL OPERATION OF THE OVERALL DEVELOPMENT. BUT IT IS ANTICIPATED THAT THE COLLECTION FREQUENCY WILL BEGIN AT TWICE (2X) A WEEK.
- CONCRETE SIDEWALKS ADJACENT TO THE PUBLIC ROW WILL INCLUDE BRICK BORDER TREATMENTS AS OUTLINED IN THE DOWNTOWN DESIGN GUIDELINES
- ANY NEW DRIVEWAY WILL REQUIRE A DRIVEWAY PERMIT FROM THE TOWN OF CARRBORO.
- A SEPARATE MASTER SIGN PERMIT WILL BE REQUIRED.

VICINITY MAP



LIST OF SHEETS

SD-0.0	COVER SHEET SURVEY
SD-1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
SD-2.0	SITE PLAN
SD-3.0	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
SD-5.0	UTILITY PLAN
SD-6.0	LIGHTING PLAN
SD-7.0	LANDSCAPE PLAN
SD-8.0	DETAILS
SD-8.1	DETAILS
SD-8.2	DETAILS
A2.0	EXTERIOR ELEVATIONS

EROSION CONTROL NOTES

- IF MORE THAN 20,000 SQ. FT. IS DISTURBED, A SEDIMENTATION AND EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED PRIOR TO THE ISSUANCE OF A EROSION CONTROL PERMIT.
- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.
- CLEARLY INDICATED LIMITS OF DISTURBANCE ARE SHOWN ON THE GRADING PLAN.

ARCHITECTURAL STANDARDS

- THE PROPOSED THREE STORY BUILDING IS DESIGNED AS A MIXED USE PROJECT WITH THE FIRST FLOOR DEDICATED TO RETAIL FUNCTIONS AND THE UPPER TWO FLOORS FOR BUSINESS/OFFICE. THERE ARE THREE FIRST FLOOR RETAIL BAYS THAT FRONT GREENSBORO STREET.

SECTION 15-178.A.1 REQUIRES THAT PRIMARY ENTRANCES ORIENTED TO THE RIGHT OF WAY BE ARTICULATED BY EITHER A DETACHABLE AWNING OR A RECESS. TWO OF THE RETAIL BAYS ALONG GREENSBORO HAVE SUSPENDED AWNINGS AND THE GREENSBORO AND WEAVER CORNER RETAIL BAY HAS AN ENTRY DOOR RECESSED UNDER THE BUILDING CORNER. THE UPPER TWO FLOOR OFFICE AREA IS ACCESSED FROM A LOWER LEVEL LOBBY LOCATED ADJACENT TO THE SURFACE PARKING LOT AT THE BUILDING REAR. THIS ENTRY ALSO HAS AN OVERHEAD AWNING. THE AWNINGS ARE DESIGNED TO BE SUSPENDED BY OVERHEAD CABLES AND EACH RETAIL BAY IS ARTICULATED WITH A 6 INCH RECESS FROM THE MASONRY PLANE.
- THE FOLLOWING ARE THE TRANSPARENCY CALCULATIONS FOR THE TWO BUILDING FAÇADES WITH STREET FRONTAGE:

GREENSBORO STREET
GROUND FLOOR RETAIL TRANSPARENCY: 60%
LEVEL 2/3 TRANSPARENCY: 42%

WEAVER STREET
GROUND FLOOR RETAIL TRANSPARENCY: 60%
LEVEL 2/3 TRANSPARENCY: 42%

SEE EXHIBIT "A" FOR ADDITIONAL INFORMATION.
- AS DESIGNED, THE BUILDING PARAPET ELEVATION FACING GREENSBORO AND WEAVER STREETS IS 45'-4" AND THE CORNER BUILDING ELEMENT IS 50'-4". THE BUILDING IS ORIENTED WITH BOTH SOUTH-FACING RIGHT OF WAY (WEAVER STREET) AND AN EAST-FACING (GREENSBORO STREET), AT THE REQUIRED SEPTEMBER 21, NOON SUN PLACEMENT, OF THE AVAILABLE 1,742 SQUARE FEET OF SIDEWALK AREA, 507 SQUARE FEET IS IN THE SHADE FOR A 71% SHADE-FREE AREA. SEE EXHIBIT "B" FOR ADDITIONAL INFORMATION.
- PER THE SUBMITTED SITE PLAN, THE PROPOSED BUILDING OCCUPIES THE CORNER OF GREENSBORO AND WEAVER STREETS. SURFACE PARKING FOR THE PROJECT IS LOCATED WITH ACCESS FROM WEAVER STREET. THE PARKING AREA IS SCREENED FROM GREENSBORO STREET BY THE PROPOSED BUILDING. THE SECTION OF THE SURFACE PARKING AND PROPERTY IS SCREENED WITH LANDSCAPING FOR THE BALANCE OF WEAVER STREET THAT IS NOT OCCUPIED BY THE BUILDING.
- THE PROPOSED BUILDING IS 59'-2 1/2" WIDE. ALONG THE WEAVER STREET FRONTAGE THE LONGEST FAÇADE IS 33'-0". TWO ADDITIONAL SETS OF BUILDING FAÇADE CHANGES ALONG WEAVER STREET TOTAL 21'-2". IN ADDITION TO THE BUILDING SETBACKS, THE BUILDING FAÇADES ARE ARTICULATED WITH RHYTHMS OF GLASS AND STOREFRONT PATTERNS, RETAIL BAYS, SUSPENDED AWNINGS, AND INDIVIDUAL ENTRANCES FOR THE VARIOUS RETAIL BAYS THAT HAVE DIRECT ACCESS FROM THE PUBLIC SIDEWALKS. BUILDING MATERIALS ARE PLANNED TO BE VARIED WITHIN THE EXTERIOR ELEVATIONS. ALTHOUGH THE PROPOSED BUILDING HAS A FLAT ROOF, THE PARAPET LINES ARE VARIED TO PROVIDE AN ARTICULATION OF THE BUILDING CORNICE LINES.

ADDITIONALLY THE GREENSBORO STREET FAÇADE IS ARTICULATED WITH BUILDING PLANE CHANGES, STOREFRONT RHYTHM AND MATERIAL CHANGES VERTICALLY AND HORIZONTALLY.
- THE PREDOMINANT PROPOSED EXTERIOR BUILDING MATERIALS ARE MASONRY AND GLASS. THE CONCEPT ELEVATIONS INDICATE THAT THE UPPER FLOOR FACING GREENSBORO STREET MAY BE EITHER METAL PANEL OR A CONTRASTING MASONRY. THE GREENSBORO/WEAVER STREET CORNER IS A COMBINATION OF METAL PANEL AND GLASS. THE METAL PANEL SYSTEMS WILL UTILIZE A CONCEALED FASTENER SYSTEM AND NOT EXPOSED.

APPROVAL STAMPS

PHASING

- THIS PROJECT WILL BE COMPLETED WITHIN A SINGLE PHASE.

CONDITIONS OF APPROVAL

- CARDBOARD WILL BE KEPT SEPARATE FOR RECYCLING AND WILL NOT BE PLACED IN THE GARBAGE DUMPSTER OR RECYCLING CARTS UNDER THE RISK OF BEING CITED OR FINED.

RESOURCE ORDINANCE COMPLIANCE

FLOODPLAIN PROTECTION: STEEP SLOPE PROTECTION: WETLANDS PROTECTION: STREAM BUFFERS: TREE COVERAGE AREA:	NO FLOOD PLAIN AS PER EFFECTIVE FEMA MAP# 3710977800K (NOVEMBER 17, 2017). NO STEEP SLOPES ON SITE. NO WETLANDS ON SITE. NO STREAM BUFFERS ON SITE. EXEMPT FROM TREE COVERAGE (ON TIER)
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Project
201 N. GREENSBORO

201 N Greensboro St.
Carrboro Township,
Orange County,
North Carolina

PINS:
977863587, 977862555

Job Number 1869

Drawn	ED
Checked	JSA, PR
Date	04.08.2020
Revisions	07.24.2020 - COMMENTS
	10.13.2020 - COMMENTS
	10.05.2021 - COMMENTS
	02.15.2022 - COMMENTS

**CONDITIONAL USE PERMIT
NOT ISSUED
FOR CONSTRUCTION**

Sheet Title

COVER SHEET

Sheet Number

SD-0.0

EXISTING CONDITIONS / DEMOLITION NOTES

1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
2. SEE SITE LAYOUT PLAN C2.0 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS OFFSITE. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
3. UTILITIES: SEE UTILITY PLANS. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
4. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
5. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO CITY OF DURHAM STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
6. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
7. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES. DOCUMENT ANY EXISTING DAMAGE WITH OWNER PRIOR TO BEGINNING WORK.
8. ALL EXISTING BUILDINGS AND PAVEMENT SHALL BE REMOVED AND/OR REPLACED.
9. PER ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
10. PER ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
11. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
12. IF EXISTING STRUCTURES ON SITE ARE NOT RELOCATED, A DECONSTRUCTION ASSESSMENT WILL NEED TO BE CONDUCTED BY JEFF SCOUTEN, OCSWM, TO DETERMINE IF THERE ARE MATERIALS THAT CAN BE DIVERTED AWAY FROM THE LANDFILL OR OTHERWISE REUSED.
13. EXISTING WATER AND SEWER SERVICE CONNECTION TO BE ABANDONED PER OWASA STANDARDS AND SPECIFICATIONS.



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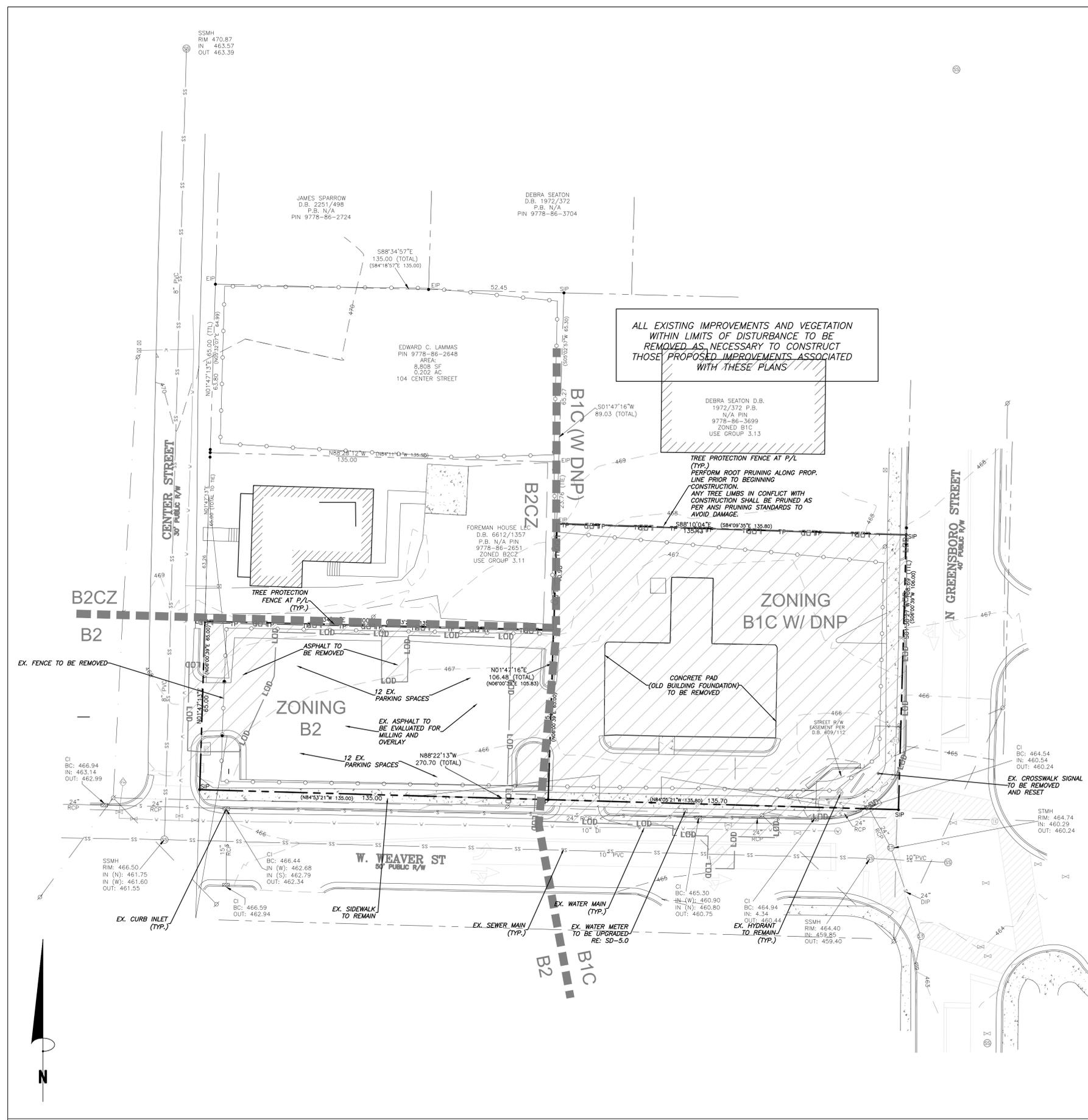
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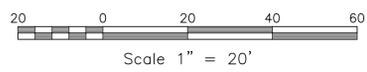
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Sheet Title
**EXISTING CONDITIONS/
DEMOLITION
PLAN**

