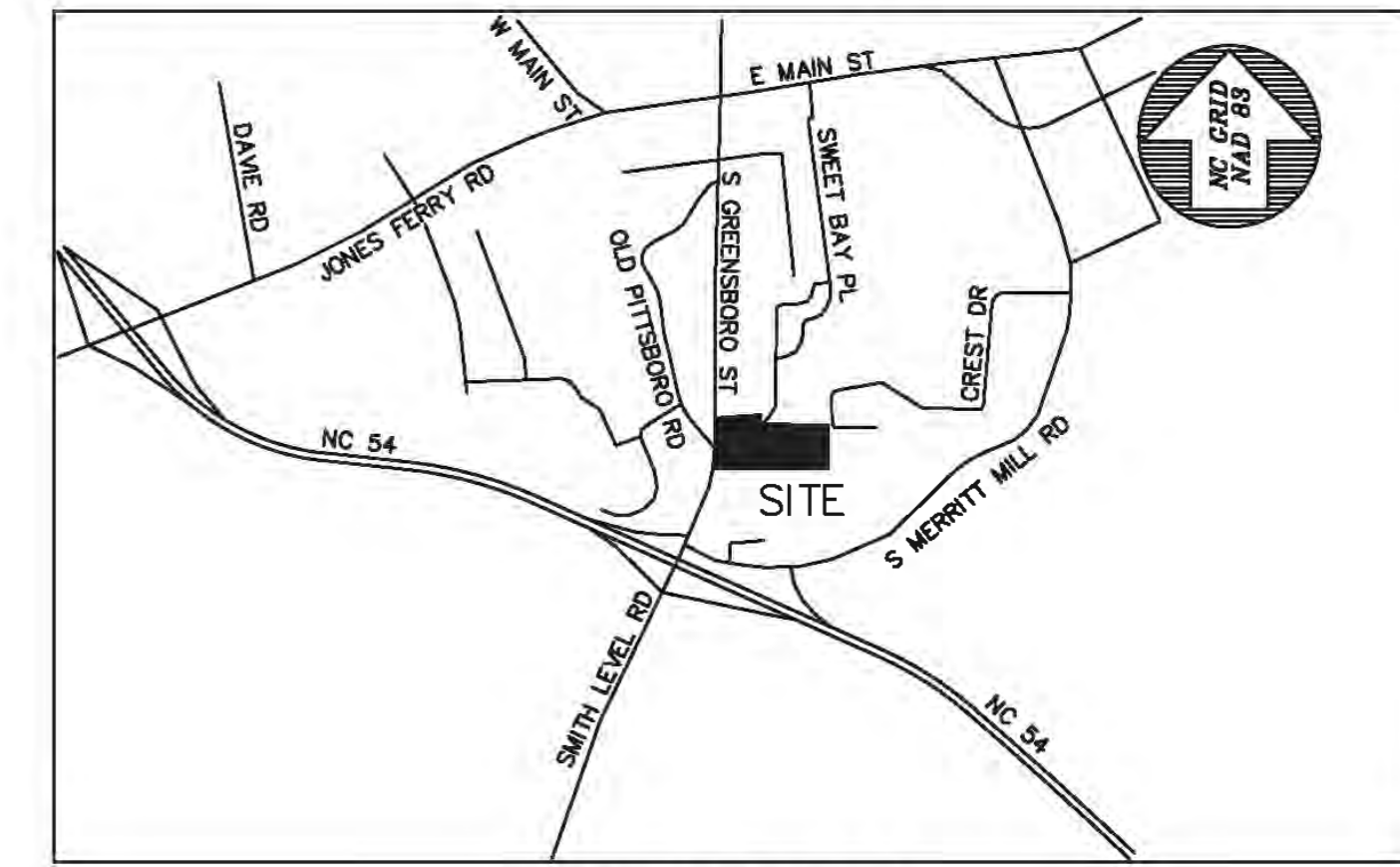


SHOPPING
SOUTH GREEN
 DINING

CONDITIONAL USE PERMIT FOR SOUTH GREEN (TRIEM)

CARRBORO, NORTH CAROLINA



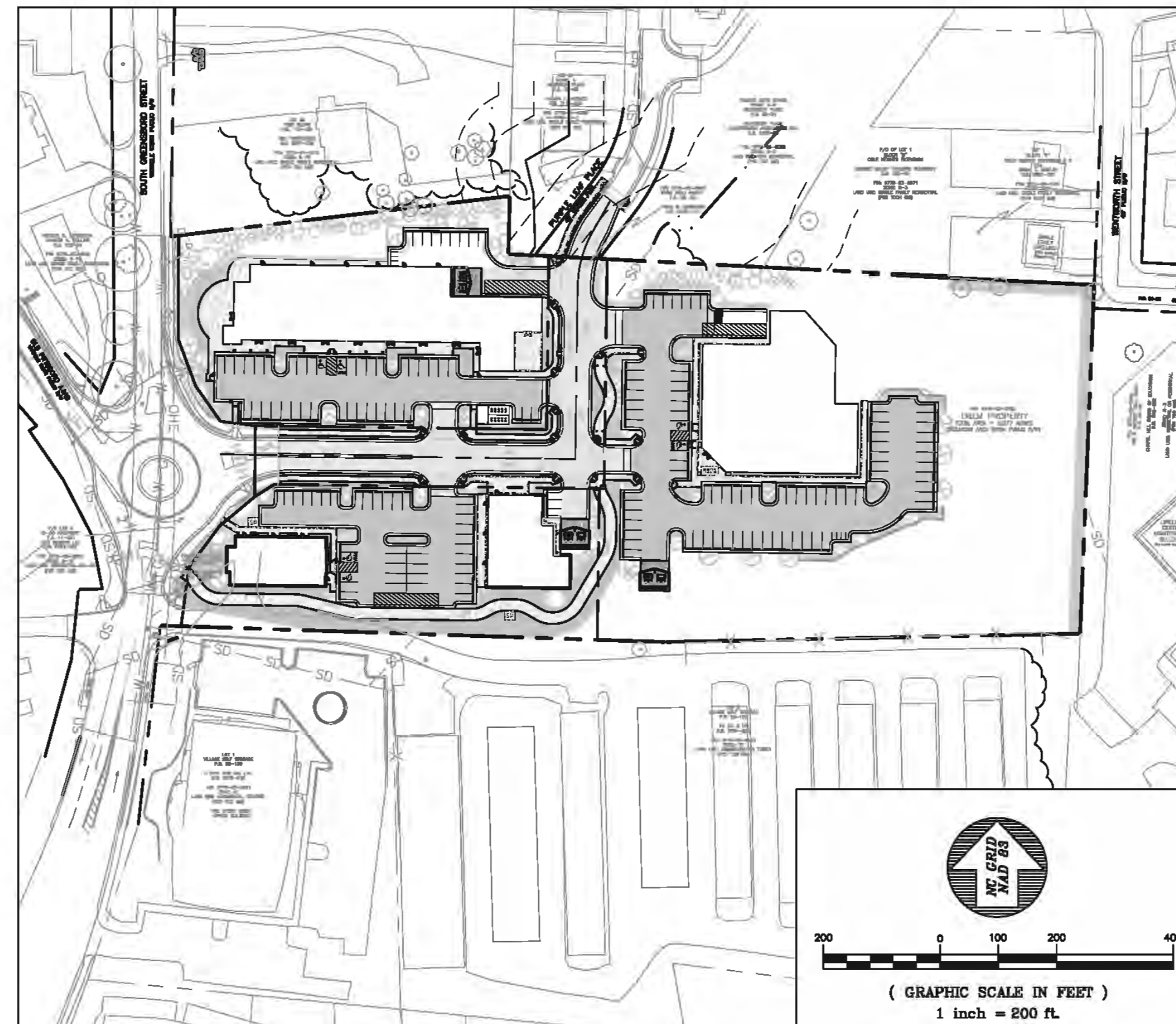
VICINITY MAP
SCALE: N.T.S.

SUMMARY INFORMATION:

- A. TRACT SIZE - 5.977 ACRES - INCLUDES RAND ROAD RIGHT OF WAY
- B. NUMBER OF PROPOSED LOTS- THREE
- C. FLOOR AREA
 - 1. EXISTING - 34648 SF
 - 2. PROPOSED -
 - LOT 1 FIRST FLOOR - 15,431 SF
 - LOT 1 SECOND FLOOR - 992 SF RESTAURANT, 2810 SF OFFICE
 - LOT 1 PATIO - 1379 SF AND 812 SF
 - LOT 1 ATM - 93 SF
 - LOT 2 FIRST FLOOR - 15,228 SF
 - LOT 2 MEZZ - 2,390 SF
 - LOT 3 BUILDING 3 AND 4 - 8,272 SF
 - LOT 3 PATIO - 175 SF
 - LOT 3 OPTIONAL BUILDING 5 - 9226 SF
- D. EXISTING USE CATEGORY - #4.100 INDOOR MANUFACTURING
- E. PROPOSED USE CATEGORY - (SEE PROJECT NARRATIVE FOR COMPLETE BREAKDOWN)
- F. DETAILED PARKING (SEE PROJECT NARRATIVE FOR COMPLETE BREAKDOWN)
- G. NUMBER OF PHASES - THREE
- H. TOTAL PROPOSED IMPERVIOUS SURFACE - 145,000 SF (INCLUDES AN IMPERVIOUS ALLOWANCE)
- I. TOTAL EXISTING IMPERVIOUS SURFACE - 106,253 SF
- J. PROPOSED BUILDING HEIGHT - 40 FEET
- K. TAX MAP REFERENCE NUMBER - 7.100.C.35 PIN NUMBER - 9778-93-0728
- L. PROPERTY ADDRESS - 501 S. GREENSBORO STREET
- M. EXISTING ZONING DISTRICT- MANUFACTURING-1 (M-1)
- N. PROPOSED ZONING DISTRICT -MANUFACTURING-3 CU (M-3 CU)

PROPOSED USES (ALL ARE PERMITTED USES, EXCEPT RESTAURANTS):

- 2.110 SALES --- HIGH VOL --- ALL INDOOR
- 2.120 SALES --- LOW VOL --- ALL INDOOR
- 2.130 SALES --- WHOLESALE
- 2.210 SALES --- HIGH VOL --- W/ OUTDOOR DISPLAY
- 2.220 SALES --- LOW VOL --- W/ OUTDOOR DISPLAY
- 2.230 SALES --- WHOLESALE --- W/ OUTDOOR DISPLAY
- 3.110 OFFICE/SVC --- ATTRACT CUSTOMERS
- 3.120 OFFICE/SVC --- LITTLE/NO CUSTOMER TRAFFIC
- 3.130 OFFICE/SVC --- DOC/DENTIST >10,000 SQFT
- 3.150 OFFICE/SVC --- COPY/PRINT
- 3.210 OFFICE/SVC W/OUTDOOR --- ATTRACT CUSTOMERS
- 3.220 OFFICE/SVC W/OUTDOOR --- ATTRACT NO/FEW CUSTOMERS
- 3.250 FREESTANDING ATM
- 4.100 MANUFACTURING
- 5.120 TRADE SCHOOL
- 5.130 ART GALLERY
- 5.200 CHURCH/SYNAGOGUE/TEMPLE
- 5.300 LIBRARY/MUSEUM/GALLERY/ART CENTER
- 5.400 SOCIAL/FRATERNAL CLUB, LODGE, UNION HALL
- 6.110 RECREATION --- BOWLING/SKATING/TENNIS/SQUASH...
- 6.121 MOVIE THEATER <300 SEATS.140 COMMUNITY CENTER
- 8.100 RESTAURANT
- 8.200 RESTAURANT --- OUTDOOR SERVICE
- 8.600 RESTAURANT --- CARRY OUT SERVICE
- 8.700 RESTAURANT WITH DELIVERY
- 8.700 FOOD TRUCK
- 12.100 YET
- 13.100 POLICE STATION
- 15.100 POST OFFICE
- 16.200 DRY CLEANERS/LAUNDRY/MAT WITHOUT DRIVETHRU
- 19.200 HORTICULTURAL SALES W/ OUTDOOR DISPLAY



- NOTES:**
1. THE APPLICANT SHALL PROVIDE TO THE ZONING DIVISION, PRIOR TO THE RECORDATION OF THE FINAL PLAT FOR THE PROJECT OR BEFORE THE RELEASE OF THE BOND IF SOME FEATURES ARE NOT YET IN PLACE AT THE TIME OF THE RECORDING OF THE FINAL PLAT, MYLAR AND DIGITAL AS-BUILTS FOR THE STORMWATER FEATURES OF THE PROJECT. DIGITAL AS-BUILTS SHALL BE IN DXF FORMAT AND SHALL INCLUDE A BASE MAP OF THE WHOLE PROJECT AND ALL SEPARATE PLAN SHEETS. AS-BUILT DXF FILES SHALL INCLUDE ALL LAYERS OR TABLES CONTAINING STORM DRAINAGE FEATURES. STORM DRAINAGE FEATURES SHALL BE CLEARLY DELINEATED IN A DATA TABLE. THE DATA WILL BE TIED TO HORIZONTAL CONTROLS.
 2. THE PROJECT IS SUBJECT TO THE STORMWATER PROVISIONS OF ARTICLE XVI OF THE TOWN OF CARRBORO LAND USE ORDINANCE AND THE APPLICABLE PROVISIONS OF THE STATE GENERAL STATUTES.
 3. "FIRE LANE STRIPPING WILL BE COORDINATED WITH THE CARRBORO FIRE MARSHALL PRIOR TO THE ISSUANCE OF A CO PER CHAPTER 12 OF THE CARRBOROTOWN CODE."
 4. "A 'HARD SURFACE' IS REQUIRED PRIOR TO BUILDING CONSTRUCTION (CONTACT FIRE DEPARTMENT FOR FURTHER INFORMATION."
 5. "NO FRAMING MAY BEGIN UNTIL HYDRANTS ARE OPERATIONAL.
 6. "AN ALL WEATHER TRAVEL SURFACE MUST BE IN PLACE ON THE ROADWAY PRIOR TO RECEIVING FINAL PLAT APPROVAL AND OR BUILDING PERMITS."
 7. "PRIOR TO ISSUANCE OF A CO, A FINAL PLAT, OR THE CERTIFICATION OF A STORMWATER BMP, THE TOWN MAY REQUIRE THAT A PERFORMANCE SECURITY BE POSTED FOR A PERIOD OF TWO (2) YEARS (SECTION 15-283 (1))"
 8. "ALL NEW AND RELOCATED UTILITIES SHALL BE PLACED UNDER GROUND PER THE PROVISIONS OF SECTION 15-246 OF THE TOWN OF CARRBORO LAND USE ORDINANCE."
 9. ALL LAND USES SOUGHT ON THIS PERMIT ARE SUBJECT TO THE "GOOD NEIGHBOR" PERFORMANCE STANDARDS CONTAINED IN SECTION 15-161 THROUGH 15-169 OF THE TOWN OF CARRBORO LAND USE ORDINANCE. THESE STANDARDS PERTAIN TO VARIOUS OFF-SITE IMPACTS SUCH AS NOISE, ODORS, VIBRATIONS, ETC. SPECIFICALLY ASSOCIATED WITH PARTICULAR LAND USE AS IT OCCUPIES THE BUILDING AND GROUNDS.
 10. BUILDING SETBACKS: M-3 CU ZONING DISTRICT: NO PROPERTY LINE BUILDING SETBACKS; 30' MINIMUM BUILDING SETBACK FROM ROAD CENTERLINE.

STORMWATER:
ALL INSTALLED BMP'S (WATER QUALITY AND DETENTION DEVICES) MUST BE CERTIFIED BY THE ENGINEER OF RECORD AS CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND THAT AS-BUILT CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN.

THE NARRATIVE WRITTEN FOR THIS PROJECT IS CONSIDERED TO BE PART OF THE COVER SHEET.

DRAWING LIST

SHEET	DRAWING TITLE
V-1	SITE RENDER
G0001	COVER SHEET
C0100	PHASING PLAN
C0101	EXISTING CONDITIONS & DEMOLITION PLAN
C1001	SITE PLAN - OPTION A
C1002	SITE PLAN - OPTION B
C1003	SITE EASEMENT PLAN
C1101	UTILITY PLAN - OPTION A
C1102	UTILITY PLAN - OPTION B
C1201	GRADING PLAN - OPTION A
C1202	GRADING PLAN - OPTION B
C1203	BYPASS CULVERT PLAN & PROFILE
C1301	EROSION CONTROL PLAN
C3201	TYPICAL ROADWAY SECTIONS
C5001	SITE DETAILS
C5002	SITE DETAILS
C5003	SITE DETAILS
C5101	UTILITY DETAILS
C5102	UTILITY DETAILS
C5103	UTILITY DETAILS
C5201	STORM DRAINAGE DETAILS
C5202	STORM DRAINAGE DETAILS
C5203	STORM DRAINAGE DETAILS
TS01	TREE SHADING PLAN
TS02	TREE SHADING PLAN
A-1.1	BUILDING #1 PLAN
A-2.1	BUILDING #1 SECOND FLOOR PLAN
A-3.1	BUILDING #1 ELEVATIONS
A-4.1	BUILDING #1 ELEVATIONS
A-7.1	BUILDING #1 DUMPSTER SCREEN
A-1.2	BUILDING #2 PLAN
A-3.2	BUILDING #2 ELEVATIONS
A-4.2	BUILDING #2 ELEVATIONS
A-1.2A	BUILDING #2 ALTERNATE PLAN
A-3.2A	BUILDING #2 ALTERNATE ELEVATIONS
A-4.2A	BUILDING #2 ALTERNATE ELEVATIONS
A-1.3	BUILDING #3 PLAN
A-3.3	BUILDING #3 ELEVATIONS
A-4.3	BUILDING #3 ELEVATIONS
A-1.4	BUILDING #4 PLAN
A-3.4	BUILDING #4 ELEVATIONS
A-1.5	BUILDING #5 PLAN & ELEVATIONS
A-2.5	BUILDING #5 ELEVATIONS
A-1.B	BIKE COVER BUILDING PLAN & ELEVATIONS
V-2	VIEW FROM BLDG 1
V-3	VIEW FROM REAR OF SITE
V-4	VIEW FROM NEIGHBORHOOD ABOVE
V-5	AERIAL VIEW FROM FRONT

DRAWING LIST

SHEET	DRAWING TITLE
E1001	LIGHTING - OPTION A
E1002	LIGHTING - OPTION B
E1003	INTERSECTION LIGHTING PLAN
L1001	PLANTING PLAN - OPTION A
L1002	PLANTING PLAN - OPTION B
CV-01	COVER SHEET
GN-01	GENERAL NOTES
GN-02	GENERAL NOTES
TS-01	TYPICAL SECTIONS
DT-01	DRAINAGE STANDARD DRAWINGS
DT-02	DRAINAGE STANDARD DRAWINGS
DT-03	DRAINAGE STANDARD DRAWINGS
RD-01	ROADWAY PLAN SHEET ALIGNMENT
RD-02	ROADWAY PLAN SHEET DETAILS
RD-03	ROADWAY PLAN SHEET, DRAINAGE, ROW & CRITICAL CROSS SECTIONS
PM-01	PAVEMENT MARKING & SIGNING PLAN
PR-01	ROADWAY PROFILE SHEET
PR-02	ROADWAY PROFILE SHEET
PR-03	ROADWAY PROFILE SHEET
XS-01	ROADWAY CROSS SECTION SHEET -Y1-
XS-02	ROADWAY CROSS SECTION SHEET -Y1-
XS-03	ROADWAY CROSS SECTION SHEET -Y2-
XS-04	ROADWAY CROSS SECTION SHEET -Y2-
XS-05	ROADWAY CROSS SECTION SHEET -Y2-
XS-06	ROADWAY CROSS SECTION SHEET -Y3-
XS-07	ROADWAY CROSS SECTION SHEET -Y3-
XS-08	ROADWAY CROSS SECTION SHEET -Y3-
XS-09	ROADWAY CROSS SECTION SHEET -Y4-
XS-10	ROADWAY CROSS SECTION SHEET -Y4-
XS-11	ROADWAY CROSS SECTION SHEET -Y4-
TC-01	TRAFFIC CONTROL PLANS GENERAL NOTES
TC-02	TRAFFIC CONTROL PLANS PHASE ONE
TC-03	TRAFFIC CONTROL PLANS PHASE TWO
TC-04	TRAFFIC CONTROL PLANS PHASE THREE
TC-05	TRAFFIC CONTROL PLANS PHASE FOUR
AT-01	TURNING MOVEMENTS WB-62
AT-02	TURNING MOVEMENTS CITY-BUS

PRELIMINARY PARKING SUMMARY - OPTION A			PRELIMINARY PARKING SUMMARY - OPTION B		
LOT #	TOTAL PARKING SPACES	TOTAL BIKE SPACES	LOT #	TOTAL PARKING SPACES	TOTAL BIKE SPACES
1	53*	20	1	53*	20
2	85*	8	2	85*	8
3	42	8	3	41	6
TOTALS	180	34	TOTALS	179	34

* INCLUDES MOTORCYCLE PARKING (8 TOTAL SPACES < 5% OF TOTAL PARKING).

LIGHTING: TRAFFIC ENGINEERING: SITE PLANNING / CIVIL ENGINEERING: ARCHITECT: LANDSCAPE ARCHITECTURE: SURVEYOR:

19645 RANCHO WAY
RANCHO DOMIGUEZ, C.A. 90220
(310) 512-8480
FAX (310) 512-8486

305 WEST FOURTH STREET, SUITE 2A
WINSTON-SALEM, N.C. 27101
(336) 744-1636
FAX (336) 458-9377

221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0481 (919) 489 - 4789

ARCHITECTURE - PLANNING - INTERIOR ARCHITECTURE
2321 BLUE RIDGE ROAD, SUITE 201
RALEIGH, N.C. 27607
(919) 786-0229
FAX (919) 786-0199

221 PROVIDENCE ROAD
APEX, N.C. 27502
(919) 387-0010
FAX (919) 387-0690

FREEHOLD LAND SURVEYORS

2321 BLUE RIDGE ROAD, SUITE 201
RALEIGH, N.C. 27607
(919) 786-0229
FAX (919) 786-0199

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0481 (919) 489 - 4789

ASSOCIATES, P.A.
CORPORATE SEAL C328
NORTH CAROLINA
CHAPL HILL

NORTH CAROLINA
STATE SEAL
2014
JAN 15 10 07 AM
GEOFFREY J. RETZEL
REGISTERED PROFESSIONAL ENGINEER

DATE	REVISIONS
14 JAN 15	PER TOWN OF CARRBORO COMMENTS
19 MAR 15	PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
WOODHILL NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

OWNERS REPRESENTATIVE:
RUYTON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: ruytonwoods@gmail.com

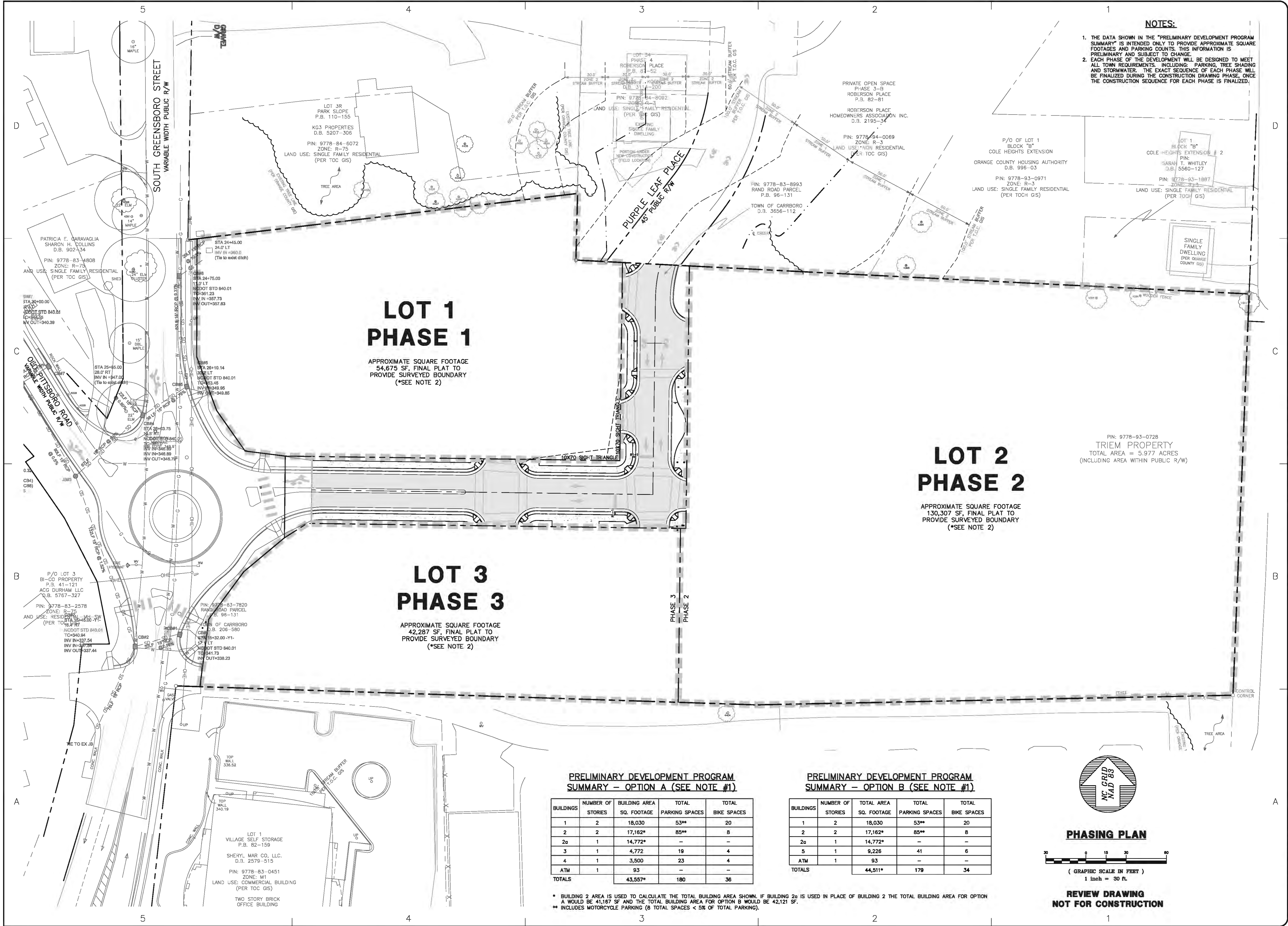
DATE	ISSUED
21 NOV 14	CIP SUBMITTAL #1
14 JAN 15	CIP SUBMITTAL #2
19 MAR 15	FINAL CIP SUBMITTAL

SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

SHEET
G0001

REVIEW DRAWING
NOT FOR CONSTRUCTION



NOTES:

1. THE DATA SHOWN IN THE "PRELIMINARY DEVELOPMENT PROGRAM SUMMARY" IS INTENDED ONLY TO PROVIDE APPROXIMATE SQUARE FOOTAGES AND PARKING COUNTS. THIS INFORMATION IS PRELIMINARY AND SUBJECT TO CHANGE.
2. EACH PHASE OF THE DEVELOPMENT WILL BE DESIGNED TO MEET ALL TOWN REQUIREMENTS, INCLUDING: PARKING, TREE SHADING AND STORMWATER. THE EXACT SEQUENCE OF EACH PHASE WILL BE FINALIZED DURING THE CONSTRUCTION PHASE, ONCE THE CONSTRUCTION SEQUENCE FOR EACH PHASE IS FINALIZED.

**LOT 1
PHASE 1**

APPROXIMATE SQUARE FOOTAGE
54,675 SF, FINAL PLAT TO
PROVIDE SURVEYED BOUNDARY
(*SEE NOTE 2)

**LOT 2
PHASE 2**

APPROXIMATE SQUARE FOOTAGE
130,307 SF, FINAL PLAT TO
PROVIDE SURVEYED BOUNDARY
(*SEE NOTE 2)

**LOT 3
PHASE 3**

APPROXIMATE SQUARE FOOTAGE
42,287 SF, FINAL PLAT TO
PROVIDE SURVEYED BOUNDARY
(*SEE NOTE 2)

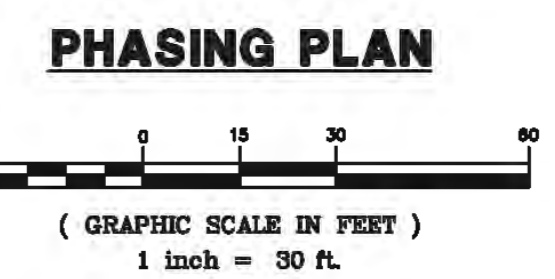
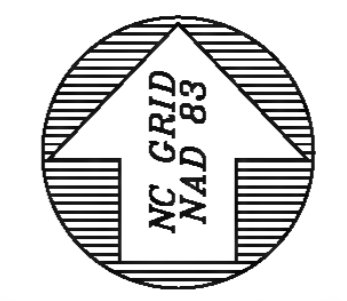
**PRELIMINARY DEVELOPMENT PROGRAM
SUMMARY – OPTION A (SEE NOTE #1)**

BUILDINGS	NUMBER OF STORIES	BUILDING AREA SQ. FOOTAGE	TOTAL PARKING SPACES	TOTAL BIKE SPACES
1	2	18,030	53**	20
2	2	17,162*	85**	8
2a	1	14,772*	-	-
3	1	4,772	19	4
4	1	3,500	23	4
ATM	1	93	-	-
TOTALS		43,557*	180	36

**PRELIMINARY DEVELOPMENT PROGRAM
SUMMARY – OPTION B (SEE NOTE #1)**

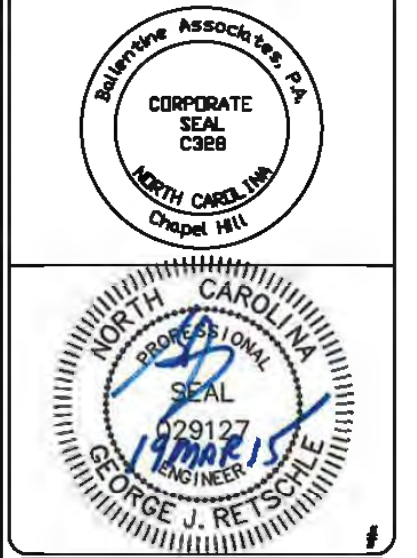
BUILDINGS	NUMBER OF STORIES	TOTAL AREA SQ. FOOTAGE	TOTAL PARKING SPACES	TOTAL BIKE SPACES
1	2	18,030	53**	20
2	2	17,162*	85**	8
2a	1	14,772*	-	-
5	1	9,226	41	6
ATM	1	93	-	-
TOTALS		44,511*	179	34

* BUILDING 2 AREA IS USED TO CALCULATE THE TOTAL BUILDING AREA SHOWN. IF BUILDING 2a IS USED IN PLACE OF BUILDING 2 THE TOTAL BUILDING AREA FOR OPTION A WOULD BE 41,167 SF AND THE TOTAL BUILDING AREA FOR OPTION B WOULD BE 42,121 SF.
** INCLUDES MOTORCYCLE PARKING (8 TOTAL SPACES < 5% OF TOTAL PARKING).



**REVIEW DRAWING
NOT FOR CONSTRUCTION**

BALLENTINE ASSOCIATES, P.A.
REGISTERED PROFESSIONAL ARCHITECTS
1000 W. GREENSBORO ROAD, CHAPEL HILL, NC 27514
919.999.0481
919.999.4999



DATE	REVISIONS
14 JAN 15	PER TOWN OF CARRBORO COMMENTS
19 MAR 15	PER FINAL TOWN OF CARRBORO COMMENTS

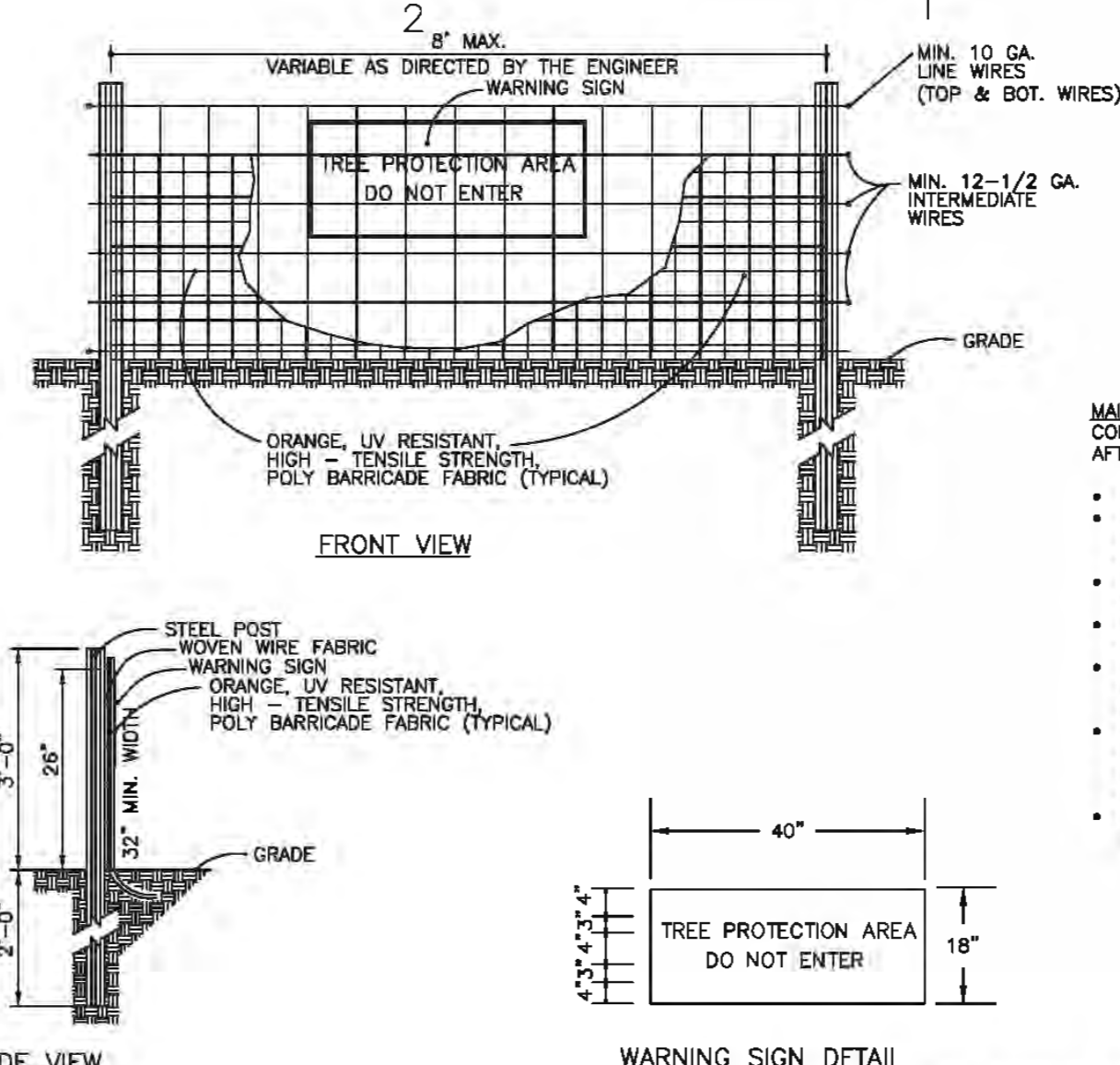
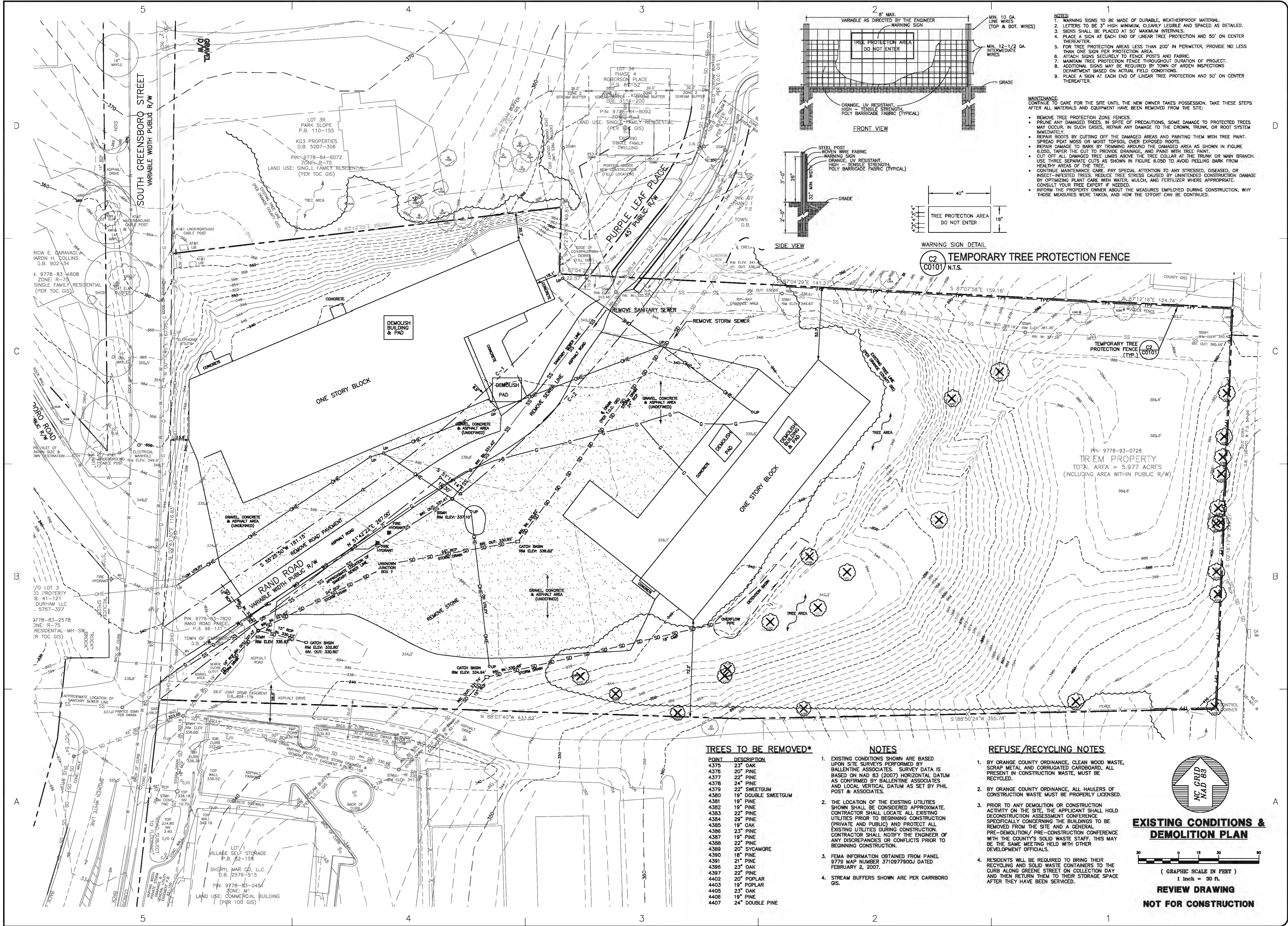
OWNER INFORMATION
WOODHILL NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

DATE	ISSUED
21 NOV 14	CUP SUBMITTAL #4
14 JAN 15	CUP SUBMITTAL #5
19 MAR 15	FINAL CUP SUBMITTAL

SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

**SHEET
C0100**



- NOTES:**
1. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 2. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
 4. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
 8. ADDITIONAL SIGNS MAY BE REQUIRED BY TOWN OF ARDEN INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.
 9. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
- MAINTENANCE:**
CONTINUE TO CARE FOR THE SITE UNTIL THE NEW OWNER TAKES POSSESSION. TAKE THESE STEPS AFTER ALL MATERIALS AND EQUIPMENT HAVE BEEN REMOVED FROM THE SITE:
- REMOVE TREE PROTECTION FENCE
 - PRUNE ANY DAMAGED TREES, IN SPITE OF PRECAUTIONS, SOME DAMAGE TO PROTECTED TREES MAY OCCUR. IN SUCH CASES, REPAIR ANY DAMAGE TO THE CROWN, TRUNK, OR ROOT SYSTEM IMMEDIATELY.
 - REPAIR ROOTS BY CUTTING OFF THE DAMAGED AREAS AND PAINTING THEM WITH TREE PAINT. SPREAD PEAT MOSS OR MOIST TOPSOIL OVER EXPOSED ROOTS.
 - REPAIR DAMAGE TO BARK BY TRIMMING AROUND THE DAMAGED AREA AS SHOWN IN FIGURE 6.05D, TAP THE CUT TO PROVIDE DRAINAGE, AND PAINT WITH TREE PAINT.
 - USE THREE SEPARATE CUTS AS SHOWN IN FIGURE 6.05D TO AVOID PEELING BARK FROM HEALTHY AREAS OF THE TREE.
 - CONTINUE MAINTENANCE CARE. PAY SPECIAL ATTENTION TO ANY STRESSED, DISEASED, OR INSECT-INFESTED TREES. REMOVE TREE STRESS CAUSED BY UNINTENDED CONSTRUCTION DAMAGE BY OPTIMIZING PLANT CARE WITH WATER, MULCH, AND FERTILIZER WHEN APPROPRIATE. CONSULT YOUR TREE EXPERT IF NEEDED.
 - INFORM THE PROPERTY OWNER ABOUT THE MEASURES EMPLOYED DURING CONSTRUCTION, WHY THOSE MEASURES WERE TAKEN, AND HOW THE EFFORT CAN BE CONTINUED.

TREES TO BE REMOVED*

POINT	DESCRIPTION
4375	23' OAK
4376	20' PINE
4377	22' PINE
4378	24' PINE
4379	22' SWEETGUM
4380	19' DOUBLE SWEETGUM
4381	19' PINE
4382	19' PINE
4383	22' PINE
4384	29' PINE
4385	19' OAK
4386	23' PINE
4387	19' PINE
4388	22' PINE
4389	20' SYCAMORE
4390	18' PINE
4391	21' PINE
4396	23' OAK
4397	22' PINE
4402	20' POPLAR
4403	19' POPLAR
4405	23' OAK
4406	19' PINE
4407	24' DOUBLE PINE

- NOTES**
1. EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTINE ASSOCIATES. SURVEY DATA IS BASED ON NAD 83 (2007) HORIZONTAL DATUM AS CONFIRMED BY BALLENTINE ASSOCIATES AND LOCAL VERTICAL DATUM AS SET BY PHIL POST & ASSOCIATES.
 2. THE LOCATION OF THE EXISTING UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION (PRIVATE AND PUBLIC) AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 3. FEMA INFORMATION OBTAINED FROM PANEL 9779 MAP NUMBER 3710377900J DATED FEBRUARY 2, 2007.
 4. STREAM BUFFERS SHOWN ARE PER CARRBORO GIS.

