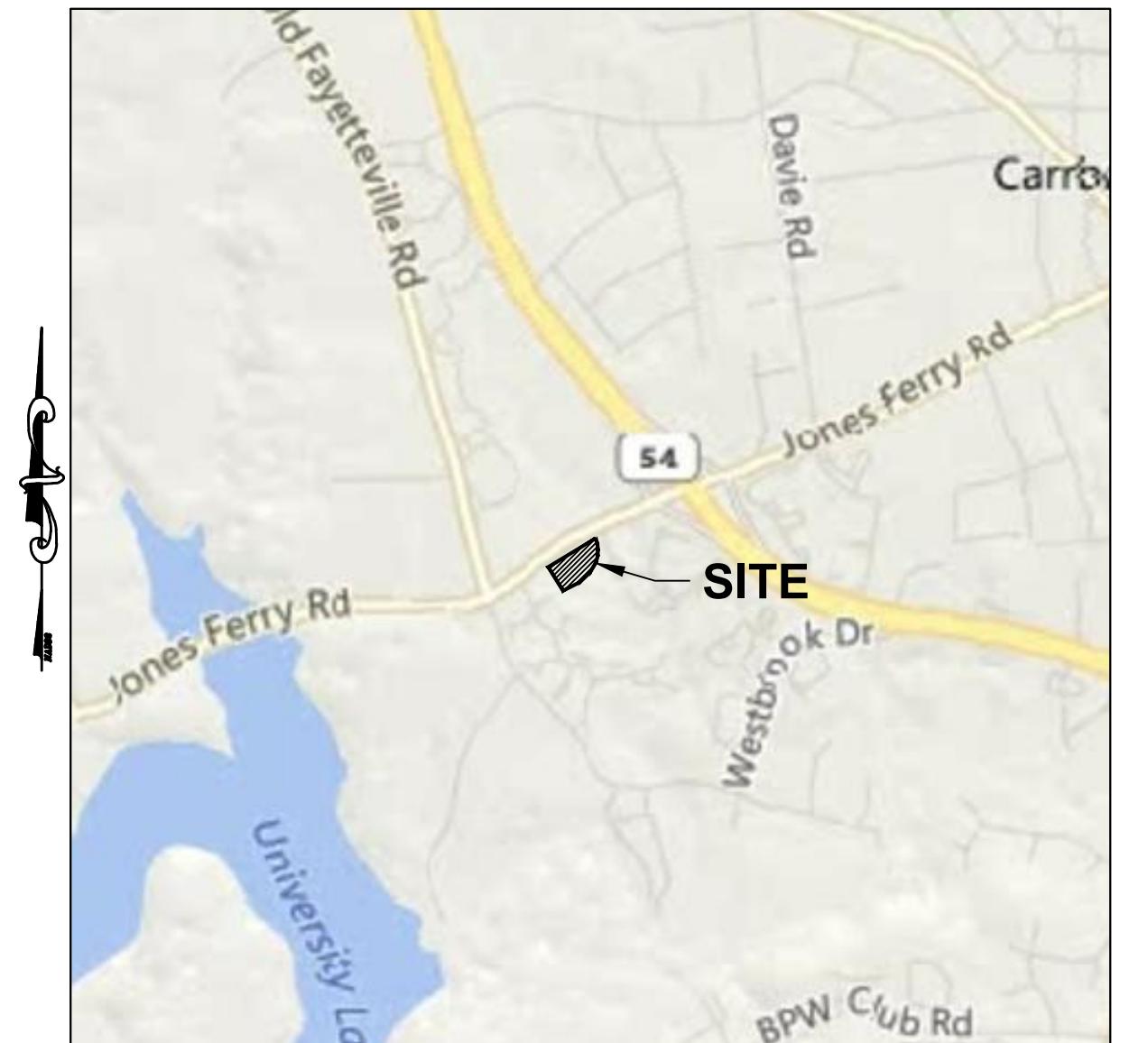


FRANCIS CHAN MIXED USE BUILDING - CONDITIONAL USE PERMIT

SITE DATA

1. TYPE OF SUBMITTAL: SITE PLAN
2. PARCEL PIN: 9778346032
3. ADDRESS: 603 JONES FERRY ROAD
4. CURRENT ZONING: O
5. ZONING CONDITIONS: ENCROACHMENTS INTO THE ZONE 2 WATER QUALITY BUFFER SHALL BE LIMITED TO 20' FOR STRUCTURES AND PAVEMENT. ENCROACHMENT INTO THE ZONE 2 BUFFER FOR STORMWATER BMP/SCM SHALL BE LIMITED TO 50', DIFFUSE FLOW SHALL BE ACHIEVED BEFORE DISCHARGE ENTERS ZONE 1.
6. PROPOSED ZONING: O & R-3
7. ADJACENT ZONING: O & R-3
8. PROPOSED USE: MIXED USE - 1,300 & 3,120. OFFICE ON FIRST LEVEL WITH LIVING SPACE ABOVE
9. ADJACENT USE: APARTMENTS (1,330) MEDICAL OFFICES (7,100)
10. DEED BOOK REFERENCE: BOOK 5819, PAGE 547
11. BUILDING SIZE: TOTAL PROPOSED SQUARE FOOTAGE = 1,600 SF PROPOSED RESIDENTIAL SQUARE FOOTAGE = 4,800 SF (FOUR UNITS W/ 1,200 SF AND TWO BEDROOMS EACH) PROPOSED OFFICE SQUARE FOOTAGE = 4,800 SF (FOUR UNITS W/ 1,200 SF EACH) PROPOSED BUILDING HEIGHT = 29.83 FT; 2 STORIES EXISTING SQUARE FOOTAGE = 0 SF
12. PROPOSED LOT AREA: 1.10 ACRES (47,916 SF)