Sheet Number
SD-1.0



1 / SD-1.0
EXISTING CONDITIONS / DEMOLITION PLAN
SCALE: 1" = 20'





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LIC # C-1289
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Sheet Title
GRADING, STORM DRAINAGE, & EROSION CONTROL PLAN

Sheet Number
SD-3.0

GRADING & STORM DRAINAGE NOTES

- GRADING NOTES:**
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CARRBORO STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
 - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION CONFERENCE WITH THE TOWN OF CARRBORO PLANNING DEPARTMENT AND A REPRESENTATIVE OF THE OWNER.
 - CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
 - SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
 - ALL BANKS, SWALES AND FILL SLOPES SHALL BE NO STEEPER THAN 2.5:1 MAXIMUM. CUT SLOPES SHALL BE NO STEEPER THAN 2:1.
 - ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
 - ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
 - CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.

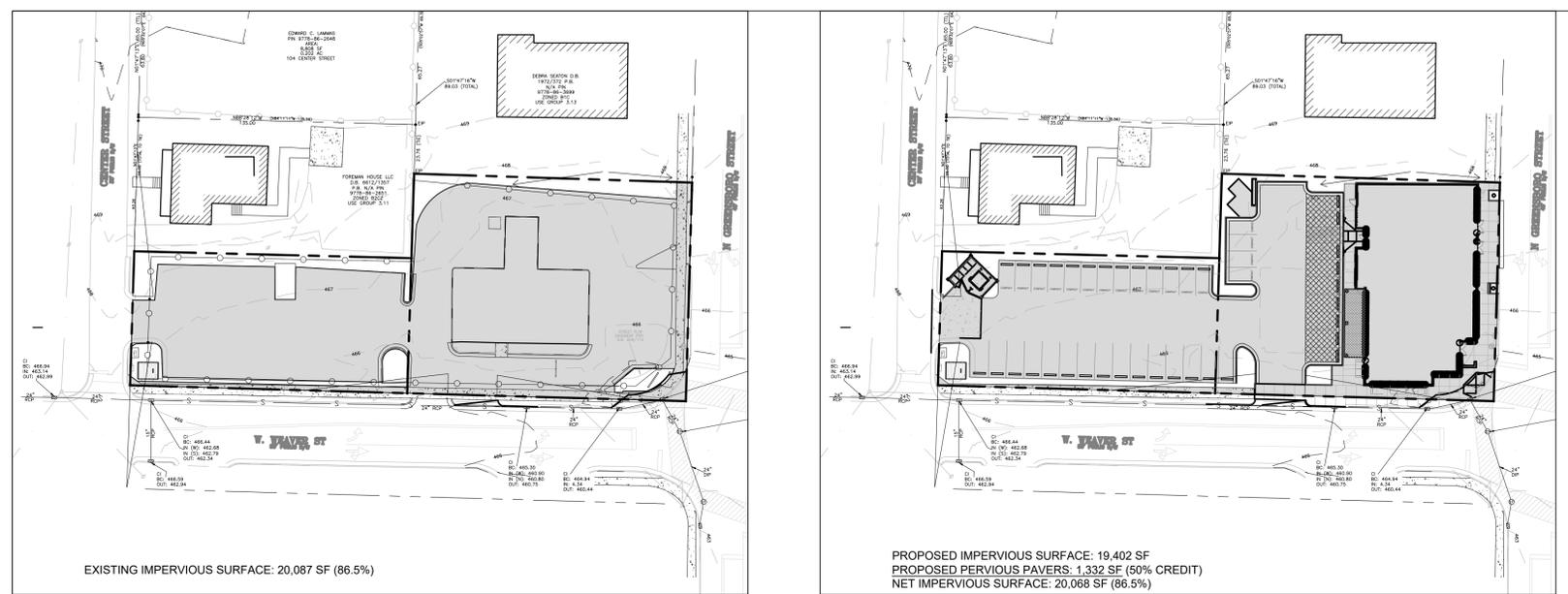
- STORM DRAINAGE NOTES:**
- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
 - ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CARRBORO STANDARDS.
 - ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
 - ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
 - ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
 - THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
 - ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
 - MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
 - BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
 - UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
 - SEE THE COVER SHEET FOR NOTES REGARDING IMPERVIOUS SURFACE.

CONSTRUCTION SEQUENCE

- PRE CONSTRUCTION**
- VERIFY THAT ALL APPROVALS AND PERMITS NECESSARY TO BEGIN AND COMPLETE THE PROJECT ARE IN HAND. APPROVAL AND PERMITS MUST BE OBTAINED PRIOR TO DISTURBANCE SO THAT WORK WILL NOT BE INTERRUPTED OR DELAYED DUE TO THE LACK OF APPROVED PLANS.
 - SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE BEFORE STARTING DEMOLITION, CLEARING OR GRADING WITH THE OWNER, CONTRACTOR RESPONSIBLE FOR GRADING AND EROSION CONTROL, PERSON RESPONSIBLE FOR SUPERVISING IMPLEMENTATION OF THE EROSION CONTROL PLAN, AND THE ORANGE COUNTY EROSION CONTROL INSPECTOR.
 - INSTALL A RURAL TYPE MAILBOX ON THE SITE TO HOLD A COPY OF THE APPROVED EROSION CONTROL PLAN AND TO PROVIDE A PLACE FOR THE INSPECTOR(S) TO LEAVE INSPECTION REPORTS, COMPLIANCE NOTICES, ETC. PLACE THE MAILBOX IN A CONVENIENT LOCATION, SUCH AS AT THE ENTRANCE TO THE SITE OR NEXT TO THE CONSTRUCTION TRAILER. EROSION CONTROL PERSONNEL WILL LEAVE CORRESPONDENCE IN THE BOX AND RAISE THE RED FLAG IF PERSONNEL RESPONSIBLE FOR EROSION CONTROL CANNOT BE LOCATED ON THE SITE. SITE PERSONNEL SHOULD CHECK THE BOX DAILY.
- CONSTRUCTION**
- INSTALL GRAVEL CONSTRUCTION ENTRANCE.
 - INSTALL SILT FENCE. INSTALL INLET PROTECTION AROUND EXISTING INLETS. CLEAR AND DEMO AREAS SHOWN INSIDE OF THE LIMITS OF DISTURBANCE AS NECESSARY TO BEGIN CONSTRUCTION. LIMIT DISTURBANCE TO AREAS NECESSARY FOR CONSTRUCTION ACTIVITIES AT THAT TIME. STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE.
 - DEMO EXISTING UTILITIES AS SHOWN AND CONSTRUCT NEW STORM DRAINAGE. INSTALL INLET PROTECTION AROUND NEW INLETS IMMEDIATELY AFTER CONSTRUCTION. SEAL ALL JUNCTION BOXES FROM STORMWATER INTAKE FROM SURFACE. SEAL ANY INLETS TO STORMWATER STRUCTURES NOT PROTECTED BY INLET PROTECTION.
 - MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY ONE TIME.
 - IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE APPROVED EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
 - INSPECT AND MAINTAIN THE EROSION CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY. REFER TO THE INSTRUCTIONS IN THE EROSION CONTROL PLAN FOR SPECIFIC INSTRUCTIONS FOR EACH DEVICE. THE PERSON RESPONSIBLE FOR EROSION CONTROL IS ALSO RESPONSIBLE FOR TAKING THE INITIATIVE IN INSPECTING AND MAINTAINING THESE DEVICES. DO NOT WAIT FOR EROSION CONTROL PERSONNEL TO POINT OUT THE NEED FOR REPAIRS AND MAINTENANCE. KEEP MUD AND DEBRIS OFF THE PUBLIC STREET AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN!!
 - PERMANENTLY STABILIZE ALL DISTURBED AREAS. REFER TO SEEDING SCHEDULE FOR TYPES OF STABILIZATION TO BE USED.
 - WHEN CONSTRUCTION IS COMPLETED, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES AFTER THE DRAINAGE AREA ABOVE HAS BEEN SUFFICIENTLY BEEN STABILIZED TO RESTRAIN EROSION. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT AND THE DEBRIS FROM THE DEVICES, AND STABILIZE THE LOCATION.
 - ARRANGE A FINAL INSPECTION WITH THE EROSION CONTROL INSPECTOR TO CONFIRM THAT ALL REQUIREMENTS OF THE APPROVED EROSION CONTROL PLAN HAVE BEEN COMPLETED.