- REFUSE/RECYCLING NOTES**
1. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
 2. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
 3. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD DECONSTRUCTION ASSESSMENT CONFERENCE SPECIFICALLY CONCERNING THE BUILDINGS TO BE REMOVED FROM THE SITE AND A GENERAL PRE-DEMOLITION/ PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY DEVELOPMENT OFFICIALS.
 4. RESIDENTS WILL BE REQUIRED TO BRING THEIR RECYCLING AND SOLID WASTE CONTAINERS TO THE CURB ALONG GREENE STREET ON COLLECTION DAY AND THEN RETURN THEM TO THEIR STORAGE SPACE AFTER THEY HAVE BEEN SERVICED.

EXISTING CONDITIONS & DEMOLITION PLAN

NC GRID NAD 83

30 0 15 30 60
(GRAPHIC SCALE IN FEET)
1 inch = 30 ft.

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
252 PROUDHOPE ROAD, CHAPEL HILL, NC 27514
(919) 999-4981

SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA

CONDITIONAL USE PERMIT

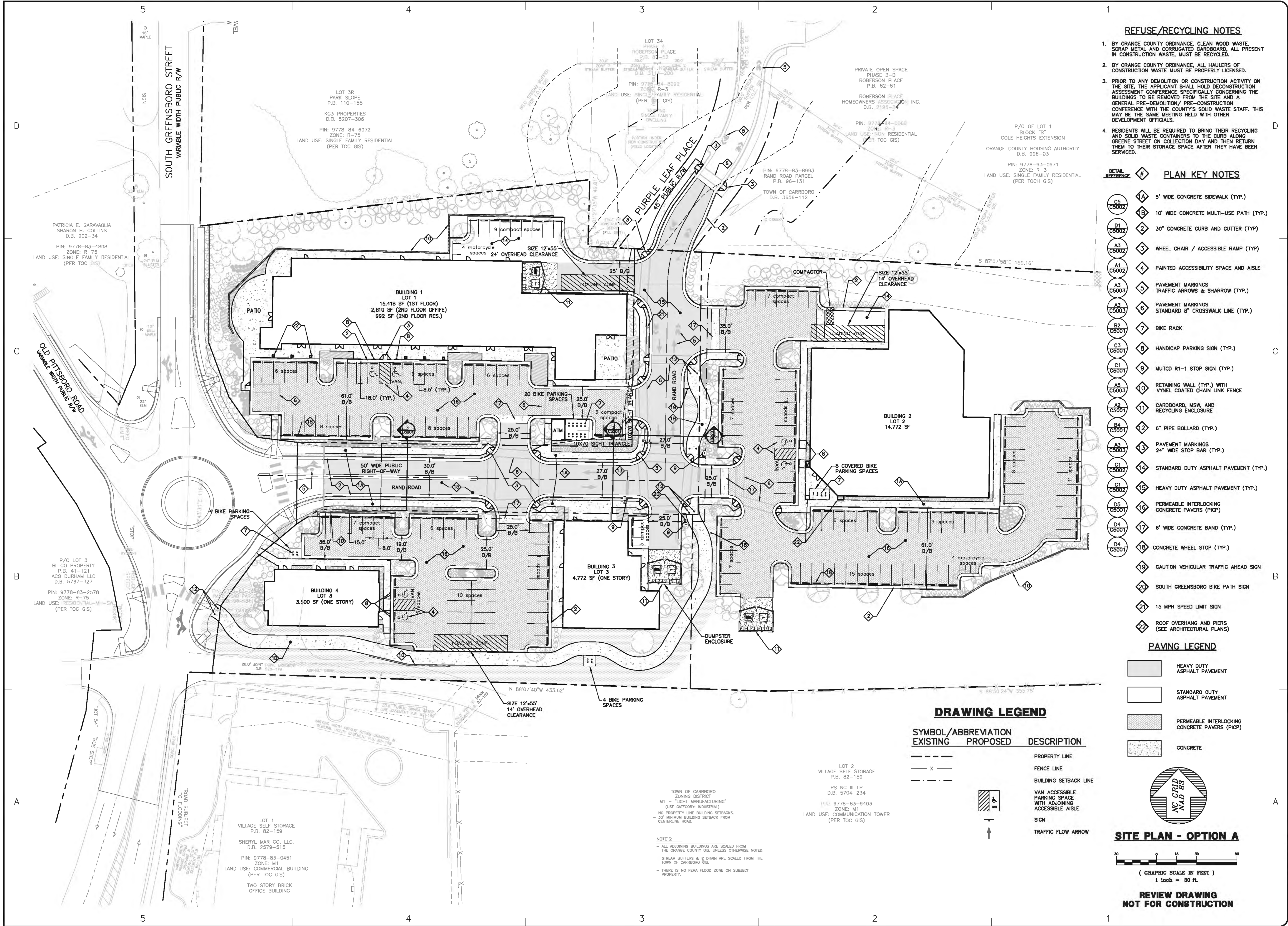
ISSUED	DATE	REVISIONS	DATE
CIP SUBMITTAL #4	21 NOV 14	PER TOWN OF CARRBORO COMMENTS	14 JAN 15
CIP SUBMITTAL #5	14 JAN 15	PER FINAL TOWN OF CARRBORO COMMENTS	19 MAR 15
FINAL CIP SUBMITTAL	14 JAN 15		19 MAR 15

OWNER INFORMATION
WOODHILL, NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

OWNERS REPRESENTATIVE:
RUNTON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: runtonwoods@gmail.com

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

SHEET
C0101



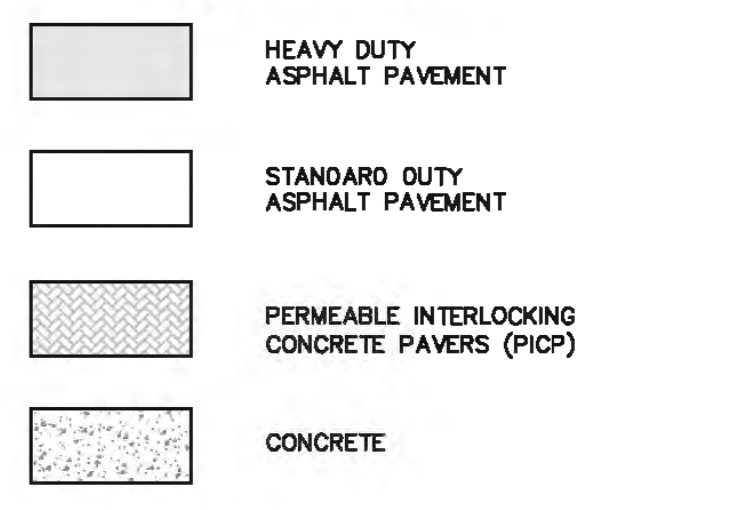
REFUSE/RECYCLING NOTES

- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD DECONSTRUCTION ASSESSMENT CONFERENCE SPECIFICALLY CONCERNING THE BUILDINGS TO BE REMOVED FROM THE SITE AND A GENERAL PRE-DEMOLITION/ PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- RESIDENTS WILL BE REQUIRED TO BRING THEIR RECYCLING AND SOLID WASTE CONTAINERS TO THE CURB ALONG GREENE STREET ON COLLECTION DAY AND THEN RETURN THEM TO THEIR STORAGE SPACE AFTER THEY HAVE BEEN SERVICED.

PLAN KEY NOTES

- | DETAIL REFERENCE | PLAN KEY NOTES |
|------------------|--|
| CS C5002 | 5' WIDE CONCRETE SIDEWALK (TYP.) |
| D1 C5002 | 10' WIDE CONCRETE MULTI-USE PATH (TYP.) |
| A3 C5002 | 30" CONCRETE CURB AND GUTTER (TYP.) |
| A1 C5002 | WHEEL CHAIR / ACCESSIBLE RAMP (TYP.) |
| A3 C5003 | PAINTED ACCESSIBILITY SPACE AND AISLE |
| A3 C5003 | PAVEMENT MARKINGS TRAFFIC ARROWS & SHARROW (TYP.) |
| A3 C5003 | PAVEMENT MARKINGS STANDARD 8" CROSSWALK LINE (TYP.) |
| B2 C5001 | BIKE RACK |
| C3 C5001 | HANDICAP PARKING SIGN (TYP.) |
| C1 C5001 | MUTCD R1-1 STOP SIGN (TYP.) |
| A5 C5003 | RETAINING WALL (TYP.) WITH VINYL COATED CHAIN LINK FENCE |
| A2 C5001 | CARDBOARD, MSW, AND RECYCLING ENCLOSURE |
| B4 C5001 | 6" PIPE BOLLARD (TYP.) |
| A3 C5003 | PAVEMENT MARKINGS 24" WIDE STOP BAR (TYP.) |
| C1 C5002 | STANDARD DUTY ASPHALT PAVEMENT (TYP.) |
| C1 C5002 | HEAVY DUTY ASPHALT PAVEMENT (TYP.) |
| D5 C5001 | PERMEABLE INTERLOCKING CONCRETE PAVERS (PICP) |
| D4 C5001 | 6' WIDE CONCRETE BAND (TYP.) |
| D4 C5001 | CONCRETE WHEEL STOP (TYP.) |
| | CAUTION VEHICULAR TRAFFIC AHEAD SIGN |
| | SOUTH GREENSBORO BIKE PATH SIGN |
| | 15 MPH SPEED LIMIT SIGN |
| | ROOF OVERHANG AND PIERS (SEE ARCHITECTURAL PLANS) |

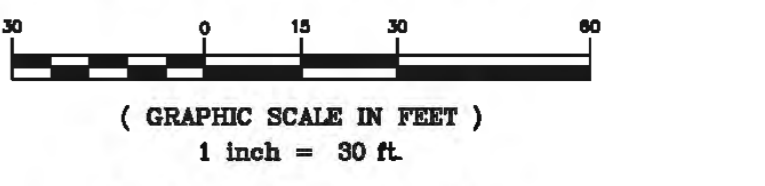
PAVING LEGEND



DRAWING LEGEND

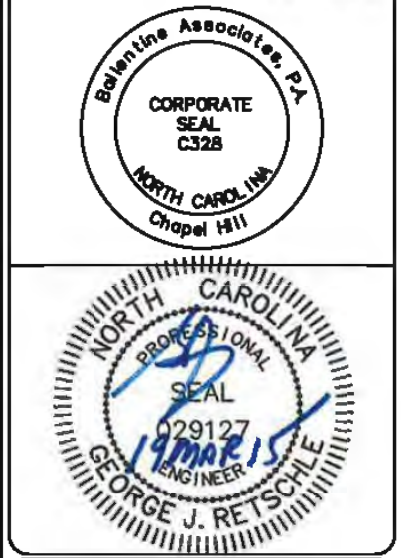
SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---			PROPERTY LINE
---			FENCE LINE
---			BUILDING SETBACK LINE
X			VAN ACCESSIBLE PARKING SPACE WITH ADJOINING ACCESSIBLE AISLE
---			SIGN
---			TRAFFIC FLOW ARROW

SITE PLAN - OPTION A



REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
221 PRODUCE ROAD, CHAPEL HILL, NC 27514
(919) 996-0481
OWNER: HILL A.C. 27514
(919) 996-0481
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DATE	REVISIONS
14 JAN 15	
19 MAR 15	

PER TOWN OF CARRBORO COMMENTS
PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
WOODHILL NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

OWNERS REPRESENTATIVE:
RUNTON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: runtonwoods@gmail.com

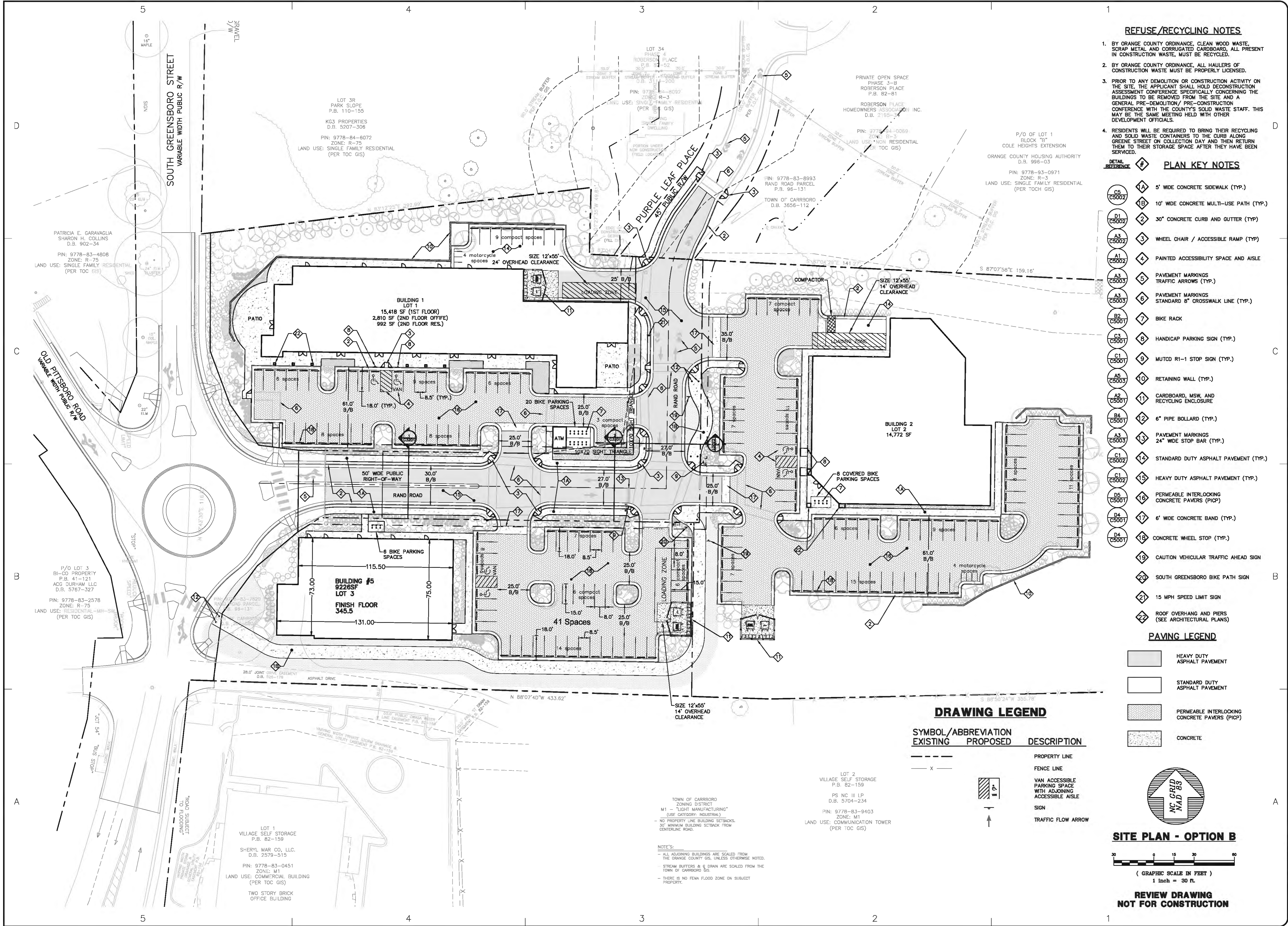
DATE	ISSUED
21 NOV 14	
14 JAN 15	
19 MAR 15	

CIP SUBMITTAL #4
CIP SUBMITTAL #5
FINAL CIP SUBMITTAL

SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

SHEET C1001



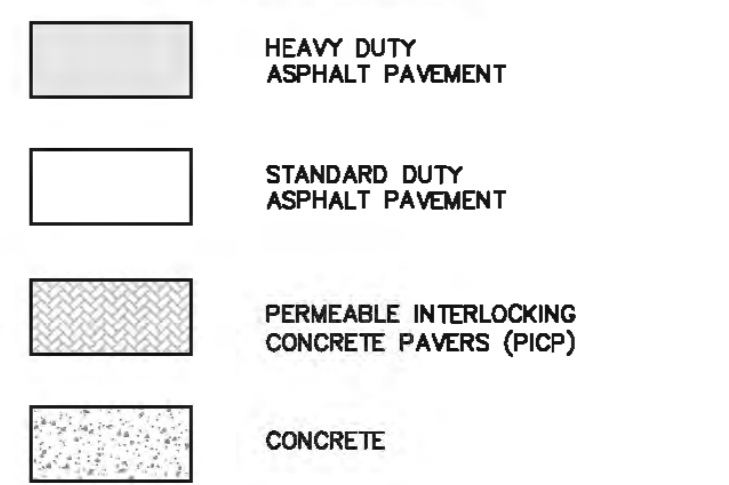
REFUSE/RECYCLING NOTES

- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
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- RESIDENTS WILL BE REQUIRED TO BRING THEIR RECYCLING AND SOLID WASTE CONTAINERS TO THE CURB ALONG GREENE STREET ON COLLECTION DAY AND THEN RETURN THEM TO THEIR STORAGE SPACE AFTER THEY HAVE BEEN SERVICED.

PLAN KEY NOTES

- | DETAIL REFERENCE | DESCRIPTION |
|------------------|---|
| C5 C5002 | 5' WIDE CONCRETE SIDEWALK (TYP.) |
| D1 C5002 | 10' WIDE CONCRETE MULTI-USE PATH (TYP.) |
| A3 C5002 | 30" CONCRETE CURB AND GUTTER (TYP.) |
| A1 C5002 | WHEEL CHAIR / ACCESSIBLE RAMP (TYP.) |
| A3 C5003 | PAINTED ACCESSIBILITY SPACE AND AISLE |
| A3 C5003 | PAVEMENT MARKINGS TRAFFIC ARROWS (TYP.) |
| A3 C5003 | PAVEMENT MARKINGS STANDARD 8" CROSSWALK LINE (TYP.) |
| B2 C5001 | BIKE RACK |
| C3 C5001 | HANDICAP PARKING SIGN (TYP.) |
| C1 C5001 | MUTCD R1-1 STOP SIGN (TYP.) |
| A5 C5003 | RETAINING WALL (TYP.) |
| A2 C5001 | CARDBOARD, MSW, AND RECYCLING ENCLOSURE |
| B4 C5001 | 6" PIPE BOLLARD (TYP.) |
| A3 C5003 | PAVEMENT MARKINGS 24" WIDE STOP BAR (TYP.) |
| C1 C5002 | STANDARD DUTY ASPHALT PAVEMENT (TYP.) |
| C1 C5002 | HEAVY DUTY ASPHALT PAVEMENT (TYP.) |
| D5 C5001 | PERMEABLE INTERLOCKING CONCRETE PAVERS (PICP) |
| D4 C5001 | 6" WIDE CONCRETE BAND (TYP.) |
| D4 C5001 | CONCRETE WHEEL STOP (TYP.) |
| | CAUTION VEHICULAR TRAFFIC AHEAD SIGN |
| | SOUTH GREENSBORO BIKE PATH SIGN |
| | 15 MPH SPEED LIMIT SIGN |
| | ROOF OVERHANG AND PIERS (SEE ARCHITECTURAL PLANS) |

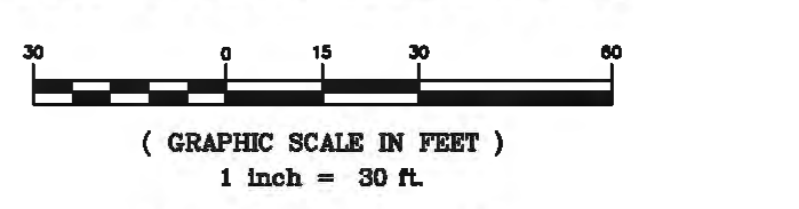
PAVING LEGEND



DRAWING LEGEND

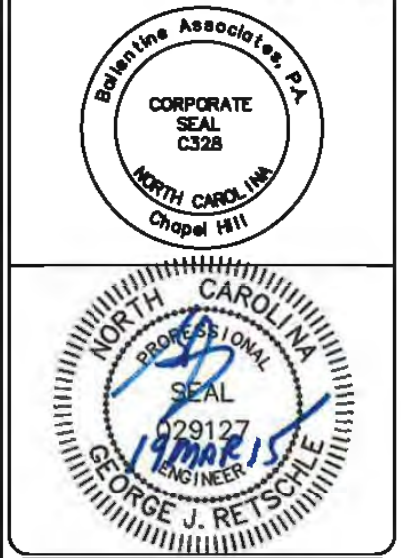
SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---			PROPERTY LINE
- - -			FENCE LINE
X			VAN ACCESSIBLE PARKING SPACE WITH ADJOINING ACCESSIBLE AISLE
↑			TRAFFIC FLOW ARROW

SITE PLAN - OPTION B



REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
221 PRODUCE ROAD, CHAPEL HILL, NC 27614
(919) 998-0481
CHOPAL #111



DATE	REVISIONS
14 JAN 15	PER TOWN OF CARRBORO COMMENTS
19 MAR 15	PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
WOODHILL NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

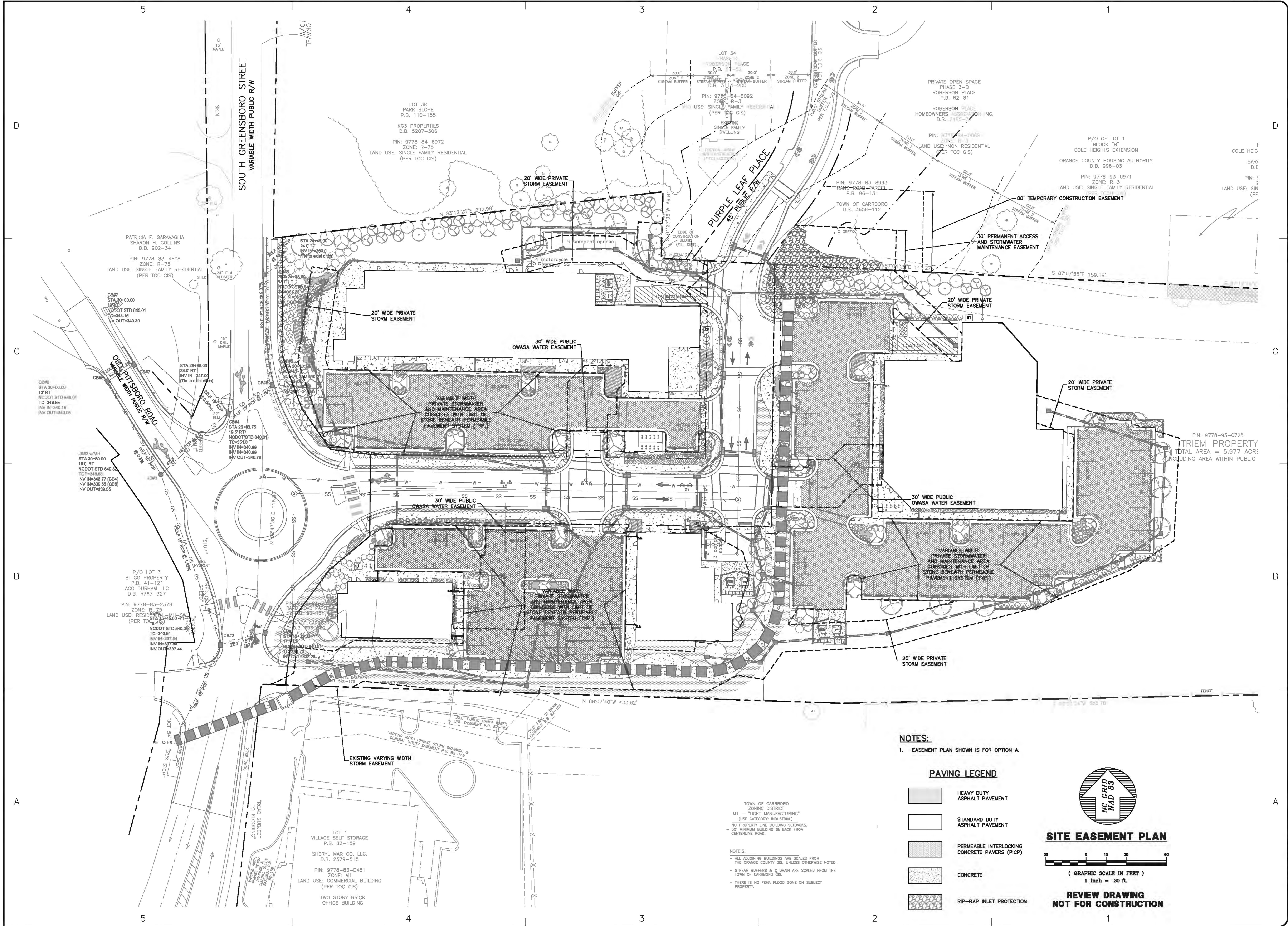
DATE	ISSUED
21 NOV 14	CIP SUBMITTAL #4
14 JAN 15	CIP SUBMITTAL #5
19 MAR 15	FINAL CIP SUBMITTAL

OWNER REPRESENTATIVE:
RUYTON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: ruytonwoods@gmail.com

SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

SHEET C1002



NOTES:
 1. EASEMENT PLAN SHOWN IS FOR OPTION A.

PAVING LEGEND

	HEAVY DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	PERMEABLE INTERLOCKING CONCRETE PAVERS (PICP)
	CONCRETE
	RIP-RAP INLET PROTECTION

SITE EASEMENT PLAN

NC CRD MAD 83

(GRAPHIC SCALE IN FEET)
 1 inch = 30 ft.

**REVIEW DRAWING
 NOT FOR CONSTRUCTION**

TOWN OF CARRBORO
 ZONING DISTRICT
 M1 - "LIGHT MANUFACTURING"
 (USE CATEGORY: INDUSTRIAL)
 NO PROPERTY LINE BUILDING SETBACKS.
 - 30' MINIMUM BUILDING SETBACK FROM CENTERLINE ROAD.

NOTE'S:
 - ALL ADJOINING BUILDINGS ARE SCALED FROM THE ORANGE COUNTY GIS, UNLESS OTHERWISE NOTED.
 - STREAM BUFFERS & DRAIN ARE SCALED FROM THE TOWN OF CARRBORO GIS.
 - THERE IS NO FEMA FLOOD ZONE ON SUBJECT PROPERTY.

BALLENTINE ASSOCIATES PA
 ASSOCIATES PA
 221 PRODUCE ROAD, CHAPEL HILL, NC 27514
 (919) 997-0481 FAX (919) 489-4778
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CORPORATE SEAL
 NORTH CAROLINA
 CHAPEL HILL

SEAL
 NORTH CAROLINA
 1981-27
 GEORGE J. RETZEL
 ENGINEER

DATE	REVISIONS
14 JAN 15	
19 MAR 15	

PER TOWN OF CARRBORO COMMENTS
 PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
 WOODHILL NC LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515

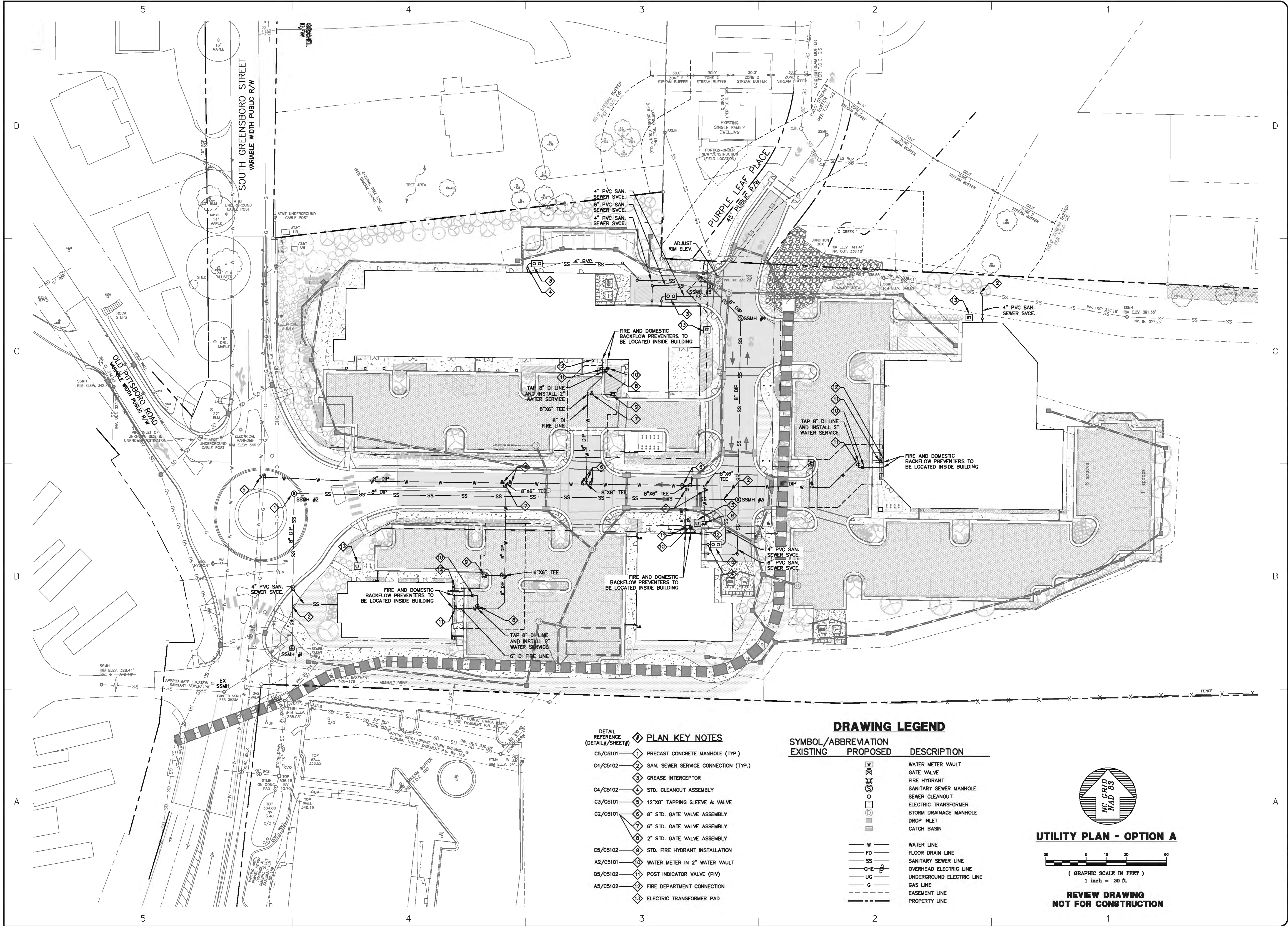
OWNER REPRESENTATIVE:
 RUNYON WOODS
 PH (919) 418-2121
 FAX
 EMAIL runyons@woodhillnc.com

ISSUED	DATE
CUP SUBMITTAL #4	21 NOV 14
CUP SUBMITTAL #5	14 JAN 15
FINAL CUP SUBMITTAL	19 MAR 15

SOUTH GREEN (TRIEM)
 CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
 DATE: 21 NOV 2014
 SCALE: AS NOTED
 DRAWN BY: S.R.M.
 REVIEWED BY: G.J.R.

**SHEET
 C1003**



DETAIL REFERENCE (DETAIL #/SHEET #)

C5/C5101	1	PRECAST CONCRETE MANHOLE (TYP.)
C4/C5102	2	SAN. SEWER SERVICE CONNECTION (TYP.)
	3	GREASE INTERCEPTOR
C4/C5102	4	STD. CLEANOUT ASSEMBLY
C3/C5101	5	12"x8" TAPPING SLEEVE & VALVE
C2/C5101	6	8" STD. GATE VALVE ASSEMBLY
	7	6" STD. GATE VALVE ASSEMBLY
	8	2" STD. GATE VALVE ASSEMBLY
C5/C5102	9	STD. FIRE HYDRANT INSTALLATION
A2/C5101	10	WATER METER IN 2" WATER VAULT
B5/C5102	11	POST INDICATOR VALVE (PIV)
A5/C5102	12	FIRE DEPARTMENT CONNECTION
	13	ELECTRIC TRANSFORMER PAD

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
W	W	WATER LINE
FD	FD	FLOOR DRAIN LINE
SS	SS	SANITARY SEWER LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
UG	UG	UNDERGROUND ELECTRIC LINE
G	G	GAS LINE
- - -	- - -	EASEMENT LINE
- - -	- - -	PROPERTY LINE
W	W	WATER METER VAULT
W	W	GATE VALVE
W	W	FIRE HYDRANT
W	W	SANITARY SEWER MANHOLE
W	W	SEWER CLEANOUT
W	W	ELECTRIC TRANSFORMER
W	W	STORM DRAINAGE MANHOLE
W	W	DROP INLET
W	W	CATCH BASIN

UTILITY PLAN - OPTION A

(GRAPHIC SCALE IN FEET)
1 inch = 30 ft.

**REVIEW DRAWING
NOT FOR CONSTRUCTION**

BALLENTINE ASSOCIATES PA
CORPORATE ROAD, CHAPEL HILL, NC 27514
(919) 999-0481 (919) 489-4798
FAX: (919) 999-0482
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SEAL
NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12/31/2017
GEORGE J. RETZEL

DATE	REVISIONS
14 JAN 15	
19 MAR 15	

PER TOWN OF CARBORO COMMENTS
PER FINAL TOWN OF CARBORO COMMENTS

OWNER INFORMATION
WOODHILL NC LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

OWNERS REPRESENTATIVE:
RUNTON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: runtonwoods@gmail.com

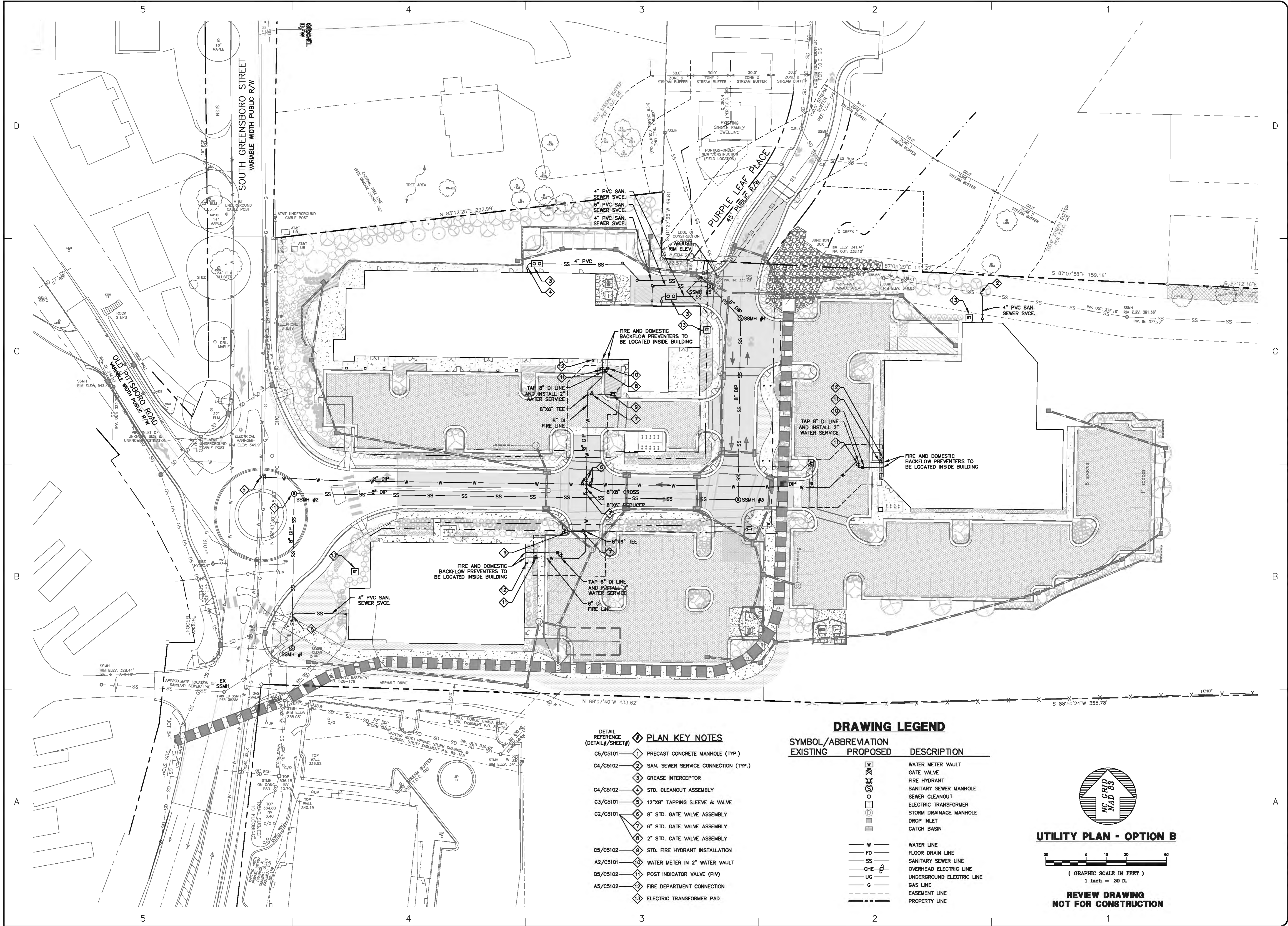
DATE	ISSUED
21 NOV 14	
14 JAN 15	
19 MAR 15	

CIP SUBMITTAL #4
CIP SUBMITTAL #5
FINAL CIP SUBMITTAL

SOUTH GREEN (TRIEIM)
CARBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

**SHEET
C1101**



PLAN KEY NOTES

DETAIL REFERENCE (DETAIL #/SHEET #)	1	PRECAST CONCRETE MANHOLE (TYP.)
	2	SAN. SEWER SERVICE CONNECTION (TYP.)
	3	GREASE INTERCEPTOR
	4	STD. CLEANOUT ASSEMBLY
	5	12"x8" TAPPING SLEEVE & VALVE
	6	8" STD. GATE VALVE ASSEMBLY
	7	6" STD. GATE VALVE ASSEMBLY
	8	2" STD. GATE VALVE ASSEMBLY
	9	STD. FIRE HYDRANT INSTALLATION
	10	WATER METER IN 2" WATER VAULT
	11	POST INDICATOR VALVE (PIV)
	12	FIRE DEPARTMENT CONNECTION
	13	ELECTRIC TRANSFORMER PAD

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
W	W	WATER LINE
FD	FD	FLOOR DRAIN LINE
SS	SS	SANITARY SEWER LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
UC	UC	UNDERGROUND ELECTRIC LINE
G	G	GAS LINE
- - -	- - -	EASEMENT LINE
- - -	- - -	PROPERTY LINE

UTILITY PLAN - OPTION B

**REVIEW DRAWING
NOT FOR CONSTRUCTION**

BALLENTINE ASSOCIATES PA
 221 PRODUCE ROAD, CHAPEL HILL, NC 27514
 (919) 998-0481 (919) 488-4788
 FAX: (919) 998-0481
 THE ASSOCIATION OF PROFESSIONAL ENGINEERS AND SURVEYORS OF NORTH CAROLINA HAS REVIEWED THIS DRAWING AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING AND SURVEYING ACT AND THE REGULATIONS OF THE BOARD OF ENGINEERING AND SURVEYING. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE FITNESS OF THE DRAWING FOR ANY PARTICULAR PURPOSE. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER/SURVEYOR.

DATE
 14 JAN 15
 19 MAR 15

REVISIONS
 PER TOWN OF CARBORO COMMENTS
 PER FINAL TOWN OF CARBORO COMMENTS

OWNER INFORMATION
 WOODHILL NC, LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515
OWNER'S REPRESENTATIVE:
 RUNYON WOODS
 PH: (919) 418-2121
 FAX: (919) 418-2121
 EMAIL: runyonwoods@gmail.com

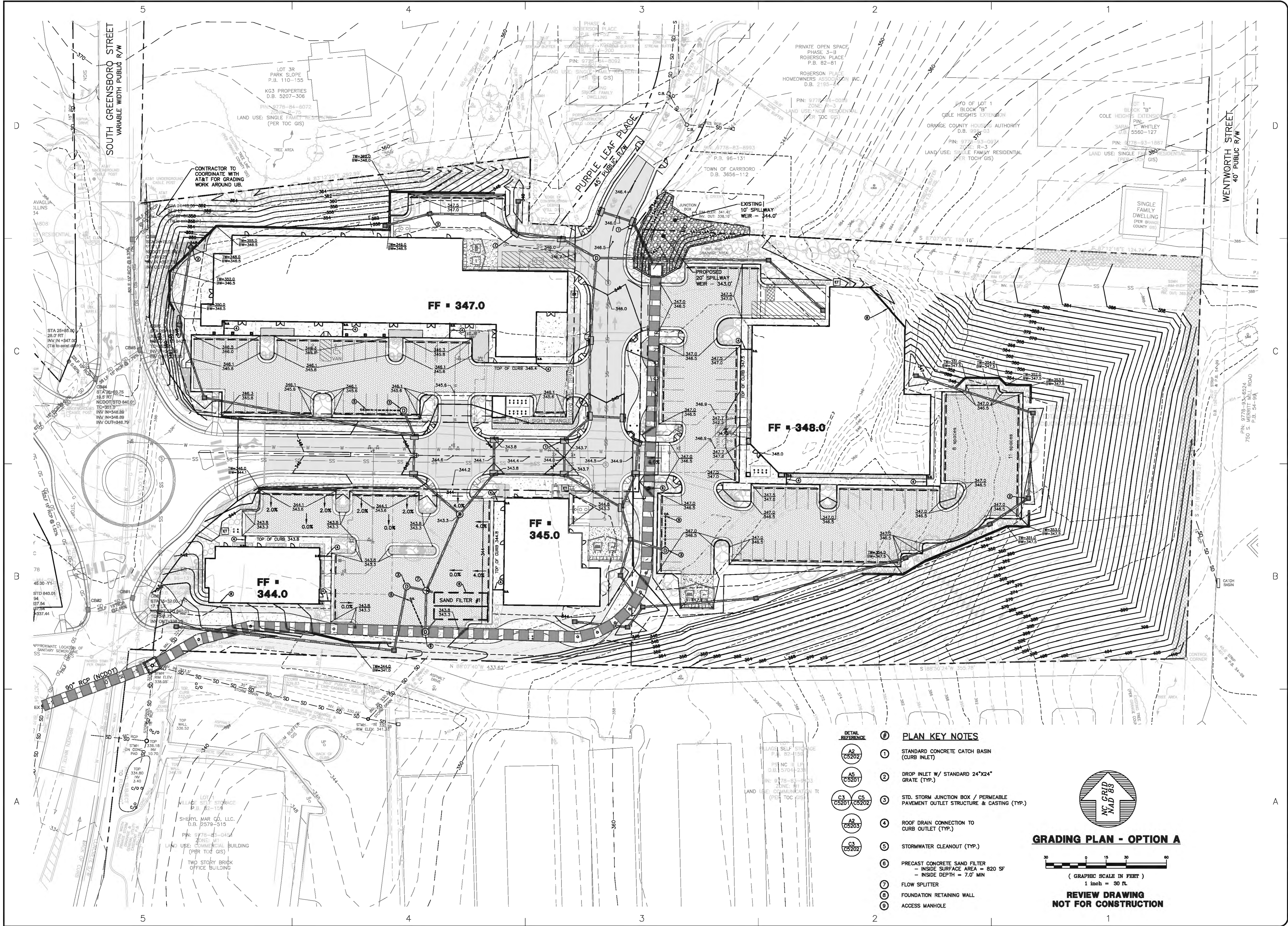
DATE
 21 NOV 14
 14 JAN 15
 19 MAR 15

ISSUED
 CUP SUBMITTAL #4
 CUP SUBMITTAL #5
 FINAL CUP SUBMITTAL

SOUTH GREEN (TRIERM)
 CARBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
 DATE: 21 NOV 2014
 SCALE: AS NOTED
 DRAWN BY: S.R.M.
 REVIEWED BY: G.J.R.