13. TRACT ACREAGE: EXISTING: 1.10 ACRES (47,916 SF) PROPOSED: 1.10 ACRES (47,916 SF)
14. MIN. BUILDING SETBACKS: STREET: 15 ft BOUNDARY: 15 ft
15. LANDSCAPED SCREENING: SEMI-OPAQUE SCREEN ADJACENT TO R-3
16. PARKING REQUIRED: 1 VEHICLE SPACE PER 400 SF (OFFICE): 4,800 SF / 400 SF = 12 SPACES 1.5 BICYCLE SPACES PER UNIT & 1 SPACE PER BEDROOM PLUS 1 SPACE PER 4 RESIDENTIAL UNITS VEHICLE SPACES (5 MIN) = 9 SPACES
17. PARKING PROVIDED: 21 VEHICLE SPACES: 11 STANDARD, 1 ADA, & 9 COMPACT 11 BICYCLE SPACES
18. EXISTING PARKING: 0 SPACES
19. PROPOSED PHASES: 1 PHASE
20. IMPERVIOUS AREA: 0.34 ACRE (30.66%)
21. USE CATEGORIES: USE CODES 1,330 MULTI-FAMILY APARTMENTS & 3,120 OFFICE W/ LITTLE TO NO CUSTOMER OR CLIENT TRAFFIC

TYPE OF PERMIT/ APPROVAL REQUESTED: CUP (CONDITIONAL USE)



VICINITY MAP
1" = 1,200'

APRIL 12, 2018

CIVIL ENGINEER
TIMMONS GROUP
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PHONE: (336) 478-3346
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OWNER
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DURHAM, NC 27705
CONTACT: FRANCIS CHAN
PHONE: (919) 360-0049
FRANCISCHAN66@GMAIL.COM