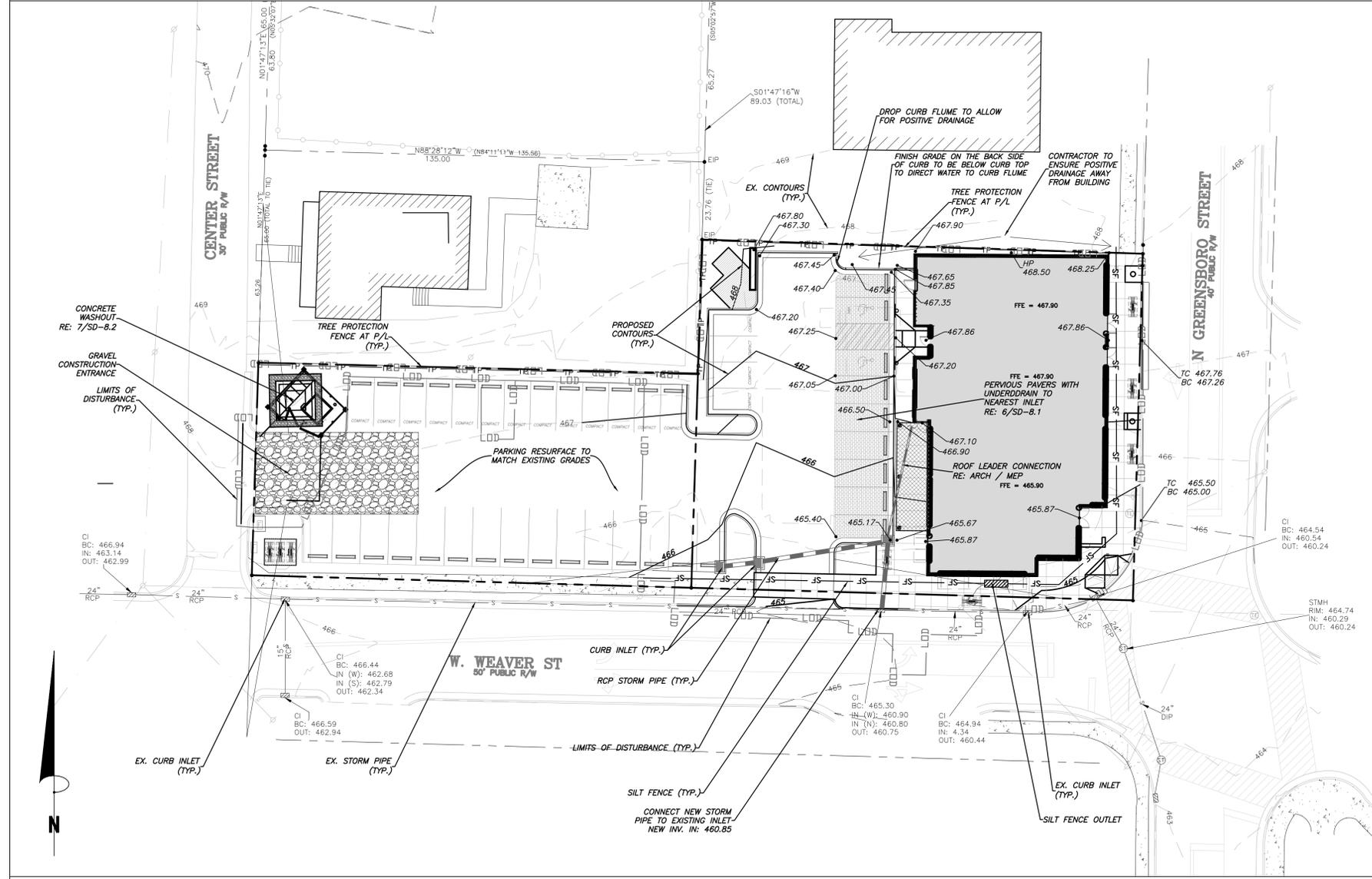
PERMEABLE PAVERS

- SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE BEFORE STARTING SITE CONSTRUCTION WITH THE OWNER, CONTRACTOR RESPONSIBLE FOR GRADING AND EROSION CONTROL, PERSON RESPONSIBLE FOR SUPERVISING CONSTRUCTION OF PERMEABLE PAVERS AND ENGINEER. ALL PERMEABLE PAVEMENT AREAS ARE TO BE CLEARLY MARKED ON THE SITE.
- ENSURE ACCEPTABLE CONDITIONS FOR CONSTRUCTION. ADJACENT AREAS SHOULD BE GRADED TO DRAIN AWAY FROM PAVERS AND SITE SHOULD BE STABILIZED WITH VEGETATION OR OTHER APPROPRIATE COVER TO PREVENT EROSION AND CONTAMINATION WITH SEDIMENTS. NO CONSTRUCTION TRAFFIC IS TO PASS OVER PERMEABLE PAVEMENT SITE DURING INSTALLATION.
- EXCAVATE IN DRY SUBGRADE CONDITIONS AND AVOID EXCAVATING IMMEDIATELY AFTER STORMS WITHOUT A SUFFICIENT DRYING PERIOD. DO NOT ALLOW EQUIPMENT TO CROSS THE PAVEMENT AREA AFTER EXCAVATION HAS BEGUN. OPERATE EXCAVATION EQUIPMENT FROM OUTSIDE THE PAVEMENT AREA OR FROM UNEXCAVATED PORTIONS OF THE AREA USING AN EXCAVATION STAGING PLAN. USE EQUIPMENT WITH TRACKS RATHER THAN TIRES TO MINIMIZE SOIL COMPACTION WHEN EQUIPMENT ON THE SUBGRADE SURFACE IS UNAVOIDABLE. DIG THE FINAL 9 TO 12 IN. BY USING THE TEETH OF THE EXCAVATOR BUCKET TO LOOSEN SOIL AND DO NOT SMEAR THE SUBGRADE SOIL SURFACE. FINAL GRADING OR SMOOTHING OF THE SUBGRADE SHOULD BE DONE BY HAND IF POSSIBLE. MINIMIZE THE TIME BETWEEN EXCAVATION AND PLACEMENT OF THE AGGREGATE.
- TEST SOIL SUBGRADE INFILTRATION RATE BETWEEN EXCAVATION AND PLACEMENT OF AGGREGATE. TESTING TO BE PERFORMED BY AN APPROPRIATELY QUALIFIED PROFESSIONAL. IF TESTING INDICATES THE INFILTRATION RATE THAT PROVIDES A 72-HOUR DRAWDOWN IS NO LONGER POSSIBLE, RIP OR TRENCH SUBGRADE FURTHER TO RESTORE INFILTRATION RATE.
- PLACE GEOTEXTILES AND GEOMEMBRANE (IF APPLICABLE), PLACE CATCH BASINS, OBSERVATION WELLS AND UNDERDRAIN SYSTEM.
- PLACE AND COMPACT AGGREGATE BASE. INSPECT ALL AGGREGATES AND ENSURE THEY ARE FREE OF FINES. REMOVE ANY ACCUMULATED SEDIMENT ON FINISHED SUBGRADE PRIOR TO PLACING AGGREGATE BASE. SLOPES AND ELEVATIONS SHALL BE CHECKED ON SOIL SUBGRADE PRIOR TO PLACEMENT, TO ENSURE THEY CONFORM TO PLANS AND SPECIFICATIONS.
- INSTALL EDGE RESTRAINTS AND BARRIERS. ENSURE DESIGN AND INSTALLATION ARE CONSISTENT PRIOR TO PLACEMENT OF BEDDING.
- INSTALL BEDDING AND PAVERS. CONTRACTOR IS TO FOLLOW SPECIFICATIONS AND MANUFACTURER INSTRUCTIONS FOR THE PLACEMENT OF PERMEABLE PAVERS. THE BEDDING COURSE IS TO BE PLACED IN ACCORDANCE WITH MANUFACTURER OR INDUSTRY GUIDE SPECIFICATIONS.

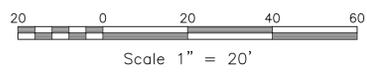


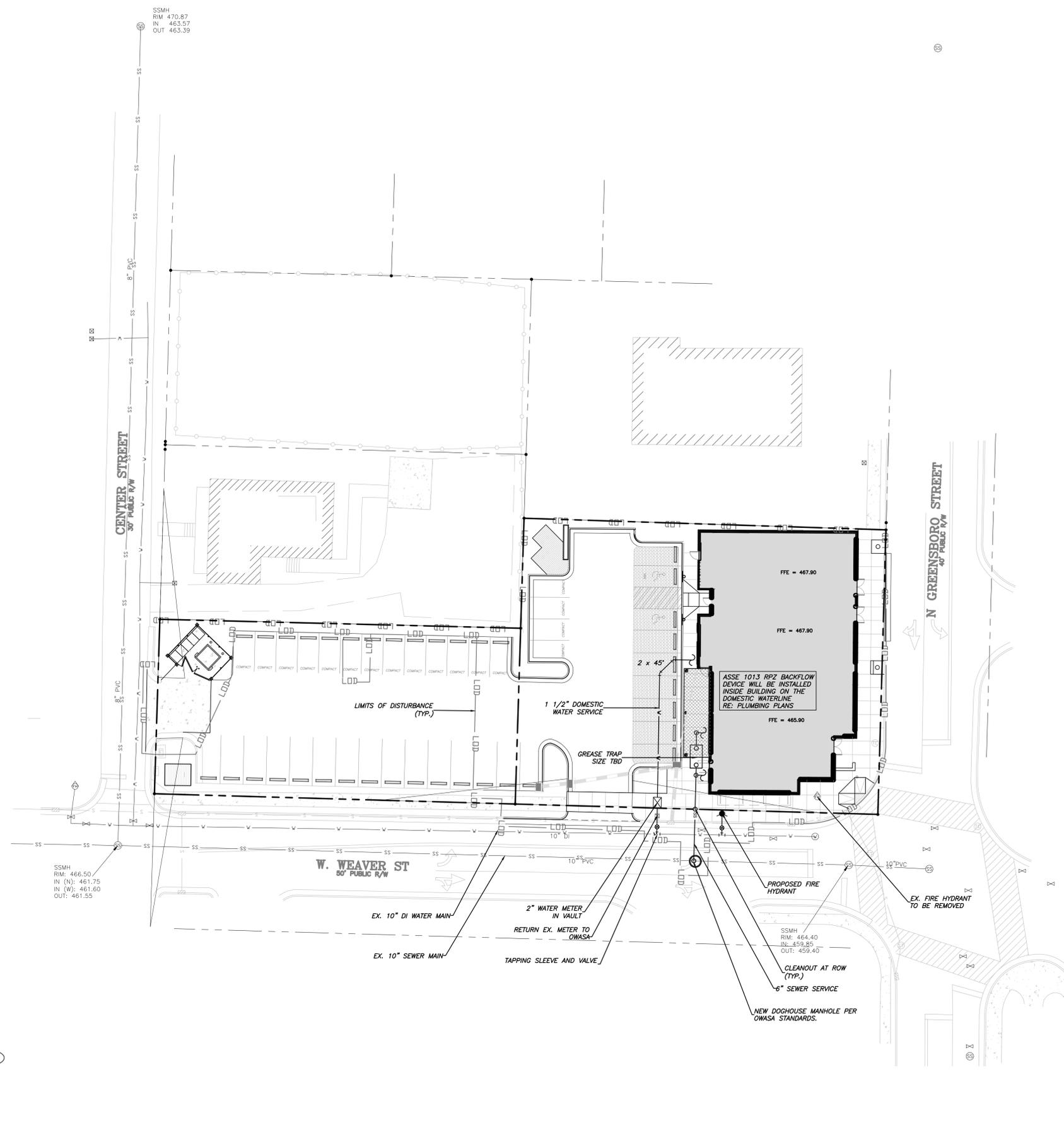
1 / SD-3.0
EXISTING IMPERVIOUS SURFACE COVER
SCALE: 1" = 40'

1 / SD-3.0
PROPOSED IMPERVIOUS SURFACE COVER
SCALE: 1" = 40'



2 / SD-3.0
GRADING, STORM DRAINAGE, AND EROSION CONTROL PLAN
SCALE: 1" = 20'





UTILITY NOTES

1. PER SECTION 15-246 OF THE CARBORRO LVO, ALL UTILITIES SHALL BE PLACED UNDERGROUND.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO MOBILIZATION. REPORT THE RESULTS TO THE ENGINEER OF RECORD.
3. ALL UTILITY WORK SHALL CONFORM TO APPLICABLE TOWN, OWASA AND STATE CODES.
4. 6" SANITARY SEWER WILL BE INSTALLED AT A MINIMUM SLOPE OF 1.0%. 4" SANITARY SEWER WILL BE INSTALLED AT A MINIMUM SLOPE OF 2.0%.
5. CLEANOUTS ON A 4" SANITARY SEWER LATERAL WILL BE INSTALLED AT A MAXIMUM OF 50 FEET APART. CLEANOUTS ON A 6" SANITARY SEWER LATERAL WILL BE INSTALLED AT A MAXIMUM OF 75 FEET APART.
6. ALL CLEANOUTS LOCATED IN ASPHALT WILL BE TRAFFIC BEARING AND WILL WITHSTAND A H-20 LOADING.
8. ALL WATER AND SEWER LINES ARE TO BE PRIVATE UNLESS OTHERWISE NOTED.
9. ALL WATER LINES SHALL HAVE A MINIMUM OF 36" COVER.
10. PVC SANITARY SEWER SHALL HAVE A MINIMUM COVER OF 5 FEET IN STREETS AND 4 FEET IN OUTFALLS.
11. BACKFLOW PREVENTERS ARE REQUIRED ON THIS PROJECT. BACKFLOW PREVENTER INSTALLER MUST OBTAIN A BACKFLOW PREVENTER PERMIT PRIOR TO BEGINNING BACKFLOW PREVENTER INSTALLATIONS. CONTACT THE CROSS-CONNECTION CONTROL OFFICE AT 919-560-4194 TO OBTAIN ADDITIONAL INFORMATION AND INSTALLATION REQUIREMENTS.
12. DOMESTIC BACKFLOW (HIGH HAZARD) - INDICATE TYPE, SIZE, AND LOCATION ON DRAWINGS OF DOMESTIC BACKFLOW; REDUCED PRESSURE BACKFLOW ASSEMBLY (RPZ) ASSE #1013 INSTALLED ABOVE GROUND IN AN ASSE #1060 ENCLOSURE OR DIRECTLY INSIDE. WYE STRAINER AND MAIN SHUT-OFF SHALL BE INSTALLED PRIOR TO #1 SHUT OFF OF THE BACKFLOW ASSEMBLY.
13. FIRE DEPARTMENT CONNECTION INLET MUST BE ORIENTED 30 DEGREES TOWARDS GRADE AND BE (1) 5 INCH DIAMETER STORZ CONNECTION AND LOCATED ON THE STREET SIDE OF THE BUILDING.
14. ALL NEW FIRE HYDRANTS MUST BE PROVIDED WITH (2) 2.5 INCH DIAMETER CONNECTIONS.