**SHEET
C1102**



- DETAIL REFERENCE**
- A2 CS202
 - A5 CS201
 - C3 CS201
 - C5 CS202
 - A2 CS203
 - C3 CS202
- PLAN KEY NOTES**
- 1 STANDARD CONCRETE CATCH BASIN (CURB INLET)
 - 2 DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
 - 3 STD. STORM JUNCTION BOX / PERMEABLE PAVEMENT OUTLET STRUCTURE & CASTING (TYP.)
 - 4 ROOF DRAIN CONNECTION TO CURB OUTLET (TYP.)
 - 5 STORMWATER CLEANOUT (TYP.)
 - 6 PRECAST CONCRETE SAND FILTER - INSIDE SURFACE AREA = 820 SF - INSIDE DEPTH = 7.0' MIN
 - 7 FLOW SPLITTER
 - 8 FOUNDATION RETAINING WALL
 - 9 ACCESS MANHOLE

GRADING PLAN - OPTION A

(GRAPHIC SCALE IN FEET)
1 inch = 30 ft.

**REVIEW DRAWING
NOT FOR CONSTRUCTION**

BALLENTINE ASSOCIATES PA
281 PRODUCE ROAD, CHAPEL HILL, NC 27514
919.959.0481

REGISTERED PROFESSIONAL ENGINEER
STATE OF NORTH CAROLINA
NO. 14877
EXPIRES 12/31/2024

DATE	REVISIONS
14 JAN 15	PER TOWN OF CARBORO COMMENTS
19 MAR 15	PER FINAL TOWN OF CARBORO COMMENTS

OWNER INFORMATION
WOODHILL NC LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

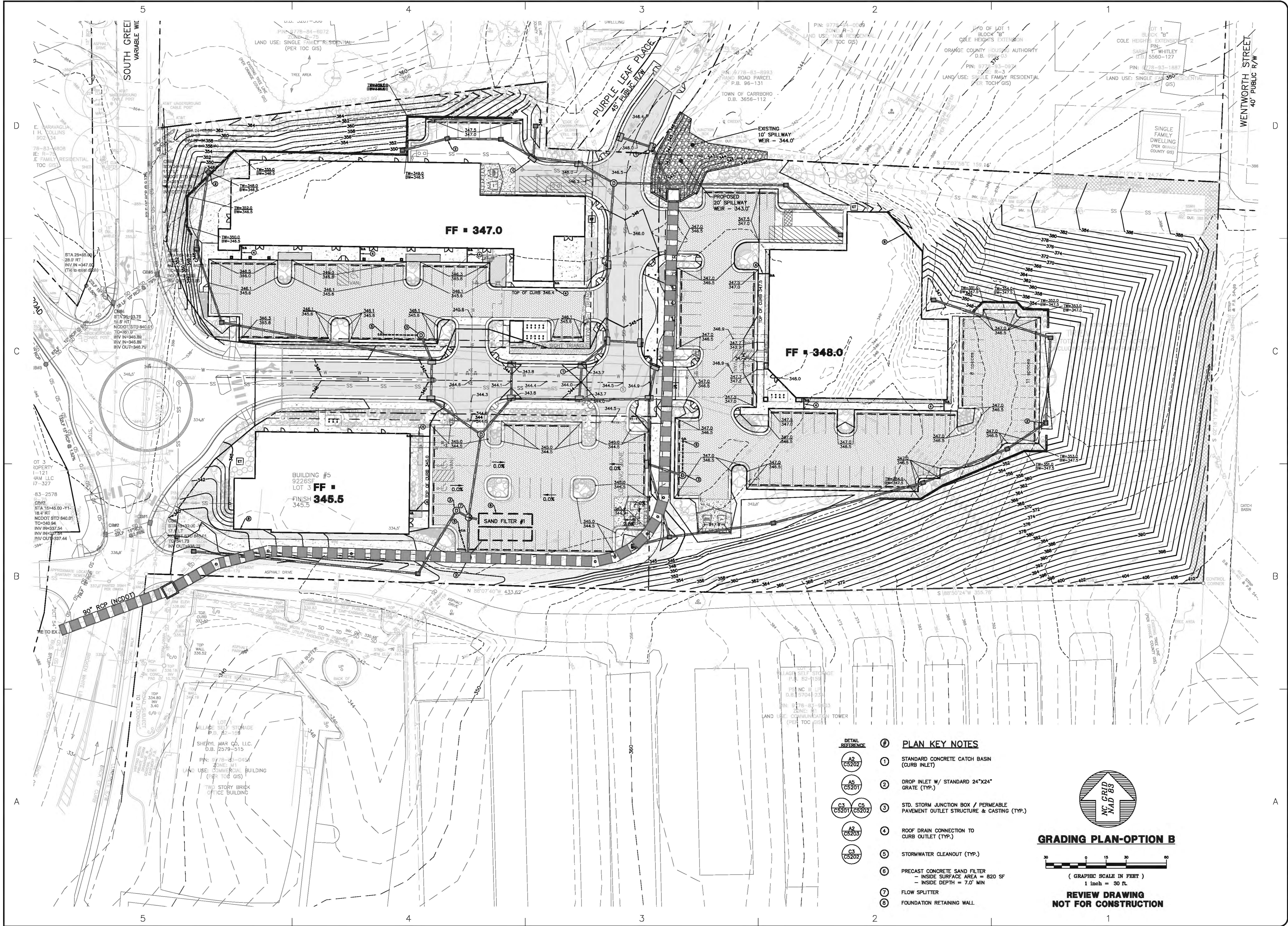
OWNER'S REPRESENTATIVE:
RUNTON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: runtonwoods@gmail.com

ISSUED	DATE
CIP SUBMITTAL #4	21 NOV 14
CIP SUBMITTAL #5	14 JAN 15
FINAL CIP SUBMITTAL	19 MAR 15

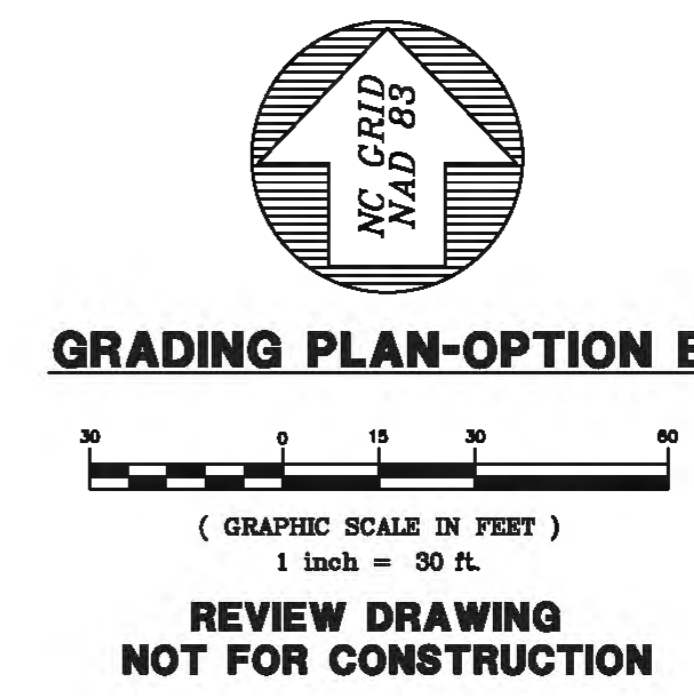
SOUTH GREEN (TRIEM)
CARBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

**SHEET
C1201**



- DETAIL REFERENCE**
- A2 C5202
 - A5 C5201
 - C3 C5201
 - C5 C5202
 - A2 C5203
 - C3 C5202
- PLAN KEY NOTES**
- 1 STANDARD CONCRETE CATCH BASIN (CURB INLET)
 - 2 DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
 - 3 STD. STORM JUNCTION BOX / PERMEABLE PAVEMENT OUTLET STRUCTURE & CASTING (TYP.)
 - 4 ROOF DRAIN CONNECTION TO CURB OUTLET (TYP.)
 - 5 STORMWATER CLEANOUT (TYP.)
 - 6 PRECAST CONCRETE SAND FILTER - INSIDE SURFACE AREA = 820 SF - INSIDE DEPTH = 7.0' MIN
 - 7 FLOW SPLITTER
 - 8 FOUNDATION RETAINING WALL



BALLENTINE ASSOCIATES PA
 200 PROVIDENCE ROAD, CHAPEL HILL, NC 27514
 (919) 999-0481 FAX (919) 409-4789
 www.balentine.com

REVISIONS

NO.	DATE	REVISIONS
1	14 JAN 15	PER TOWN OF CARRBORO COMMENTS
2	19 MAR 15	PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
 WOODHILL NC LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515

OWNER REPRESENTATIVE:
 RYUNTON WOODS
 PH (919) 418-2121
 FAX (919) 418-2121
 EMAIL ryuntonwoods@gmail.com

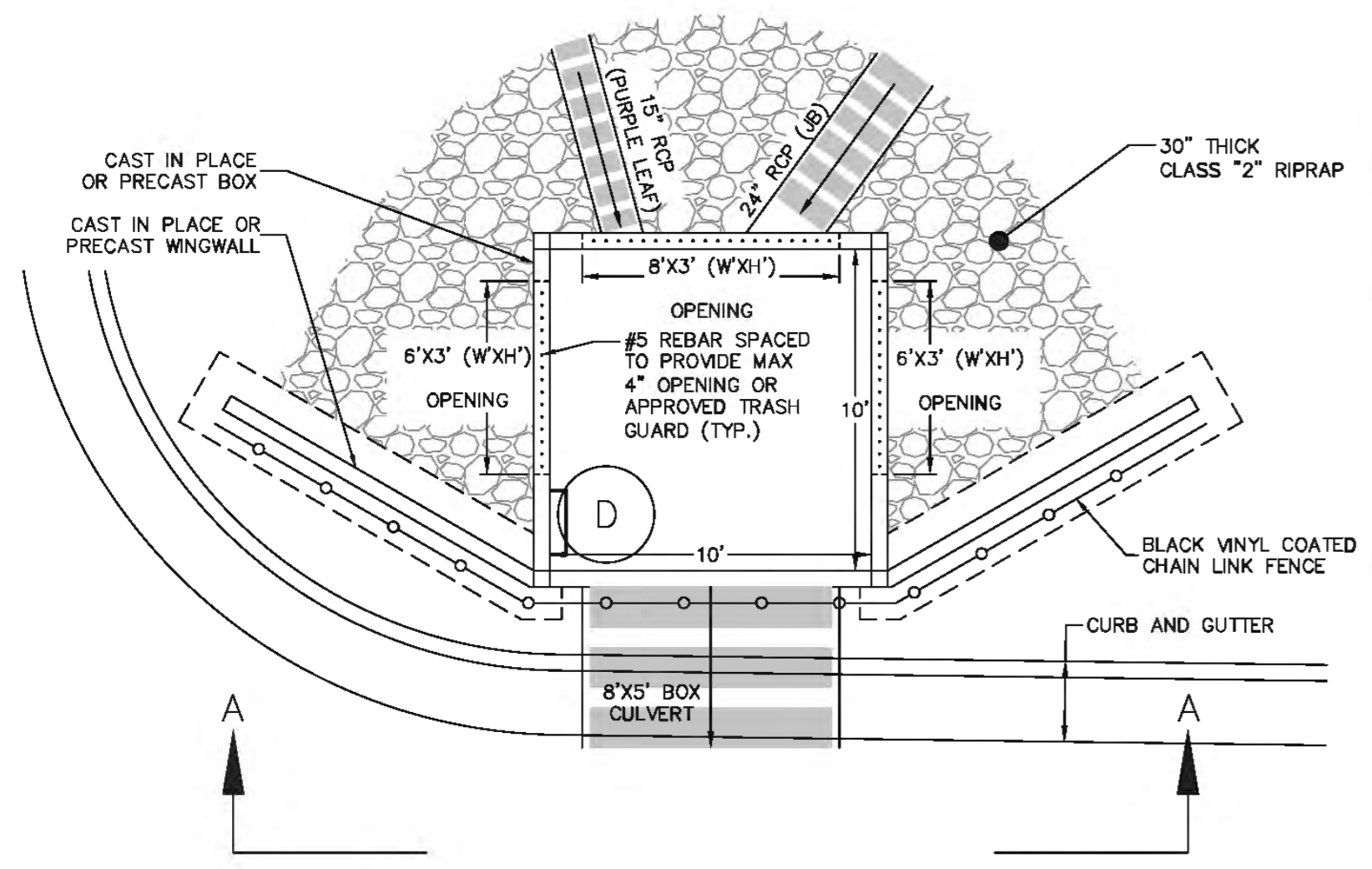
ISSUED

DATE	ISSUED
21 NOV 14	CIP SUBMITTAL #4
14 JAN 15	CIP SUBMITTAL #5
19 MAR 15	FINAL CIP SUBMITTAL

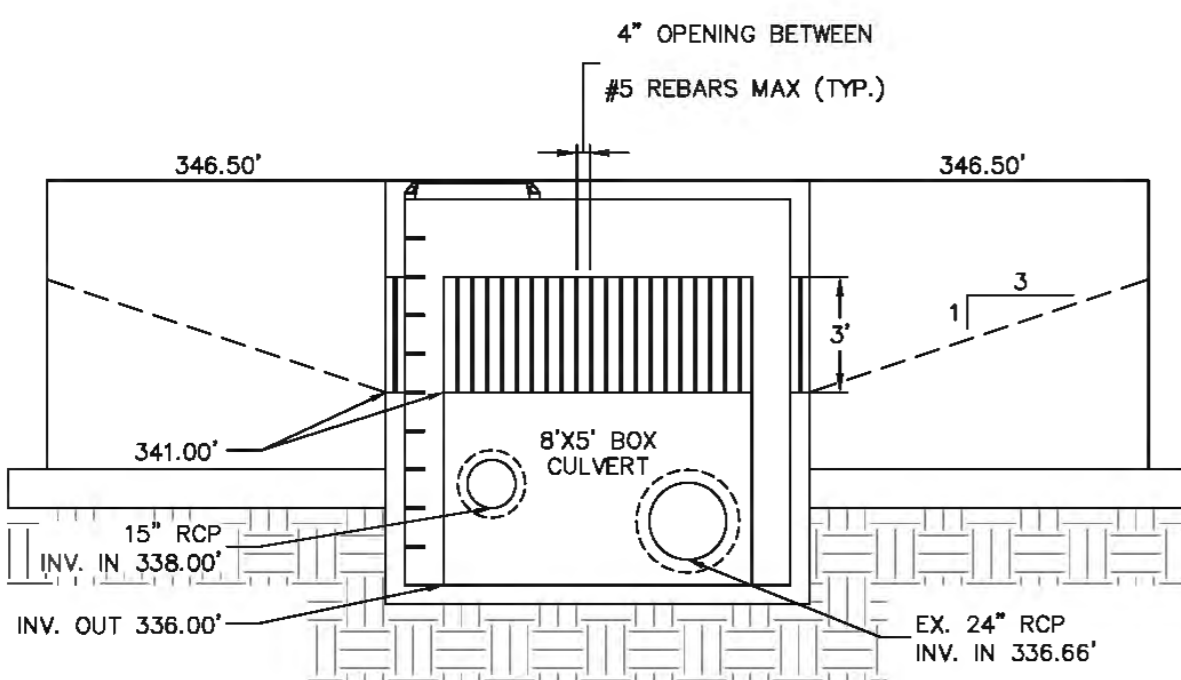
SOUTH GREEN (TRIEM)
 CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
 DATE: 21 NOV 2014
 SCALE: AS NOTED
 DRAWN BY: S.R.M.
 REVIEWED BY: G.J.R.

SHEET C1202

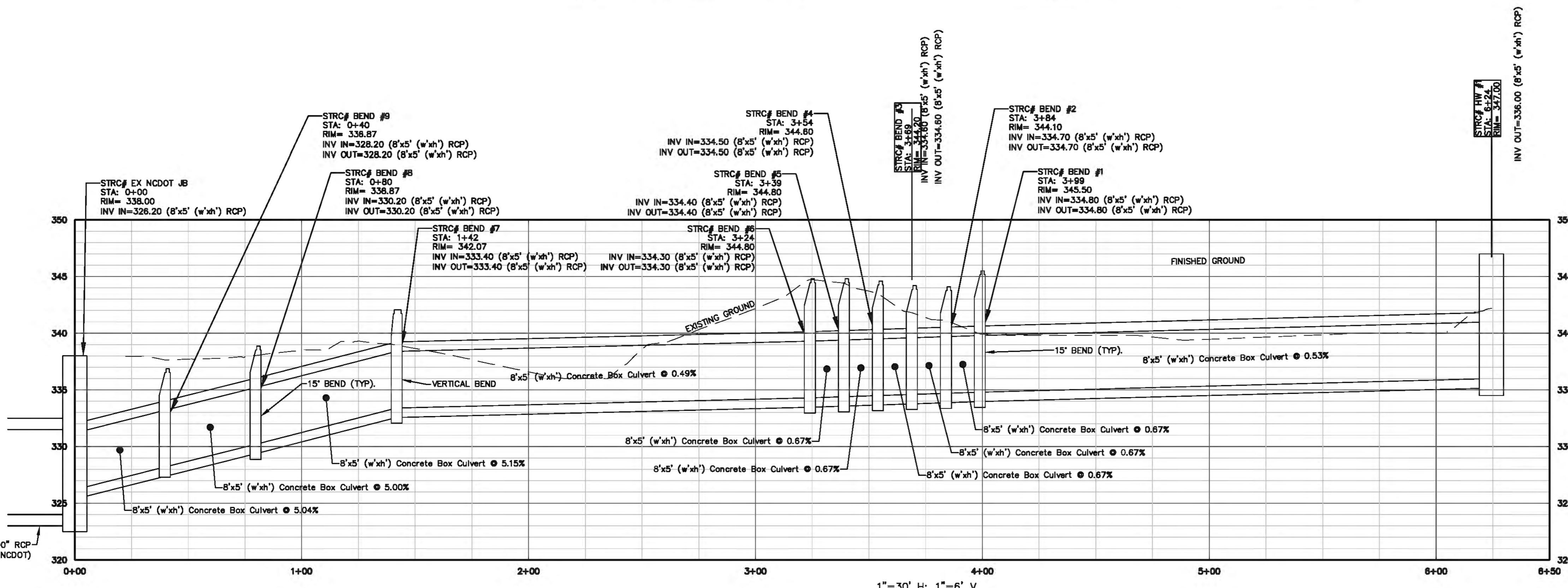
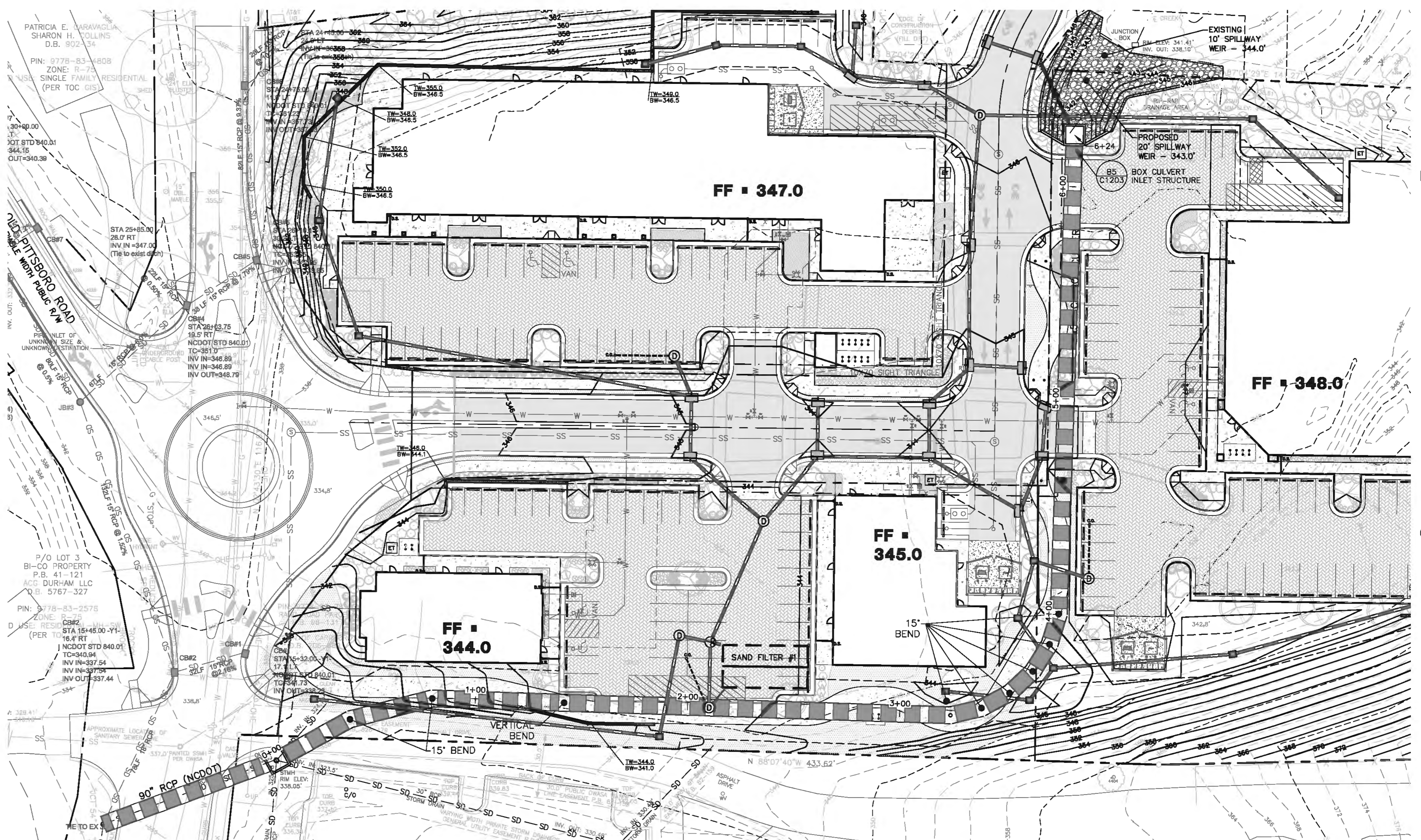


PLAN VIEW



SECTION A-A

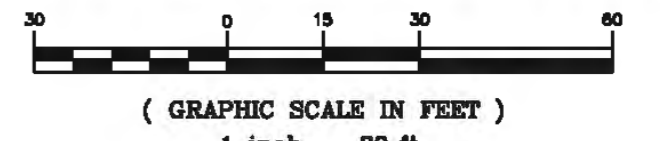
B5 BOX CULVERT INLET STRUCTURE
C1203/ NOT TO SCALE



NOTES:
1. BYPASS LINE PLAN AND PROFILE SHOWN IS FOR OPTION A.



BYPASS LINE PLAN AND PROFILE



REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
280 PRODUCE ROAD, CHAPEL HILL, NC 27514
919 999-0481



DATE
14 JAN 15
19 MAR 15

REVISIONS	DATE	PER TOWN OF CARBORO COMMENTS
	14 JAN 15	
	19 MAR 15	

OWNER INFORMATION
WOODHILL NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

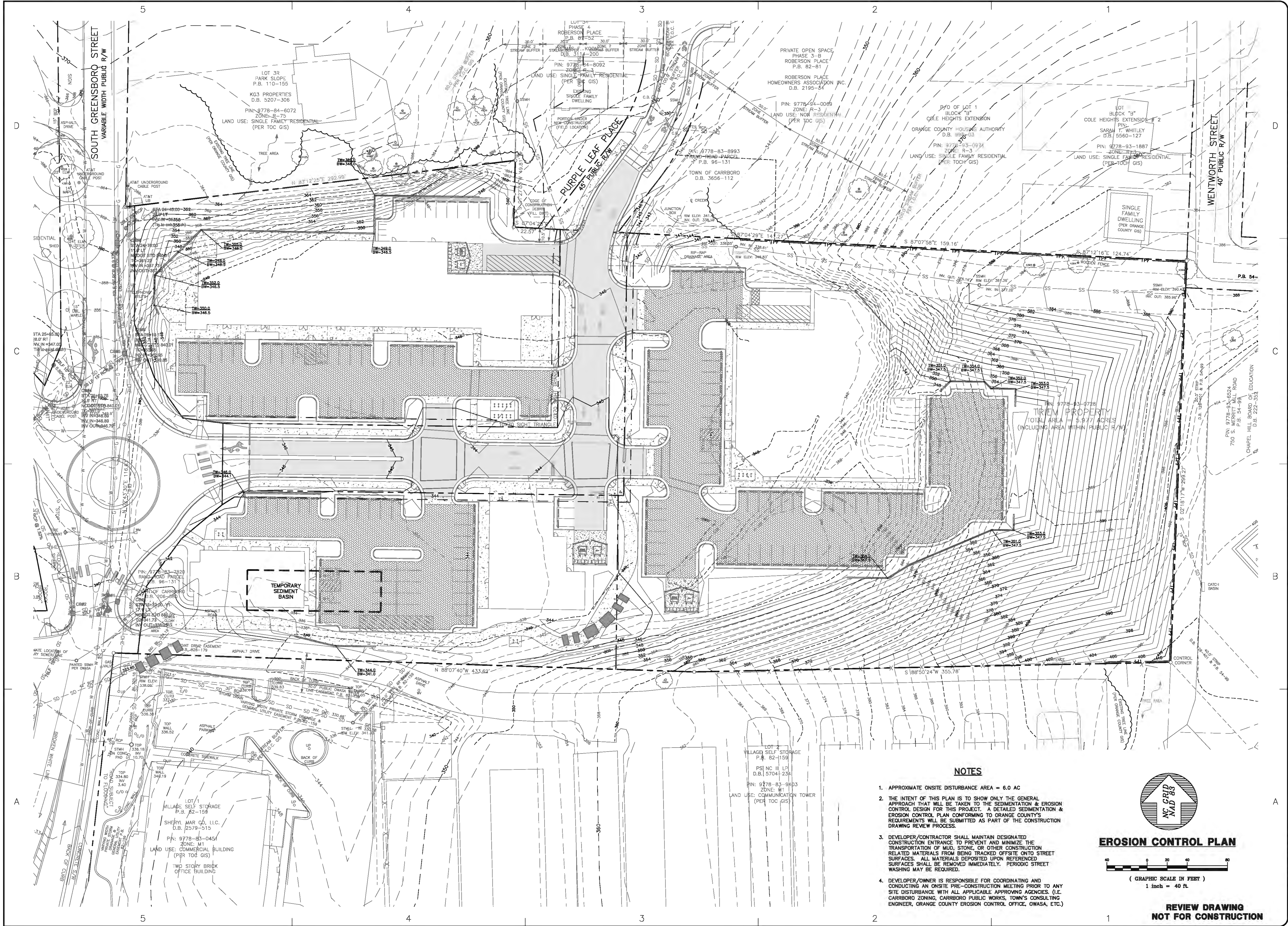
ISSUED	DATE	DESCRIPTION
	21 NOV 14	
	14 JAN 15	
	14 JAN 15	
	19 MAR 15	

OWNER REPRESENTATIVE:
RUNYON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: runyonwoods@gmail.com

SOUTH GREEN (TRIEM)
CARBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

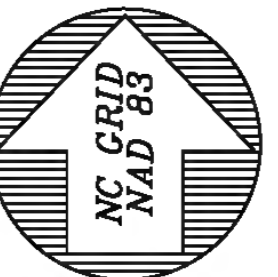
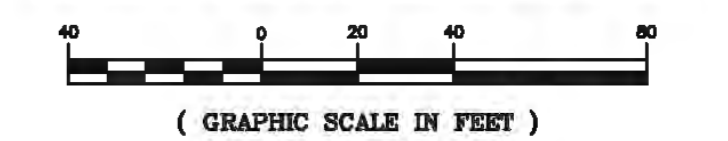
SHEET
C1203



NOTES

1. APPROXIMATE ONSITE DISTURBANCE AREA = 6.0 AC
2. THE INTENT OF THIS PLAN IS TO SHOW ONLY THE GENERAL APPROACH THAT WILL BE TAKEN TO THE SEDIMENTATION & EROSION CONTROL DESIGN FOR THIS PROJECT. A DETAILED SEDIMENTATION & EROSION CONTROL PLAN CONFORMING TO ORANGE COUNTY'S REQUIREMENTS WILL BE SUBMITTED AS PART OF THE CONSTRUCTION DRAWING REVIEW PROCESS.
3. DEVELOPER/CONTRACTOR SHALL MAINTAIN DESIGNATED CONSTRUCTION ENTRANCE TO PREVENT AND MINIMIZE THE TRANSPORTATION OF MUD, STONE, OR OTHER CONSTRUCTION RELATED MATERIALS FROM BEING TRACKED OFFSITE ONTO STREET SURFACES. ALL MATERIALS DEPOSITED UPON REFERENCED SURFACES SHALL BE REMOVED IMMEDIATELY. PERIODIC STREET WASHING MAY BE REQUIRED.
4. DEVELOPER/OWNER IS RESPONSIBLE FOR COORDINATING AND CONDUCTING AN ONSITE PRE-CONSTRUCTION MEETING PRIOR TO ANY SITE DISTURBANCE WITH ALL APPLICABLE APPROVING AGENCIES, (I.E. CARRBORO ZONING, CARRBORO PUBLIC WORKS, TOWN'S CONSULTING ENGINEER, ORANGE COUNTY EROSION CONTROL OFFICE, OWASA, ETC.)

EROSION CONTROL PLAN



**REVIEW DRAWING
NOT FOR CONSTRUCTION**

BALLENTINE ASSOCIATES PA
252 PRODUCE ROAD, CHAPEL HILL, NC 27514
919.999.9481

REGISTERED PROFESSIONAL ENGINEER
STATE OF NORTH CAROLINA
EXPIRES 12/31/2017
GEORGE J. RETZEL

DATE	REVISIONS
14 JAN 15	
19 MAR 15	

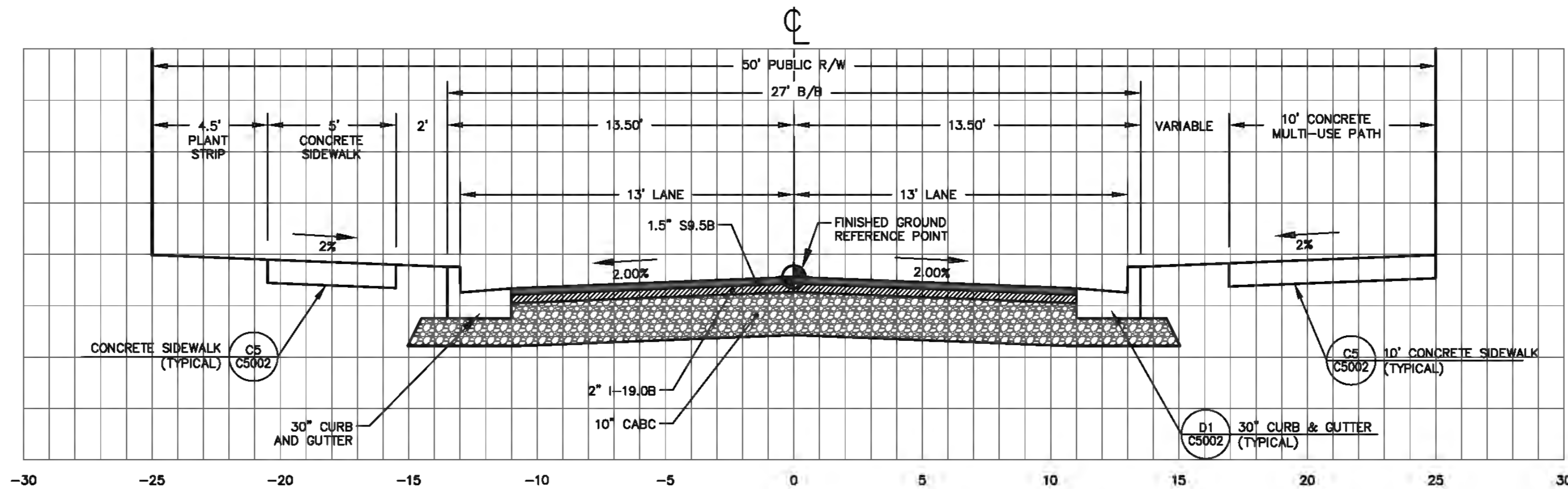
OWNER INFORMATION
WOODHILL NC LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

ISSUED	DATE
CUP SUBMITTAL #4	21 NOV 14
CUP SUBMITTAL #5	14 JAN 15
FINAL CUP SUBMITTAL	19 MAR 15

SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

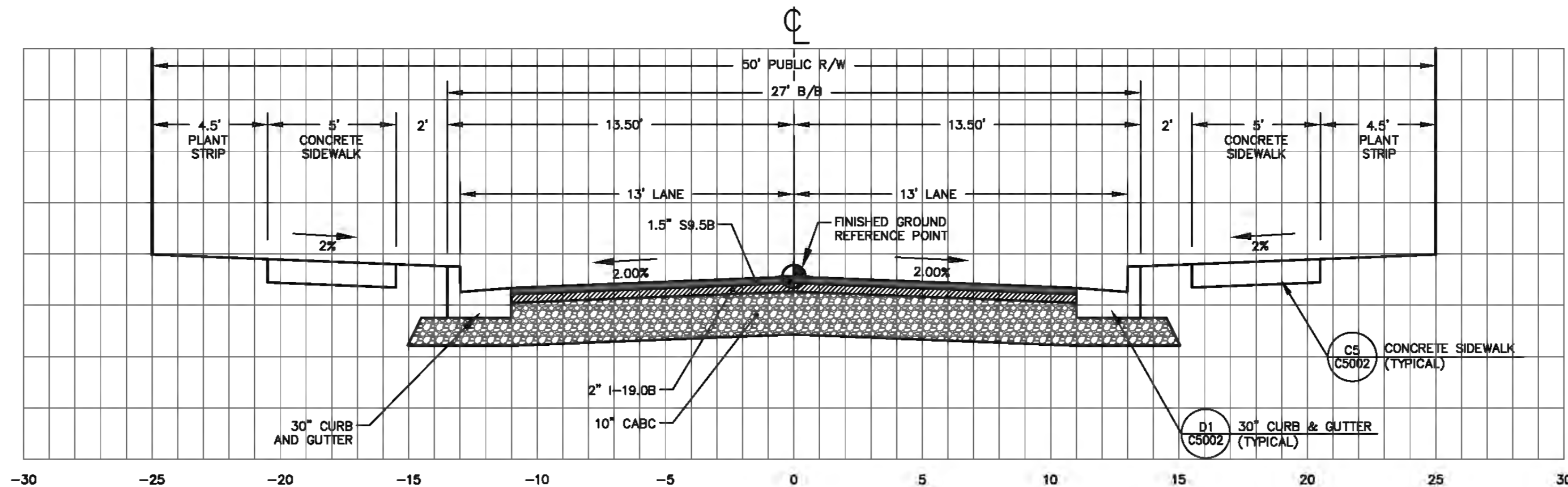
JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

**SHEET
C1301**



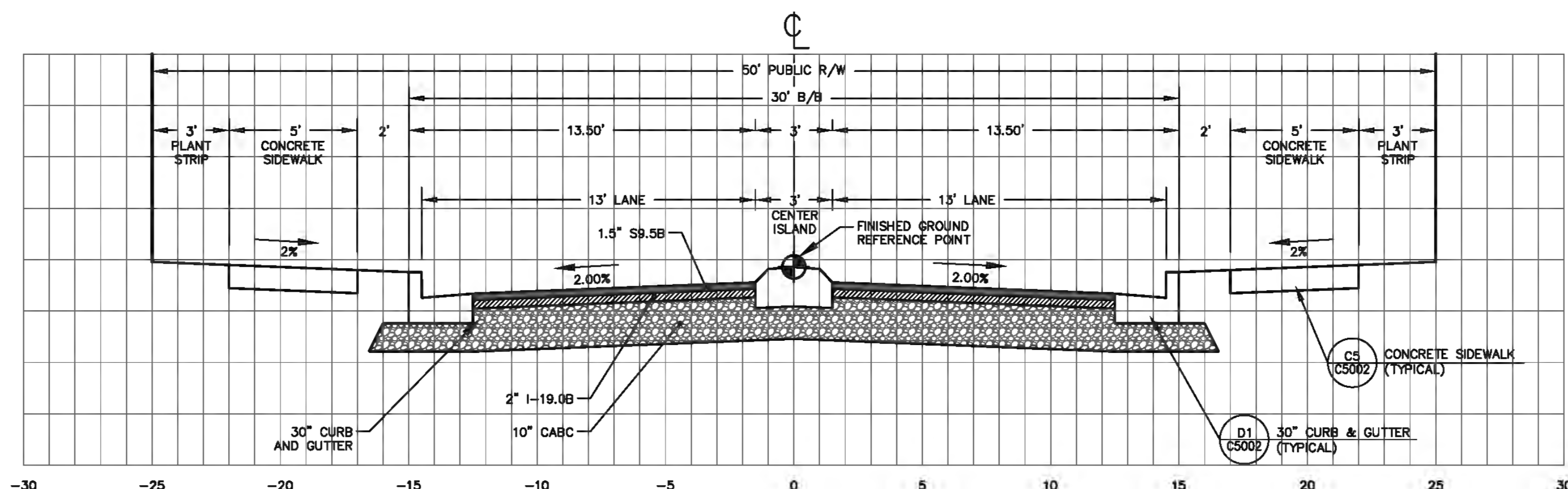
SOUTH GREEN "RAND ROAD"

SCALE - H: 1"=4'
V: 1"=2'



SOUTH GREEN "RAND ROAD"

SCALE - H: 1"=4'
V: 1"=2'



SOUTH GREEN "RAND ROAD"

SCALE - H: 1"=4'
V: 1"=2'



BALLENTINE ASSOCIATES PA
 221 PRODUCE ROAD, CHAPEL HILL, NC 27514
 (919) 999-0481
 (919) 999-4798
 FAX: (919) 999-0481
 THE SEAL OF THE PROFESSIONAL ENGINEER IS THE PROPERTY OF BALLENTINE ASSOCIATES, PA. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED ON THE PERMIT. ANY OTHER USE OF THIS SEAL WITHOUT THE WRITTEN PERMISSION OF BALLENTINE ASSOCIATES, PA. WILL BE SUBJECT TO LEGAL ACTION.



DATE	REVISIONS
14 JAN 15	
19 MAR 15	

OWNER INFORMATION
 WOODHILL NC, LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515
OWNERS REPRESENTATIVE:
 RUNYON WOODS
 PH: (919) 418-2121
 FAX:
 EMAIL: runyons@woodhillnc.com

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SOUTH GREEN (TRIEIM)
 CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

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 REVIEWED BY: G.J.R.