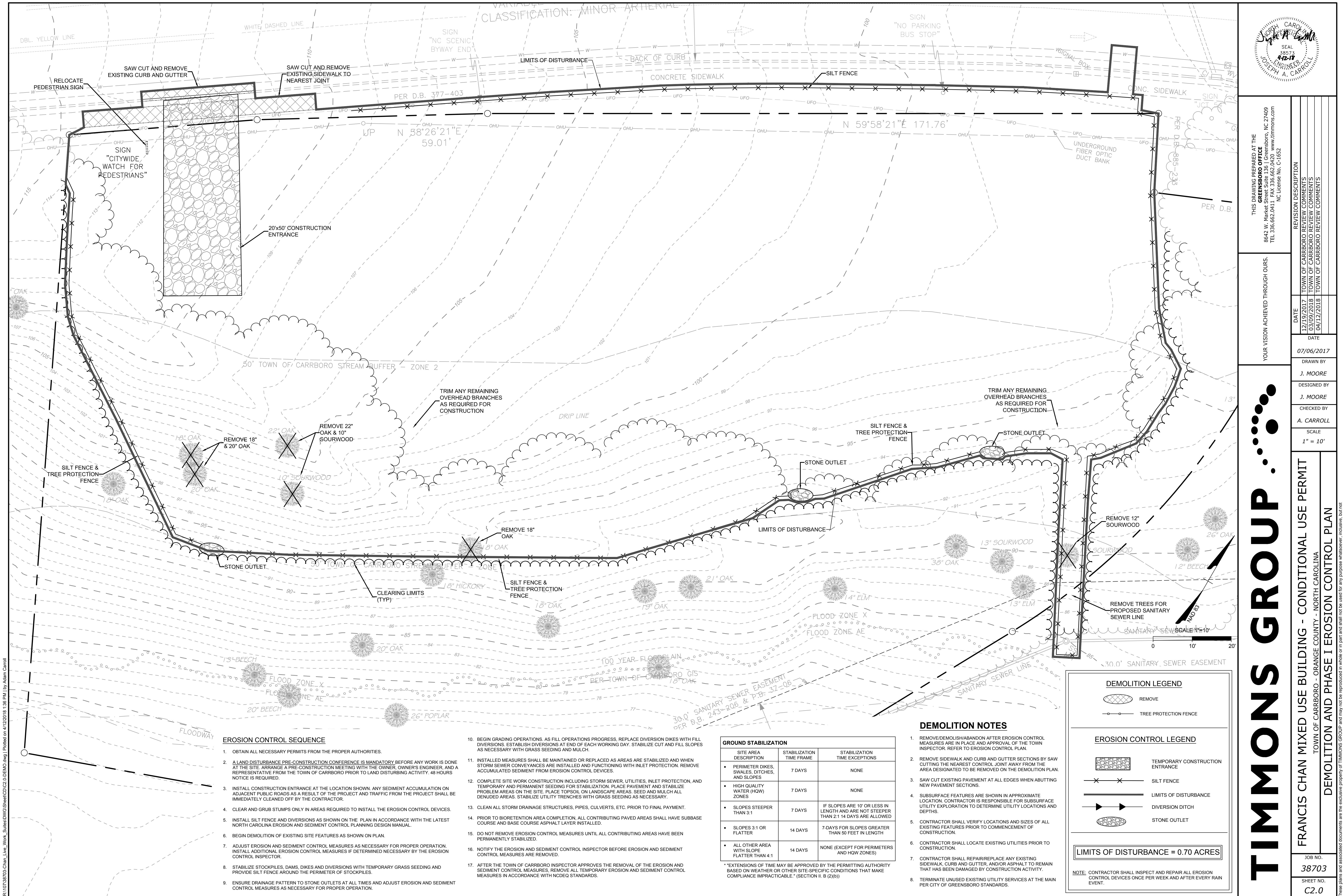
ARCHITECT
O'BRIEN: ARCHITECTURE
143 W. MAIN STREET
KERNERSVILLE, NC 27284
CONTACT: MATTHEW O'BRIEN
PHONE: (336) 423-4411
EMAIL: OBRIEN@OBAIA.COM

TIMMONS GROUP

FRANCIS CHAN MIXED USE BUILDING - CONDITIONAL USE PERMIT
TOWN OF CARRBORO - ORANGE COUNTY - NORTH CAROLINA
COVER SHEET

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		REVISION DESCRIPTION	
		12/19/2017 TOWN OF CARRBORO REVIEW COMMENTS	03/09/2018 TOWN OF CARRBORO REVIEW COMMENTS
		04/12/2018 TOWN OF CARRBORO REVIEW COMMENTS	
		DATE	DATE
		07/06/2017	07/06/2017
		DRAWN BY	DRAWN BY
		J. MOORE	J. MOORE
		DESIGNED BY	DESIGNED BY
		J. MOORE	J. MOORE
		CHECKED BY	CHECKED BY
		A. CARROLL	A. CARROLL
		SCALE	SCALE
		AS SHOWN	AS SHOWN

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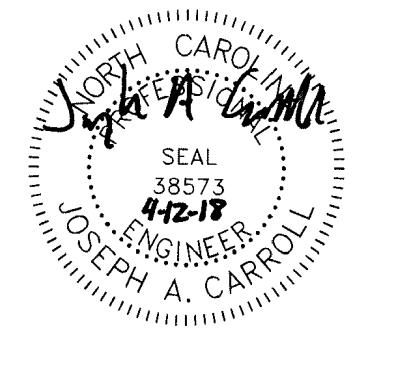
THE GROWING SUMS T