OWASA CLOSEOUT AND DOCUMENTATION CHECKLIST

IN ADDITION TO A FINAL INSPECTION APPROVED BY THE OWASA CONSTRUCTION INSPECTOR, THE FOLLOWING DOCUMENTS MUST BE RECEIVED AND APPROVED BY OWASA BEFORE ACCEPTANCE OF THE PROJECT AND THE SETTING OF METERS. THE FOLLOWING SHALL BE SUBMITTED AS A COMPLETE PACKAGE TO THE OWASA ENGINEERING ASSOCIATE FOR THIRD PARTY REVIEW. PARTIAL SUBMITTALS ARE CONSIDERED INCOMPLETE. ALL INCOMPLETE SUBMITTALS WILL BE RETURNED.

- ASSET LETTER - SUBMIT ORIGINAL DOCUMENT ON OWASA STANDARD FORM.
- LETTER OF DEDICATION - SUBMIT ORIGINAL DOCUMENT ON OWASA STANDARD FORM.
- RECORD DRAWINGS - CONSTRUCTION DRAWINGS SHALL BE MODIFIED TO REFLECT ACTUAL FIELD INSTALLATIONS. ALL DEH PUBLIC WATER SUPPLY SECTION PERMITTED EXTENSIONS AND DWO PERMITTED EXTENSIONS SHALL BE SET AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA. SUBMIT THREE COPIES OF THE RECORD DRAWING FOR REVIEW BY THE OWASA ENGINEERING STAFF.
- DIGITAL SUBMISSIONS - WATER FEATURE DATABASE (MS ACCESS), MANHOLE DATASHEET DATABASE (MS ACCESS), AND RECORD DRAWING (AUTOCAD .DWG FORMAT). CONTACT THE OWASA ENGINEERING TECHNICIANS FOR INFORMATION CONCERNING THIS SUBMITTAL.



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Project
201 N. GREENSBORO

201 N Greensboro St.
Carrboro Township,
Orange County,
North Carolina

PINS:
9778863587, 9778862555

Job Number 1869

Drawn	ED
Checked	JSA, FR
Date	04.08.2020
Revisions	07.24.2020 - COMMENTS
	10.13.2020 - COMMENTS
	10.05.2021 - COMMENTS
	02.15.2022 - COMMENTS

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FOR CONSTRUCTION**

Sheet Title

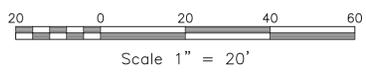
UTILITY PLAN

Sheet Number

SD-5.0



1 / SD-5.0
UTILITY PLAN
SCALE: 1" = 20'





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BPG | Beacon Properties Group



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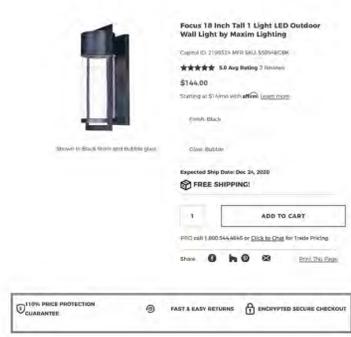
CONDITIONAL USE PERMIT NOT ISSUED FOR CONSTRUCTION

Sheet Title
LIGHTING PLAN

Sheet Number
SD-6.0

LIGHTING NOTES

1. MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
2. CONTRACTOR TO PROVIDE 2" SCH 40 P.V.C. GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES/POLES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
3. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
4. ALL ELECTRICAL CONDUIT, LIGHT POLES AND FIXTURES SHALL BE FURNISHED BY THE CONTRACTOR.
5. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
6. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
7. ALL JOINTS ARE TO BE SOLVENT WELDED.



WALL SCOUNCE



The beauty of the stylish Sanibel LED is its remarkable versatility, its sleek simplicity, with a gently curved bracket that helps cast light downward, is at home virtually anywhere - from more formal traditional neighborhoods to beachfront communities and other casual locales.

LED (Light Emitting Diode) 75 watts, 150 watts
Mounting heights 12', 16', 25'
Color Black
Pole Smooth round concrete

Outdoor Lighting
Sanibel LED

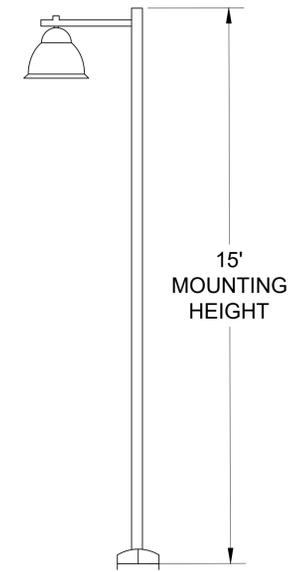
Light source: LED (white)

Wattage	BUG Rating	Light Pattern	Lumens	Color Temp
75W	B1-UG-G1	IESNA Type III (down)	8,320	4,000K
150W	B2-UG-G2	III (down)	16,160	

Pole available:

Name	Mounting height	Color
Smooth round concrete	12', 16', 25'	Black

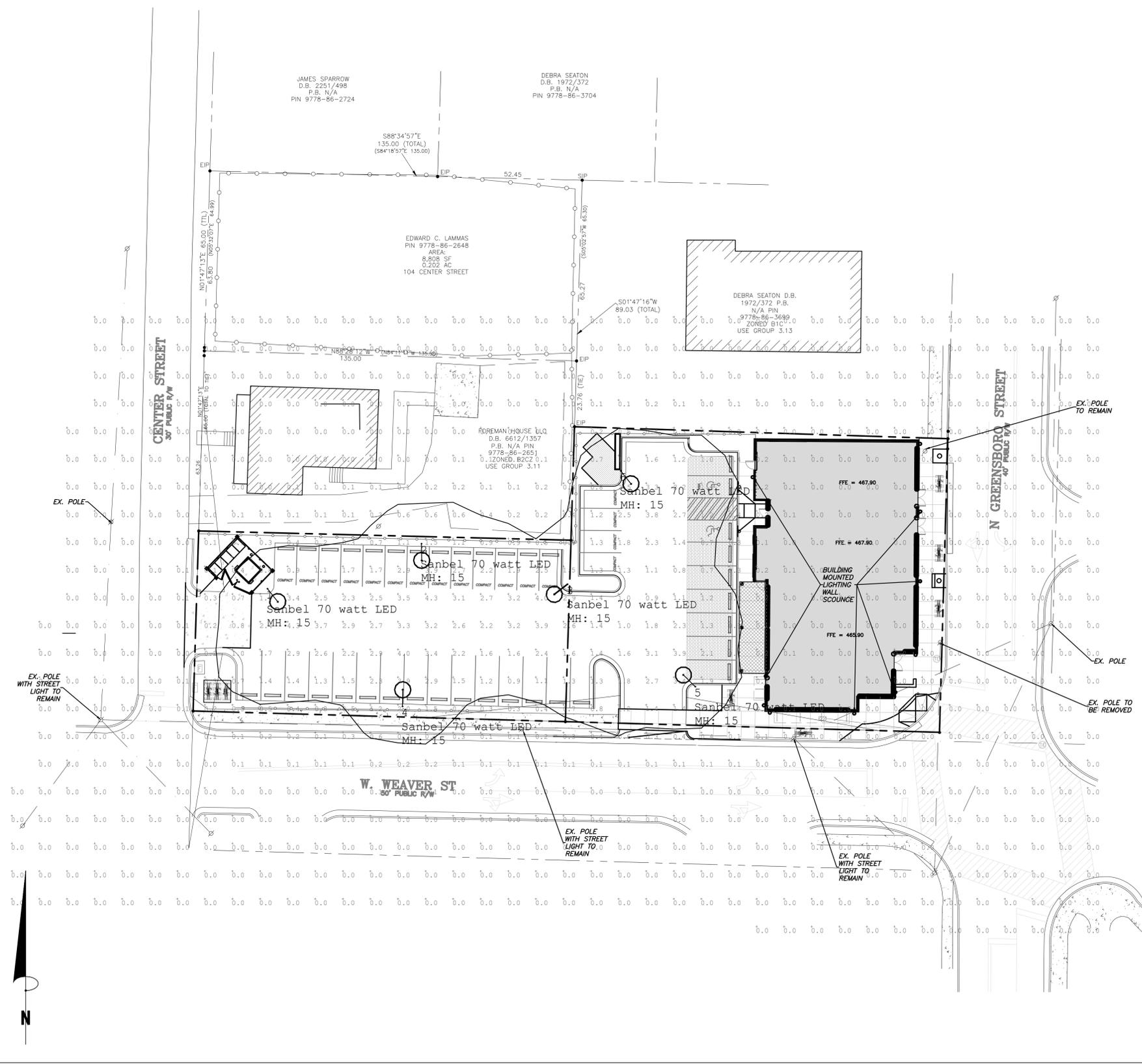
Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow



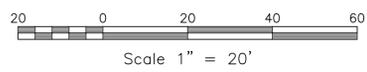
Poles and Features

Type	Height	Color	Material	Finish	Notes
1	12'	Black	Smooth round concrete	Standard	
2	16'	Black	Smooth round concrete	Standard	
3	25'	Black	Smooth round concrete	Standard	
4	12'	Black	Smooth round concrete	Standard	
5	16'	Black	Smooth round concrete	Standard	
6	25'	Black	Smooth round concrete	Standard	
7	12'	Black	Smooth round concrete	Standard	
8	16'	Black	Smooth round concrete	Standard	
9	25'	Black	Smooth round concrete	Standard	
10	12'	Black	Smooth round concrete	Standard	
11	16'	Black	Smooth round concrete	Standard	
12	25'	Black	Smooth round concrete	Standard	

POLE FIXTURE



1 / SD-6.0
LIGHTING PLAN
SCALE: 1" = 20'





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Sheet Title

**LANDSCAPE
PLAN**

Sheet Number

SD-7.0

LANDSCAPE NOTES

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.

SCREENING CALCULATIONS

PROPOSED USE = 2,100 (RETAIL) AND 3,100 (OFFICE)
EX. ADJACENT. USE = 3,110 (HAIR SALON) AND 3,130 (DENTISTRY)
PROPOSED 3,000 USE TO ADJ. R.O.W. = TYPE C "BROKEN SCREEN"
TYPE C "BROKEN SCREEN" = SMALL TREES PLANTED 30' ON CENTER
WEAVER STREET = 270 LF R.O.W. - 24' DRIVE AND 55' BUILDING FRONTAGE = 191 LF / 30 = 6 SMALL TREES REQUIRED. 3 SMALL TREES AND 3 LARGE TREES PROVIDED.
GREENSBORO STREET = 106 LF R.O.W. - 99' BUILDING FRONTAGE = 7 LF / 30 = 1 SMALL TREE REQUIRED. 2 SMALL TREES PROVIDED.
5 SMALL TREES AND 3 LARGE TREES PROVIDED

MOTOR VEHICLE ACCOMMODATION CALCULATIONS

REQUIRED 35% SHADING
PROPOSED MOTOR VEHICLE ACCOMMODATION AREA = 11,768 SF
11,768 x 0.35 = 4,119 SF
EXISTING TREES = 0 SF
SCREENING TREES = 1,256 SF (8 SMALL TREES)
REQUIRED SHADING = 2,863 SF
2,863 / 707 = 4 TREES REQUIRED/PROVIDED

TREE CANOPY COVERAGE CALCULATIONS

REQUIRED 15% OF GROSS LAND AREA
GROSS LAND AREA = 23,211 SF
23,211 x 0.15 = 3,482 SF
EXISTING TREES = 0 SF
PROPOSED TREES = 6,000 SF (9 TREES)