SHEET
C3201

TYPICAL ROADWAY SECTIONS

REVIEW DRAWING
NOT FOR CONSTRUCTION

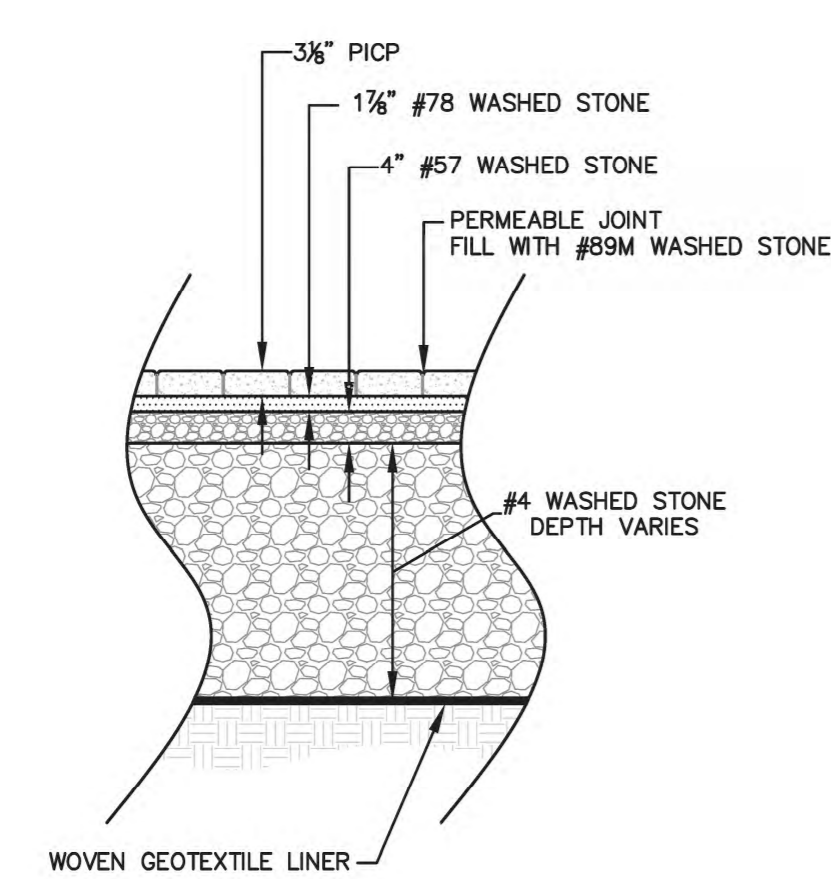
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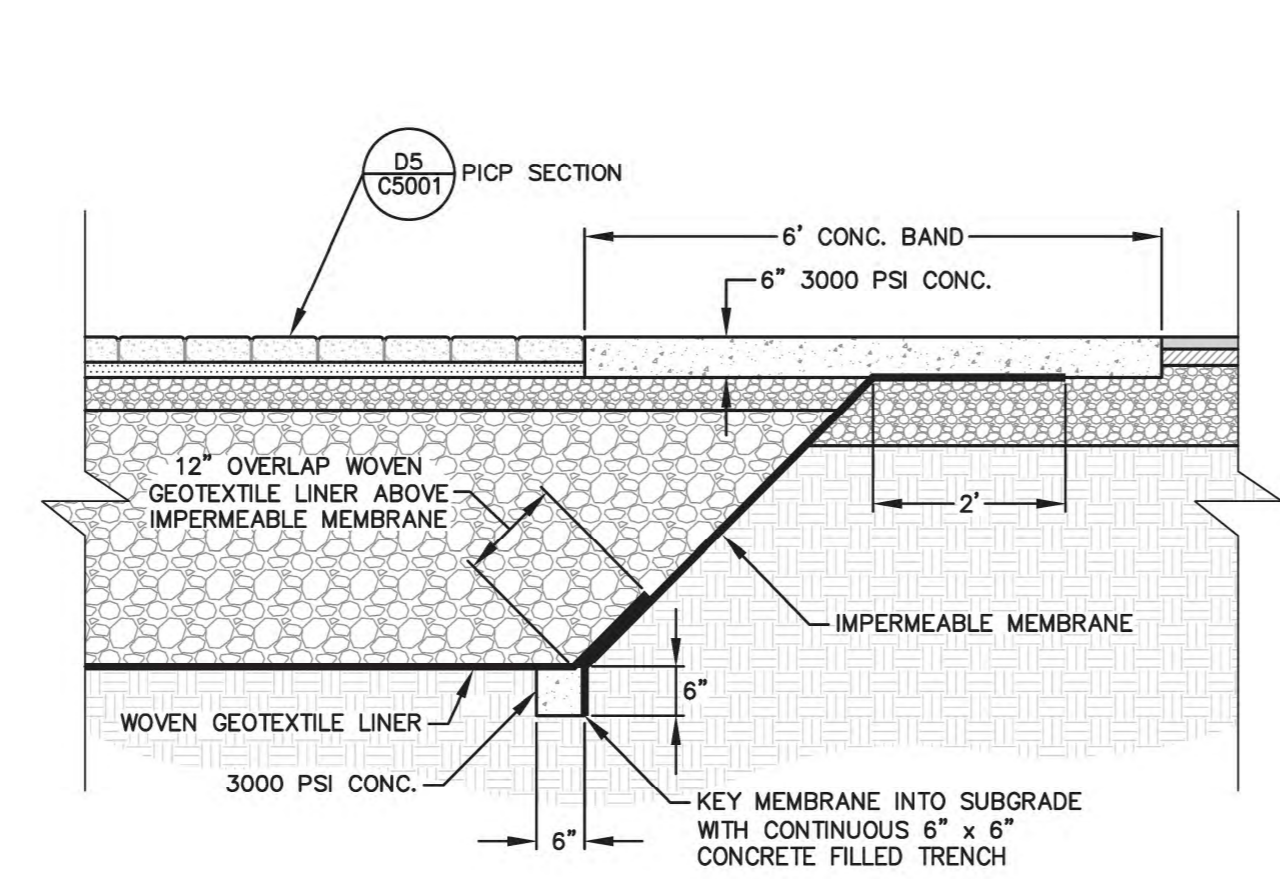
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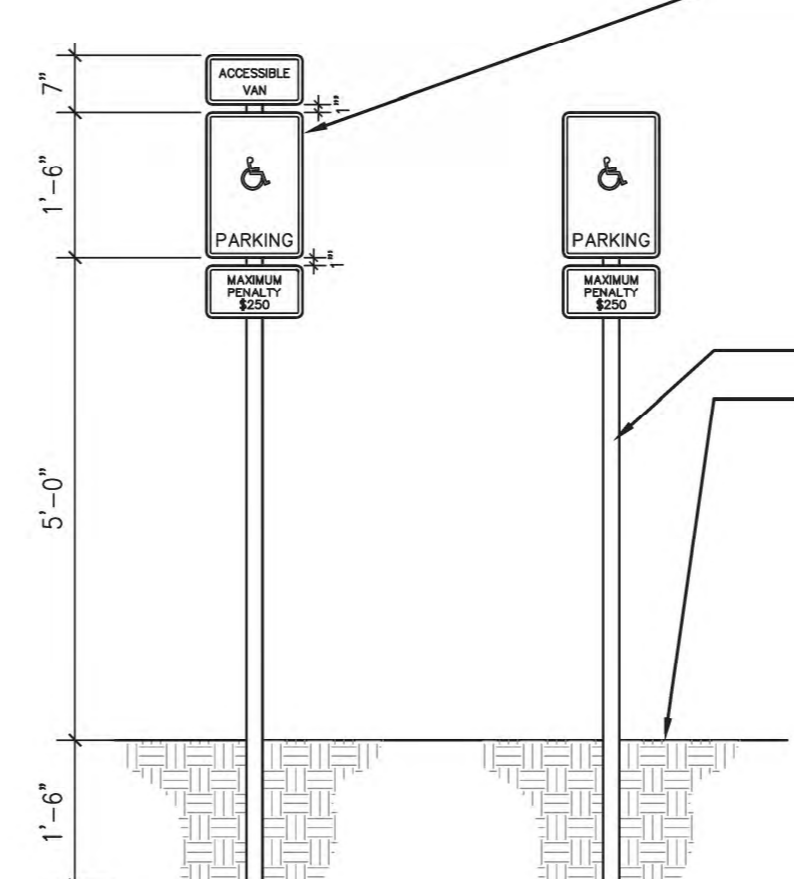
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D5 PERMEABLE INTERLOCKING CONCRETE PAVERS (PICP)
C5001 SCALE: 1" = 2'



D4 6' WIDE CONCRETE BOUNDARY
C5001 SCALE: 1" = 2'

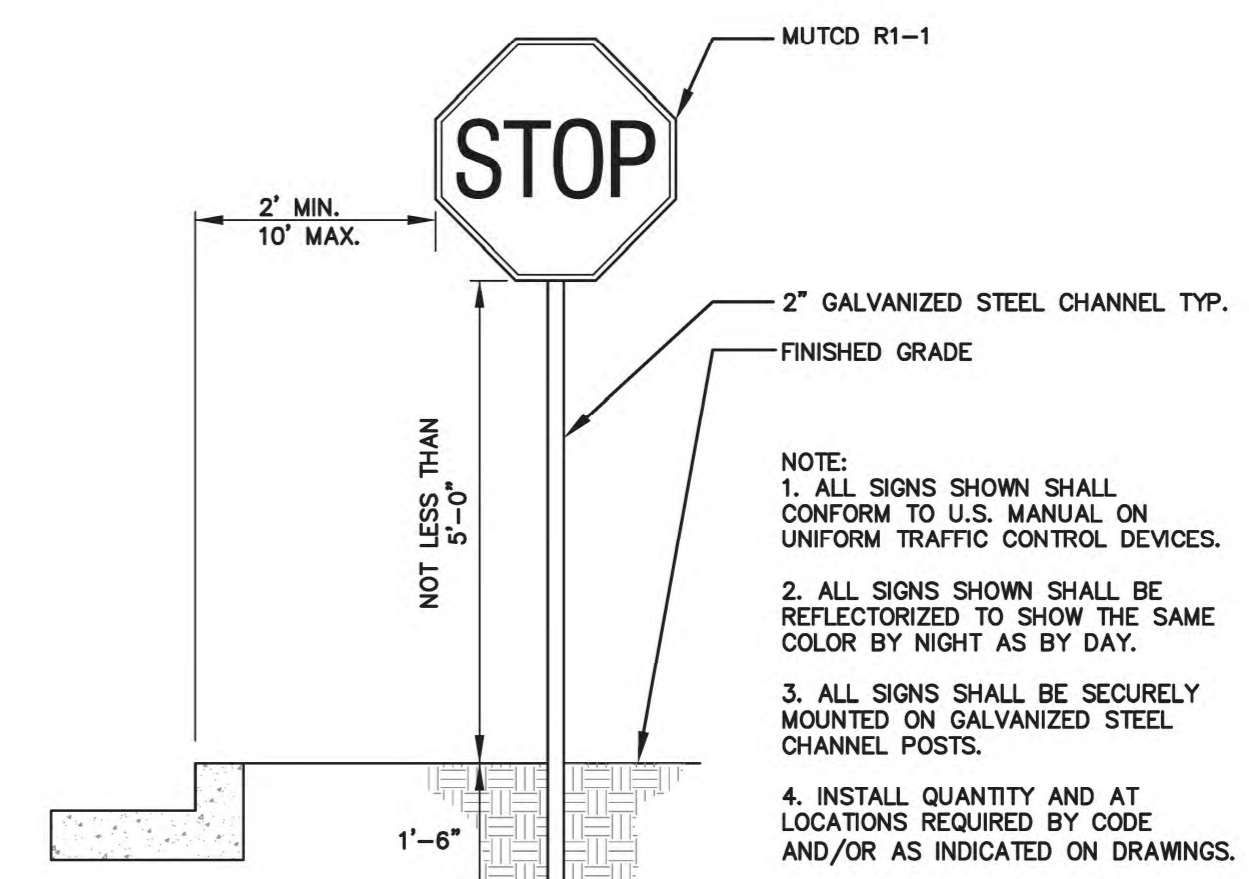


D3 HANDICAP PARKING SIGNS
C5001 SCALE: 1" = 2'

PROVIDE "VAN ACCESSIBLE" SIGNAGE AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS.

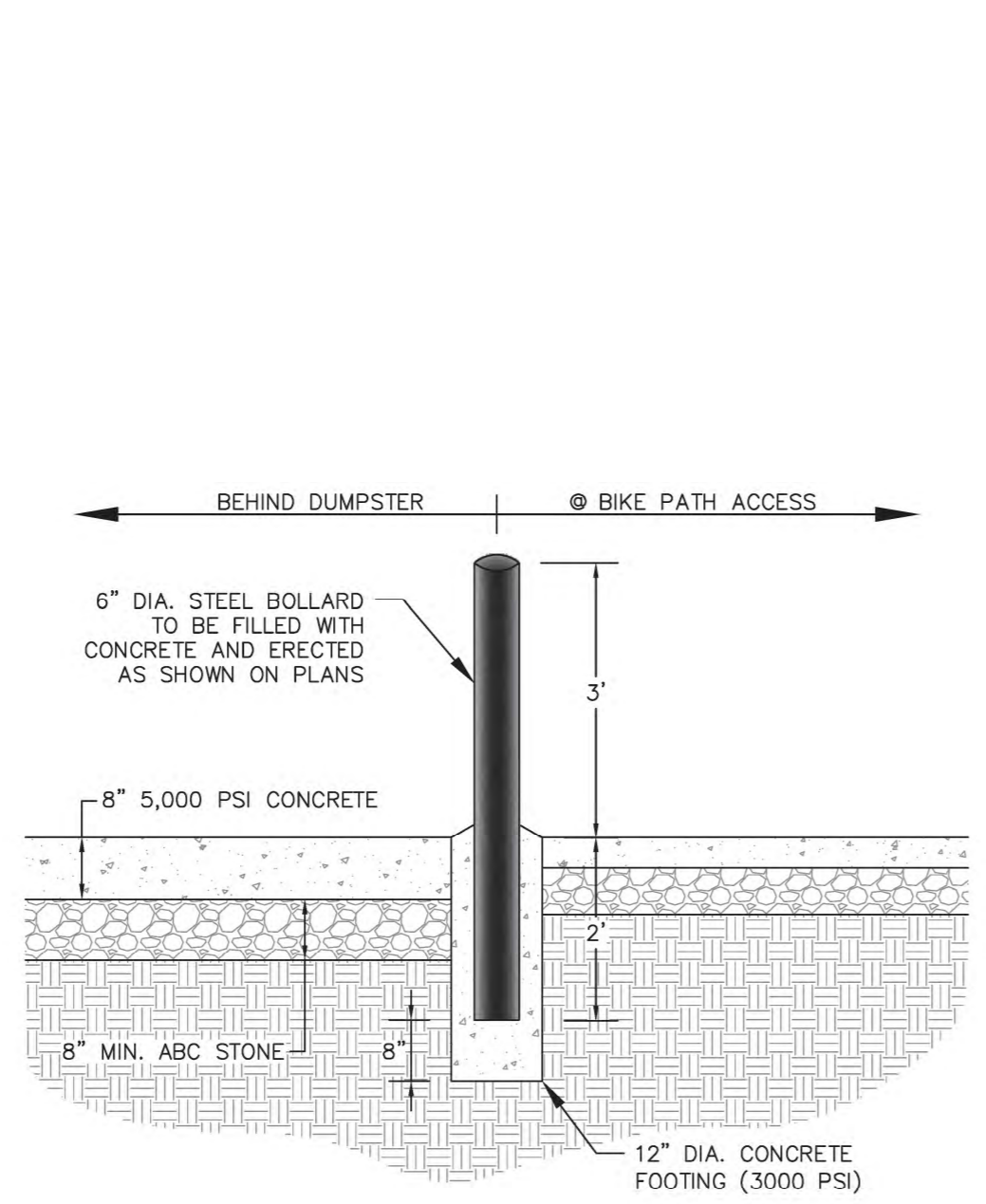
2" GALVANIZED STEEL CHANNEL TYP.
FINISHED GRADE

NOTE:
1. ALL SIGNS SHOWN SHALL CONFORM TO U.S. MANUAL SPECIFICATIONS.
2. ALL SIGNS SHOWN SHALL BE REFLECTORIZED TO SHOW THE SAME COLOR BY NIGHT AS BY DAY.
3. ALL SIGNS SHALL BE SECURELY MOUNTED ON GALVANIZED STEEL CHANNEL POSTS.
4. INSTALL QUANTITY AND AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS. CONFIRM ALL HANDICAPPED SIGNAGE CODES.

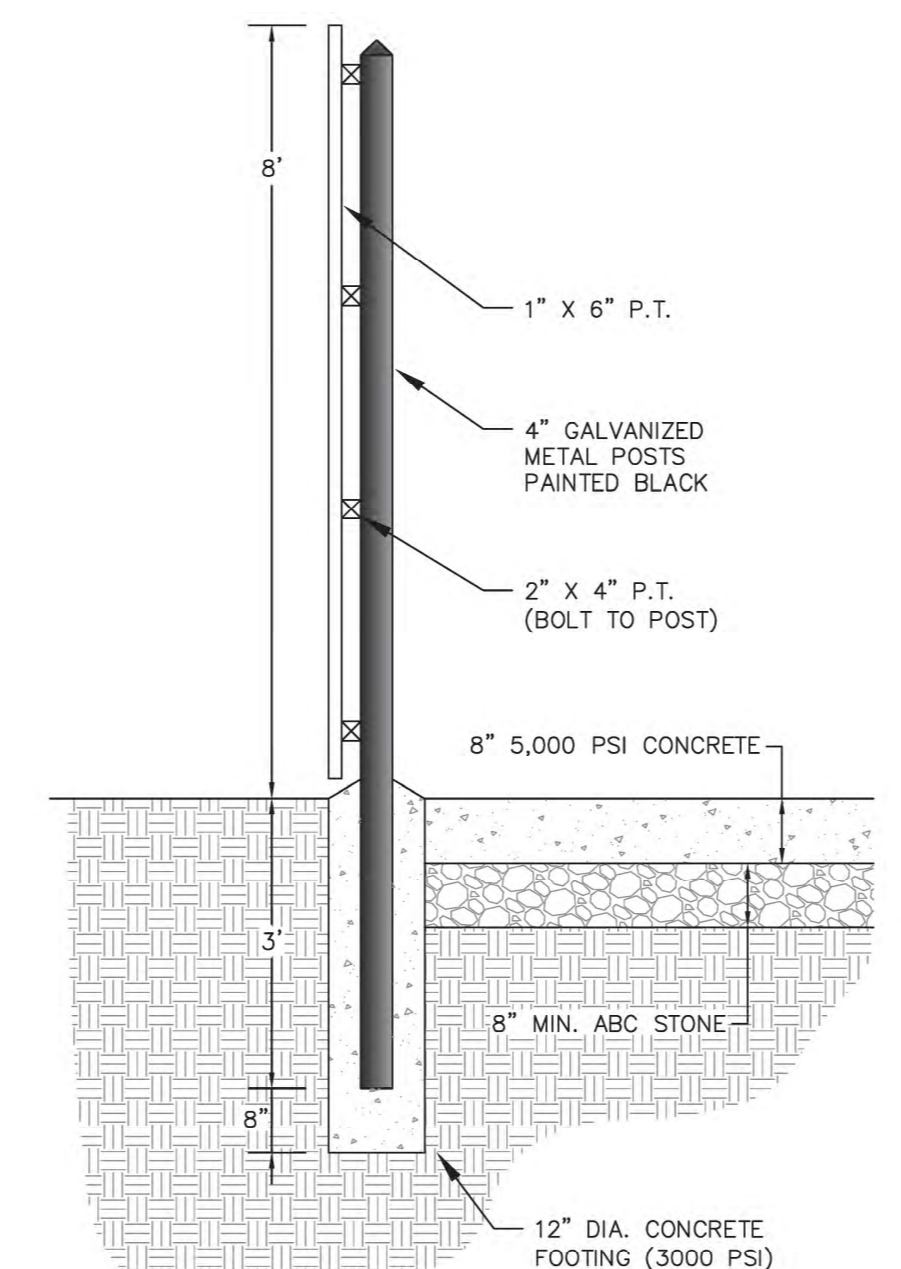


D1 STOP SIGN
C5001 SCALE: 1" = 2'

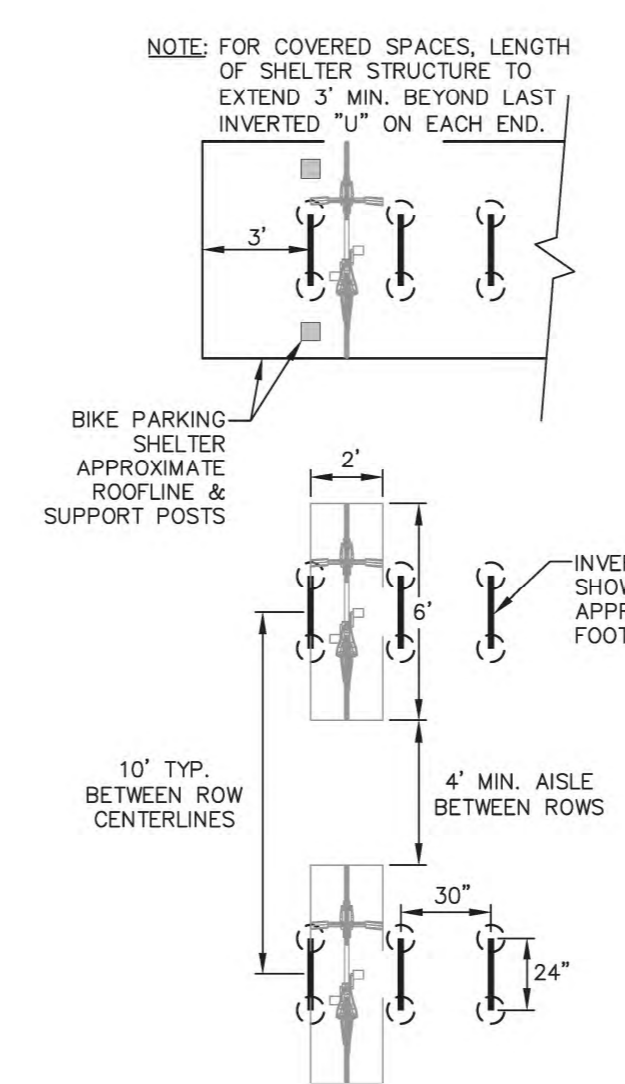
NOTE:
1. ALL SIGNS SHOWN SHALL CONFORM TO U.S. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. ALL SIGNS SHOWN SHALL BE REFLECTORIZED TO SHOW THE SAME COLOR BY NIGHT AS BY DAY.
3. ALL SIGNS SHALL BE SECURELY MOUNTED ON GALVANIZED STEEL CHANNEL POSTS.
4. INSTALL QUANTITY AND AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS.



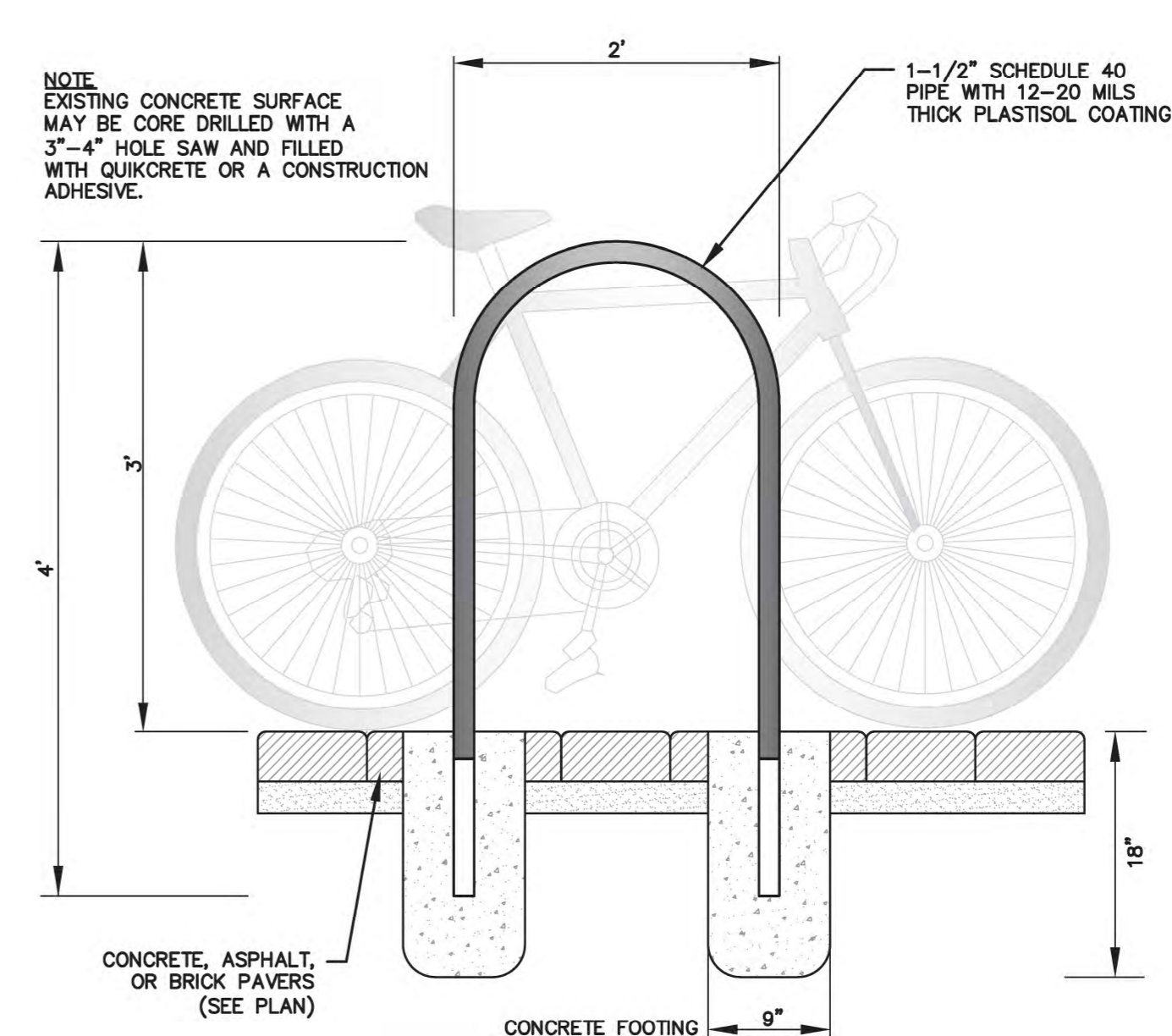
B4 6" PIPE BOLLARD
C5001 SCALE: 1" = 2'



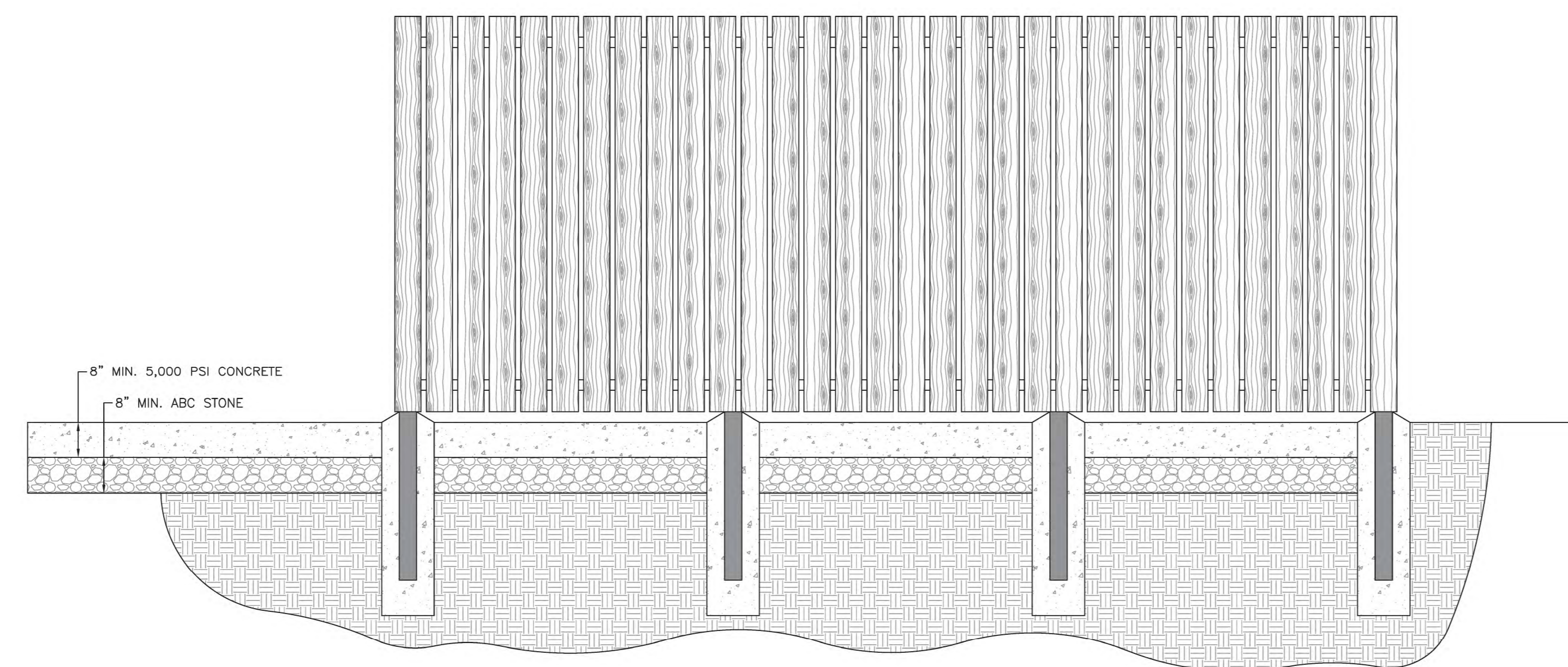
B3 DUMPSTER ENCLOSURE SECTION B-B
C5001 SCALE: 1" = 2'



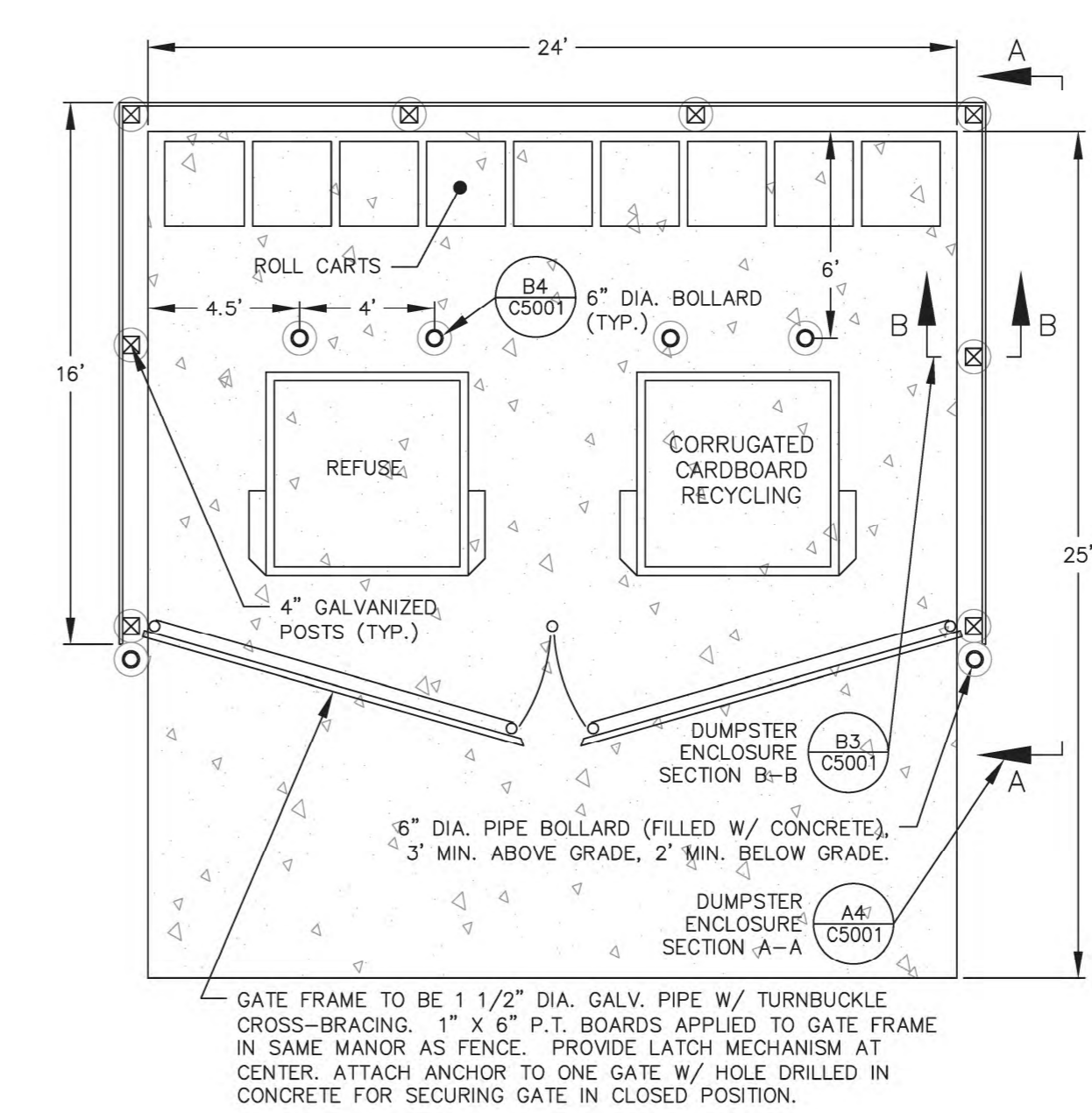
PLAN VIEW
SCALE: 1" = 5'



B2 INVERTED "U" BIKE RACK DETAIL
C5001 SCALE: 1" = 1'



A4 DUMPSTER ENCLOSURE SECTION A-A
C5001 SCALE: 1" = 2'



A2 CARDBOARD, MSW & RECYCLING ENCLOSURES
C5001 SCALE: 1" = 5'

SITE DETAILS
REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
221 PRODUCE ROAD, CHAPEL HILL, NC 27514
(919) 998-0481
2014 PROFESSIONAL SEAL
CORPORATE SEAL
C328
NORTH CAROLINA
Chapel Hill

Professional Engineer
No. 12177
George J. Retzlaff
Chapel Hill, NC

DATE	REVISIONS
14 JAN 15	PER TOWN OF CARRBORO COMMENTS
19 MAR 15	PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
WOODHILL NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

DATE	ISSUED
21 NOV 14	CUP SUBMITTAL #4
14 JAN 15	CUP SUBMITTAL #5
19 MAR 15	FINAL CUP SUBMITTAL

SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

SHEET C5001

D

C

B

A

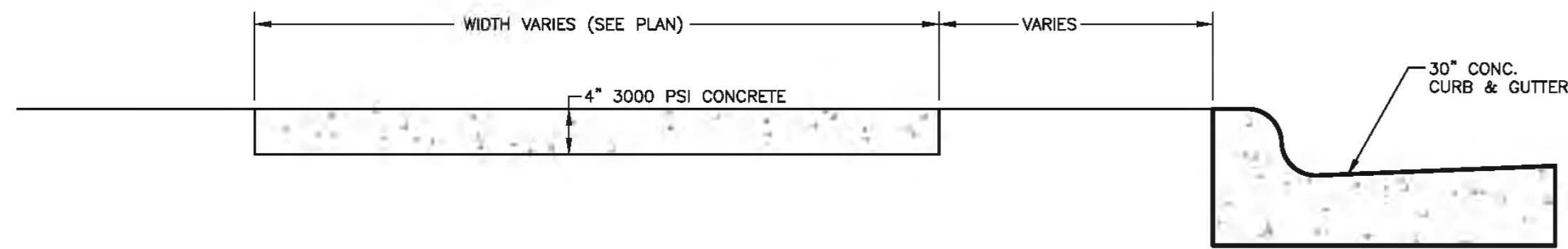
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4

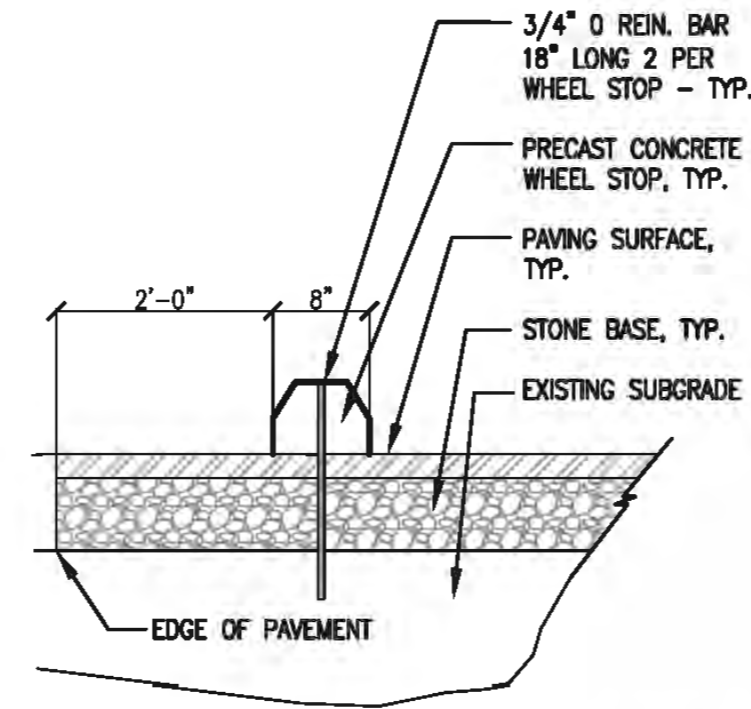
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2

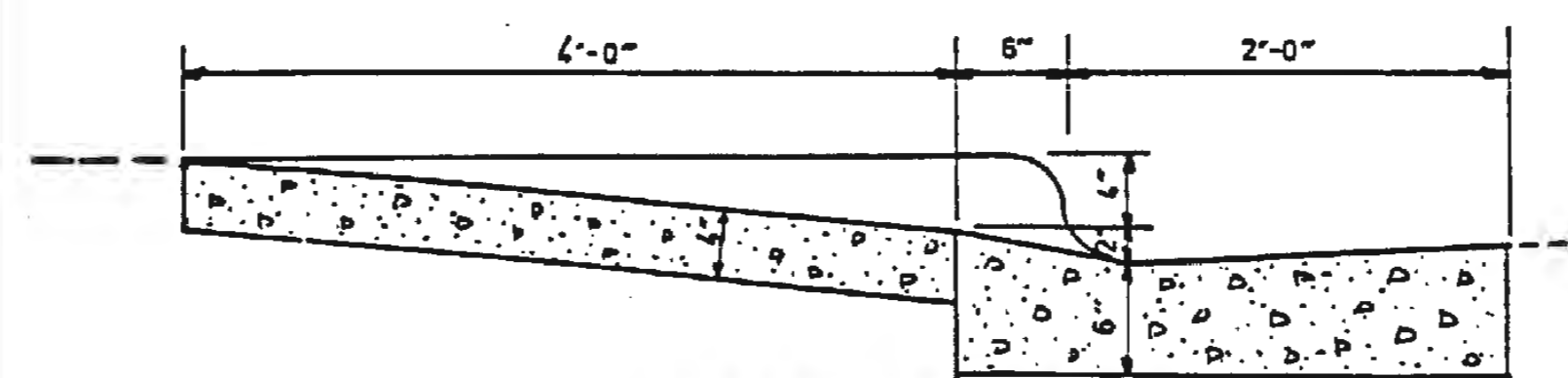
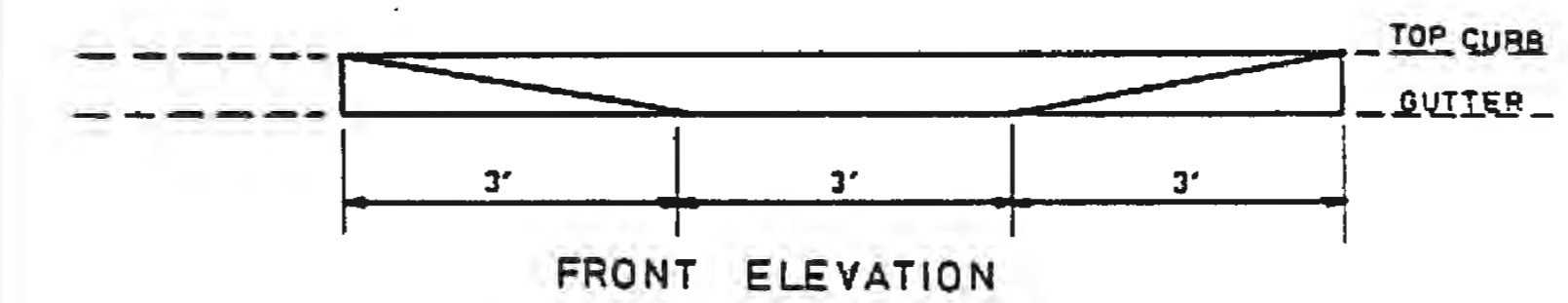
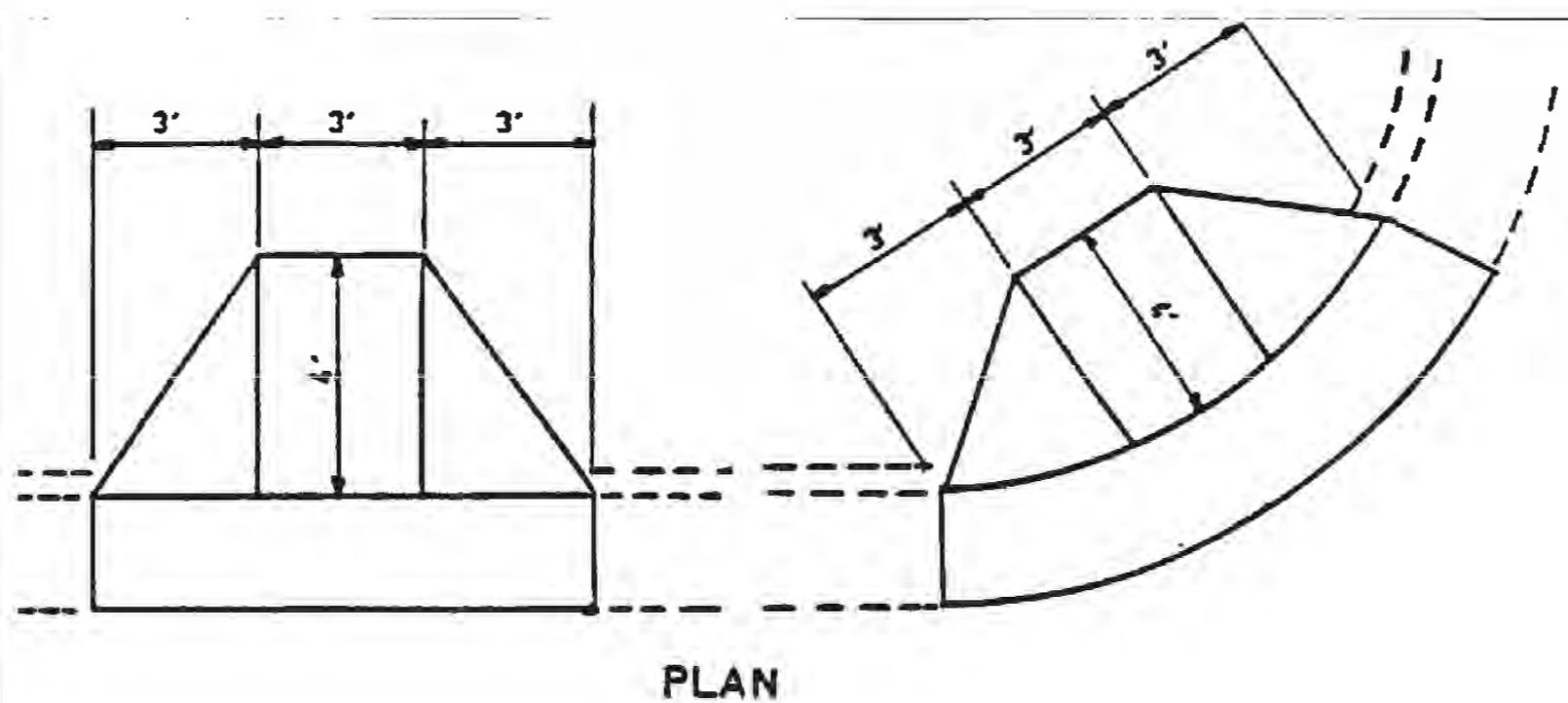
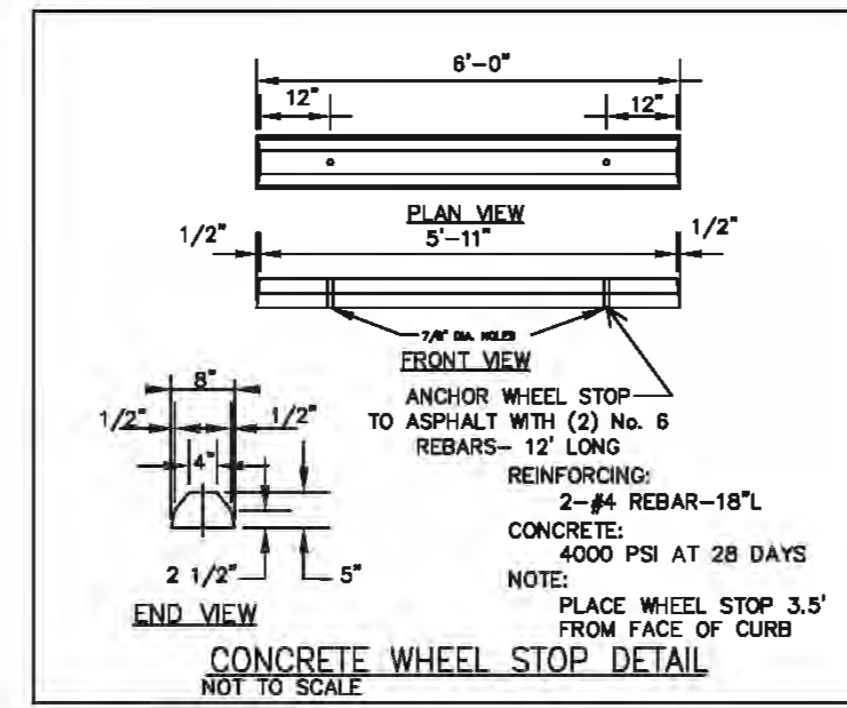
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C5 CONCRETE SIDEWALK
C5002 N.T.S.