FRANCIS CHAN MIXED USE BUILDING - CONDITIONAL USE PERMIT

TOWN OF CARRBORO - ORANGE COUNTY - NORTH CAROLINA

DEMOLITION AND PHASE I EROSION CONTROL PLAN

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REVISION DESCRIPTION

12/19/2017 TOWN OF CARRBORO REVIEW COMMENTS

07/06/2017 DATE

DRAWN BY

J. MOORE

DESIGNED BY

J. MOORE

CHECKED BY

A. CARROLL

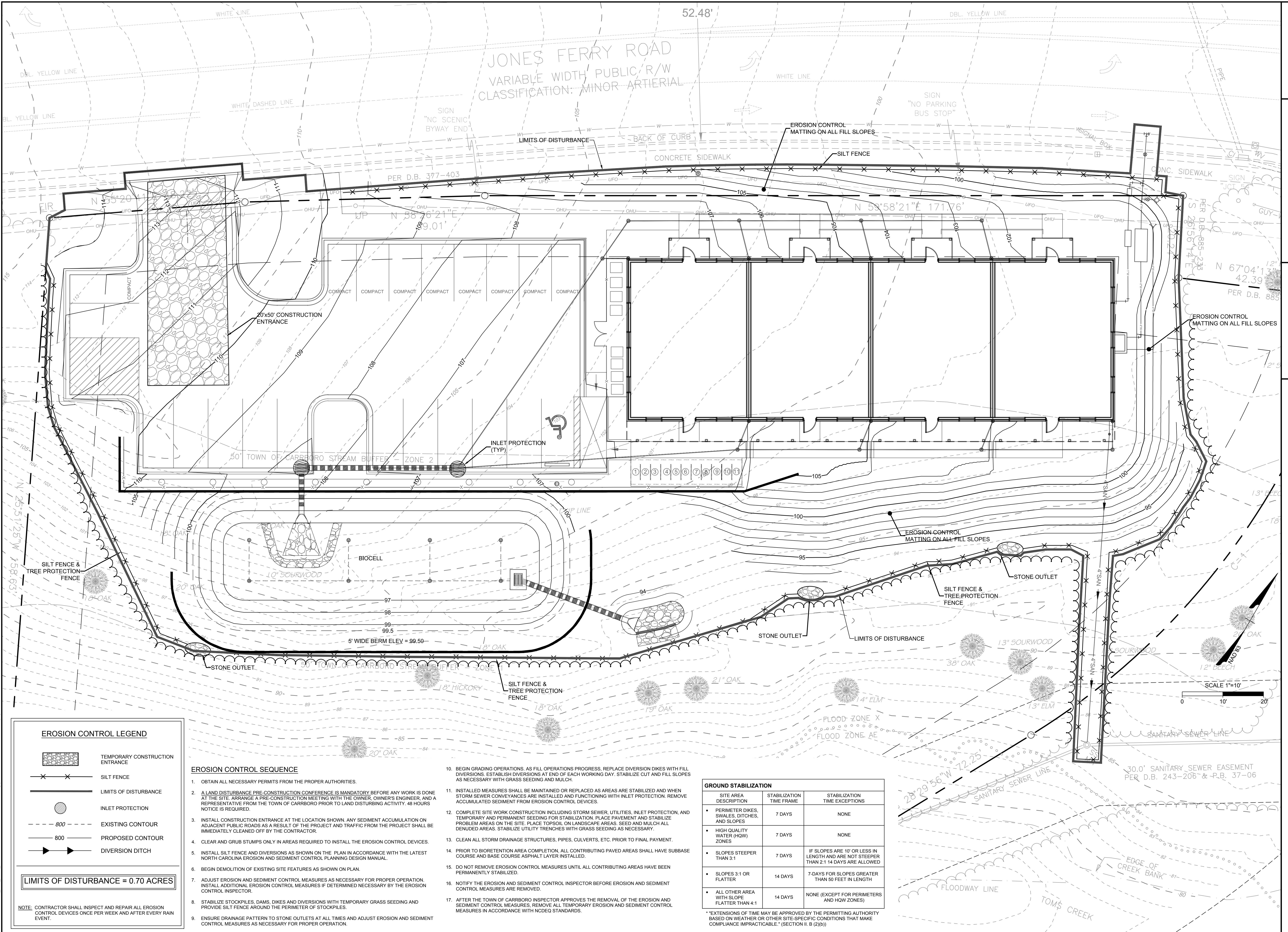
SCALE

1" = 10'