PLANT SCHEDULE

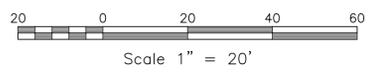
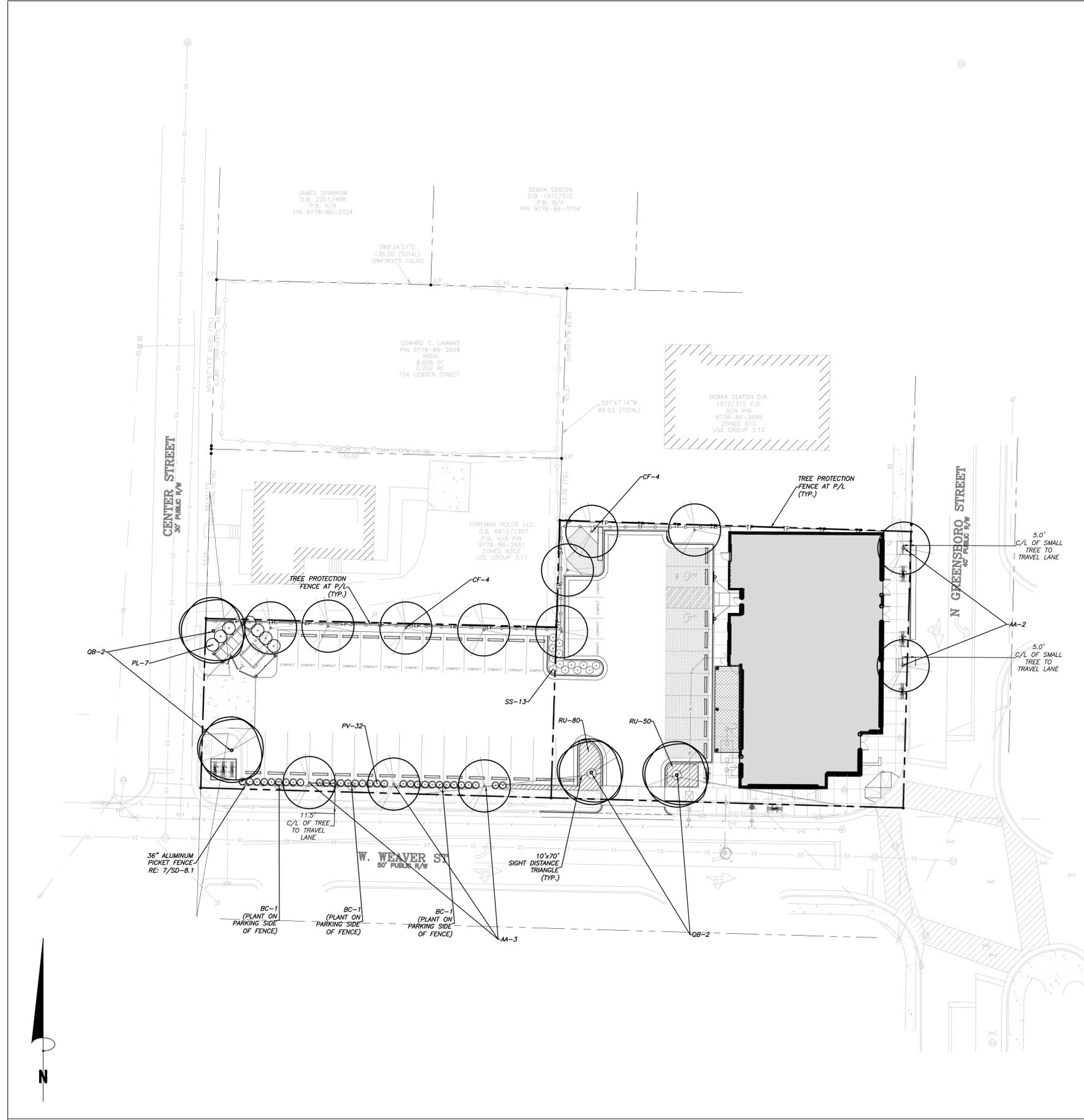
KEY	QTY.	BOTANICAL NAME	COMMON NAME	Cal*	HT*	ROOT	REMARKS
DECIDUOUS TREES							
CF	8	<i>Cornus florida</i>	Flowering Dogwood	2.5"	-	B&B	Full, Match, Straight leader
AA	5	<i>Amelanchier arborea</i> 'Autumn Brilliance'	Downey Serviceberry	2.5"	-	B&B	Full, Match, Single Stem
QB	4	<i>Quercus bicolor</i>	Swamp White Oak	2.5"	-	B&B	Full, Match, Straight leader
DECIDUOUS TREES							
PL	7	<i>Prunus laurocerasus</i> 'Schipkaensis'	Schipka Laurel	-	24"	5 gal.	Full, Match, Straight leader
ORNAMENTAL GRASSES, VINES, & GROUND COVER							
BC	3	<i>Bignonia carpeolata</i>	Crossvine	-	-	1 gal.	Full, Match, Straight leader
PV	32	<i>Panicum virgatum</i>	Switchgrass	-	-	3 gal.	Full, Match, Single Stem
RU	139	<i>Rudbeckia</i> 'Goldsturm'	Black-Eyed Susan	-	-	1 gal.	Full, Match, Straight leader
SS	13	<i>Schizachyrium scoparium</i> 'Prairie Blues'	Little Bluestem	-	-	3 gal.	Full, Match, Straight leader

*CA. AND HT. REFERS TO SIZE OF PLANT MATERIAL AT TIME OF INSTALLATION. ALL PLANT MATERIAL SPECIFIED MUST MEET OR EXCEED THE PLANT CAL. AND HT. AT TIME OF INSTALLATION.

*DECIDUOUS CANOPY TREES MUST MEET OR EXCEED MINIMUM CALIPER REQUIREMENTS SHOWN ABOVE TO MEET MINIMUM ORDINANCE REQUIREMENTS.

LEGEND

- CF (CORNUS FLORIDA)
- QB (QUERCUS BICOLOR)



1 / SD-7.0
LANDSCAPE PLAN
SCALE: 1" = 20'



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Date 02.15.2022 - COMMENTS

CONDITIONAL USE PERMIT
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FOR CONSTRUCTION

Sheet Title

DETAILS

Sheet Number

SD-8.0

**3 / SD-8.0
CONC. CATCH BASIN
NTS**

GENERAL NOTES:
1. USE CLASS "B" CONCRETE THROUGHOUT.
2. PROVIDE ALL CATCH BASINS OVER 3'-6" IN DEPTH WITH STEPS 15" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840-66.
3. OPTIONAL CONSTRUCTION - MONOLITHIC POUR, 2" KEYWAY, OR #4 BAR DOMELS AT 15" CENTER AS DIRECTED BY THE ENGINEER.
4. USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
5. IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF MIX, ADD TO SLAB AS SHOWN ON STD. NO. 840-00.
6. USE TYPE "1", "2", AND "3" GRAVEL UNLESS OTHERWISE INDICATED.
7. FOR 1'-0" IN HEIGHT OR LESS USE 4" WALLS AND BOTTOM SLAB. OVER 6'-0" TO 10'-0" IN HEIGHT USE 6" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.
8. CONSTRUCT WITH PIPE CROWN MATCHING. CHAMFER ALL CORNERS 1".
9. DRAWING NOT TO SCALE.

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DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE

SHEET 1 OF 2
840.02

**2 / SD-8.0
CURB & GUTTER
NTS**

CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.

CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.

CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 4000 PSI AT 28 DAYS.

ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.

JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ADJUTING SIDEWALK.

EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

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ROADWAY STANDARD DRAWING FOR
ON-SITE CURB AND GUTTER

SHEET 1 OF 2
840.01

**1 / SD-8.0
CONCRETE SIDEWALK
NTS**

NOTES:
1. ALL CONCRETE 4000 PSI.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
3. BROOM FINISH
4. SIDEWALK CROSS SLOPES ARE TO BE A MAXIMUM 1.8%.

100% AASHTO T99 COMPACTED SUBGRADE

1/2" PREMOLDED BITUMINOUS EXPANSION JOINT AS SHOWN ON PLAN (20' O.C. MAX.)

EXPANSION JOINT AT WALL

NOTES:
1) 4" THICK CONC., 4000 PSI MIN.
2) ALL SIDEWALK ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE
3) USE 1/2" BITUMINOUS EXPANSION JOINT A MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (E. CURBS, BLDG. ETC.) EXPANSION JOINTS THAT ABUT BUILDINGS WALL SHALL BE SEALED WITH A FOAM BACKER ROD AND ELASTOMERIC SEALANT. ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN NCDOT RIGHT-OF-WAY SHALL BE SEALED PER NCDOT STANDARDS AND SPECIFICATION.

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ROADWAY STANDARD DRAWING FOR
CONCRETE SIDEWALK

SHEET 1 OF 2
840.00

**7 / SD-8.0
NCDOT ADA RAMP
NTS**

ISOMETRIC VIEW

SECTION A-A

SECTION B-B

W	A	W/A	X	B
12"	12"	1.0	12"	12"
18"	18"	1.0	18"	18"
24"	24"	1.0	24"	24"
30"	30"	1.0	30"	30"
36"	36"	1.0	36"	36"
42"	42"	1.0	42"	42"
48"	48"	1.0	48"	48"
54"	54"	1.0	54"	54"

DETECTABLE WARNING DOMES

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ROADWAY STANDARD DRAWING FOR
PROPOSED CURB AND GUTTER

SHEET 1 OF 3
848.05

**6 / SD-8.0
ADA SIGNAGE
NTS**

GENERAL NOTES:
1. REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
2. NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
3. ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY. BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
4. STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)
5. MECHANICALLY FASTEN SIGNS TO FINISHED WALL SURFACE AS APPLICABLE.

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ROADWAY STANDARD DRAWING FOR
ADA SIGNAGE

SHEET 1 OF 2
848.04

**5 / SD-8.0
PAVING ADJ. TO BUILDING
NTS**

1/2" WIDE JOINT, ELASTOMERIC SEALANT, FOAM BACKER ROD, EXPANSION JOINT MATERIAL

EXPANSION JOINT

NEW SIDEWALK OR PAVEMENT

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ROADWAY STANDARD DRAWING FOR
PAVING ADJ. TO BUILDING

SHEET 1 OF 2
848.03

**4 / SD-8.0
HEAVY DUTY ASPHALT
NTS**

FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

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ROADWAY STANDARD DRAWING FOR
HEAVY DUTY ASPHALT

SHEET 1 OF 2
848.02

**12 / SD-8.0
GUTTER PAN - CATCH BASIN
NTS**

PLAN VIEW

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RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
GUTTER PAN - CATCH BASIN

SHEET 1 OF 2
848.06

**11 / SD-8.0
WHEELSTOP
NTS**

4" X 4" CONCRETE WHEELSTOP

#4 REBAR, 2' LONG 2 PER WHEELSTOP

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ROADWAY STANDARD DRAWING FOR
WHEELSTOP

SHEET 1 OF 2
848.07

**10 / SD-8.0
BIKE RACK
NTS**

LOOPS IN PAVEMENT

2-3/8" OD X 11' GALV. STEEL PIPE-BLACK FINISH

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ROADWAY STANDARD DRAWING FOR
BIKE RACK

SHEET 1 OF 2
1205.07

**9 / SD-8.0
CROSSWALK STRIPING
NTS**

CROSSWALK PLACEMENT GUIDANCE

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RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CROSSWALK STRIPING

SHEET 1 OF 2
1205.07

**8 / SD-8.0
ADA RAMP - CURB RETURN
NTS**

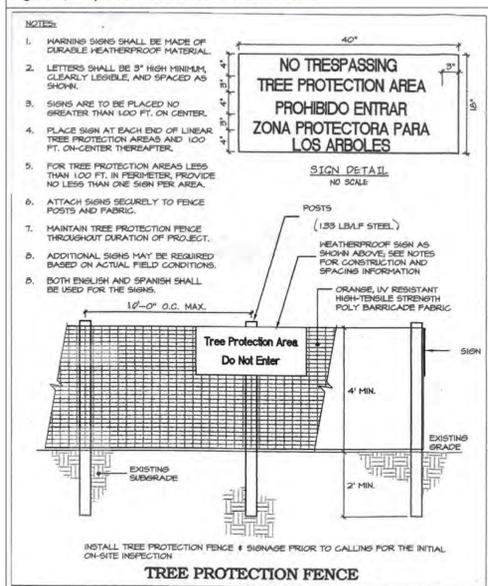
6" THICK CONC RAMP BROOM FINISH

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

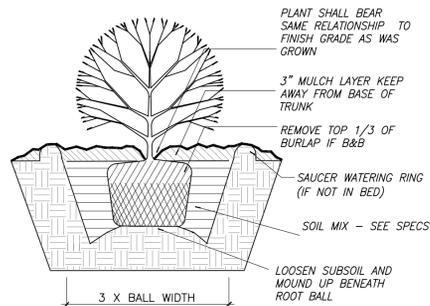
ROADWAY STANDARD DRAWING FOR
ADA RAMP - CURB RETURN