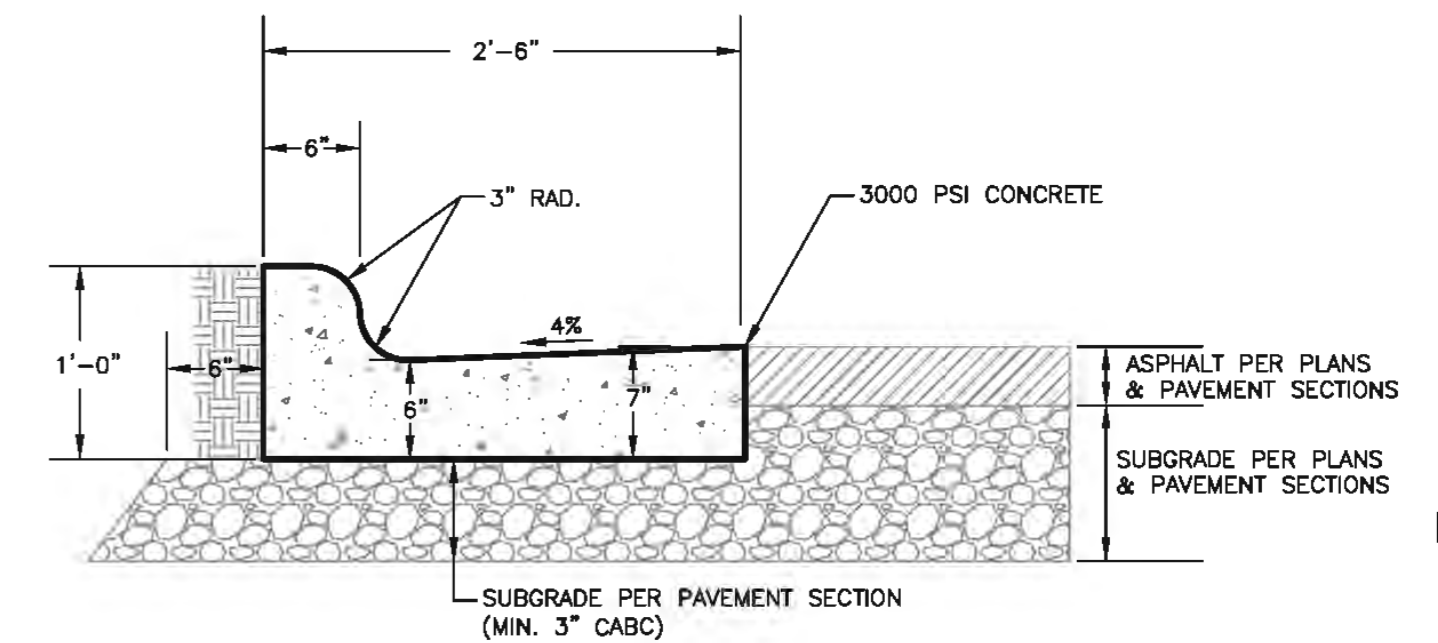
C3 CONCRETE WHEELSTOP
C5002 N.T.S.



SECTION THRU RAMP
STANDARD WHEEL CHAIR RAMP

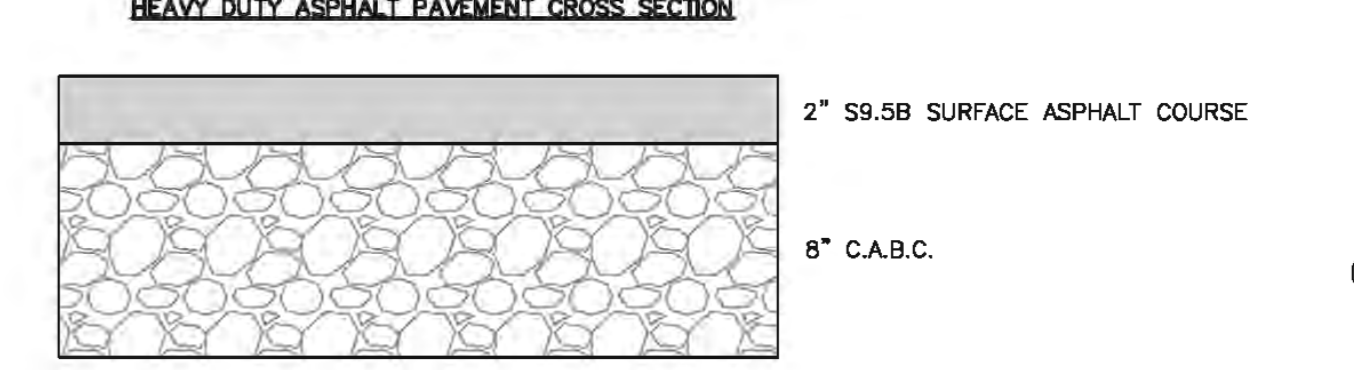
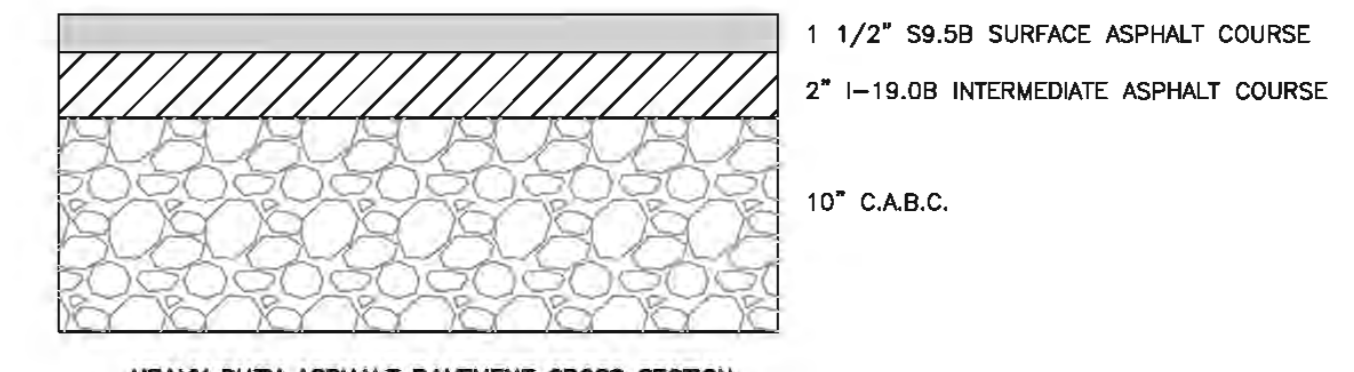
THE TOWN OF CARRBORO, N.C. STD. NO. 9

A3 WHEEL CHAIR / ACCESSIBLE RAMP
C5002 N.T.S.



NOTE: INSTALL EXPANSION JOINTS EVERY 30' AND AT EACH SIDE OF DRIVEWAY APRONS.

D1 30" CONCRETE CURB & GUTTER
C5002 SCALE: 1" = 1'



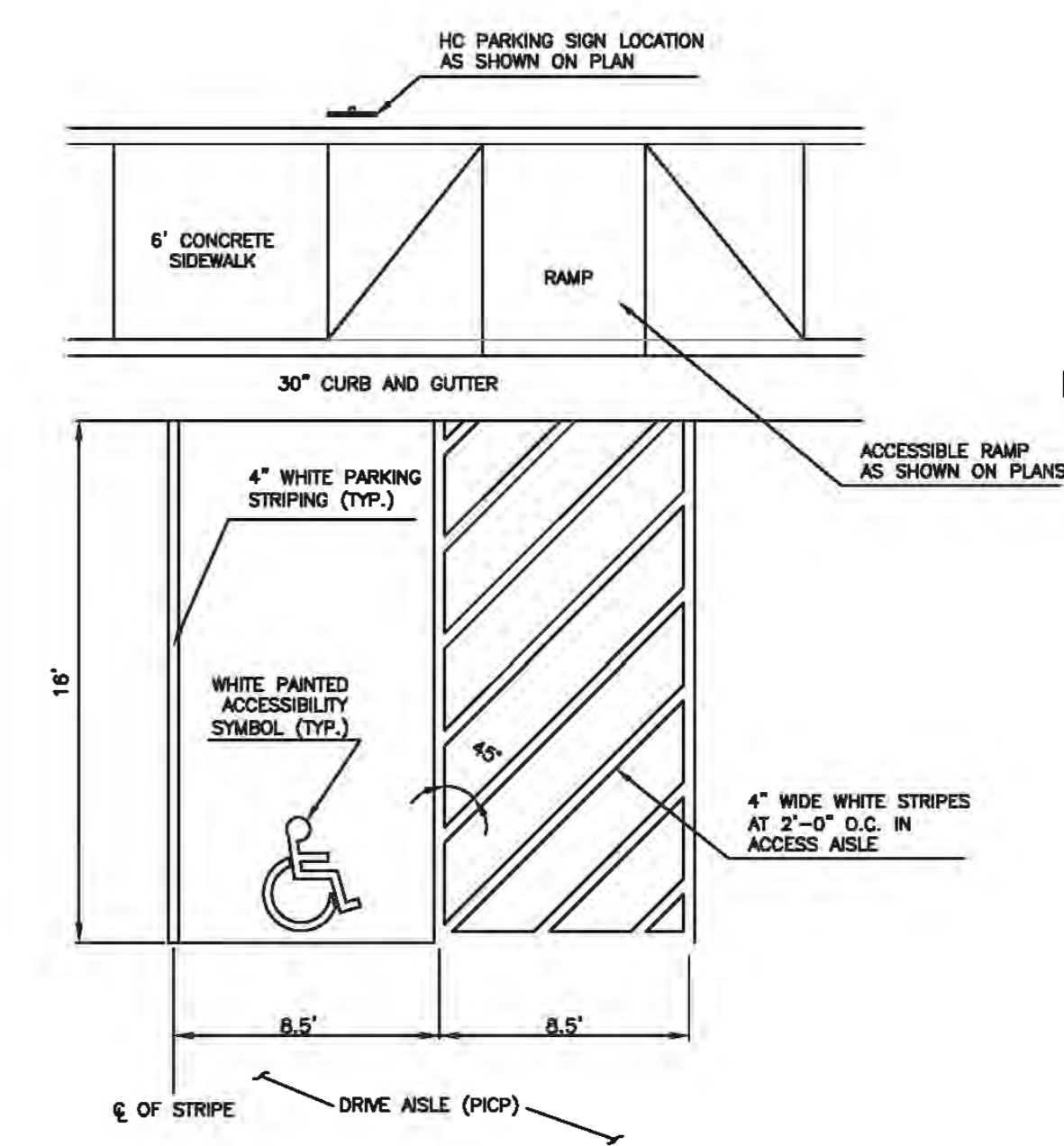
(AUTOMOBILE AREAS ONLY - NO TRUCKS)

STANDARD DUTY ASPHALT PAVEMENT CROSS SECTION

NOTES:

1. PERMEABLE INTERLOCKING CONCRETE PAVER SECTION SHOWN UNDER SEPARATE DETAIL.
2. PAVEMENT SECTIONS SHOWN ARE PRELIMINARY. FINAL PAVEMENT SECTIONS TO BE BASED UPON RECOMMENDATIONS PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER.

C1 TYPICAL ASPHALT PAVEMENT SECTIONS
C5002 N.T.S.



A1 PAINTED ACCESSIBILITY SPACE AND AISLE
C5002 N.T.S.

SITE DETAILS

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
CORPORATE SEAL C328
KATHI CHELSEA
CHAPEL HILL

REGISTERED PROFESSIONAL ENGINEER
NO. 10077
STATE OF NORTH CAROLINA
CIVIL ENGINEER

DATE: 14 JAN 15
19 MAR 15

DATE	REVISIONS
14 JAN 15	PER TOWN OF CARRBORO COMMENTS
19 MAR 15	PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
WOODHILL, NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

OWNERS REPRESENTATIVE:
RUNYON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: runyonwoods@gmail.com

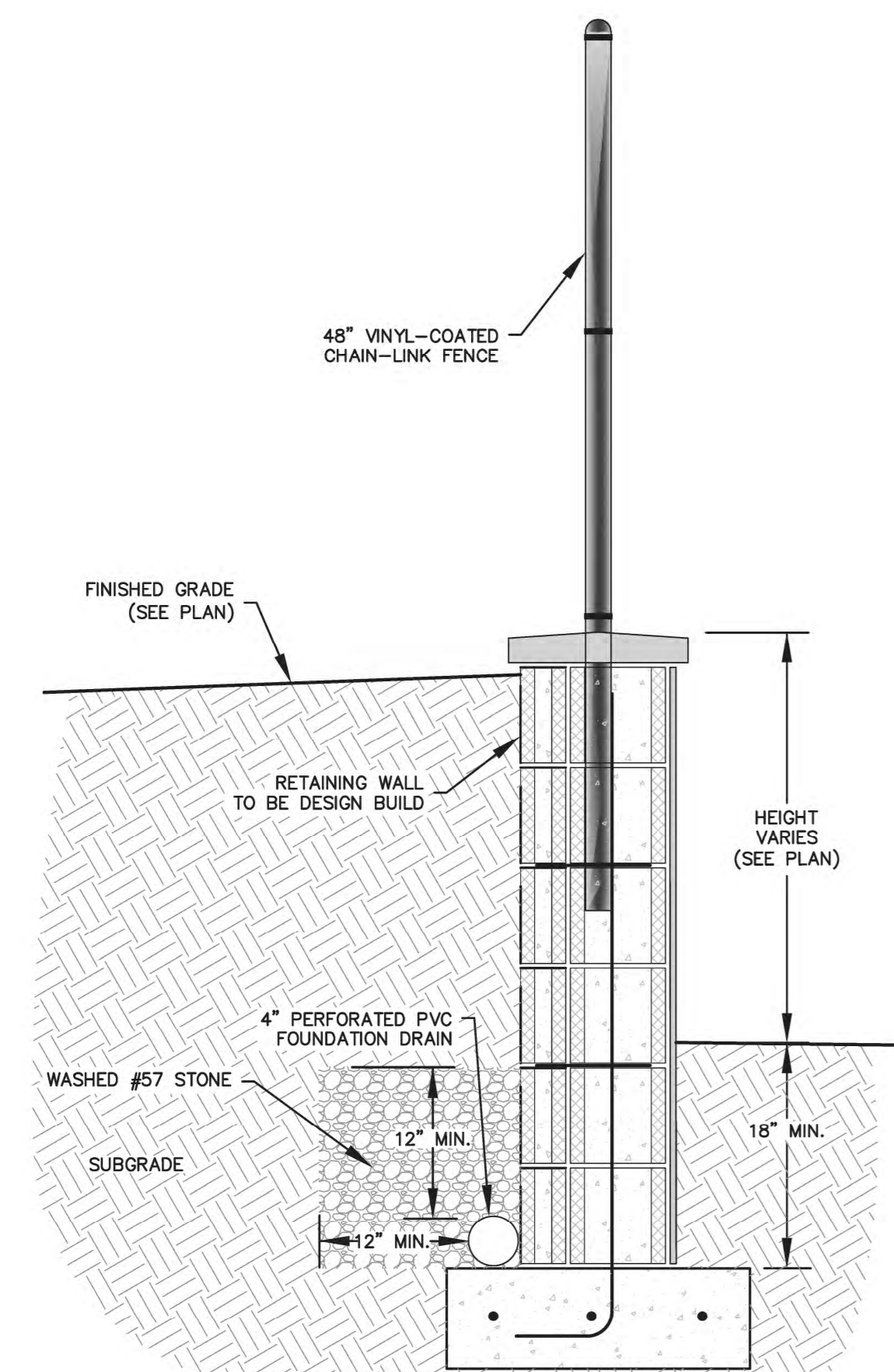
DATE	ISSUED
21 NOV 14	CIP SUBMITTAL #4
14 JAN 15	CIP SUBMITTAL #5
19 MAR 15	FINAL CIP SUBMITTAL

SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA

CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

SHEET
C5002



TYPICAL ON-SITE RETAINING WALL SECTION (DESIGN-BUILD)

A5 C5003 SCALE: 1" = 1'

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.	U-TURN ARROW LEFT 	12\"/> 	BICYCLE LANE SYMBOLS 	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
	BICYCLE DETECTOR SYMBOL 	24\"/> 	SHARED LANE SYMBOL 	
	GENERAL NOTES: 1- USE THE COLOR WHITE FOR ALL PAVEMENT MARKING SYMBOLS. 2- DO NOT LOCATE PAVEMENT MARKING SYMBOLS AS TO ENCROUGH INTO INTERSECTION AREAS. 3- DO NOT PLACE PAVEMENT MARKING SYMBOLS ACROSS TRANSVERSE EXPANSION JOINTS ON PORTLAND CEMENT CONCRETE PAVEMENTS, UNLESS APPROVED BY THE ENGINEER. 4- CONFORM ALL SYMBOLS TO THE FHWA "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS". (REFER TO SHEETS 5 THRU 8). SYMBOL DIMENSIONS CAN VARY AMONG MANUFACTURERS, THEREFORE SLIGHT VARIANCES ARE ACCEPTABLE. HOWEVER, ALL SYMBOLS ARE REQUIRED TO BE APPROVED BY THE DEPARTMENT.			

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.	DIRECT TAPER TURN LANE 	TURN LANE BAYS < 125 FT. 	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
	TURN LANE BAYS 125 - 250 FT. 	TURN LANE BAYS 250 FT. OR GREATER 	
	LEFT TURN LANE DEVELOPED FROM 2-WAY TURN LANE 	DOUBLE TURN LANES 	

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.	HI-VISIBILITY CROSSWALK 	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
	STANDARD CROSSWALK 	

SHEET 1 OF 1 1205.07

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.	5\"/> 	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
	5\"/> 	
	PAVED CONCRETE ISLAND 	

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.	STRAIGHT ARROW 	RIGHT OR LEFT TURN ARROW 	COMBINATION STRAIGHT AND LEFT OR RIGHT TURN ARROW 	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
	COMBINATION LEFT & RIGHT TURN ARROW 	COMBINATION LEFT & STRAIGHT & RIGHT TURN ARROW 		
	MERGE ARROW (OPTIONAL) 	RAMP ARROW 		

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.	CONTINUOUS LINES 	SKIP LINES 	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
	PEDESTRIAN CROSSWALKS 	MINI-SKIP LINES 	

SHEET 1 OF 1 1205.05

SHEET 1 OF 2 1205.01

C2 CONCRETE ISLAND C5003 N.T.S.

SITE DETAILS
 REVIEW DRAWING
 NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
 231 PRODUCE ROAD, CHAPEL HILL, NC 27514
 (919) 928-0481 (919) 489-4778
 THIS DOCUMENT IS THE PROPERTY OF BALLENTINE ASSOCIATES PA. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREON. WITHOUT PRIOR PERMISSION OF BALLENTINE ASSOCIATES PA, IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

Professional Engineer Seal for George J. Retzlaff, State of North Carolina, License No. 19127.

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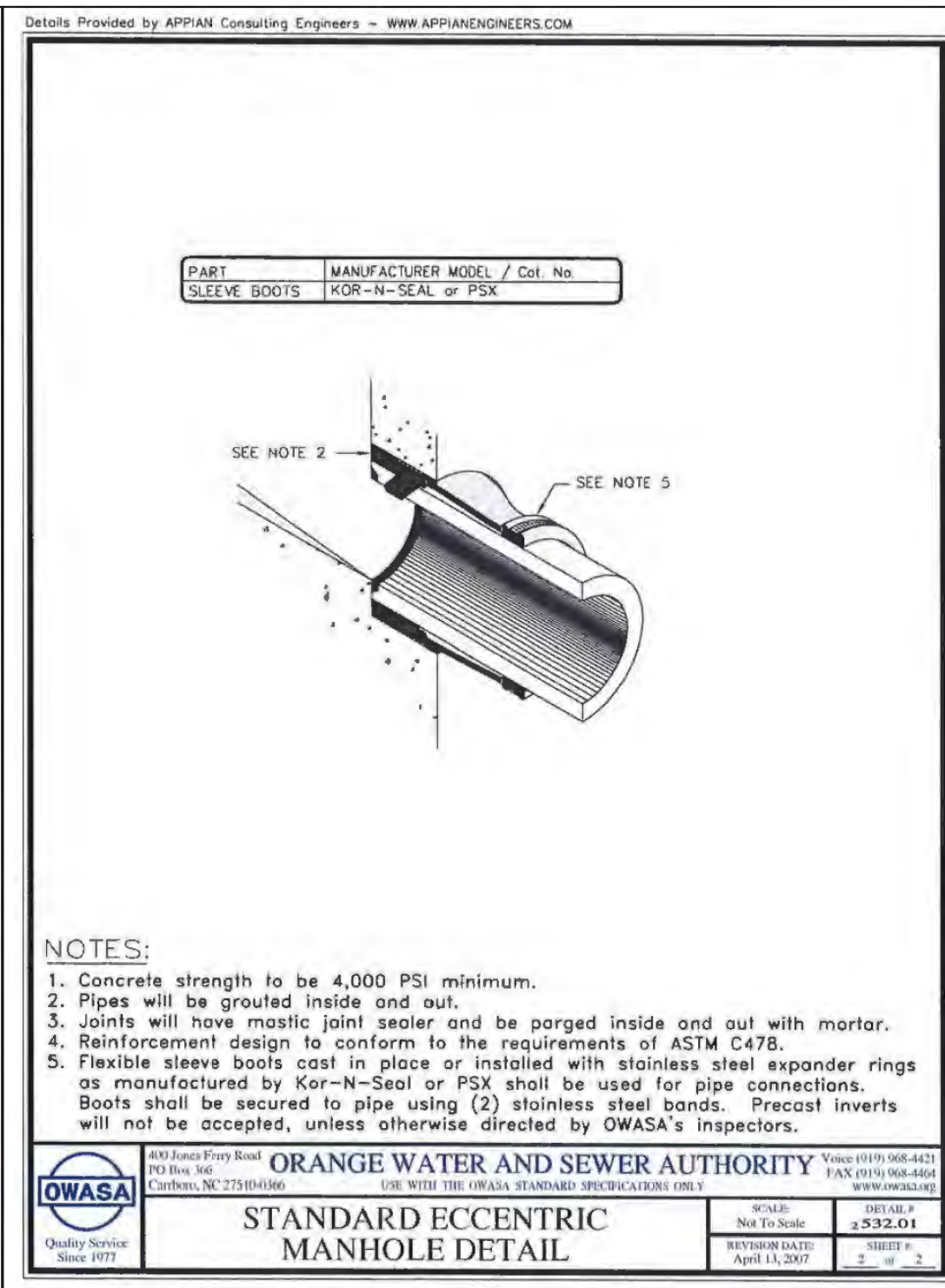
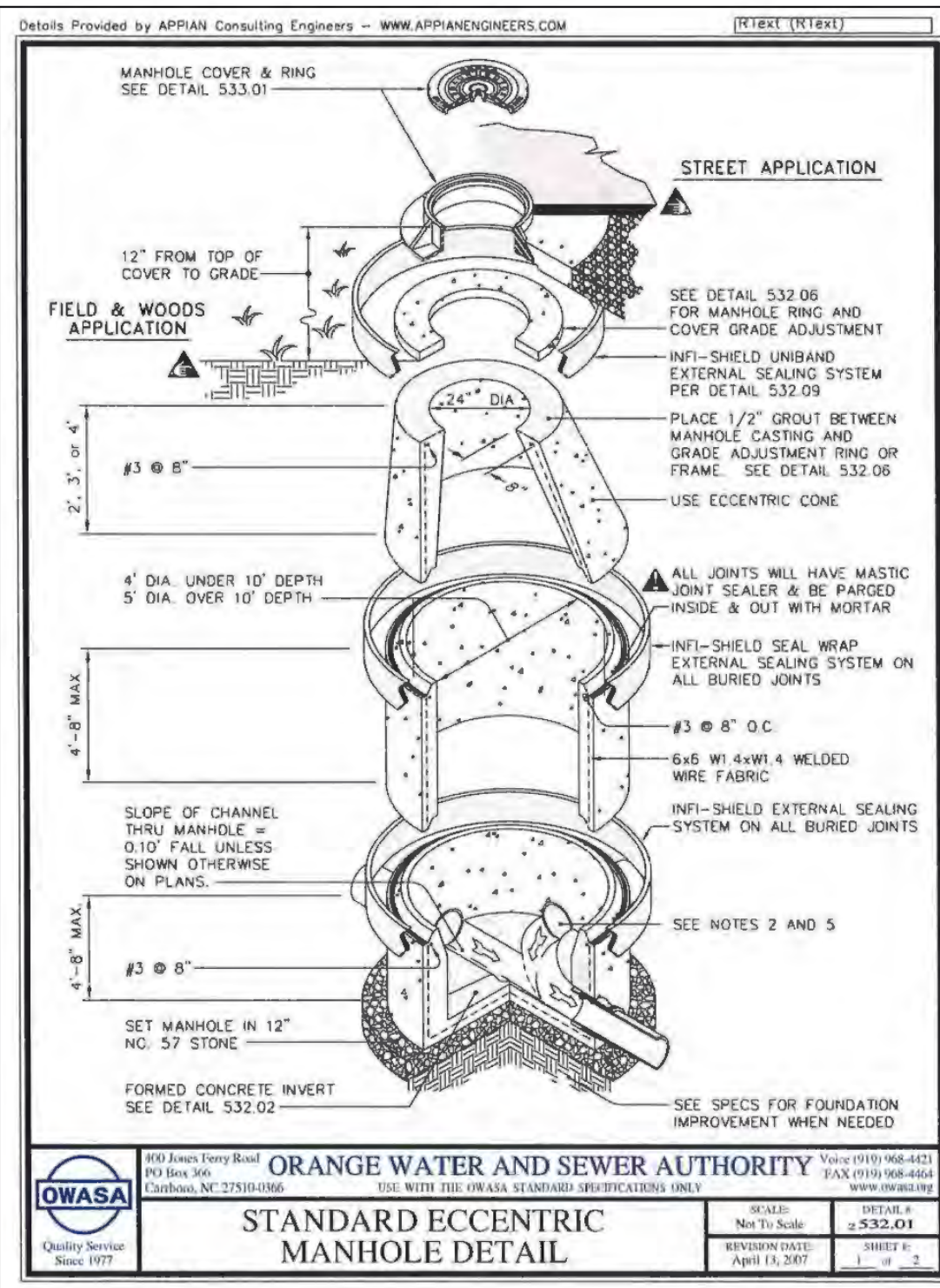
OWNER INFORMATION
 WOODHILL NC, LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515

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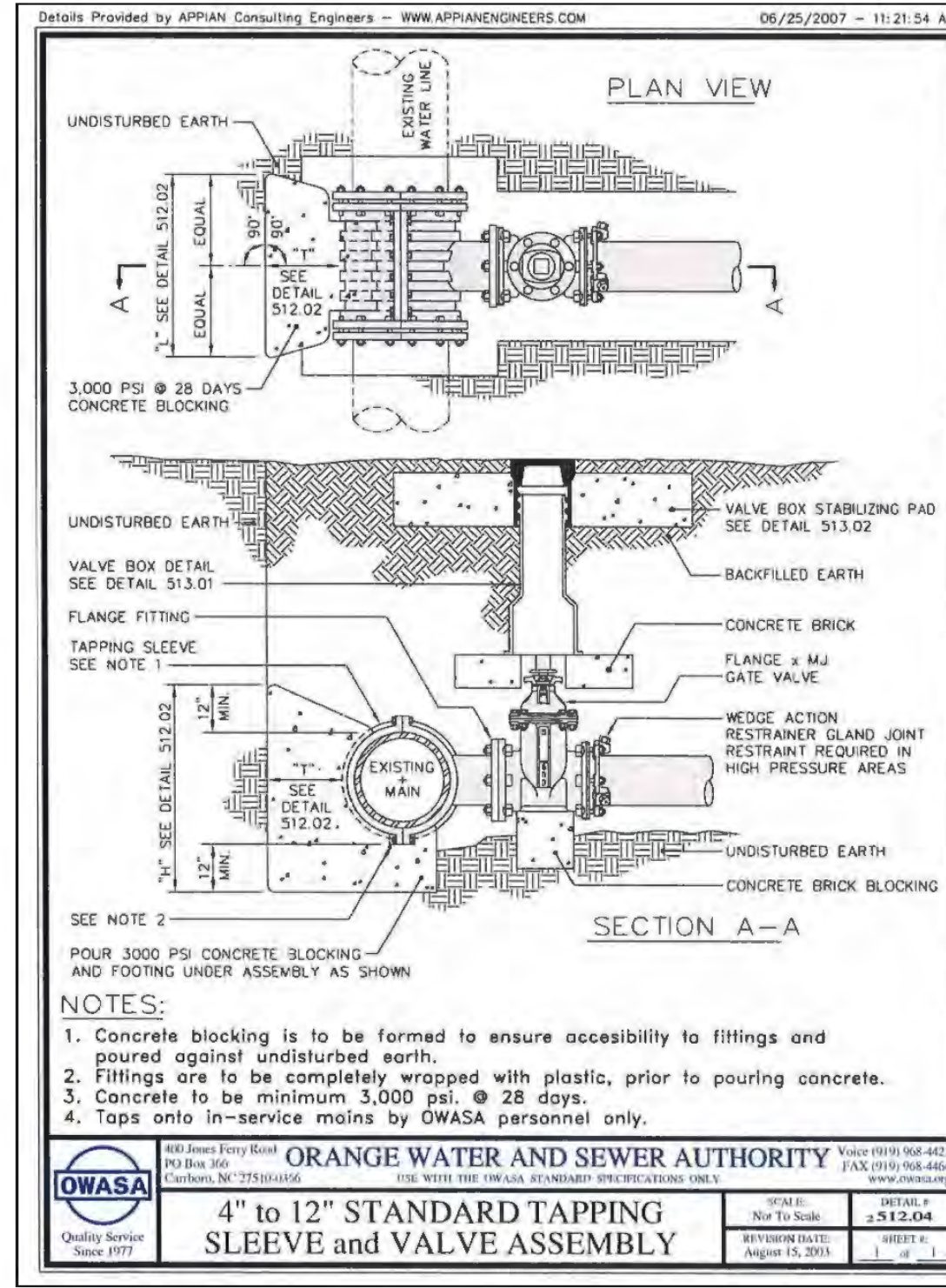
OWNER REPRESENTATIVE:
 RUNYON WOODS
 PH: (919) 418-2121
 FAX: (919) 418-2121
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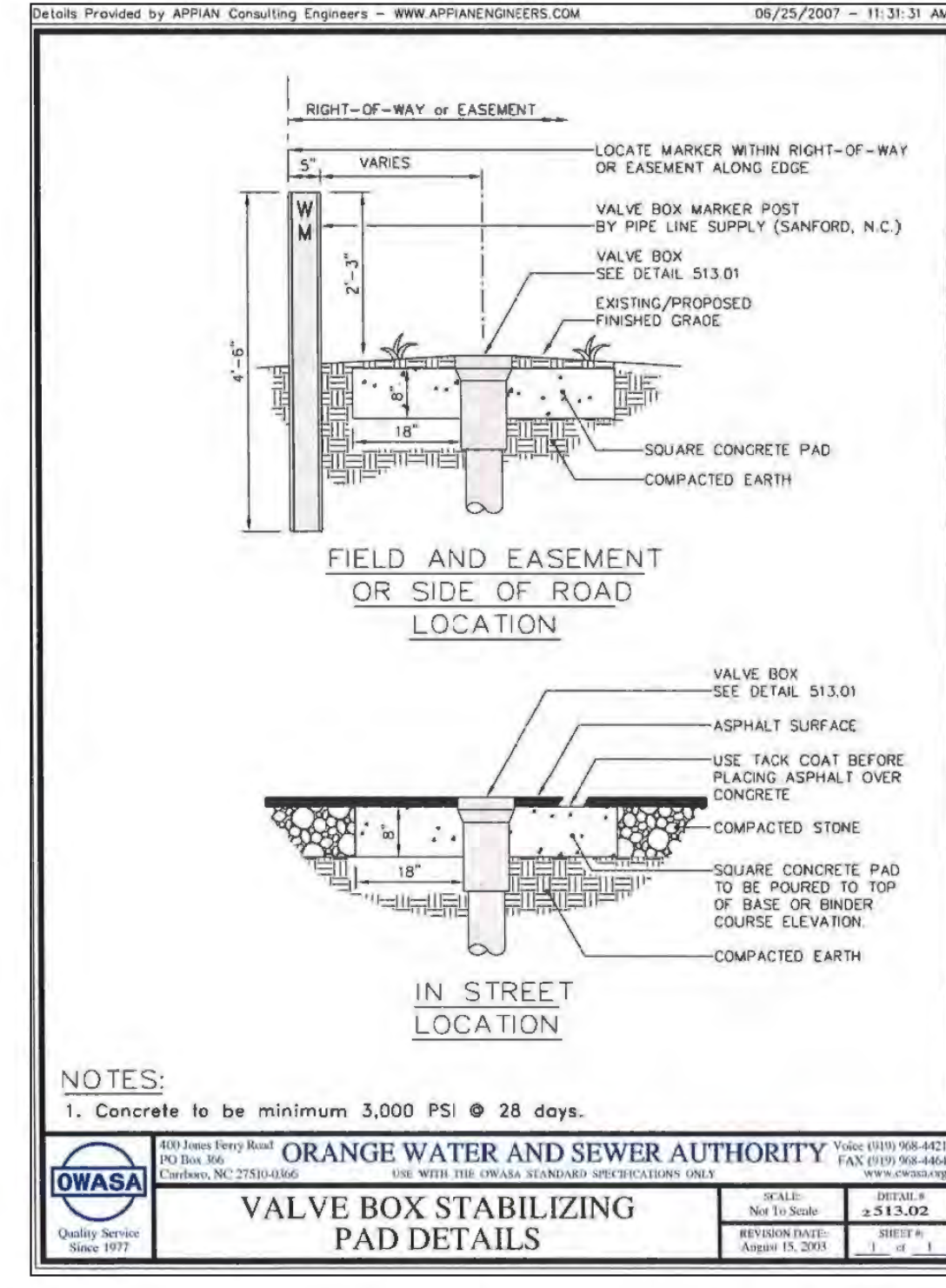
SHEET C5003



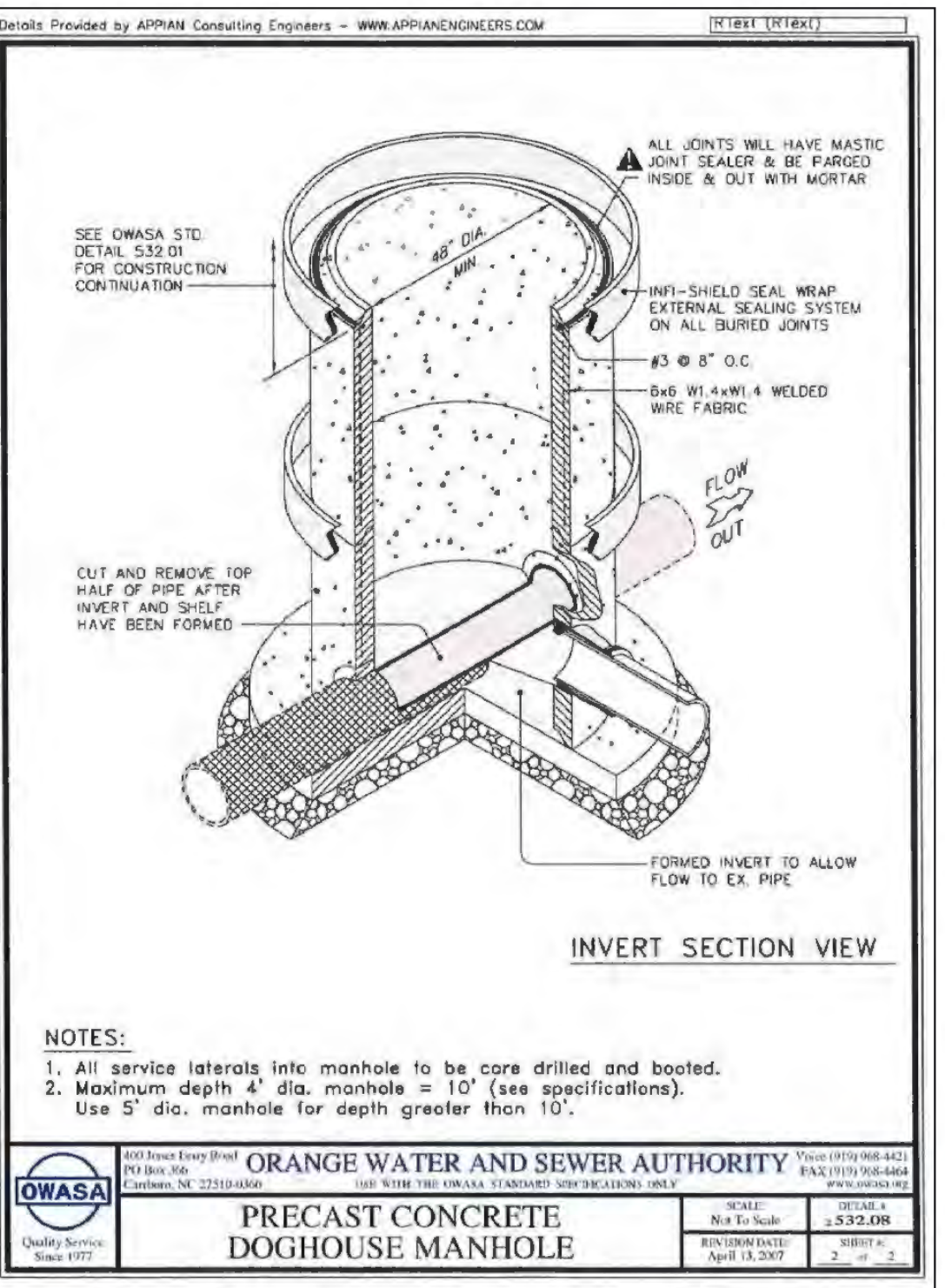
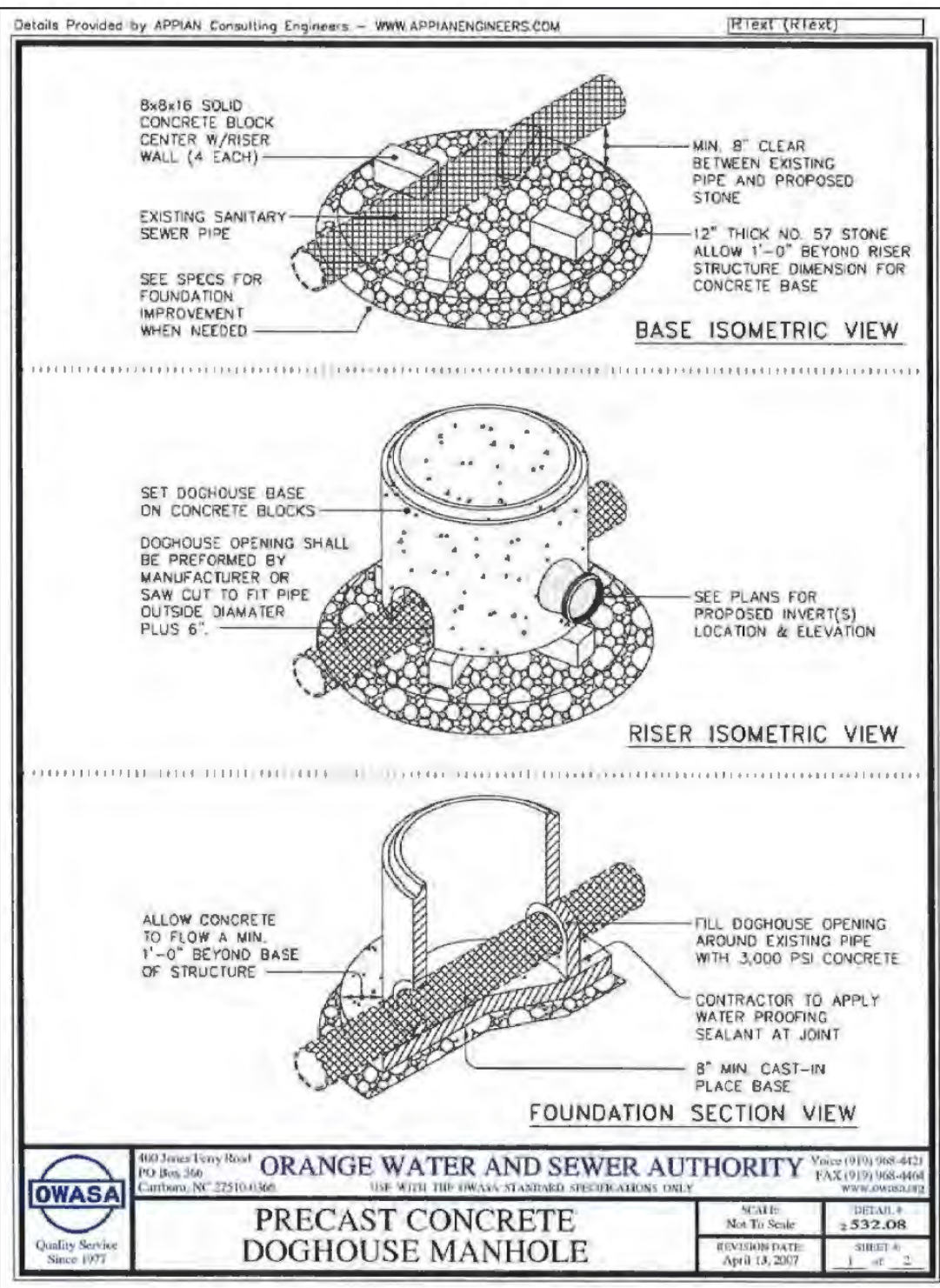
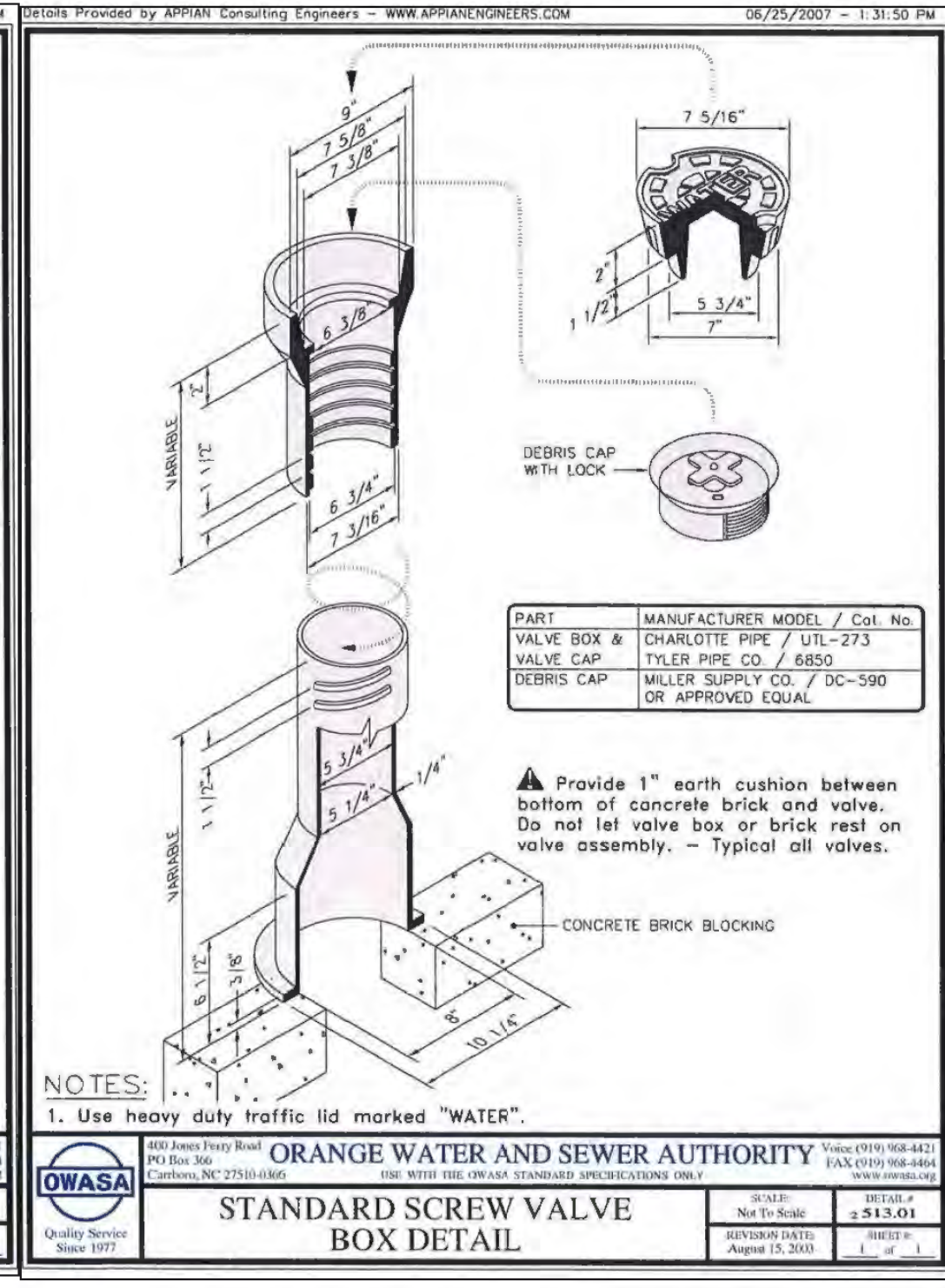
C5 TYPICAL PRECAST CONCRETE MANHOLE
 C5101 N.T.S.