TIMMONS GROUP

FRANCIS CHAN MIXED USE BUILDING - CONDITIONAL USE PERMIT PHASE II EROSION CONTROL PLAN

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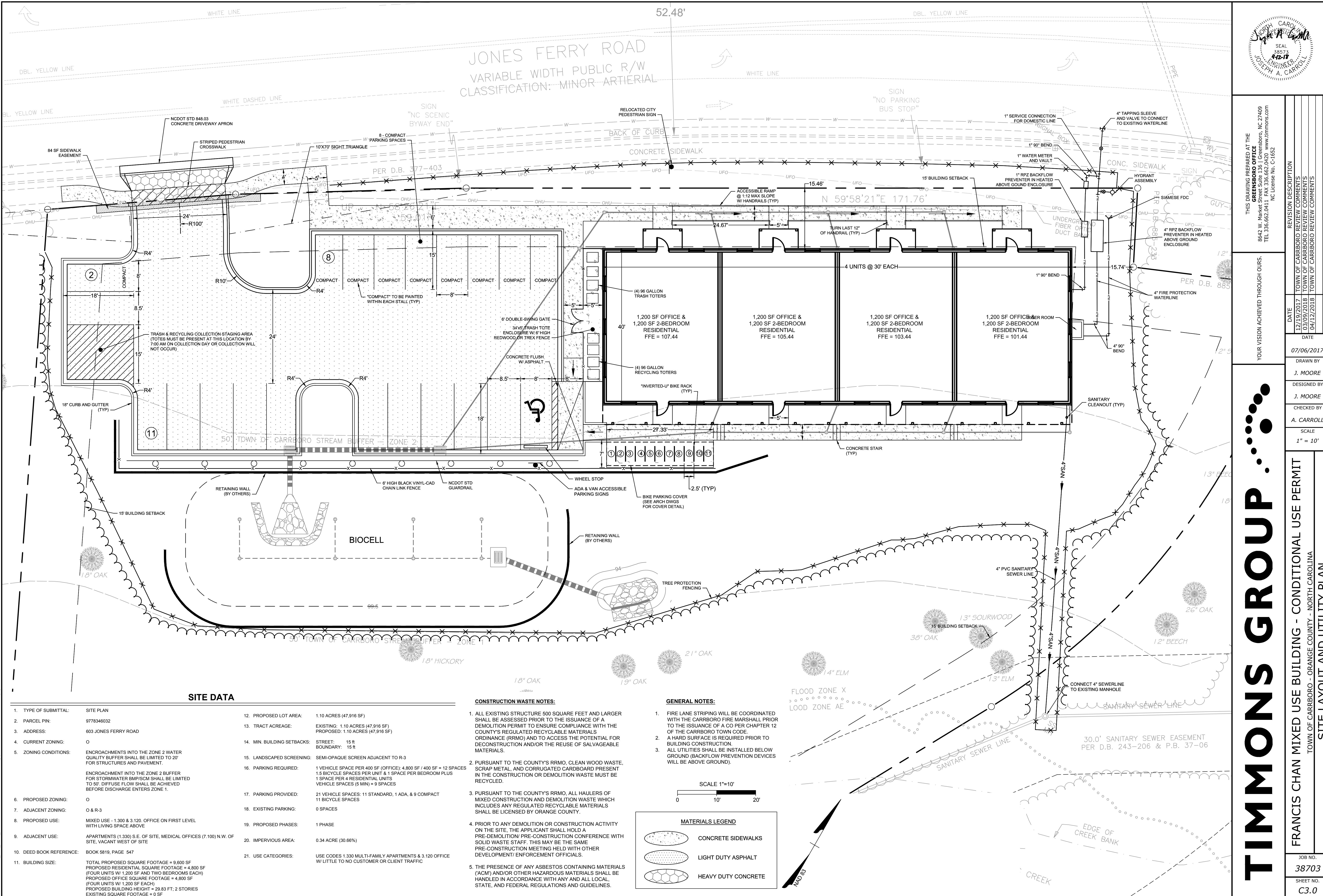
DATE	12/19/2017
DRAWN BY	J. MOORE
DESIGNED BY	J. MOORE
CHECKED BY	A. CARROLL
SCALE	1" = 10'