SHEET 1 OF 2
848.01

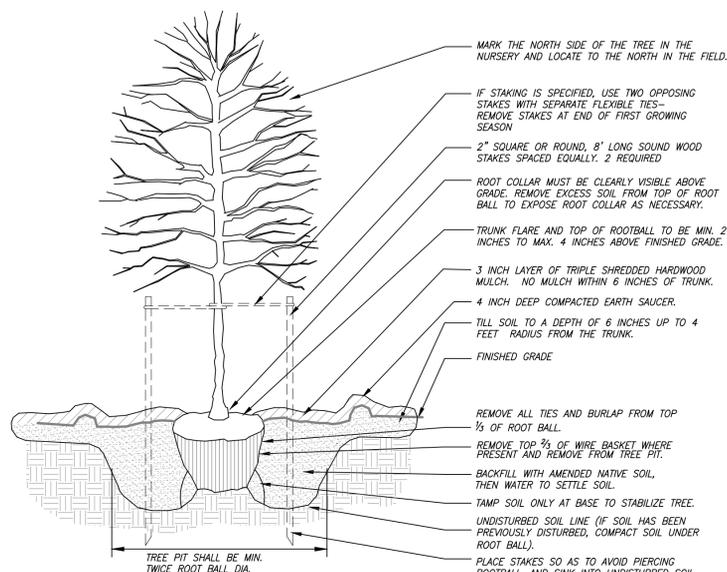
Figure 4, Required Tree Protection Fence Detail



1 / SD-8.1
TREE PROTECTION FENCE
NTS



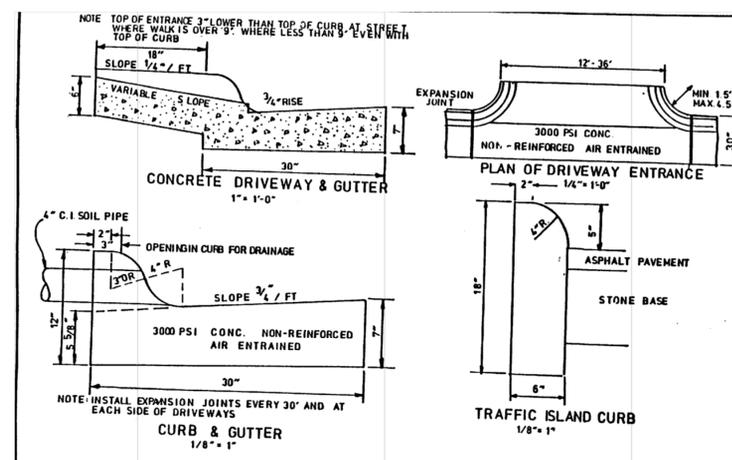
2 / SD-8.1
SHRUB PLANTING
NTS



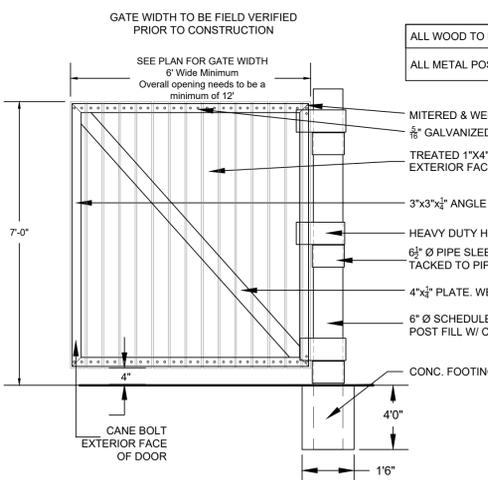
NOTES:

- THIS STANDARD APPLIES TO SINGLE AND MULTI-STEM TREES.
- NO SYNTHETIC FABRIC IS ALLOWED ON ROOT BALL.
- REMOVE ALL BALL TIES OR STRAPPING FROM ROOT BALL.
- DO NOT INSTALL TREES DURING PERIODS OF WET OR FROZEN SOIL CONDITIONS.
- SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
- SET TREE PLUMB IN ALL DIRECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB IN ALL DIRECTIONS. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED OR DIRECTED BY LANDSCAPE ARCHITECT. IF STAKED, STAKE ONLY AS SHOWN.
- TREES PLANTED ON STEEP SLOPES SHALL BE STAKED.

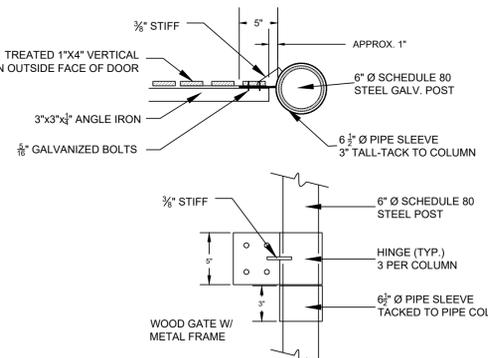
3 / SD-8.1
TREE PLANTING
NTS



4 / SD-8.1
DRIVEWAY CONNECTION
NTS

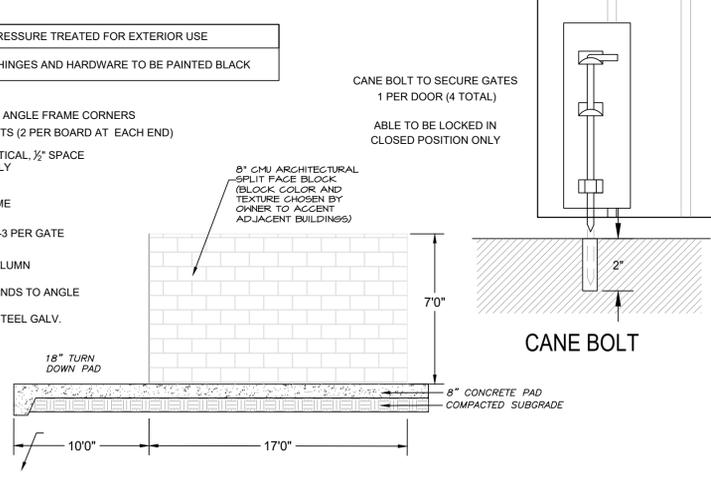


GATE AND PIPE COLUMN

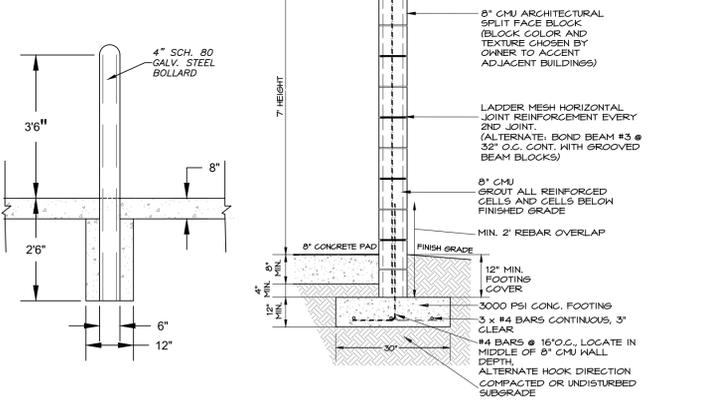


HINGE AND PIPE COLUMN

5 / SD-8.1
DUMPSTER ENCLOSURE
NTS

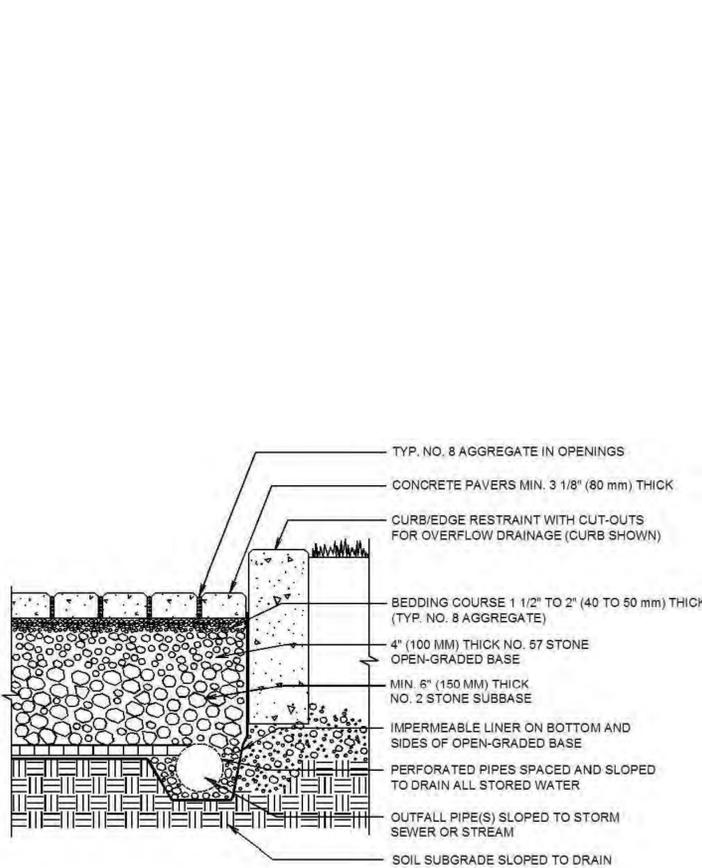


SCREEN WALL AND PAD



BOLLARD

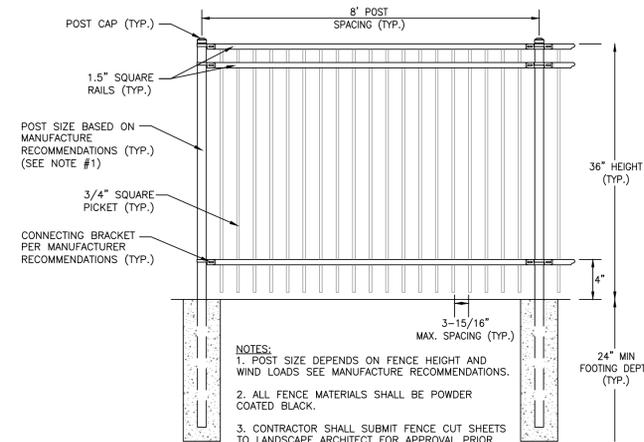
SCREEN WALL SECTION



NOTES:

- 2 3/8" (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN APPLICATIONS.
- NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.

6 / SD-8.1
PERMEABLE PAVERS
NTS



7 / SD-8.1
36" ALUMINUM PICKET FENCE
NTS

Coulter Jewell Thames

ENGINEERING PLANNING LANDSCAPE ARCHITECTURE

111 West Main Street
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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
LIC # C-1289
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

BPG Beacon Properties Group

07.15.2022

Project
201 N. GREENSBORO

201 N Greensboro St.
Carrboro Township,
Orange County,
North Carolina

PINS:
9778863587, 9778862555

Job Number 1869

Drawn ED
Checked JSA, FR
Date 04.08.2020
Date 07.24.2020 - COMMENTS
Revisions 10.13.2020 - COMMENTS
10.05.2021 - COMMENTS
02.15.2022 - COMMENTS

CONDITIONAL USE PERMIT NOT ISSUED FOR CONSTRUCTION

Sheet Title

DETAILS

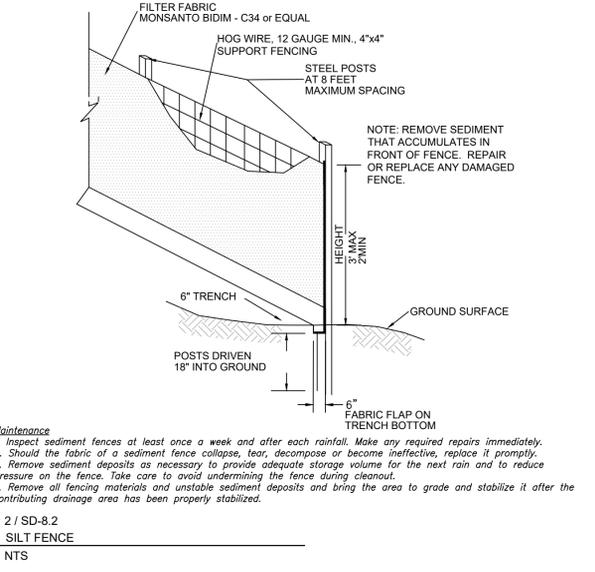
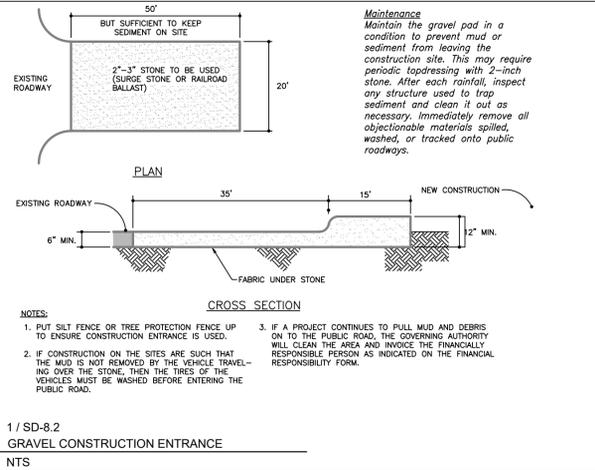
Sheet Number