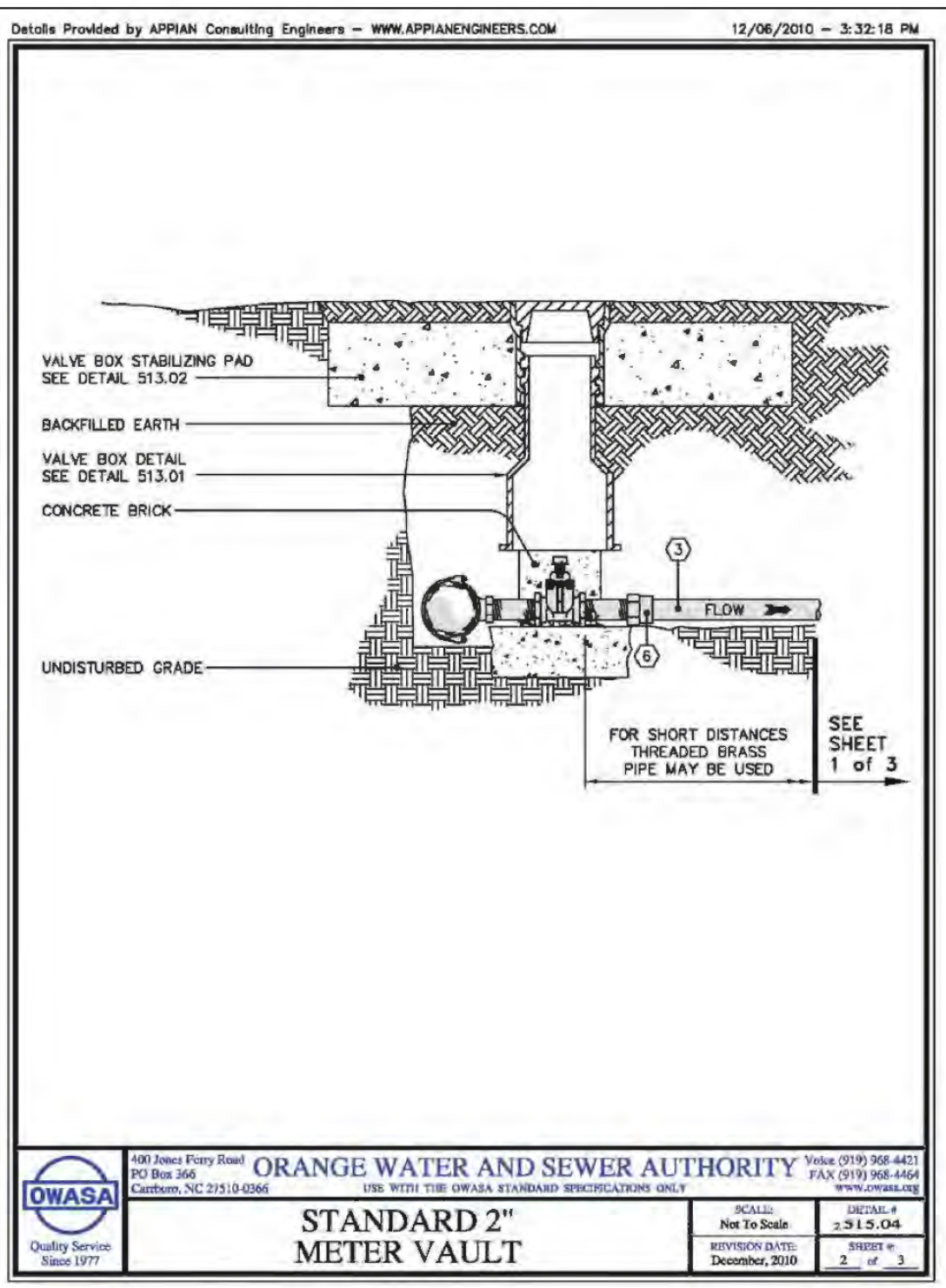
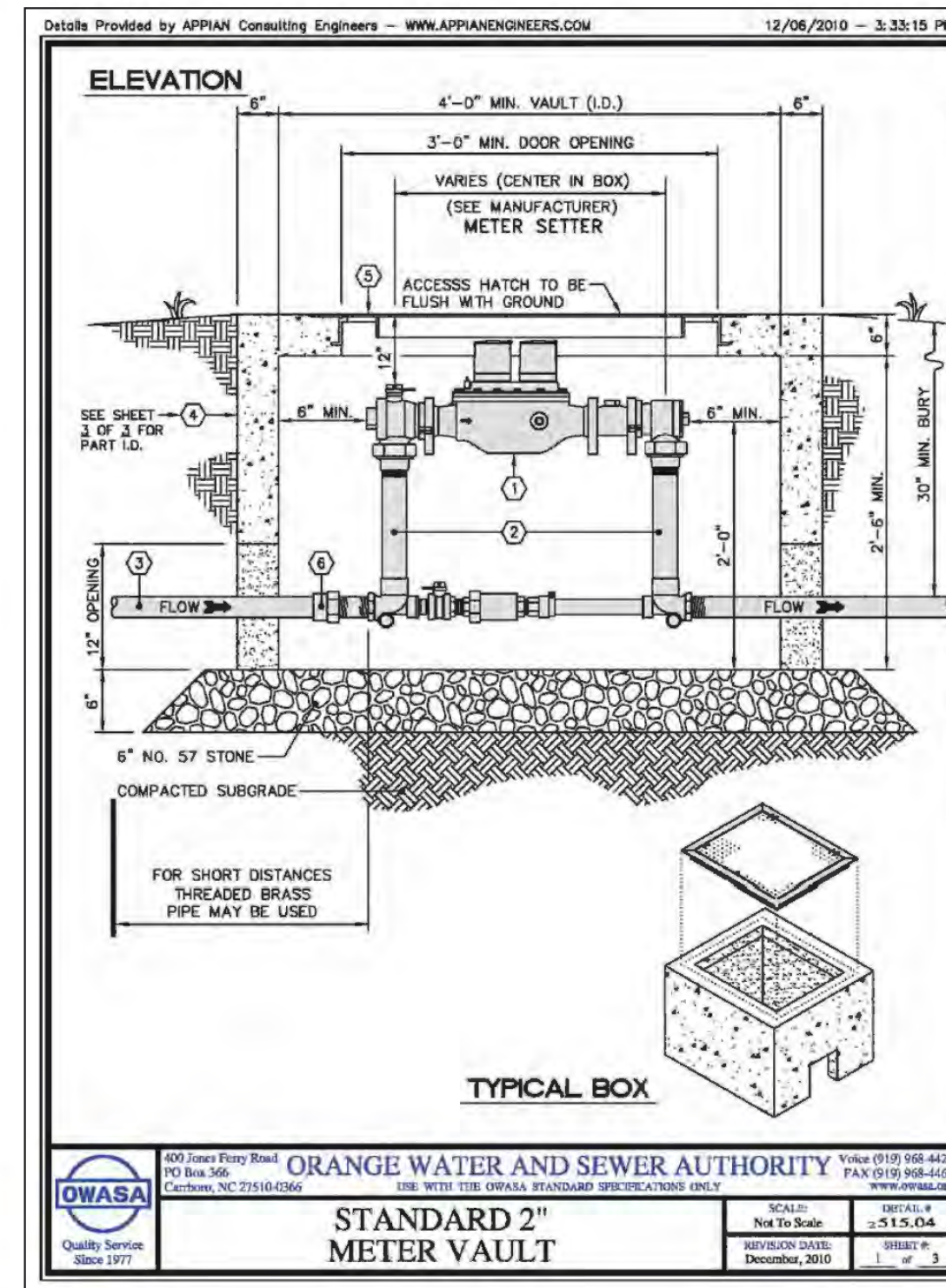
C3 STANDARD TAPPING SLEEVE
 C5101 N.T.S.



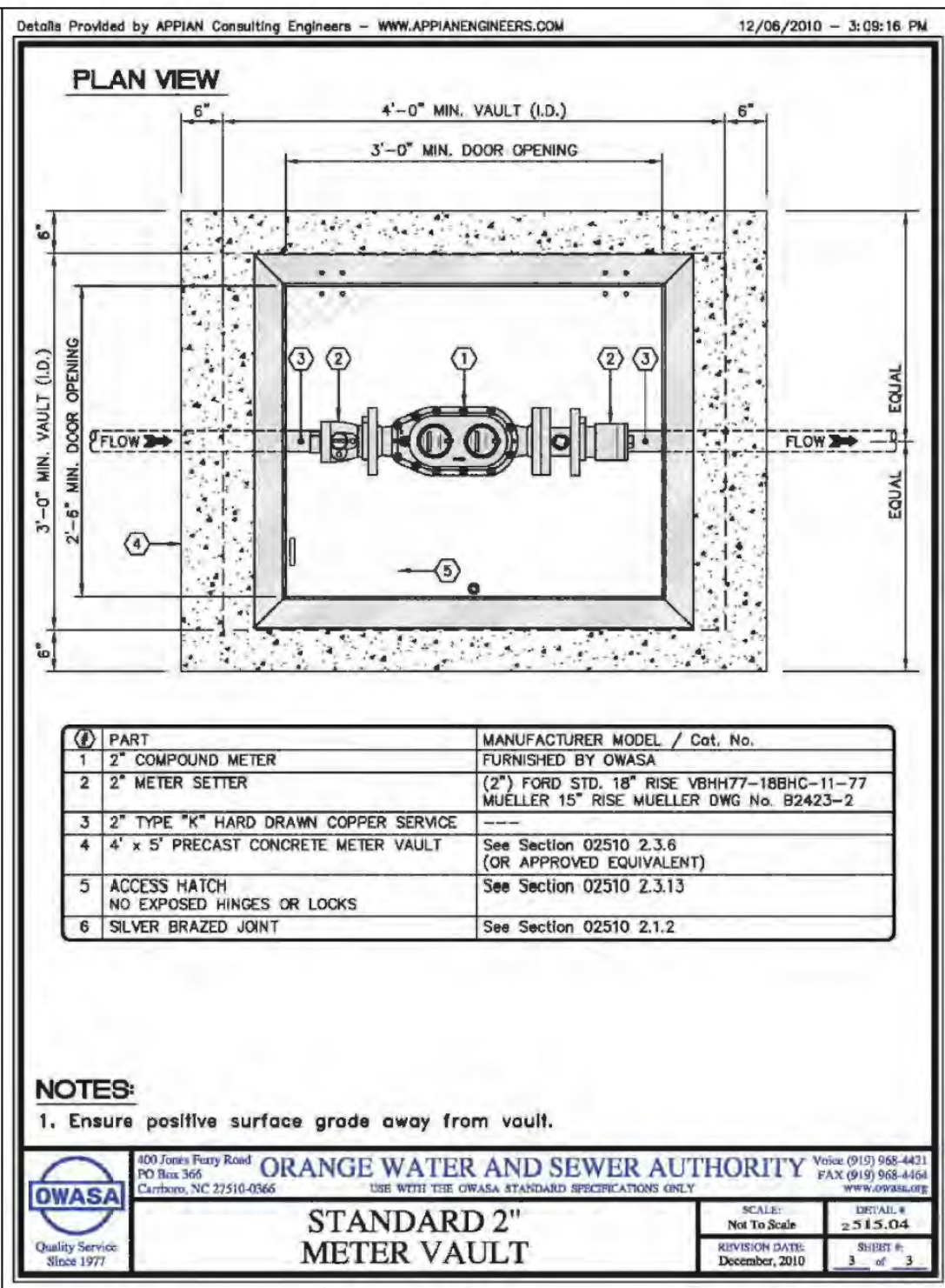
C2 STANDARD VALVE BOX INSTALLATION
 C5101 N.T.S.



A5 PRECAST CONCRETE DOGHOUSE MANHOLE
 C5101 N.T.S.



A2 2" DOMESTIC METER VAULT
 C5101 N.T.S.



UTILITY DETAILS

REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
 221 PROVIDENCE ROAD, CHARLOTTE, N.C. 27214
 (704) 525-4041 FAX (704) 525-4042
 (704) 525-4043 FAX (704) 525-4044
 (704) 525-4045 FAX (704) 525-4046

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 18917
 SPECIALTY: CIVIL ENGINEERING

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 18917
 SPECIALTY: CIVIL ENGINEERING

DATE	REVISIONS	PER TOWN OF CARBORO COMMENTS
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OWNER INFORMATION
 WOODHILL, INC. LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515

OWNER'S REPRESENTATIVE:
 RYUNTON WOODS
 PH. (919) 418-2121
 FAX (919) 418-2121
 EMAIL: ryunton.woods@woodhill.com

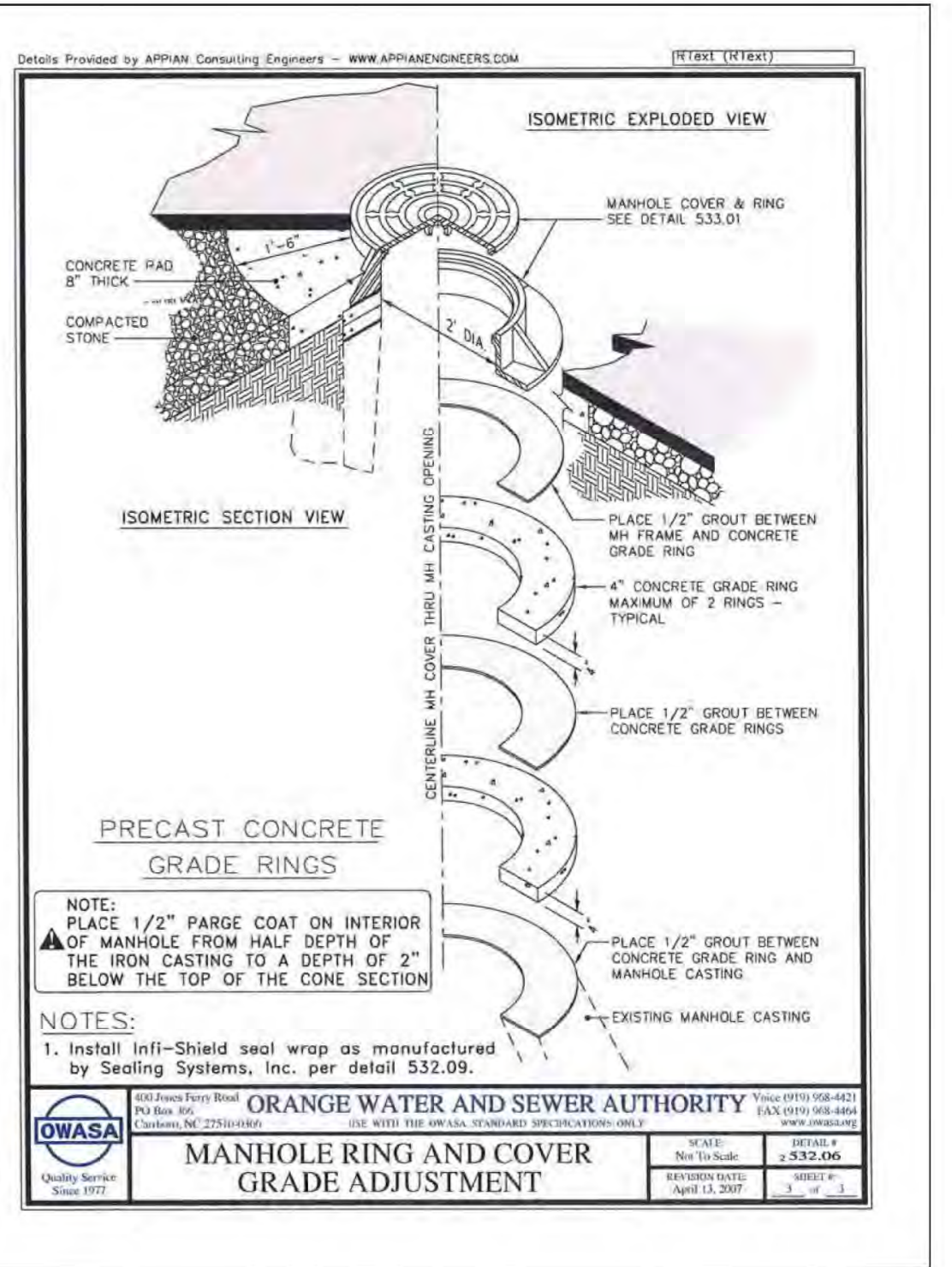
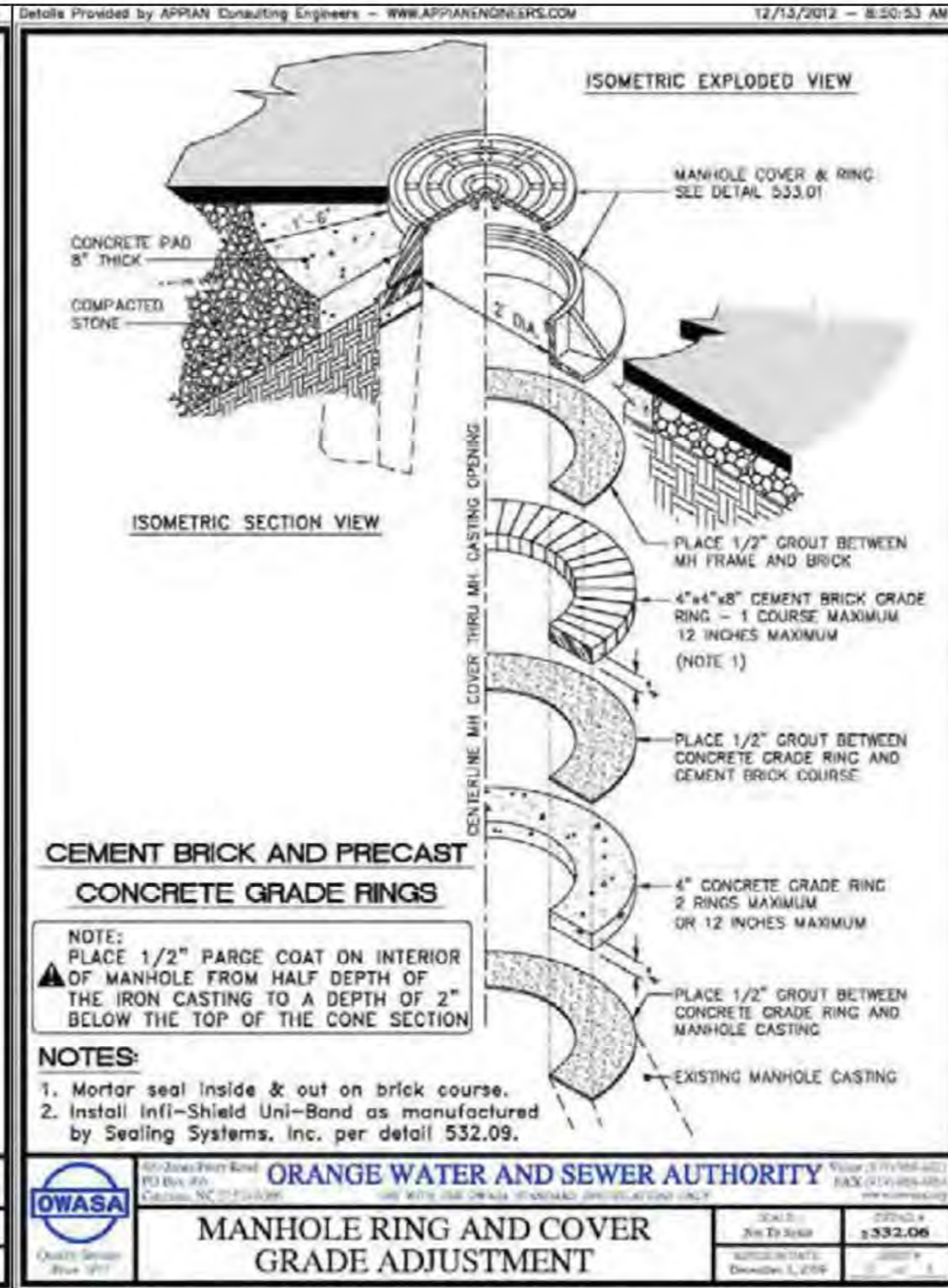
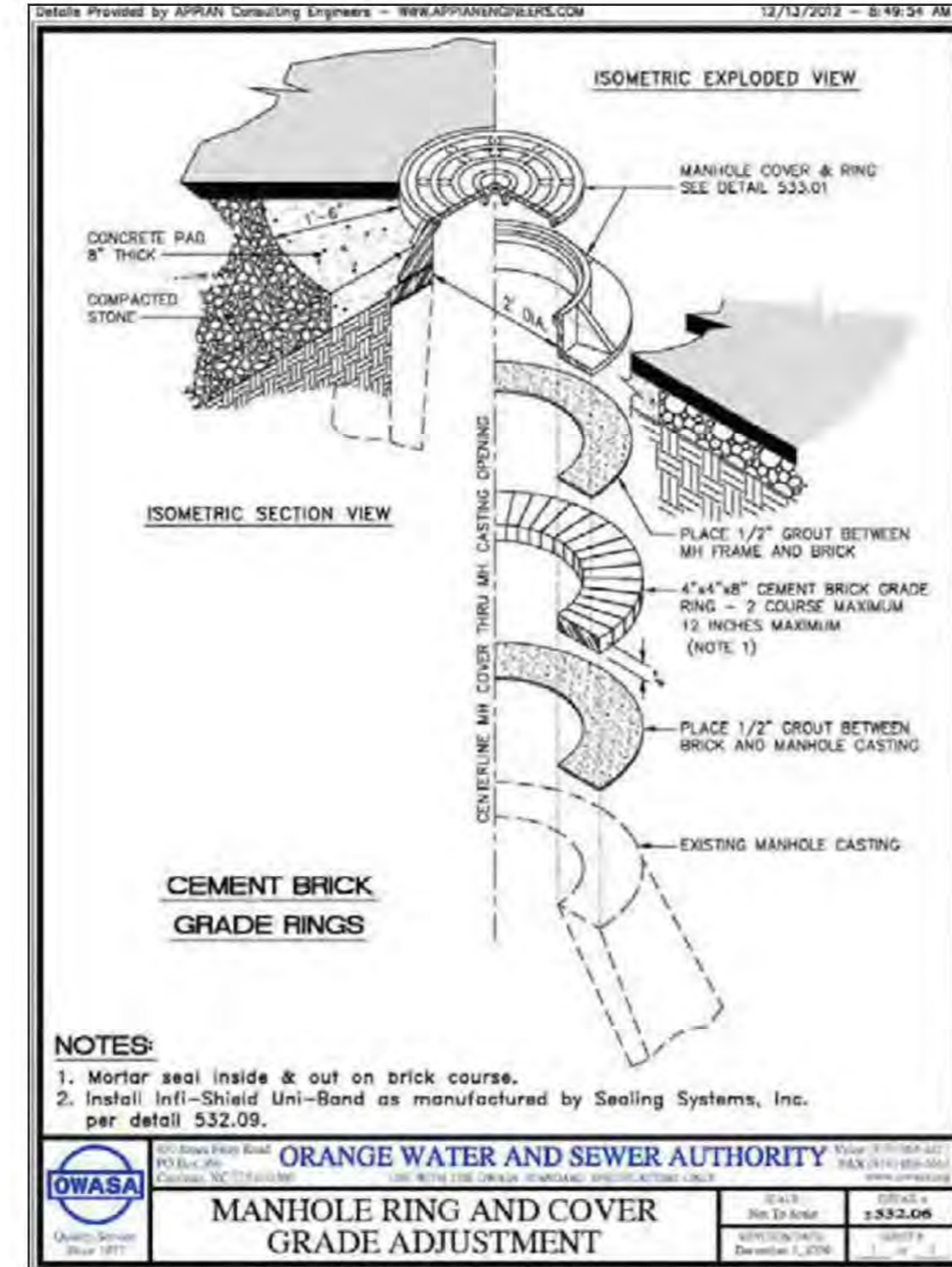
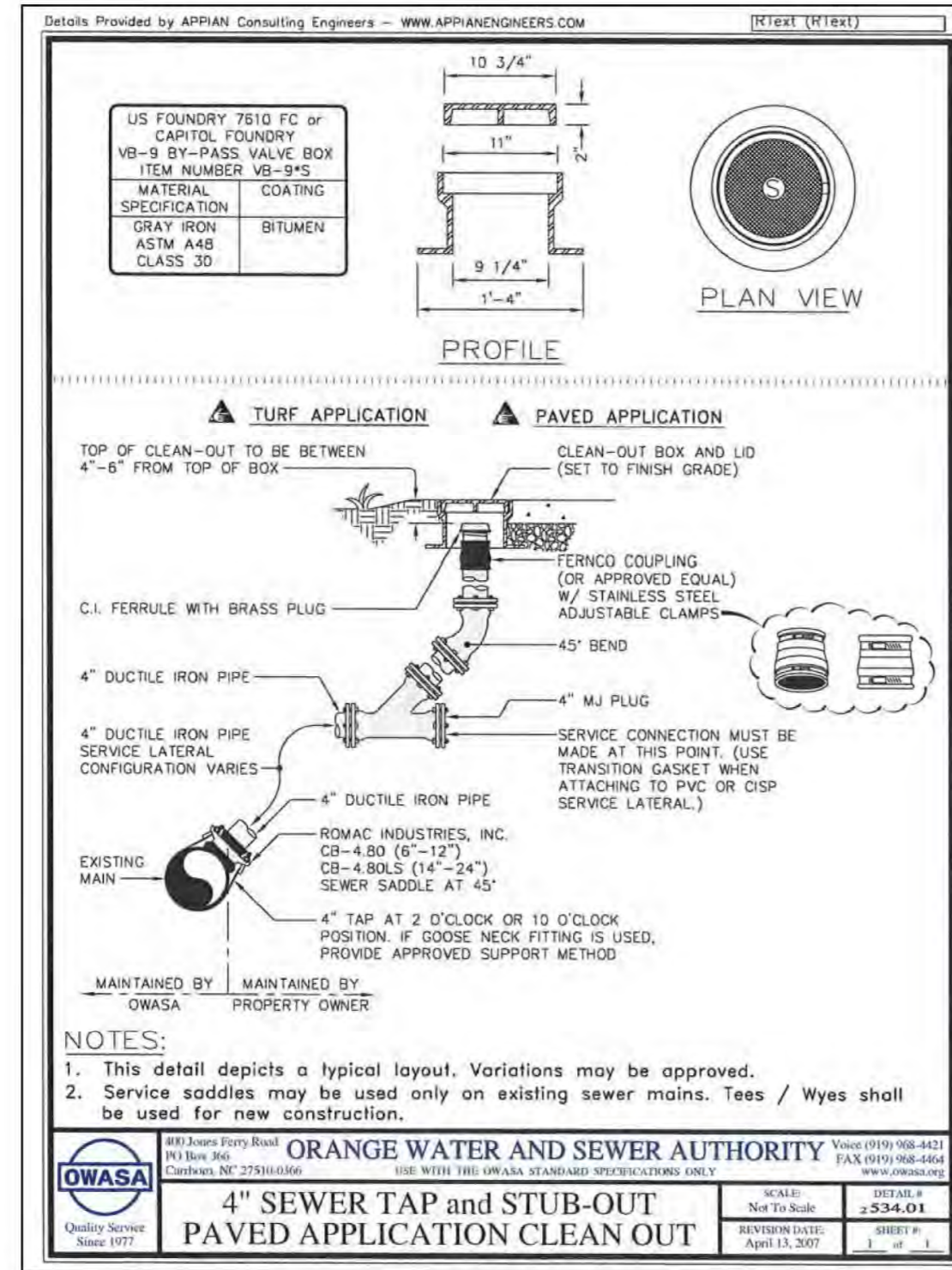
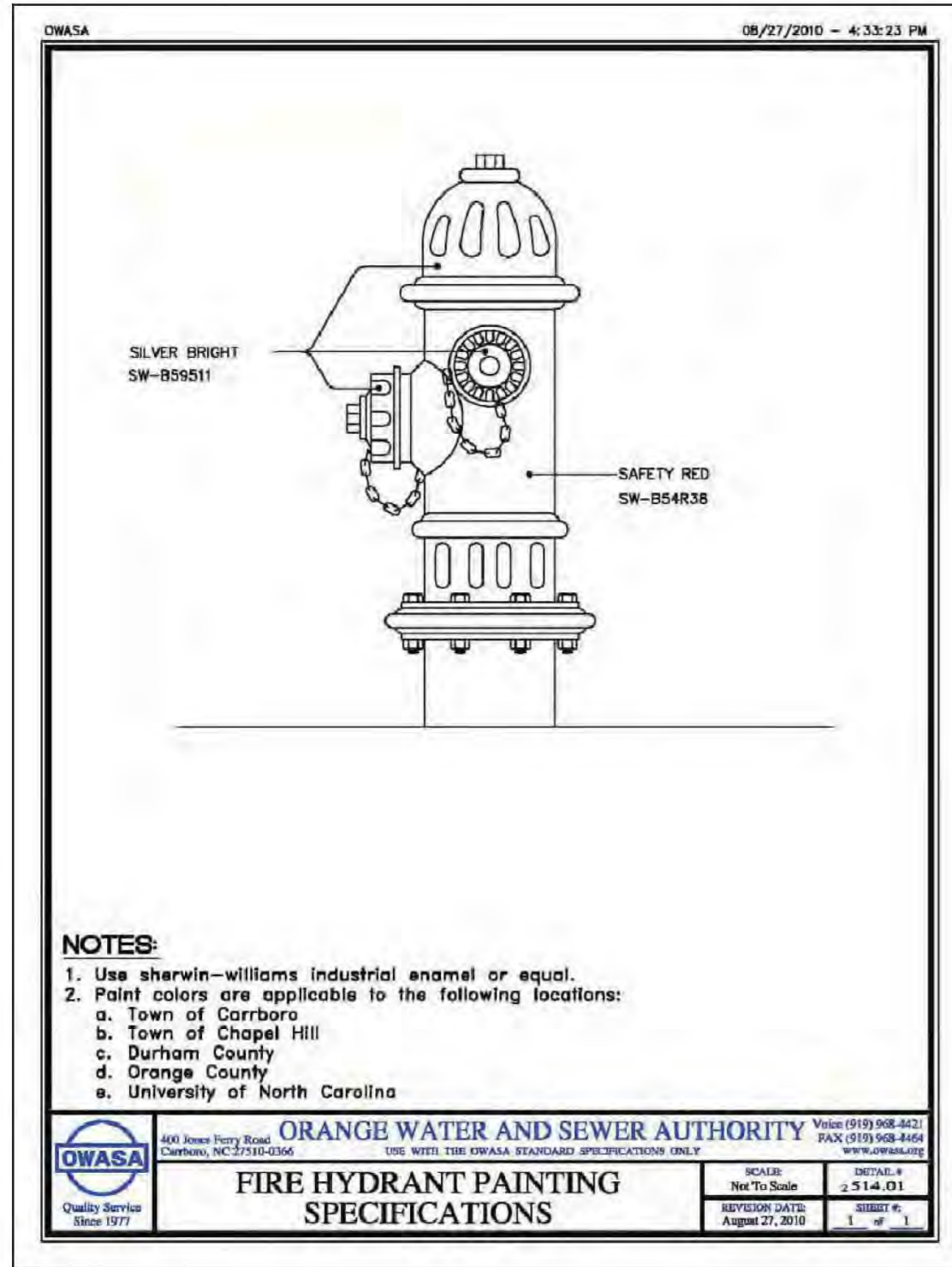
DATE	ISSUED	CUP SUBMITTAL #	CUP SUBMITTAL #4	FINAL CUP SUBMITTAL
21 NOV 15				
14 JUN 15				
19 MAR 15				

SOUTH GREEN (TRIEIM)
 CARBORO, NORTH CAROLINA

CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
 DATE: 21 NOV 2014
 SCALE: AS NOTED
 DRAWN BY: S.R.M.
 REVIEWED BY: G.J.R.

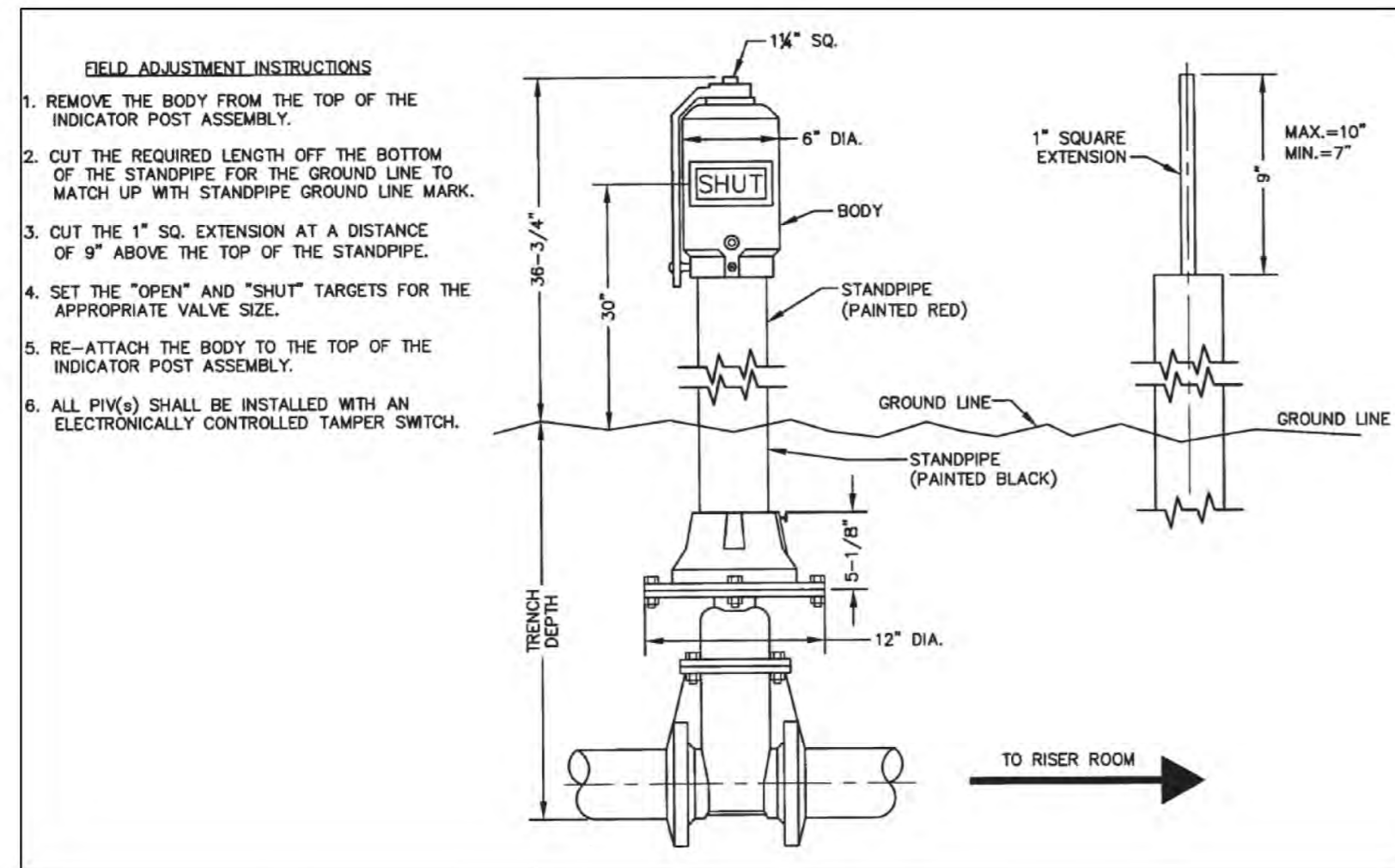
SHEET
C5101



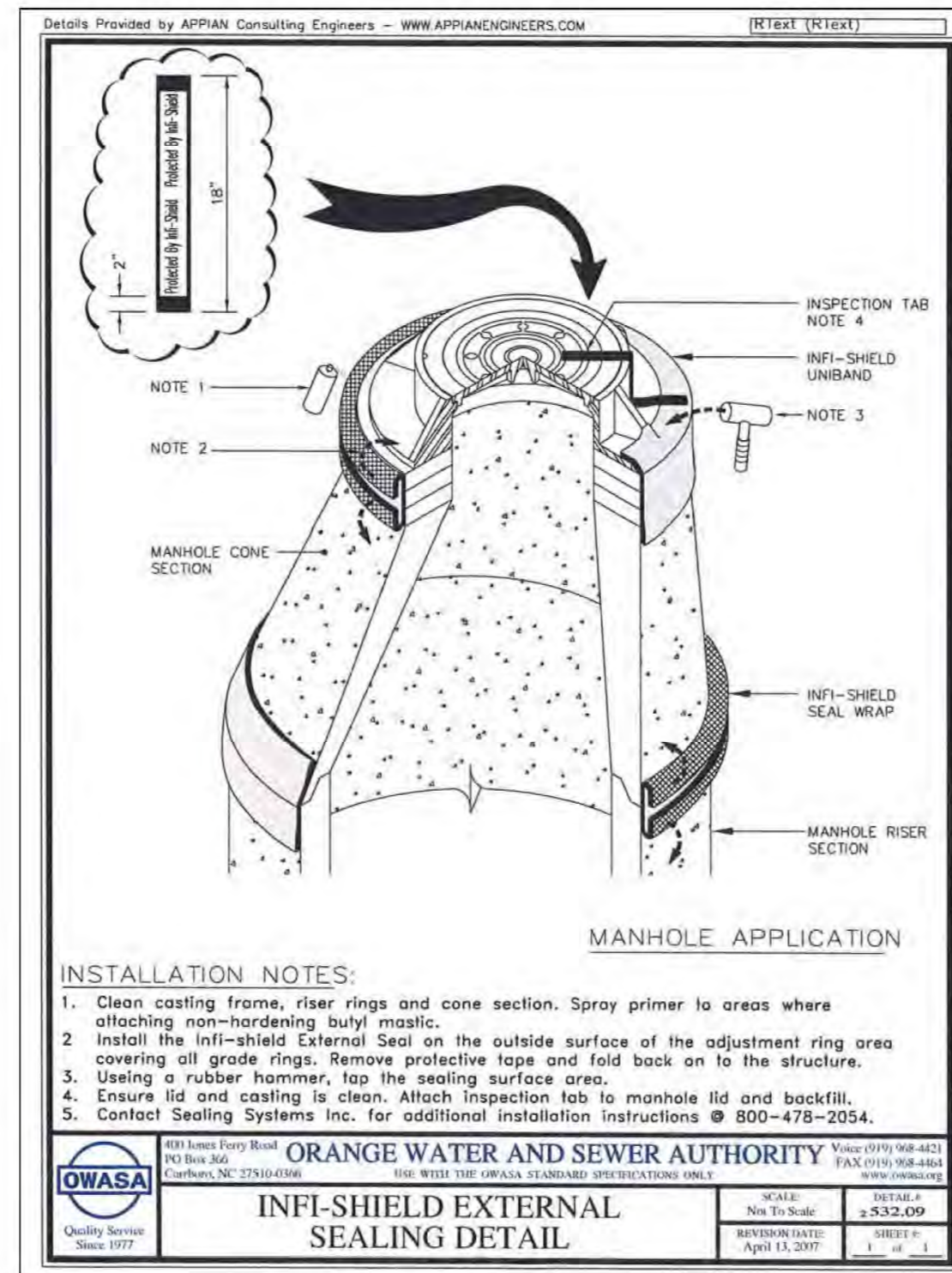
C5 FIRE HYDRANT PAINTING
 C5102 N.T.S.