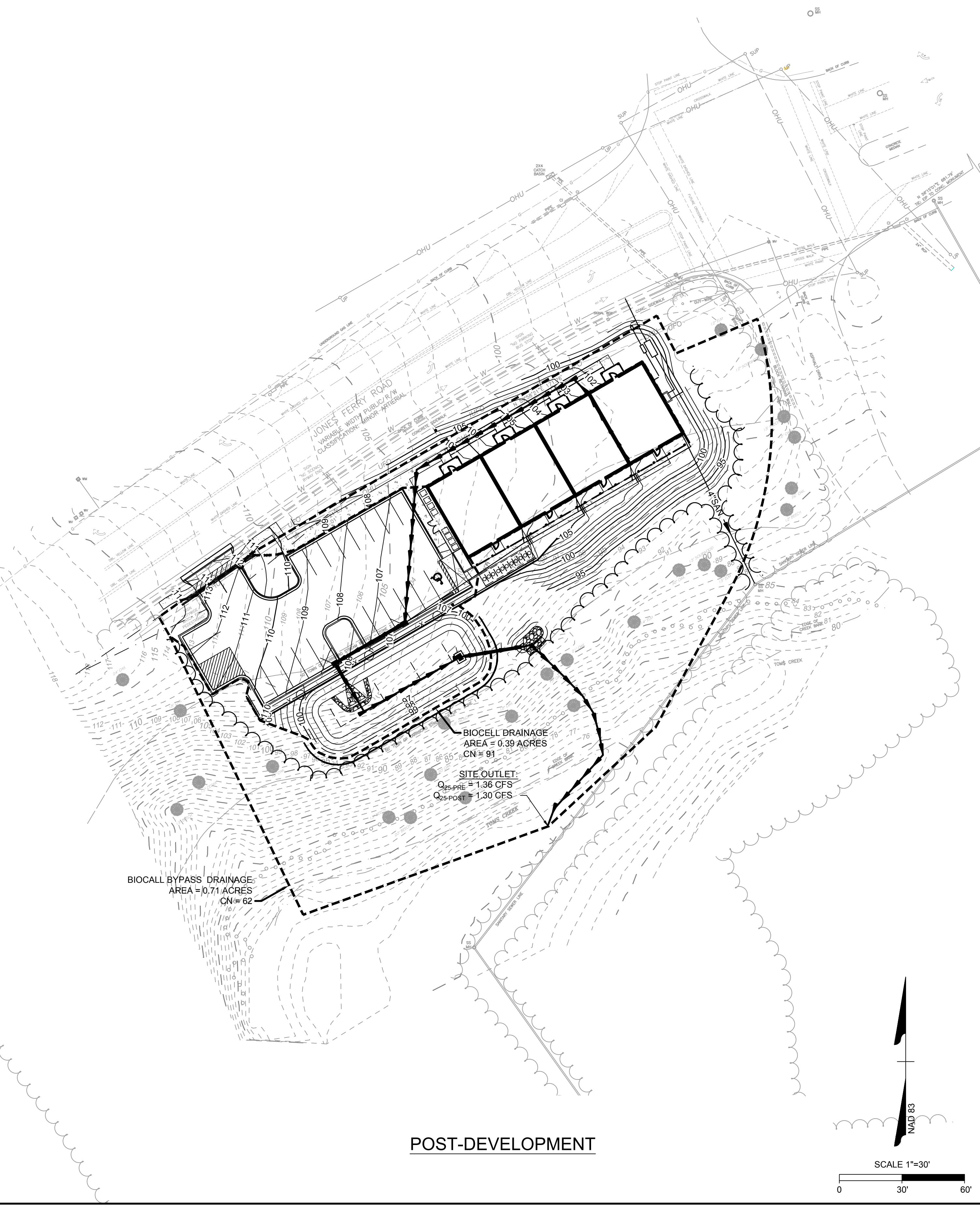
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TOWN OF CARRBORO - ORANGE COUNTY - NORTH CAROLINA
SITE LAYOUT AND UTILITY PLAN

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JONES FERRY ROAD VARIABLE WIDTH PUBLIC R/W CLASSIFICATION: MINOR ARTERIAL





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TOWN OF CARRBORO - ORANGE COUNTY - NORTH CAROLINA
PRE AND POST DEVELOPMENT DRAINAGE MAP

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REVISION DESCRIPTION

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	DRAWN BY	J. MOORE
	DESIGNED BY	J. MOORE
	CHECKED BY	A. CARROLL
	SCALE	1" = 10'

FRANCIS CHAN MIXED USE BUILDING - CONDITIONAL USE PERMIT	DATE	07/06/2017
TOWN OF CARRBORO - ORANGE COUNTY - NORTH CAROLINA	DRAWN BY	J. MOORE
PRE AND POST DEVELOPMENT DRAINAGE MAP	DESIGNED BY	J. MOORE
	CHECKED BY	A. CARROLL
	SCALE	1" = 10'

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JOB NO.
38703

HEET NO.
C5.1