SD-8.1

Coulter Jewell Thames
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BPG Beacon Properties Group



**3 / SD-8.2
SEEDING SCHEDULE
NTS**

FALL/WINTER/SPRING TEMPORARY COVER	AUGUST 15 – MAY 1
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	25 lbs/1000 sf
Oak Seed	2 lbs/1000 sf
Rye Grain Seed	1 lbs/1000 sf
Straw Mulch *	100 lbs/1000 sf
SUMMER TEMPORARY COVER	MAY 1 – AUGUST 15
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	15 lbs/1000 sf
Browtop Millet Seed	1 lbs/1000 sf
Straw Mulch *	100 lbs/1000 sf
SPRING/FALL PERMANENT COVER	MARCH 1 – APRIL 30
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	25 lbs/1000 sf
Improved Turf Type Fine Fescue Seed	8 lbs/1000 sf
Straw Mulch *	100 lbs/1000 sf
SUMMER PERMANENT COVER	APRIL 1 – AUGUST 15
GRASS	
BERMUDAGRASS	
BERMUDAGRASS (HYBRID)	
CENTIPEDEGRASS	
ST. AUGUSTINEGRASS	
TALL FESCUE	
ZOYSIAGRASS	

1. OPTIMUM DATE OF PLANTING, SEEDING BEYOND THESE DATES INCREASES THE CHANCE OF FAILURE.
 2. POUNDS PER 1000 SQ.FT.
 3. BUSHEL PER 1000 SQ.FT.

Seedbed Preparation: Remove rocks, stumps, roots, etc. Apply lime and fertilizer to loosen and roughen it to receive seed.
 Seed temporary cover to stabilize temporary sedimentation control measures and other accomplished, if planting season is not suitable for installation of permanent cover. Contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date.
 * Anchor straw mulch by applying an asphalt binder emulsion at a rate of 10 gallons per 1000 SF or install jute, paper or twine netting or excelsior mats staked to ground according to the manufacturer's instructions.

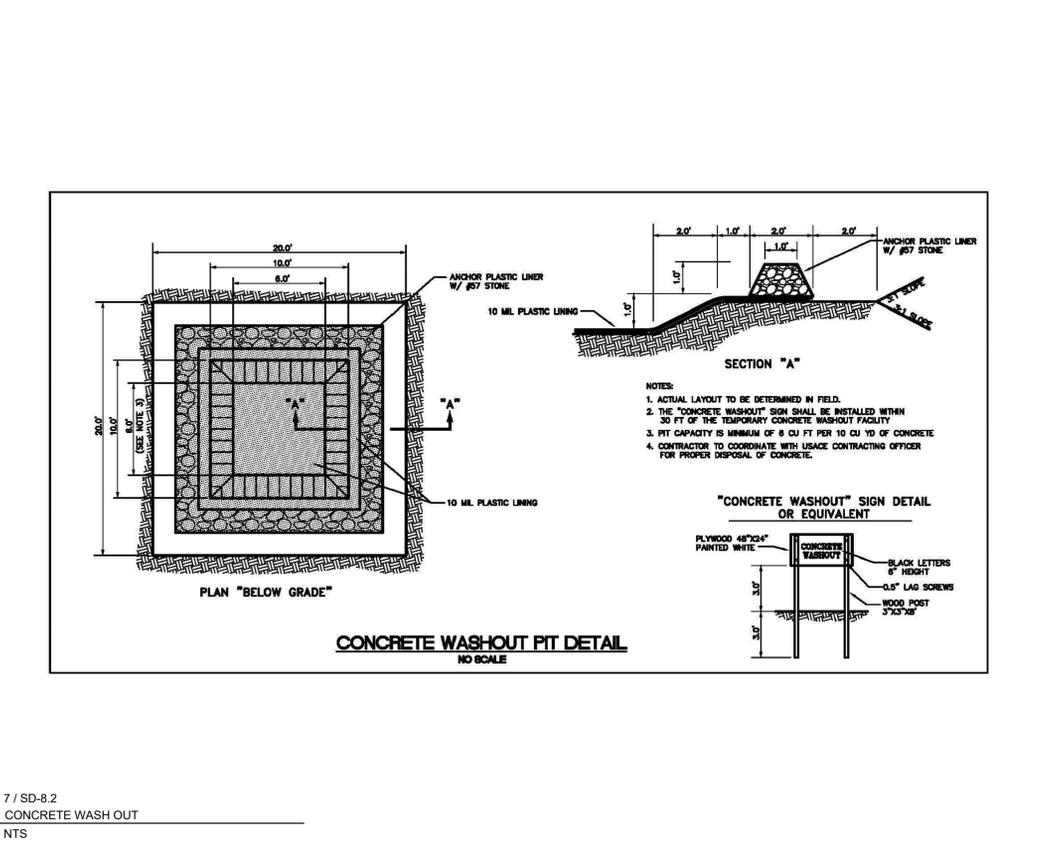
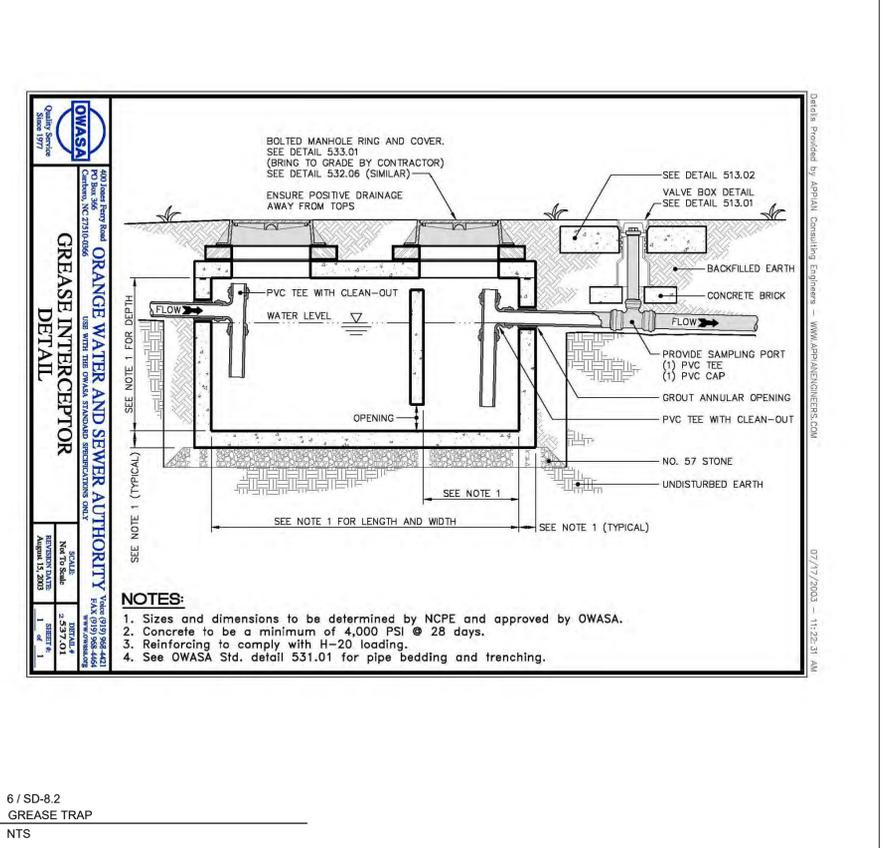
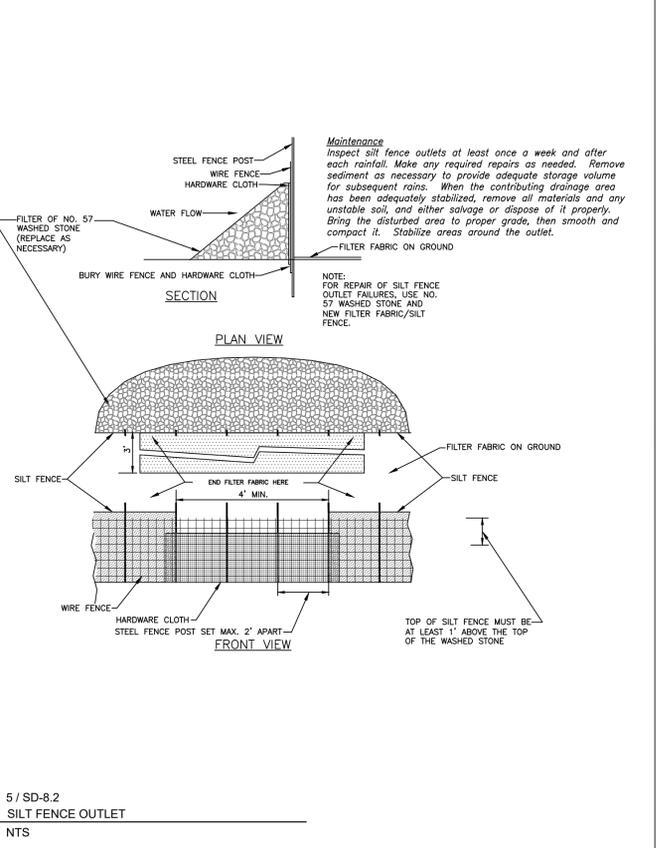
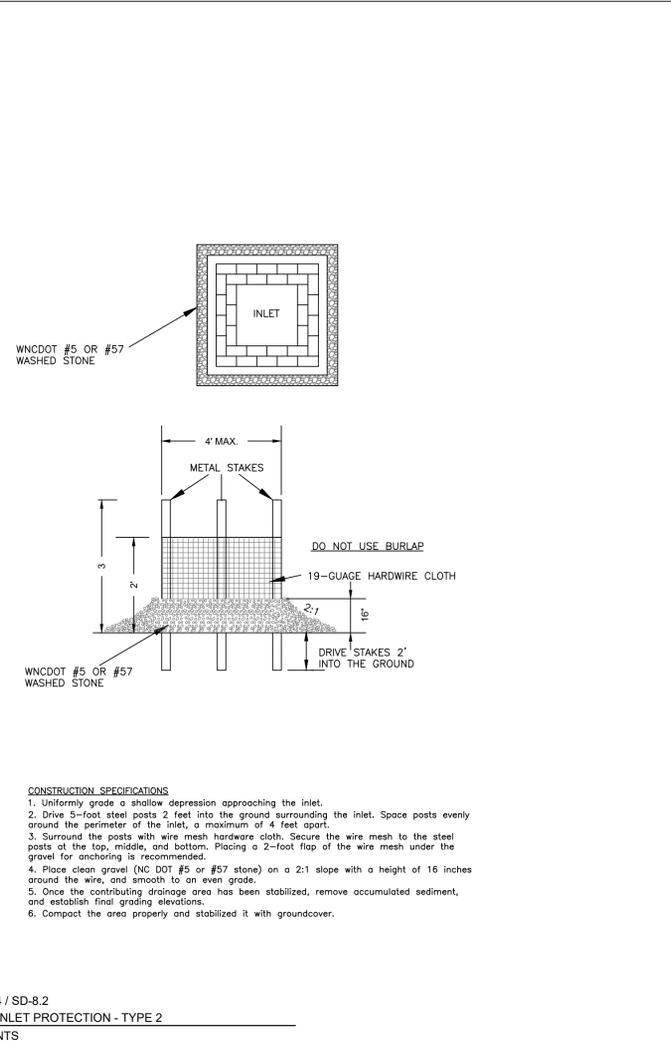
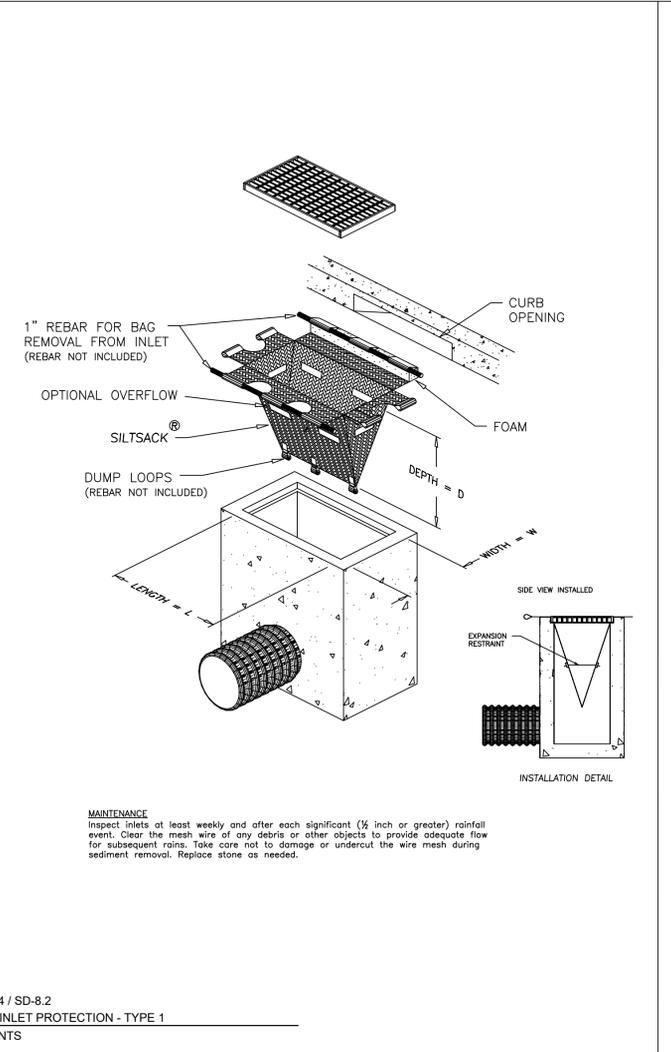
STABILIZATION TIME TABLE