C4 TYPICAL CLEANOUT ASSEMBLY & SEWER SERVICE CONNECTION
 C5102 N.T.S.

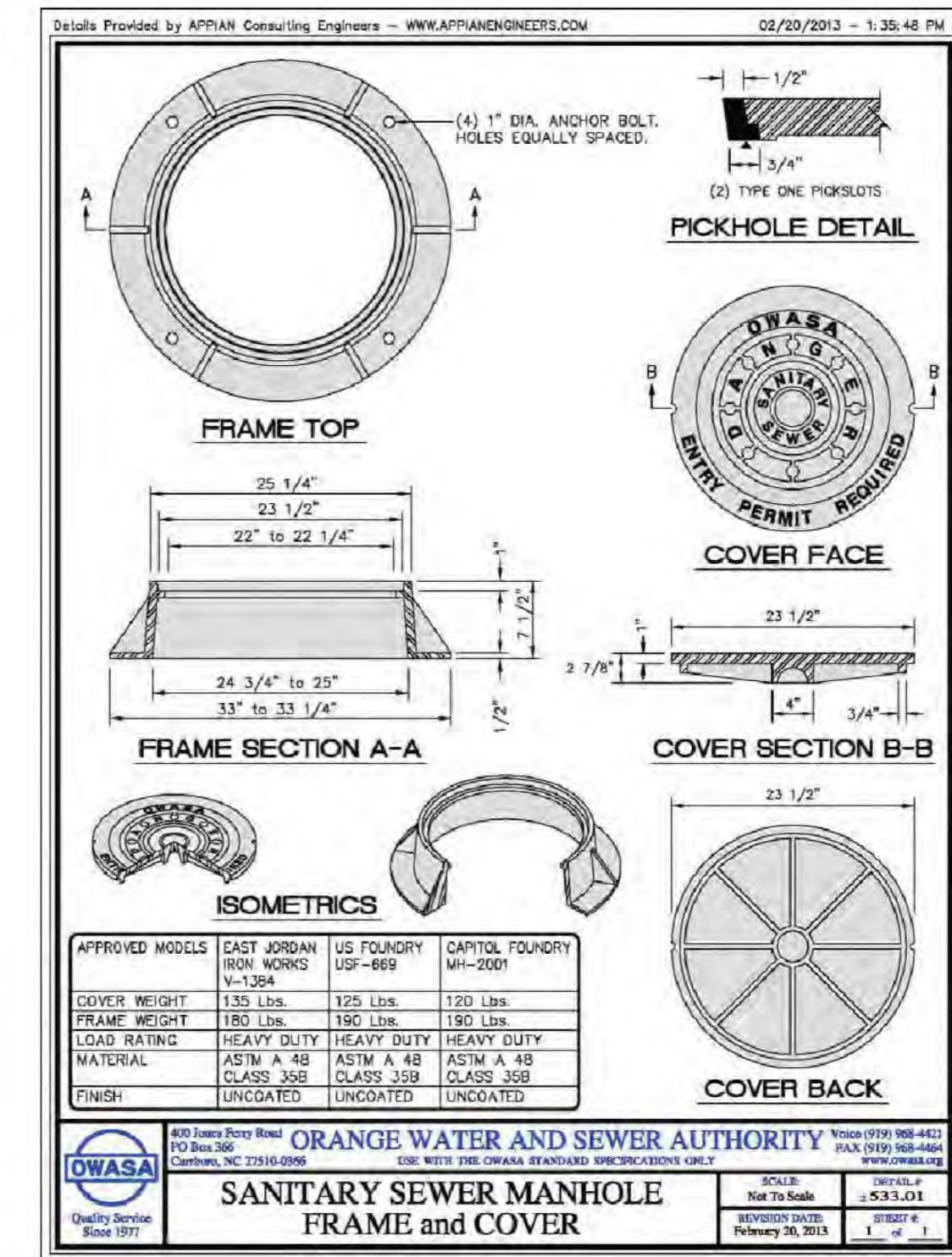
OWASA DETAIL 532.06
MANHOLE RING & COVER GRADE ADJUSTMENT



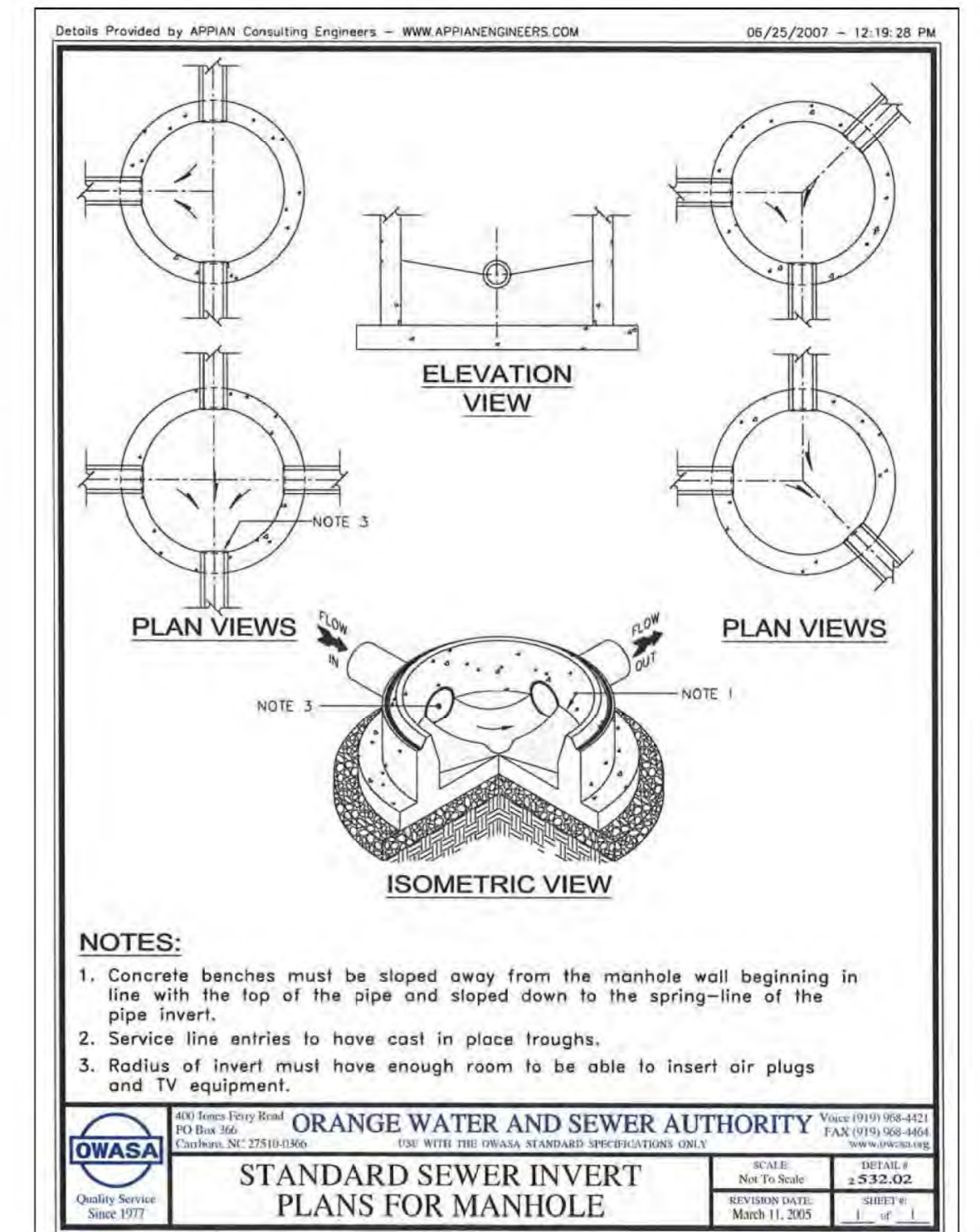
B5 POST INDICATOR VALVE
 C5102 N.T.S.



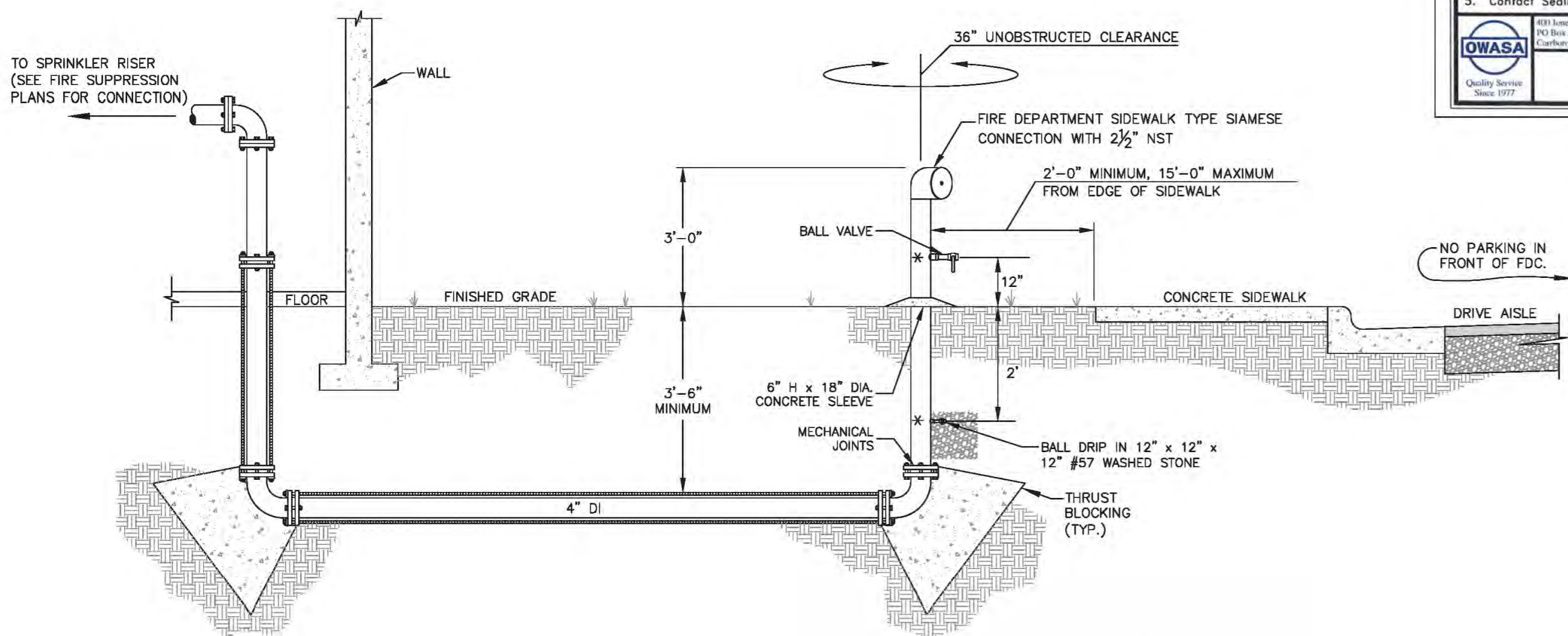
OWASA DETAIL 532.09
INFI-SHIELD EXTERNAL SEALING



OWASA DETAIL 533.01
SAN. SEWER MANHOLE FRAME & COVER



OWASA DETAIL 532.02
STANDARD SEWER INVERT FOR MANHOLE



A5 FIRE DEPARTMENT CONNECTION SCHEMATIC
 C5102 N.T.S.

UTILITY DETAILS

REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
 231 PROVANCE ROAD, CHAPEL HILL, NC 27514
 (919) 998-0481 (919) 489-4778
 (919) 998-0481 (919) 489-4778



DATE	REVISIONS
14 JAN 15	
19 MAR 15	
	PER TOWN OF CARRBORO COMMENTS
	PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
WOODHILL NC, LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515

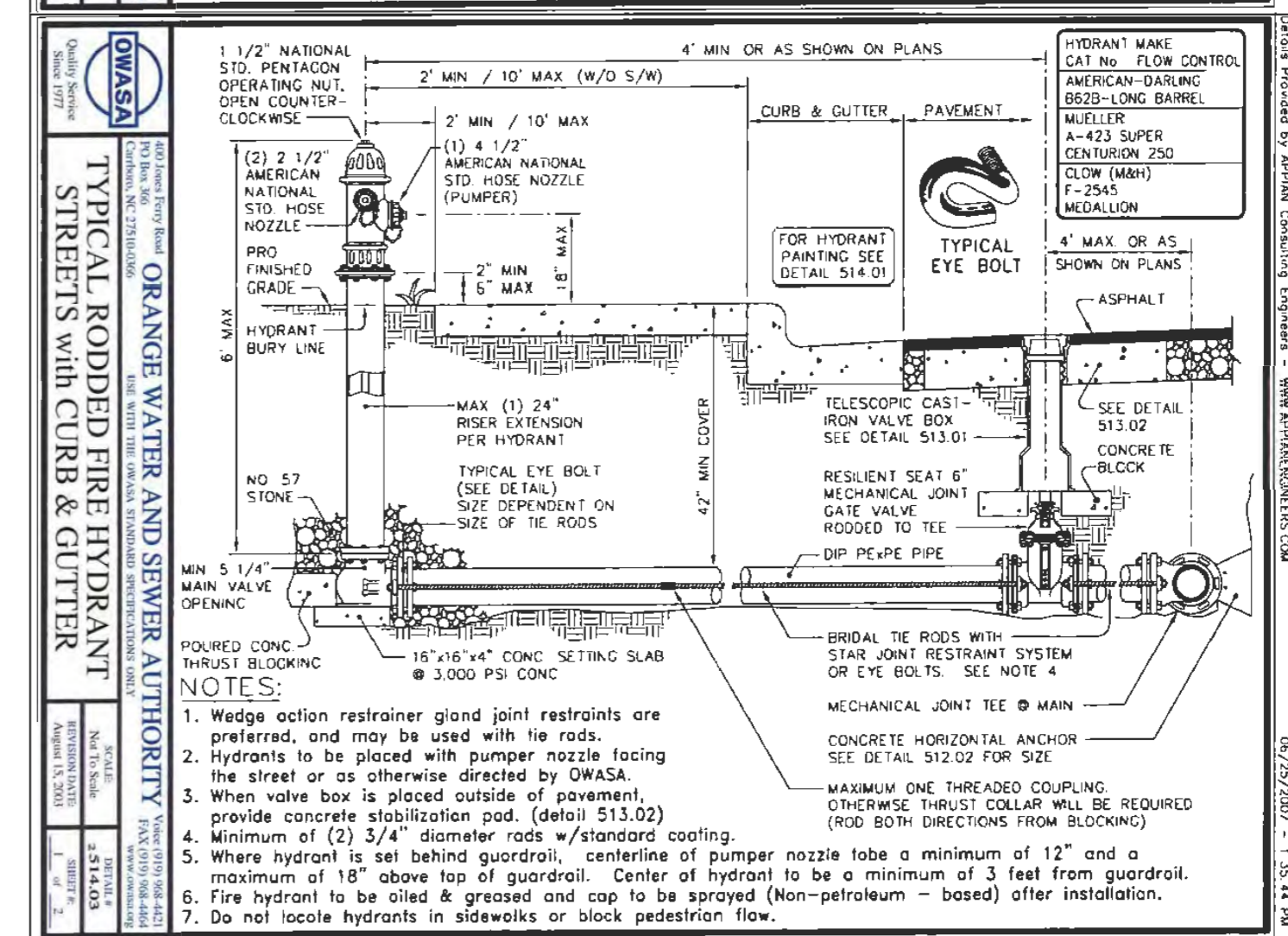
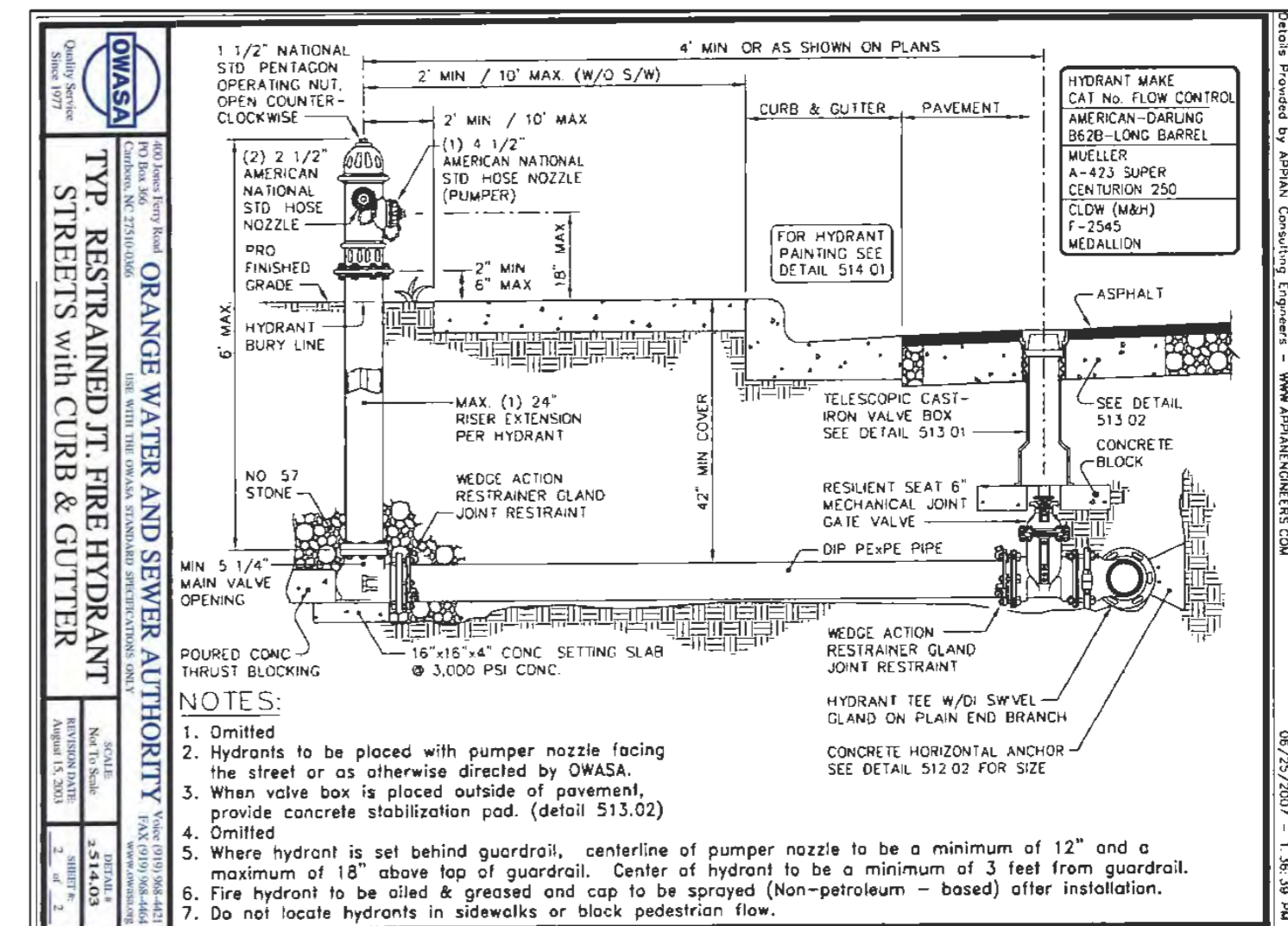
DATE	ISSUED
21 NOV 14	
14 JAN 15	
19 MAR 15	
	CUP SUBMITTAL #4
	CUP SUBMITTAL #5
	FINAL CUP SUBMITTAL

OWNERS REPRESENTATIVE:
RUNYON WOODS
 PH: (919) 418-2121
 FAX: (919) 418-2121
 EMAIL: runyonwoods@gmail.com

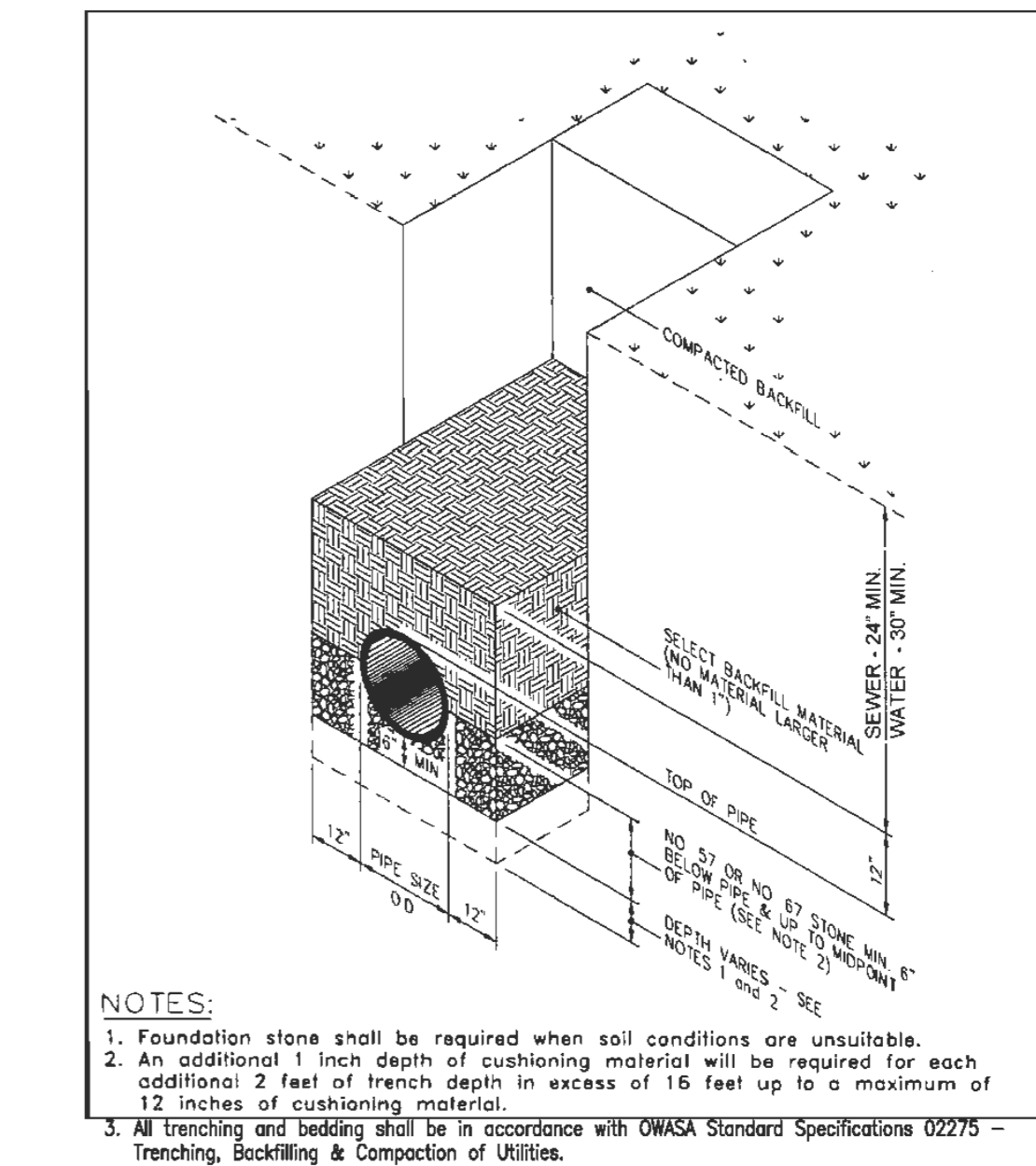
SOUTH GREEN (TRIEIM)
 CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
 DATE: 21 NOV 2014
 SCALE: AS NOTED
 DRAWN BY: S.R.M.
 REVIEWED BY: G.J.R.

SHEET C5102



B5 TYPICAL FIRE HYDRANT INSTALLATION
C5103 N.T.S.

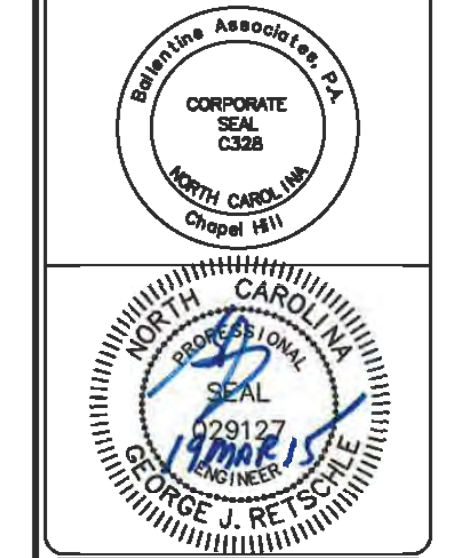


A5 DUCTILE IRON PIPE TRENCH & BEDDING
C5103 N.T.S.

UTILITY DETAILS

REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
 221 PRODUCE ROAD, CHAPEL HILL, N.C. 27514
 (919) 999-0481
 (919) 999-0481
 THE QUALITY OF THE WORK AND THE SERVICE OF THE ASSOCIATION OF PROFESSIONAL ENGINEERS AND SURVEYORS OF NORTH CAROLINA, INC. IS NOT GUARANTEED BY THIS CONTRACT. WITHOUT THE SIGNATURE OF A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR, THIS DRAWING IS VOID.



DATE	REVISIONS
14 JAN 15	
19 MAR 15	

PER TOWN OF CARBORO COMMENTS
 PER FINAL TOWN OF CARBORO COMMENTS

OWNER INFORMATION
WOODHILL, INC. LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515

OWNER REPRESENTATIVE:
RUNYON WOODS
 P.H. (919) 418-2121
 FAX
 EMAIL: runyonwoods@gmail.com

ISSUED	DATE
CUP SUBMITTAL #4	21 NOV 14
CUP SUBMITTAL #5	14 JAN 15
FINAL CUP SUBMITTAL	19 MAR 15

SOUTH GREEN (TRIEM)
CARBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

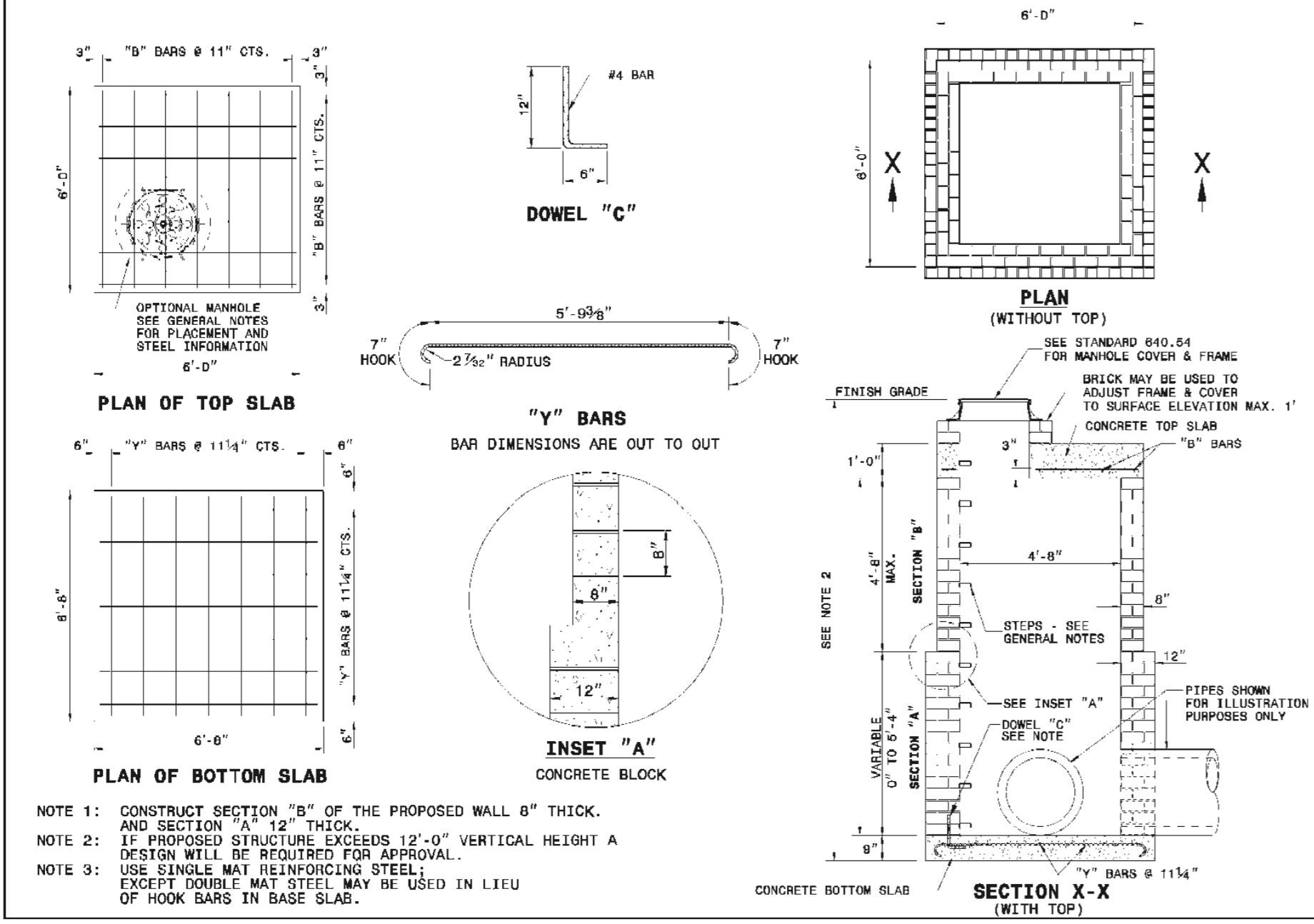
JOB NUMBER: 114023.00
 DATE: 21 NOV 2014
 SCALE: AS NOTED
 DRAWN BY: S.R.M.
 REVIEWED BY: G.J.R.

SHEET C5103

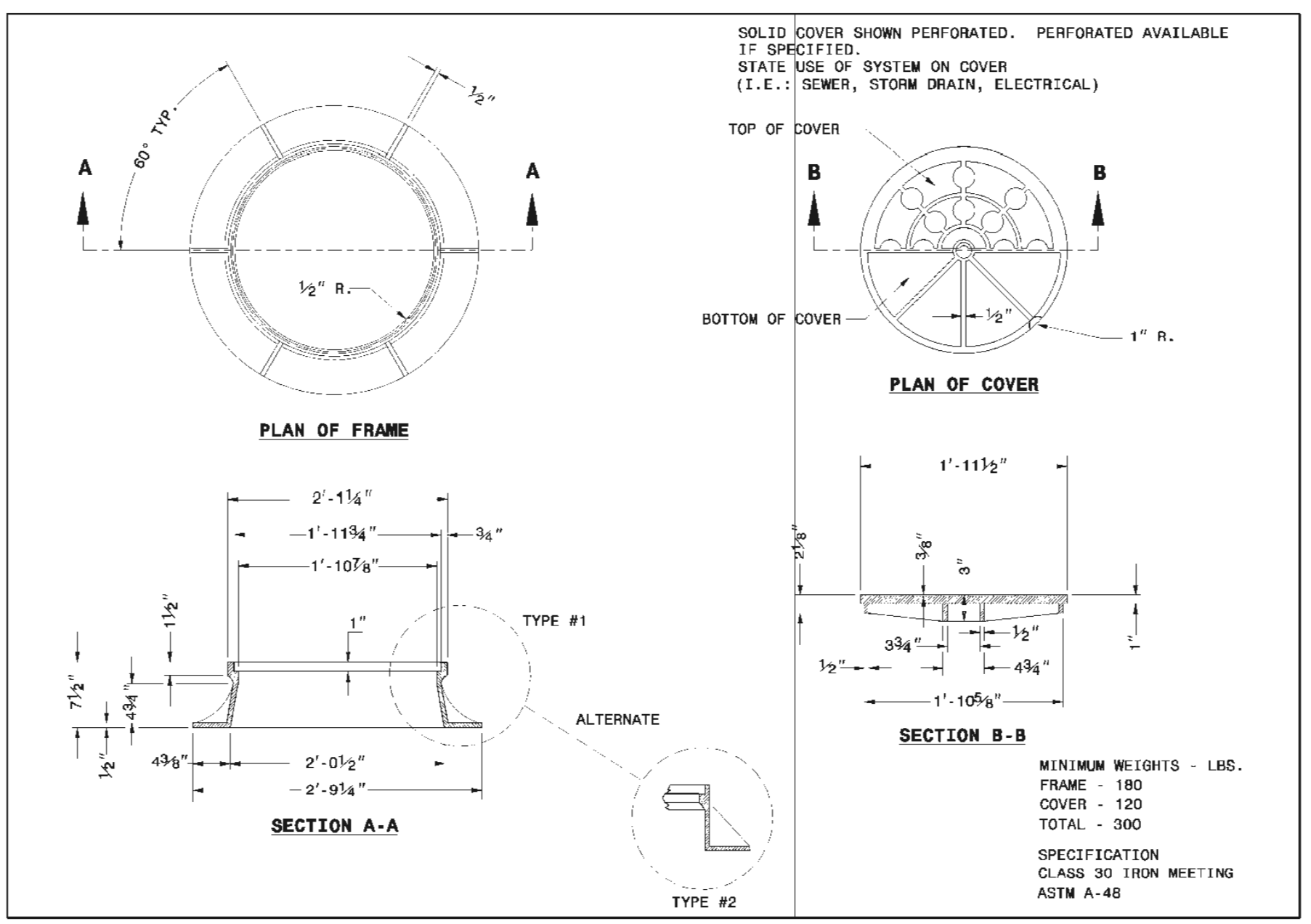
GENERAL NOTES:
 USE STANDARD OR JUMBO BRICK FOR WALL CONSTRUCTION. SOLID CONCRETE BRICK OR BLOCK ARE OPTIONAL WALL CONSTRUCTION MATERIAL ACCORDANCE WITH ASBESTO MFGS.
 PRECAST UNITS MADE OF CLASS "AA" CONCRETE MAY BE USED IN LIEU OF BRICK MASONRY CONSTRUCTION. SUBMIT DESIGN OF PRECAST UNITS FOR APPROVAL PRIOR TO CONSTRUCTION.
 INCLUDE ALL ADJUSTMENTS TO WALLS, SLABS OR REINFORCING MATERIAL IN THE UNIT PRICE BID FOR EACH UNIT.
 INSTALL OPTIONAL MANHOLE IN POSITION AS DIRECTED BY THE ENGINEER. CUT OR BEND ALL REBAR CROSSING THIS OPENING TO ALLOW 2" MINIMUM CONCRETE COVERAGE. ENCLOSE THE OPENING WITH 8 "A" BARS TIED TO THE REBAR MAT AND SET SO A MINIMUM OF 3" CONCRETE COVER IS ATTAINED. REFERENCE STD. NO. 840.54 FOR MANHOLE INFORMATION.
 PROVIDE JUNCTION BOXES WITH MANHOLES OVER 3'-0" IN DEPTH WITH STEPS PLACED ON 12" CENTERS. REFERENCE STD. NO. 840.66.
 SPACE DOWEL "C" BARS AT A MAXIMUM OF 12" CENTERS.
 MAXIMUM DEPTH OF THIS UNIT AS SHOWN IS 12".
 CONSTRUCT THE JUNCTION BOX IN ACCORDANCE WITH SECTIONS 830, 832, 834 AND 840 OF THE STANDARD SPECIFICATIONS.

BILL OF MATERIAL

BAR	QTY	SIZE	LENGTH	WEIGHT
A	8	#5	11'-2"	9.2
B	14	#5	5'-6"	60.3
C	20	#4	1'-0"	26.1
Y	14	#5	8'-11 1/2"	101.5
STEEL TOTAL WEIGHT				217.6
CU. YDS. CLASS "AA" CONC.				2.4
CU. YDS. BRICK/FT. WT. (6")				0.53
CU. YDS. BRICK/FT. WT. (12")				0.84



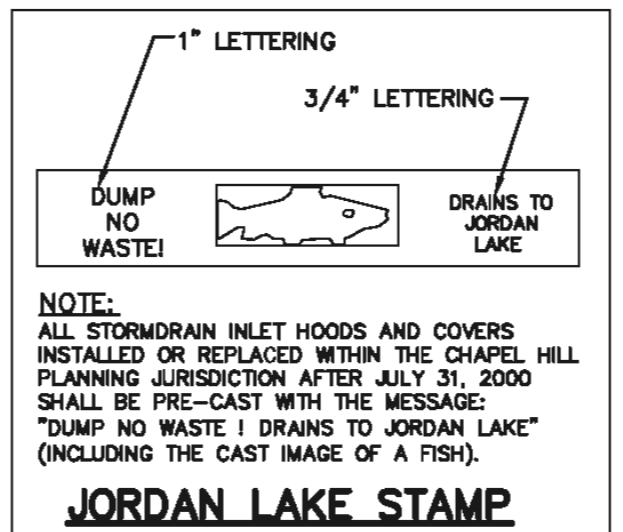
NCDOT STD. DETAIL 840.34
 (USE AT CONNECTION TO EXISTING PIPES)



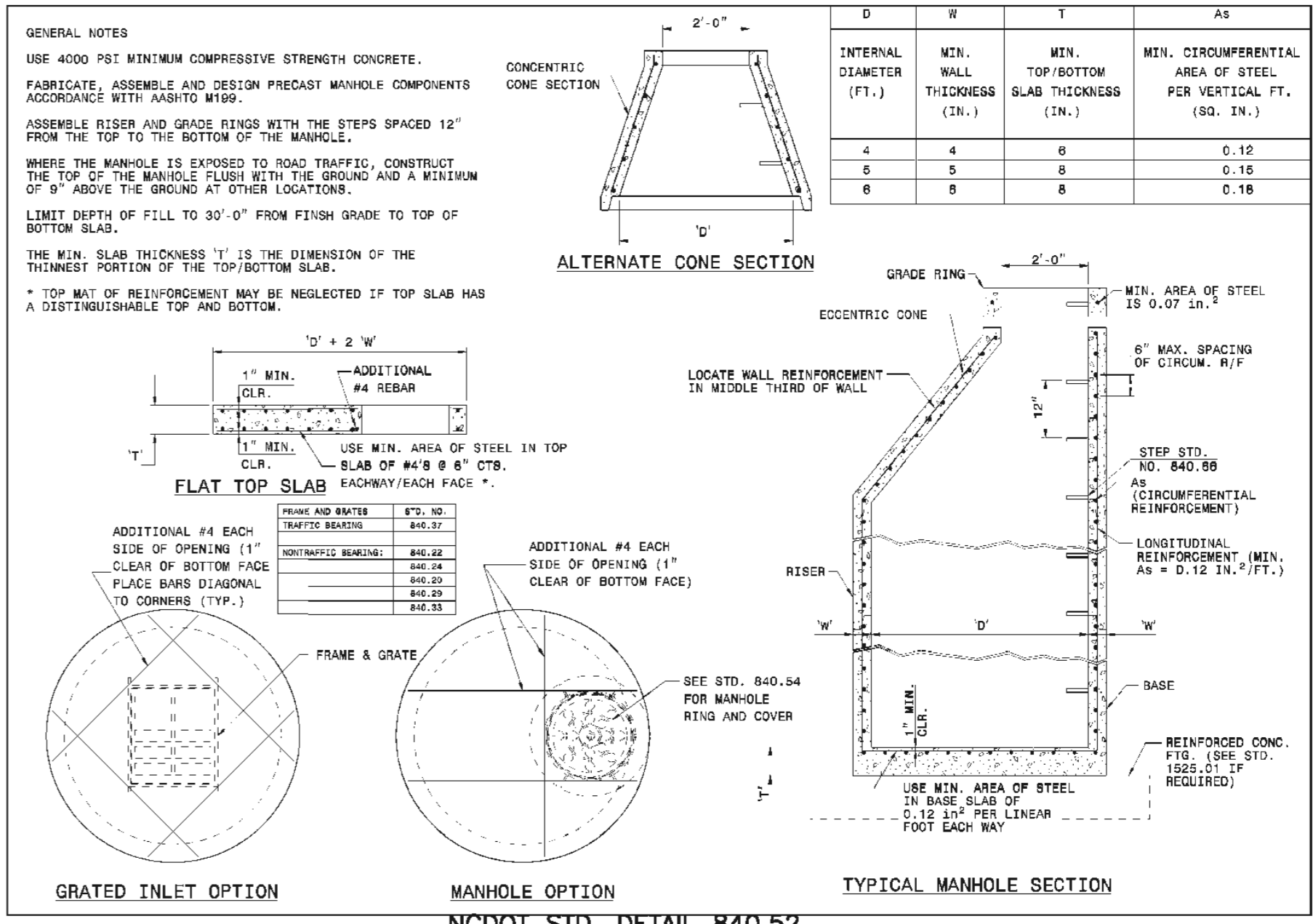
NCDOT STD. DETAIL 840.54
 (MANHOLE COVER & FRAME)

C3 C5201 STORM JUNCTION BOX
 NOT TO SCALE

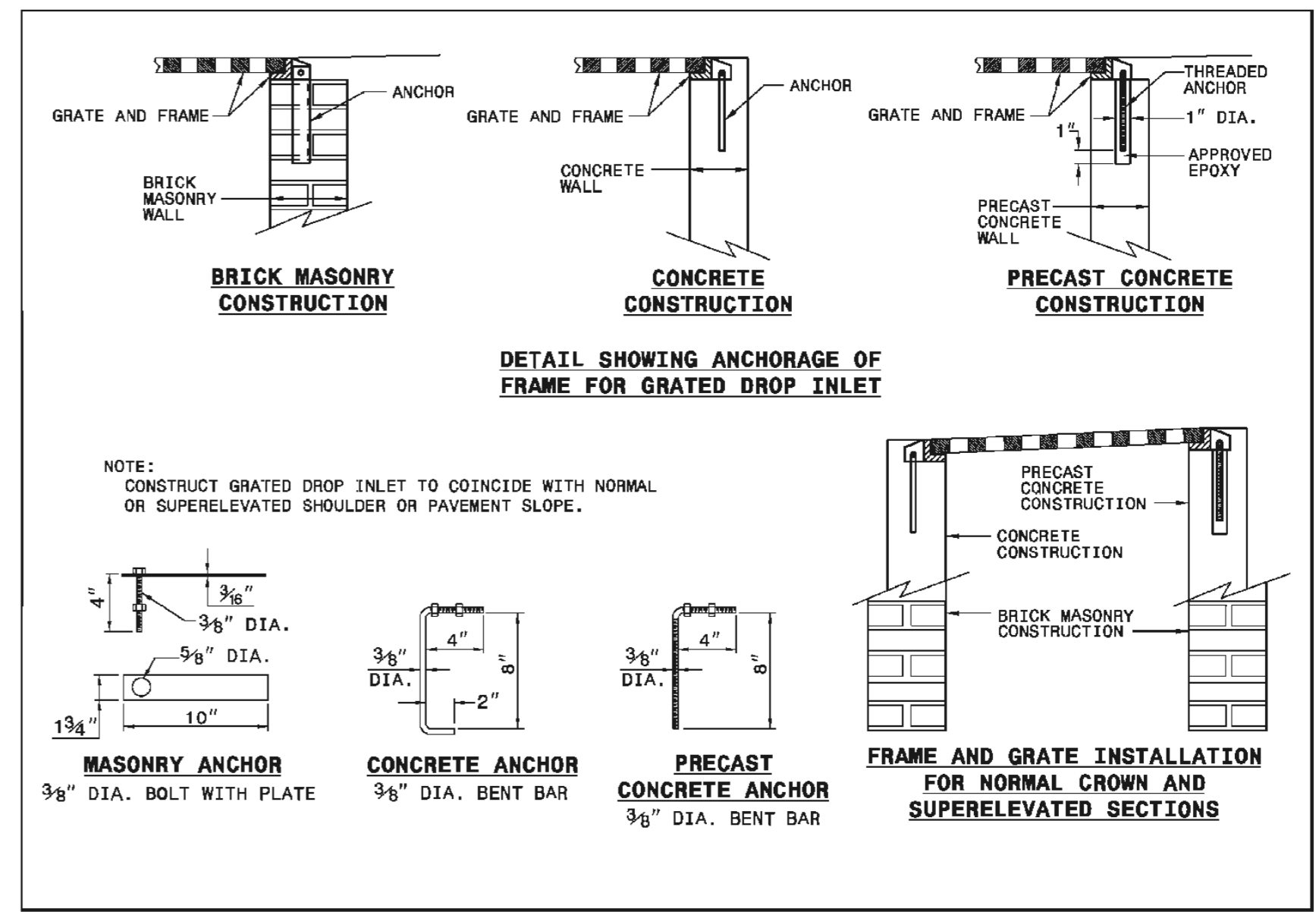
NOTE:
 ALL STORM MANHOLES SHALL BE IMPRINTED WITH TEXT "STORM WATER - PRIVATE".