1. All permanent dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3:1 shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but within 7 calendar days from last land-disturbing activity.
 2. All other disturbed areas shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but in any event within 14 calendar days from last land-disturbing activity.

*EXPOSED AREAS INCLUDE, BUT ARE NOT LIMITED TO:
 • AREAS CLEARED FOR ROADWAY CONSTRUCTION.
 • AREAS CLEARED ON RESIDENTIAL BUILDING LOTS.
 • DRAINAGE BASINMENTS AND OPEN DRAINAGE CHANNELS.
 • SEDIMENT AND EROSION CONTROL MEASURES (SEDIMENT TRAPS, DIVERSION DITCHES, ETC.) AND THE AREAS ADJACENT TO SUCH MEASURES.

Ground Stabilization*		
Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	None
Slopes 3:1 or flatter	7 days	None
All other areas with slopes flatter than 4:1	7 days	None

* Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable" (Section 11.B(2)(b))



Project
201 N. GREENSBORO
 201 N Greensboro St.
 Carrboro Township,
 Orange County,
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 8778863587, 9778862555

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Drawn ED
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CONDITIONAL USE PERMIT
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 FOR CONSTRUCTION

Sheet Title
DETAILS

Sheet Number
SD-8.2



125 N. Harrington St.
Raleigh, NC 27603
919/836-6413
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ClineDesignAssoc.com

BEACON PROPERTIES GROUP
201 N. GREENSBORO STREET
CARRBORO, NORTH CAROLINA

NOT FOR CONSTRUCTION

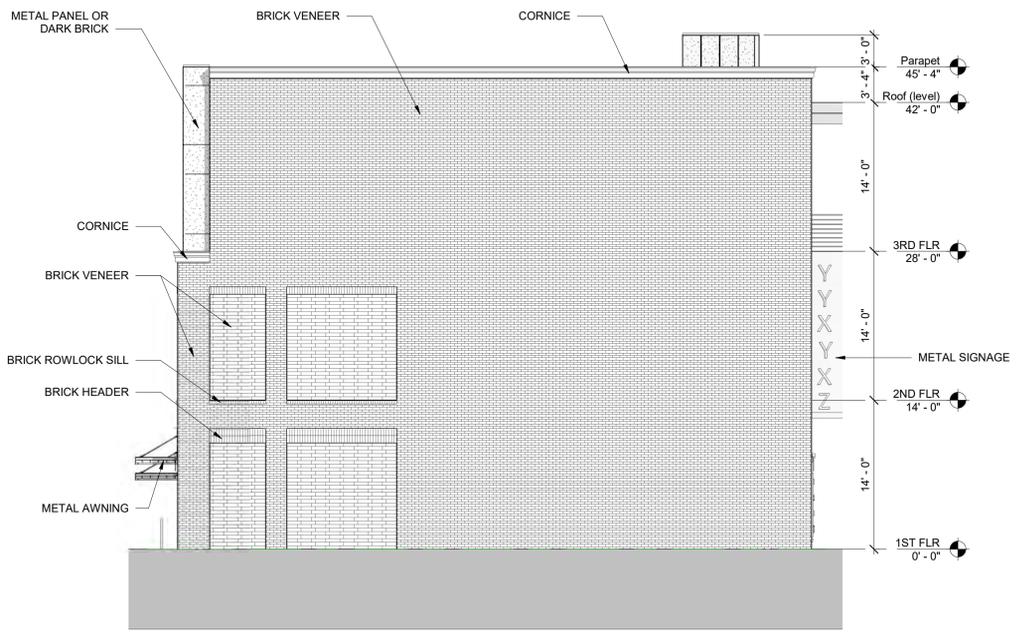
CONCEPT DESIGN

PROJECT: 019092
DATE: 05/27/2021
REVISIONS: DATE

DRAWN BY: CJ
CHECKED BY: CW

EXTERIOR ELEVATIONS

A2.0

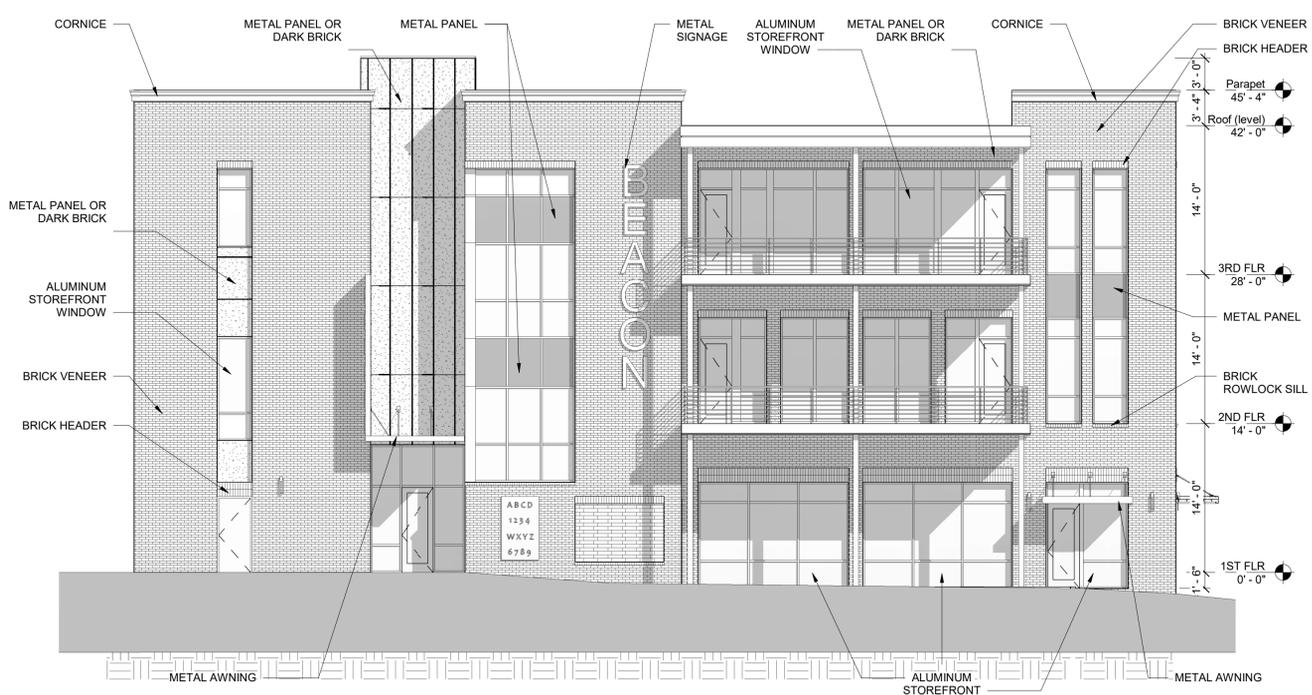


NORTH ELEVATION 4
1/8" = 1'-0"

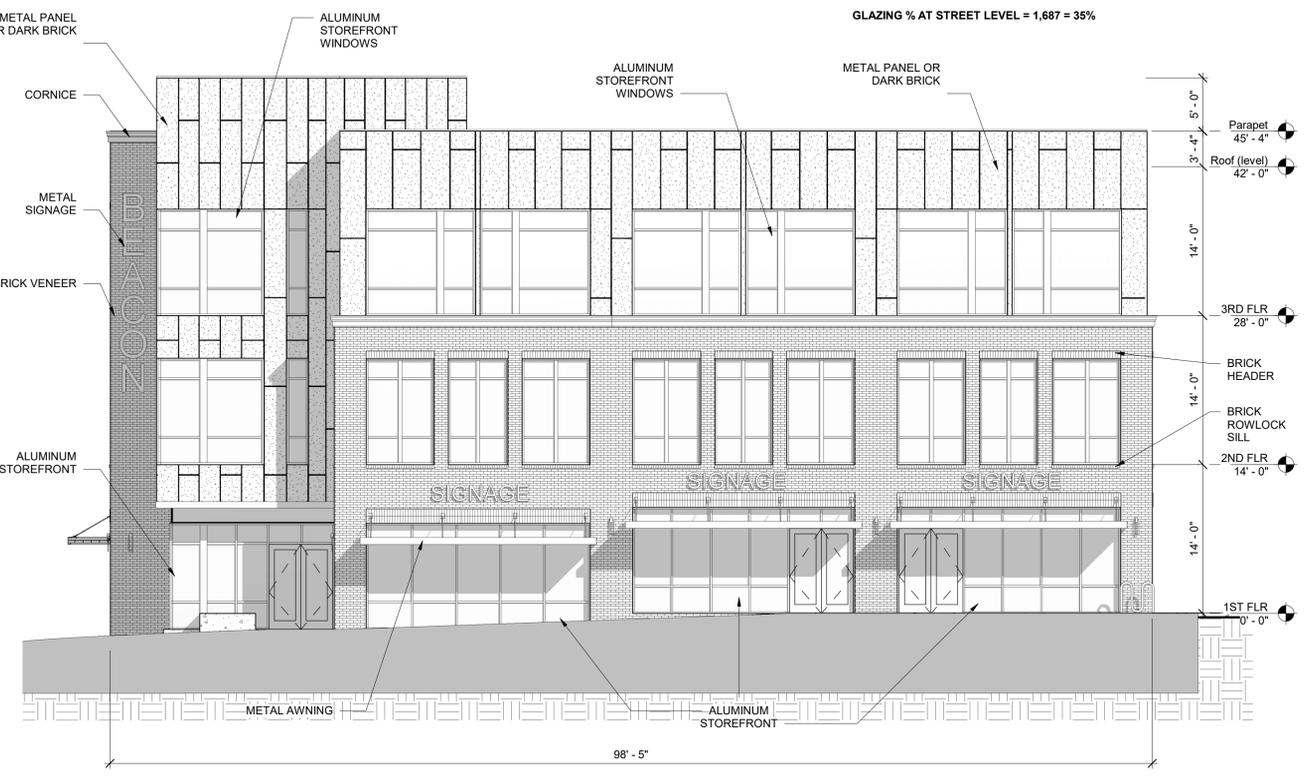


SOUTH ELEVATION 2
1/8" = 1'-0"

TOTAL AREA OF BUILDING FACADE = 14,987 SF
TOTAL GLAZING % = 4,866.5 SF = 33%
AREA OF BUILDING FACADE AT STREET LEVEL = 4,776 SF
GLAZING % AT STREET LEVEL = 1,687 = 35%



WEST ELEVATION 3
1/8" = 1'-0"



EAST ELEVATION 1
1/8" = 1'-0"

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