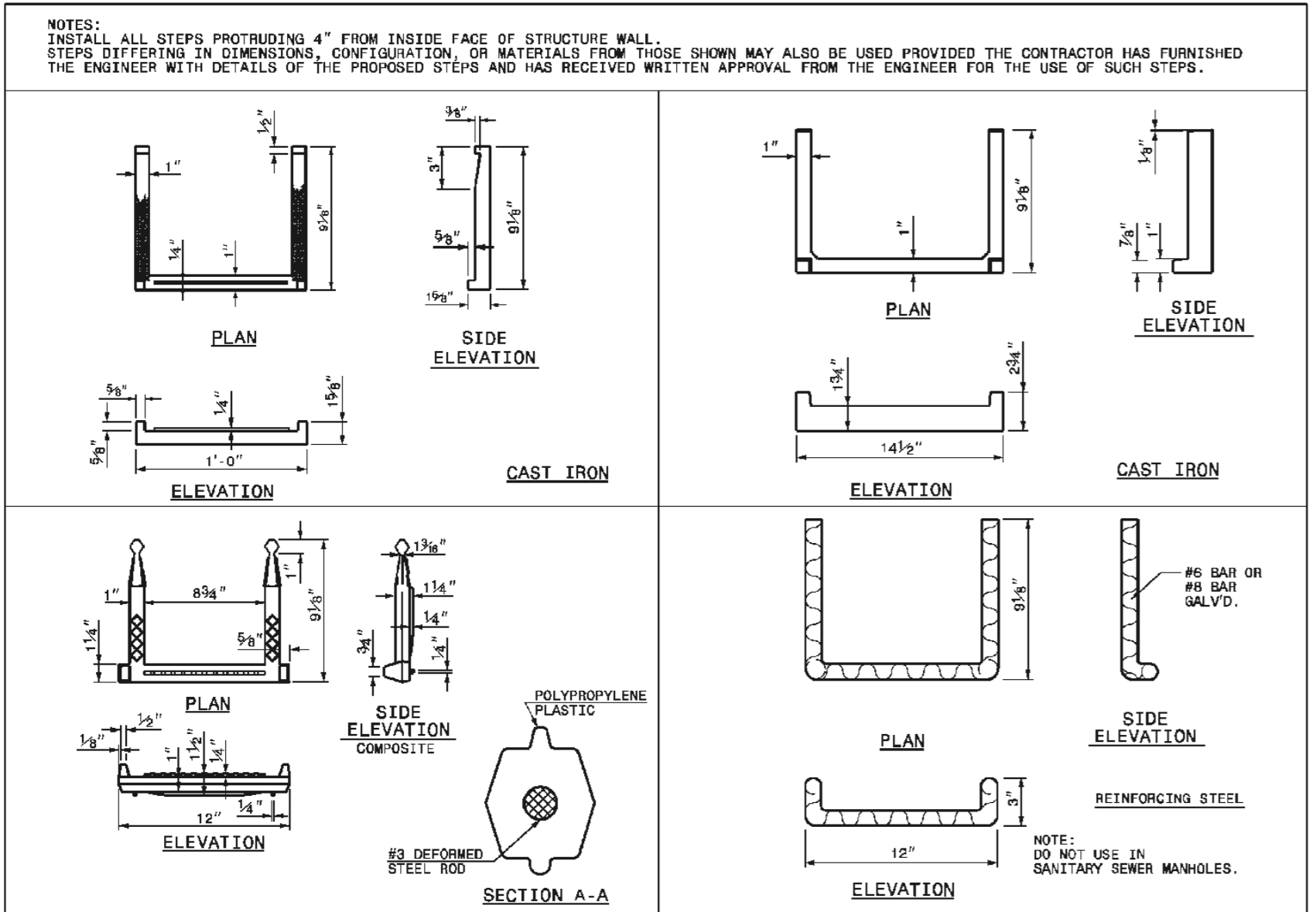
JORDAN LAKE STAMP



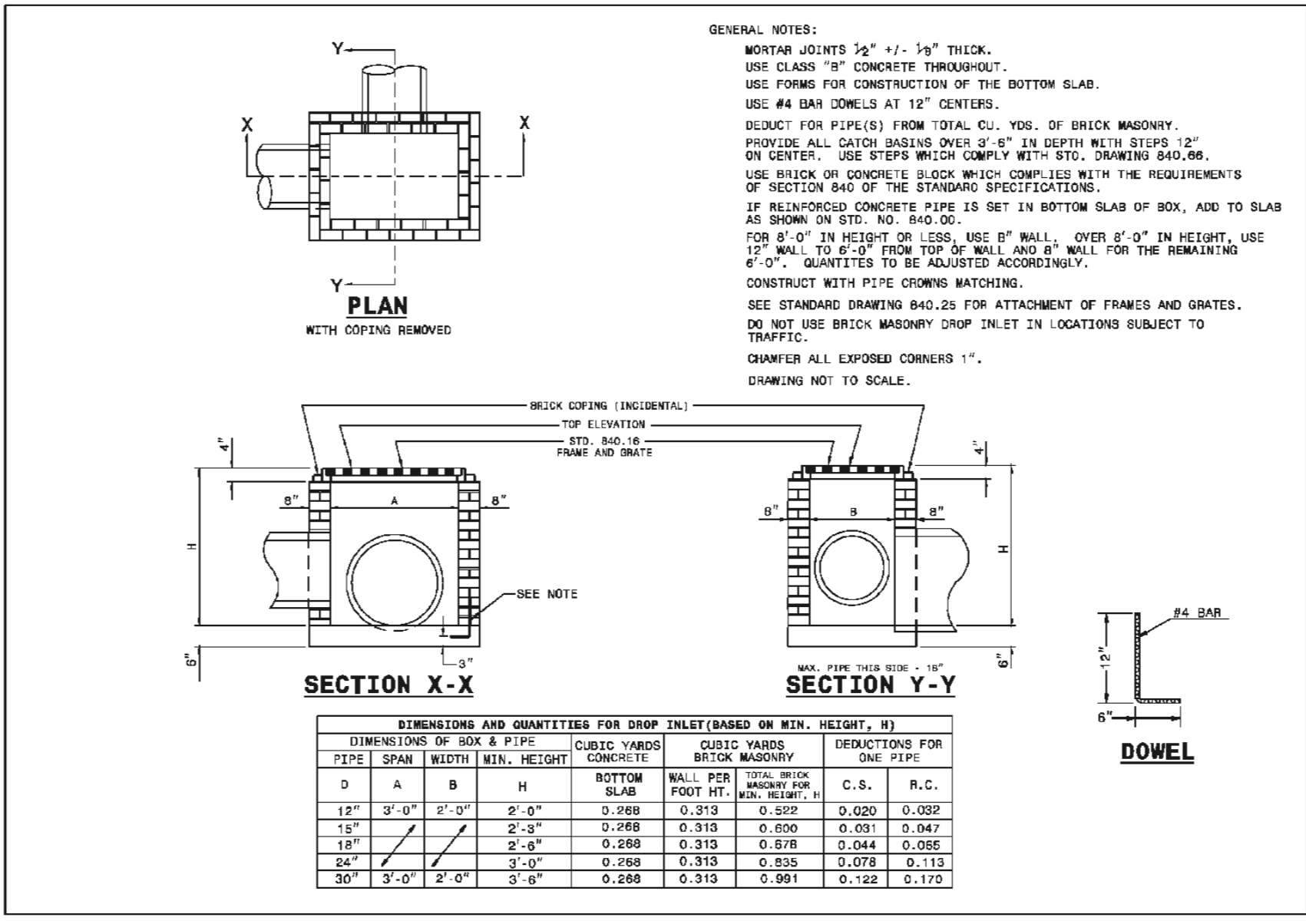
NCDOT STD. DETAIL 840.52
 (USE WHERE ALL PIPE CONNECTIONS ARE NEW)



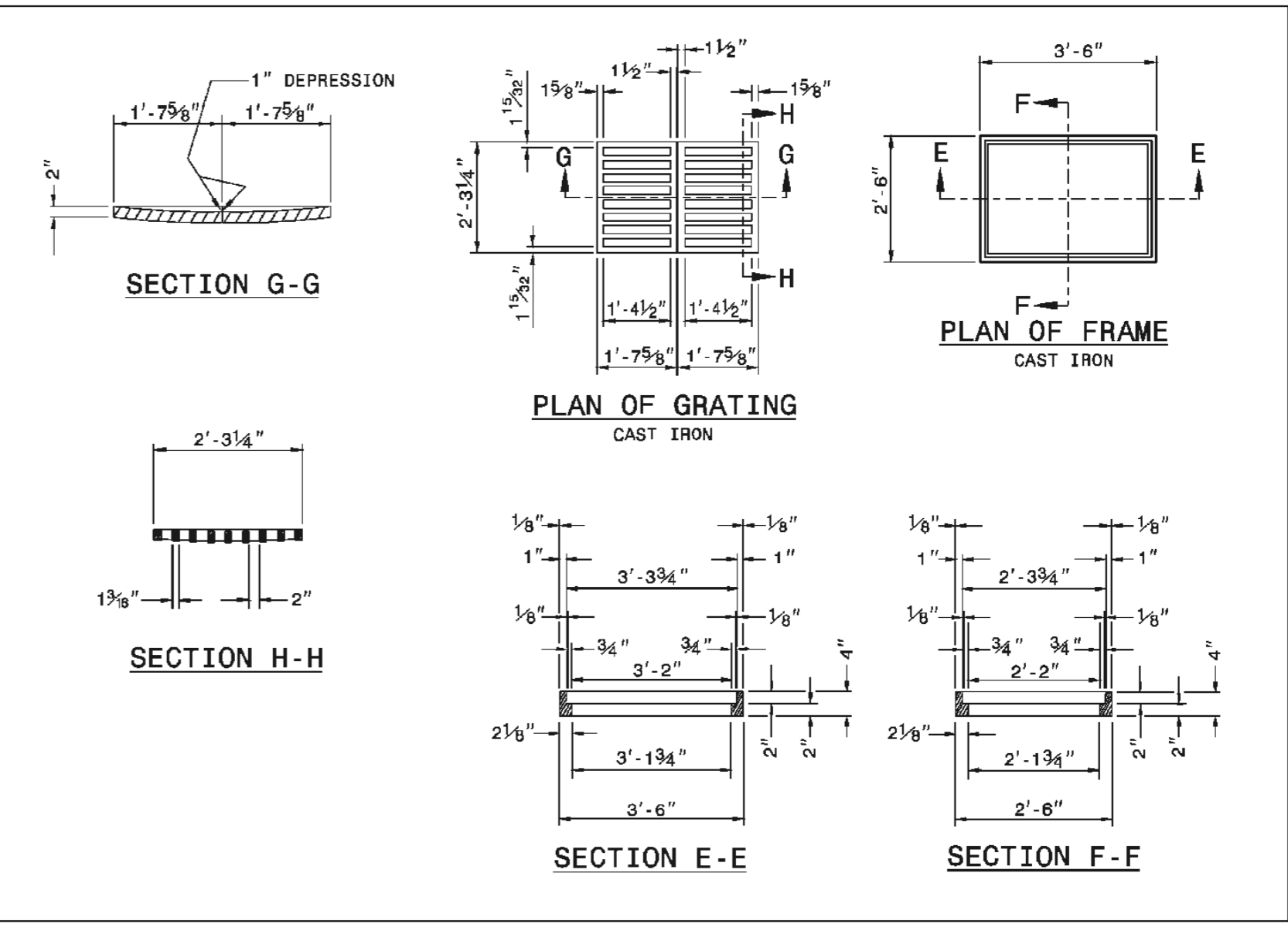
NCDOT STD. DETAIL 840.25
 (ANCHORAGE FOR FRAMES)



NCDOT STD. DETAIL 840.66
 (DRAINAGE STRUCTURE STEPS)



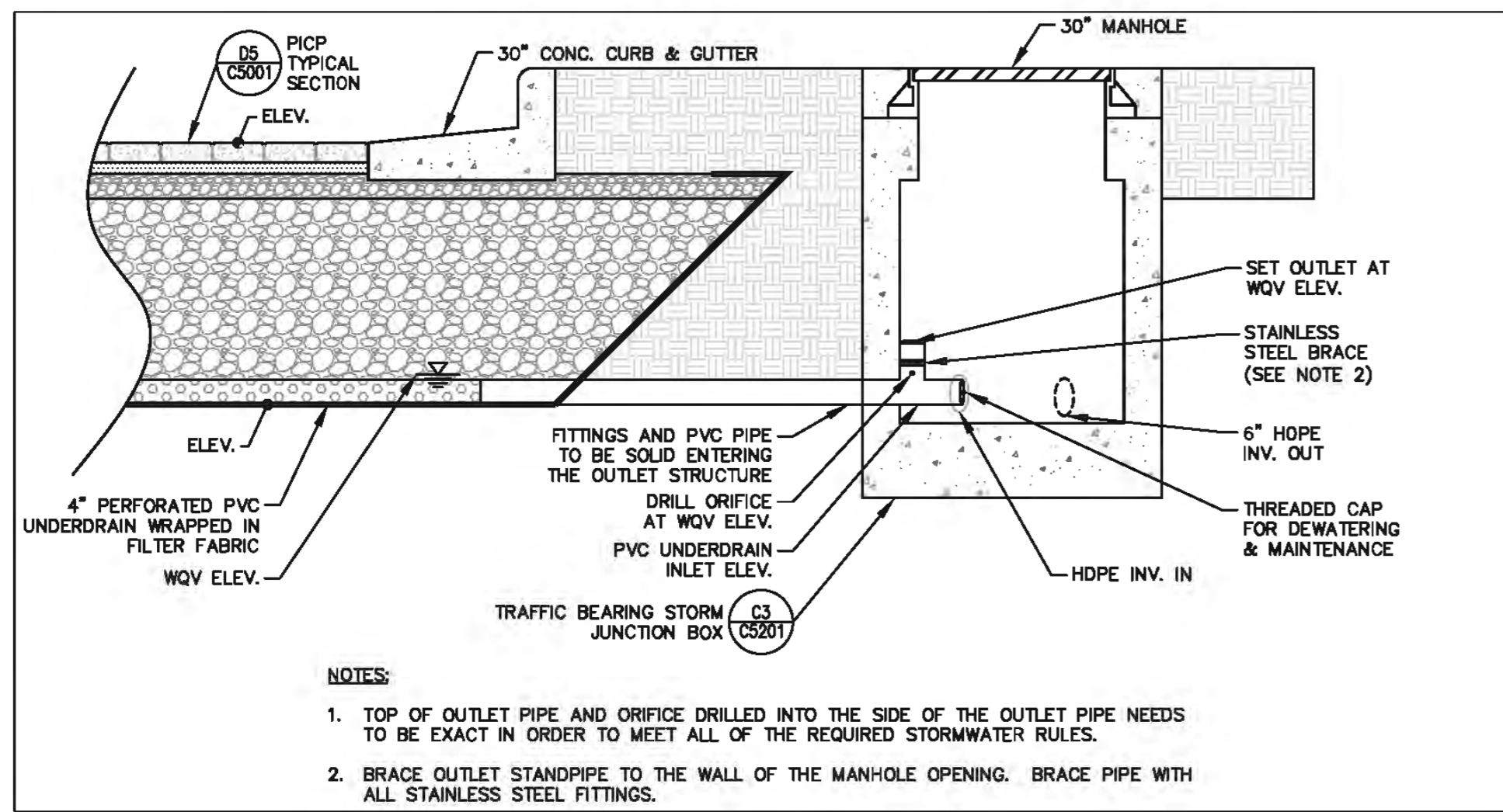
NCDOT STD. DETAIL 840.16
 (BRICK DROP INLET)



NCDOT STD. DETAIL 840.16
 (DROP INLET FRAME AND GRATES)

STORM DRAINAGE DETAILS

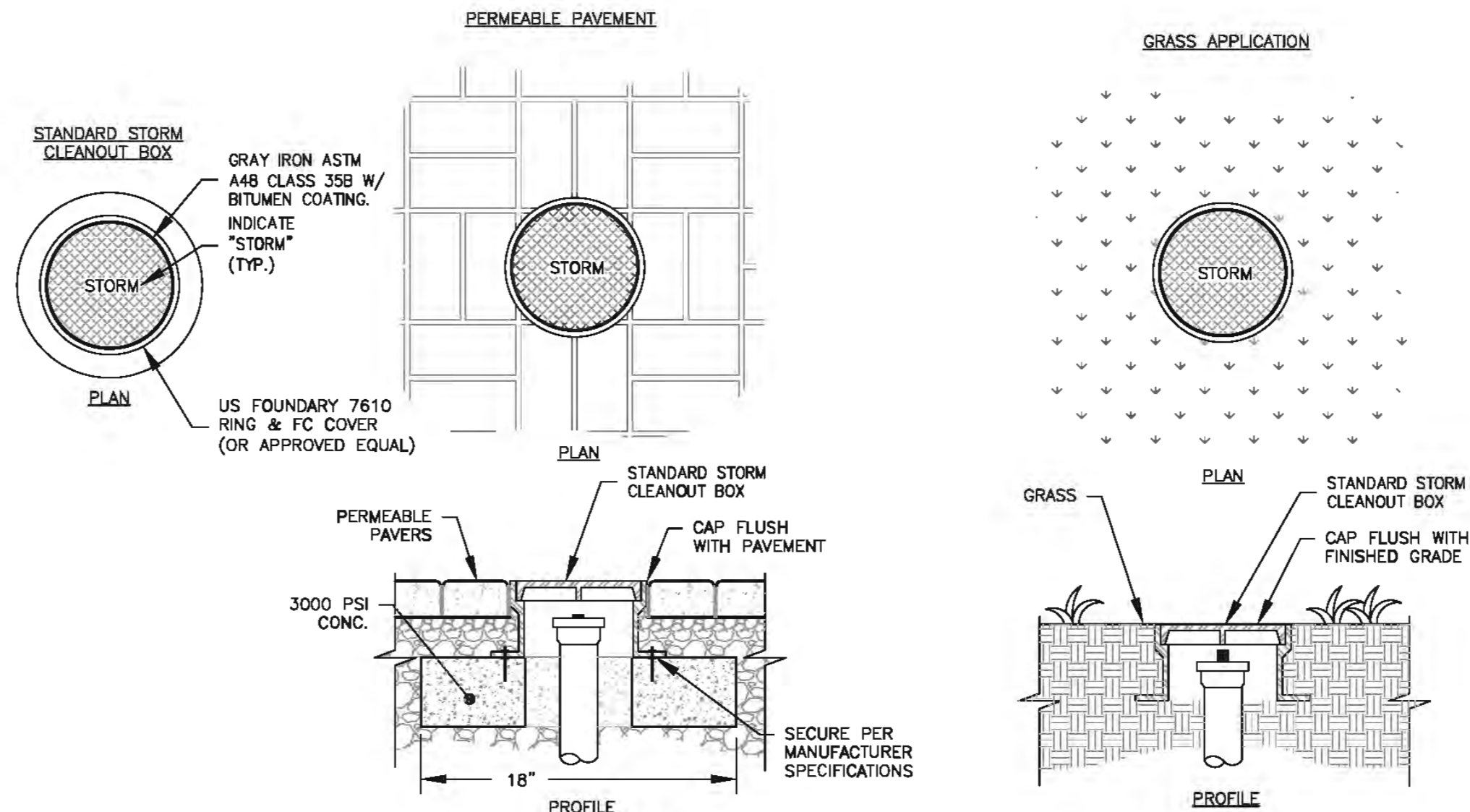
REVIEW DRAWING
 NOT FOR CONSTRUCTION



NOTES:

1. TOP OF OUTLET PIPE AND ORIFICE DRILLED INTO THE SIDE OF THE OUTLET PIPE NEEDS TO BE EXACT IN ORDER TO MEET ALL OF THE REQUIRED STORMWATER RULES.
2. BRACE OUTLET STANDPIPE TO THE WALL OF THE MANHOLE OPENING. BRACE PIPE WITH ALL STAINLESS STEEL FITTINGS.

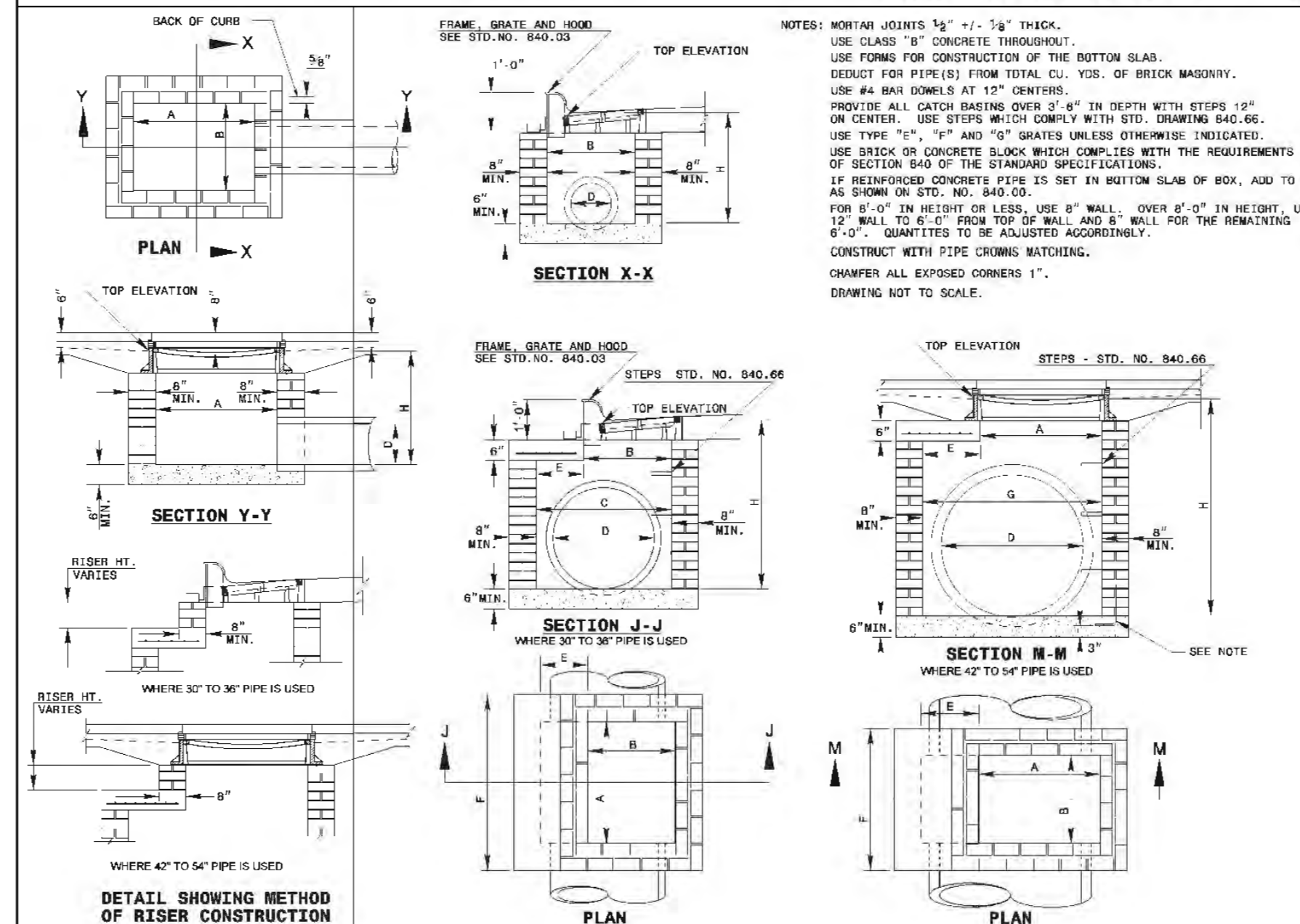
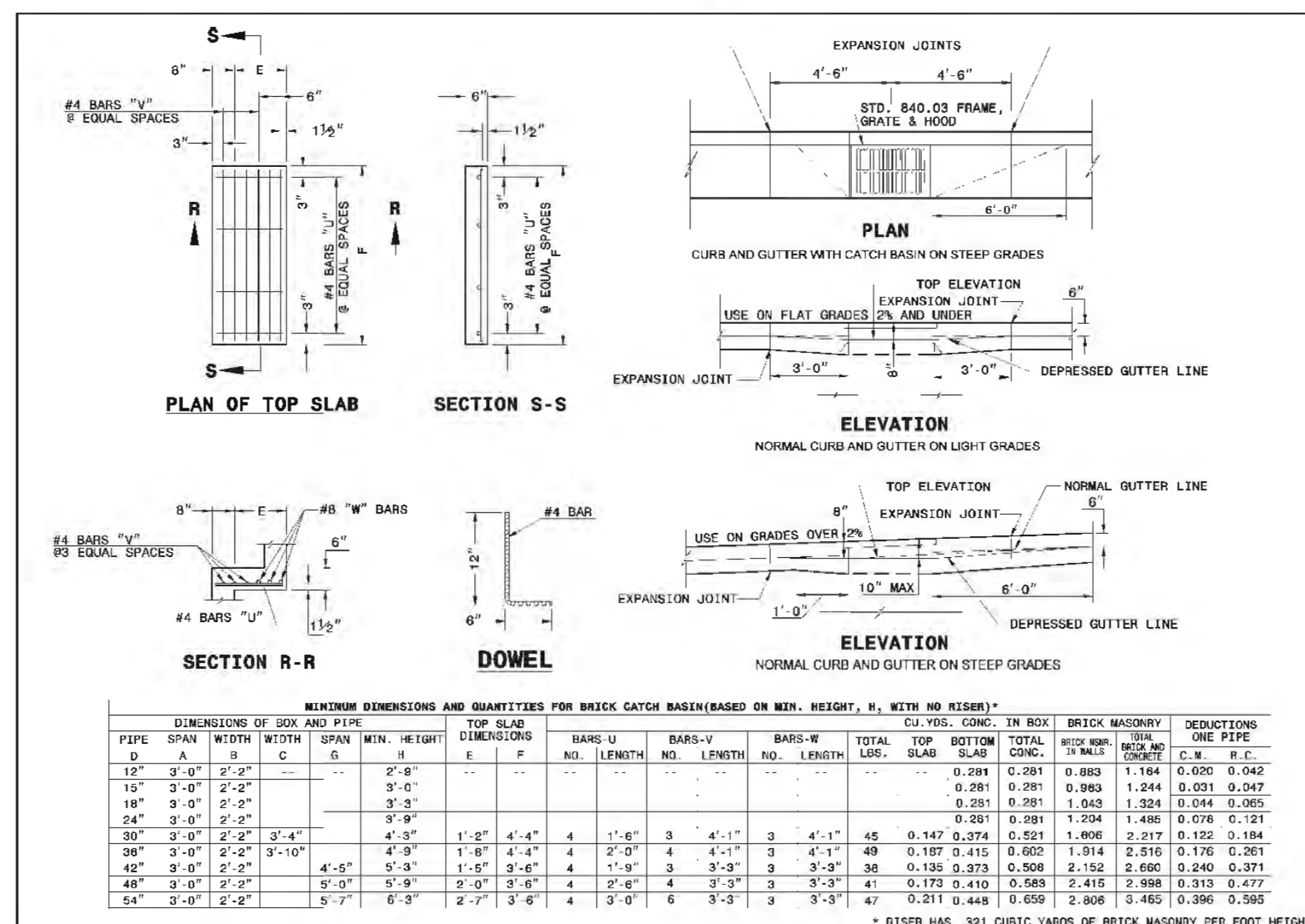
C5 PERMEABLE PAVEMENT OUTLET STRUCTURE
SCALE: 1" = 2'



C3 STORM CLEANOUT BOX INSTALLATION
SCALE: N.T.S.

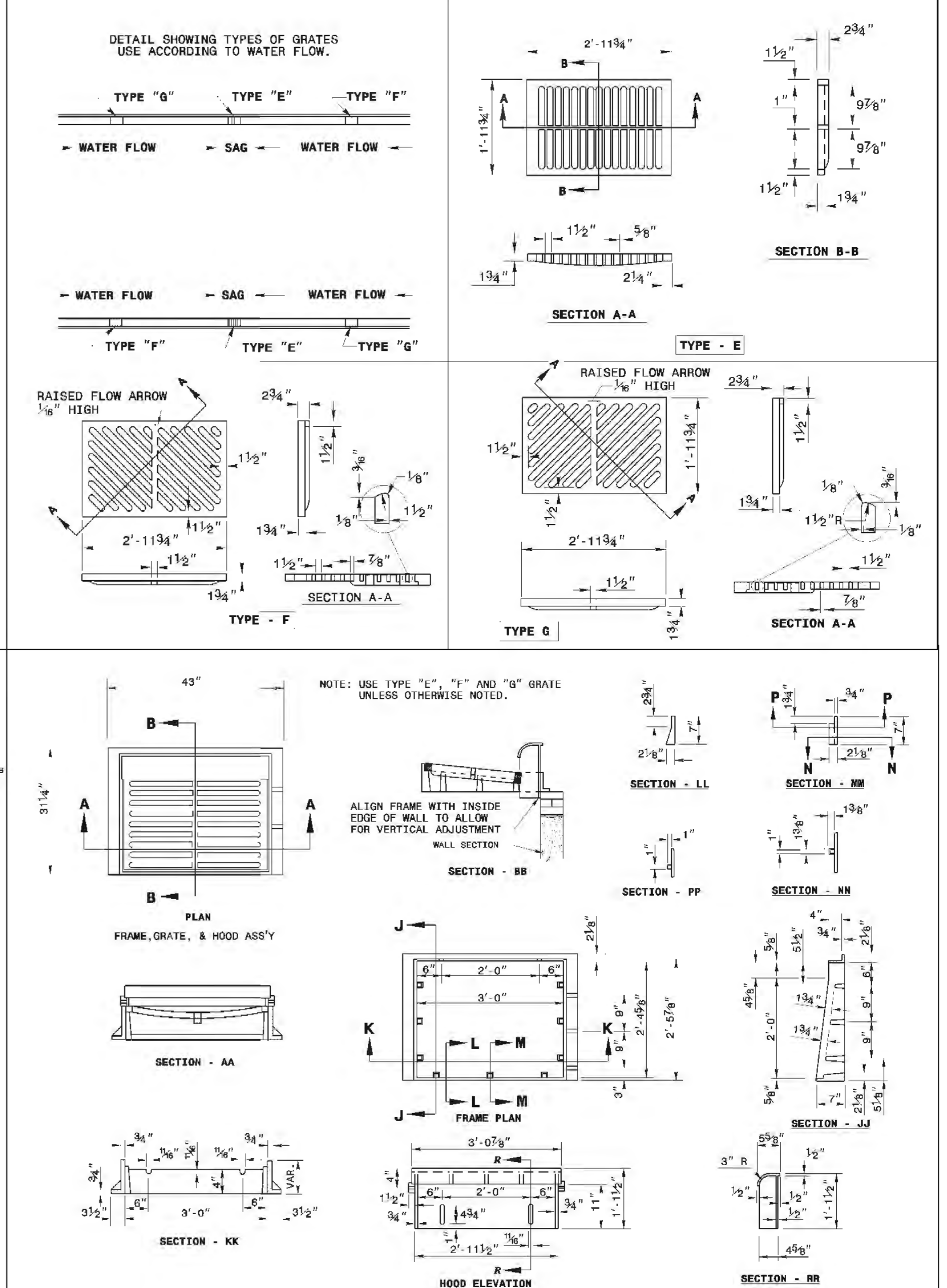
NOTE:
ALL STORM MANHOLES SHALL BE IMPRINTED WITH TEXT "STORM WATER - PRIVATE".

JORDAN LAKE STAMP
NOTE: ALL STORMDRAIN INLET HOODS AND COVERS INSTALLED OR REPLACED WITHIN THE CHAPEL HILL PLANNING JURISDICTION AFTER JULY 31, 2000 SHALL BE PRE-CAST WITH THE MESSAGE: "DUMP NO WASTE! DRAINS TO JORDAN LAKE" (INCLUDING THE CAST IMAGE OF A FISH).



NCDOT STD. DETAIL 840.01
(CATCH BASIN BASE STRUCTURE)

A2 CATCH BASIN
SCALE: N.T.S.



NCDOT STD. DETAIL 840.03
(FRAME, GRATE, AND HOOD)

NOT TO SCALE

STORM DRAINAGE DETAILS

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
221 PRODUCE ROAD, CHAPEL HILL, N.C. 27514
(919) 999-0481
THE FIDELITY OF BALLENTINE ASSOCIATES, P.A. IS GUARANTEED BY THE ASSOCIATION OF PROFESSIONAL ENGINEERS OF NORTH CAROLINA. WITHOUT PERIODIC REINFORCEMENT OF BALLENTINE ASSOCIATES, P.A. WILL BE SUBJECT TO LEGAL ACTION.



DATE	REVISIONS
14 JAN 15	
19 MAR 15	

OWNER INFORMATION
WOODHILL, NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

OWNER REPRESENTATIVE:
RUYTON WOODS
PH (919) 418-2121
FAX
EMAIL: ruytonwoods@gmail.com

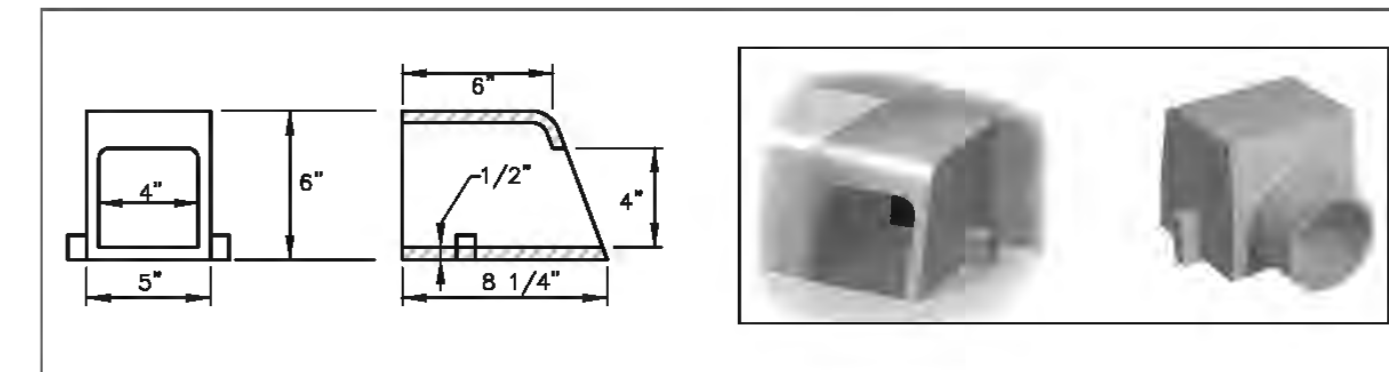
DATE	ISSUED
21 NOV 14 <td></td>	
14 JAN 15 <td></td>	
19 MAR 15 <td></td>	

CIP SUBMITTAL #4
FINAL CIP SUBMITTAL

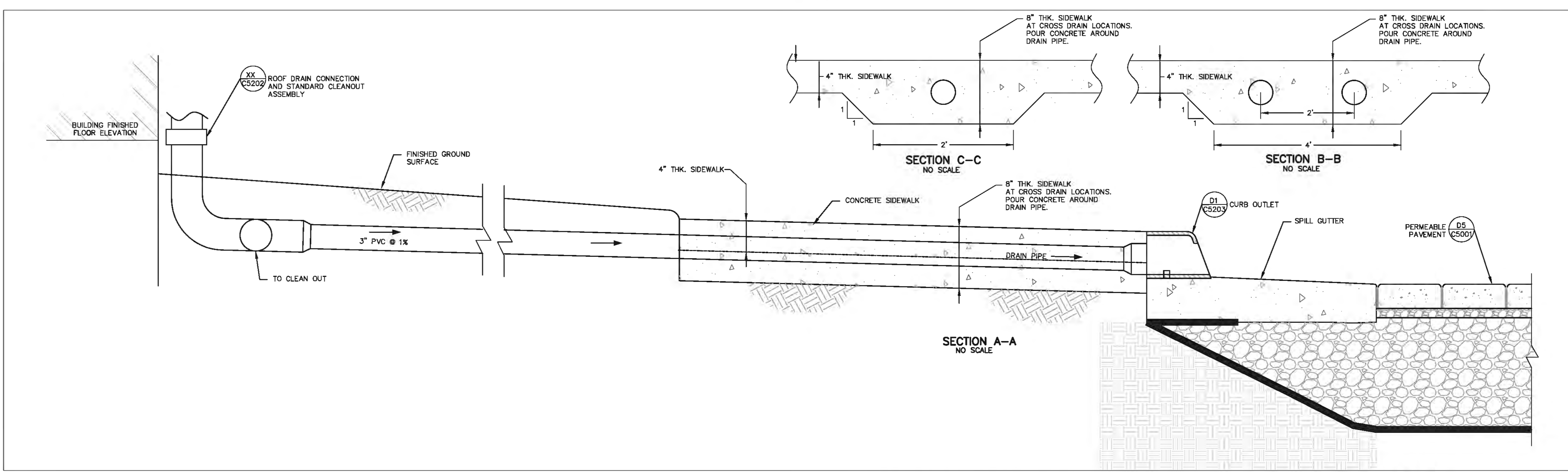
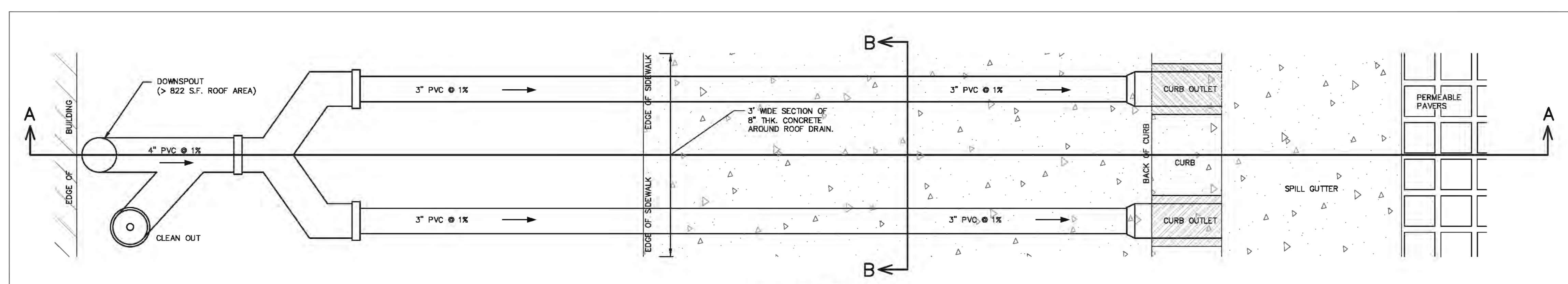
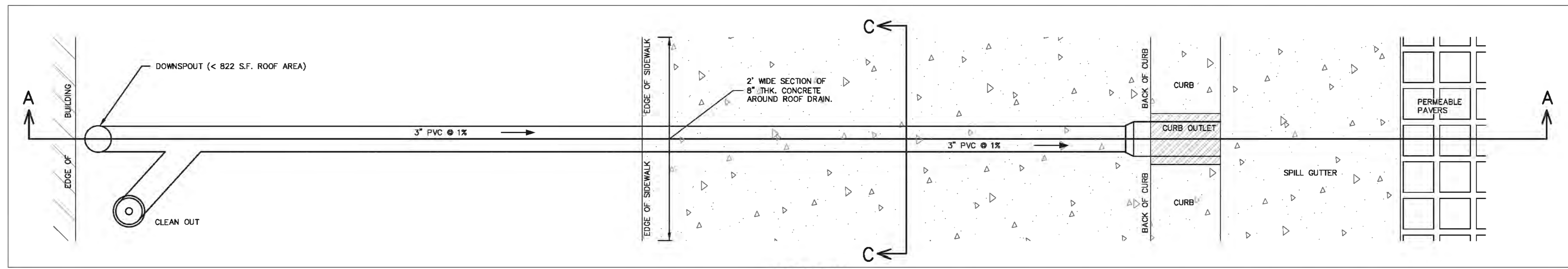
SOUTH GREEN (TRIEM)
CARBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

SHEET
C5202



D1
C5203 ROOF DRAIN CURB OUTLET
N.T.S.



A2
C5203 ROOF DRAIN THROUGH CURB & GUTTER
N.T.S.

STORM DRAINAGE DETAILS

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929-0481
FAX: (919) 929-4798
THE QUALITY OF THE WORKMANSHIP AND ASSOCIATES OF THE FIRM SHALL BE SUBJECT TO LOCAL ACTION.



DATE	REVISIONS
14 JAN 15	
19 MAR 15	
	PER TOWN OF CARRBORO COMMENTS
	PER FINAL TOWN OF CARRBORO COMMENTS

OWNER INFORMATION
WOODHILL, NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

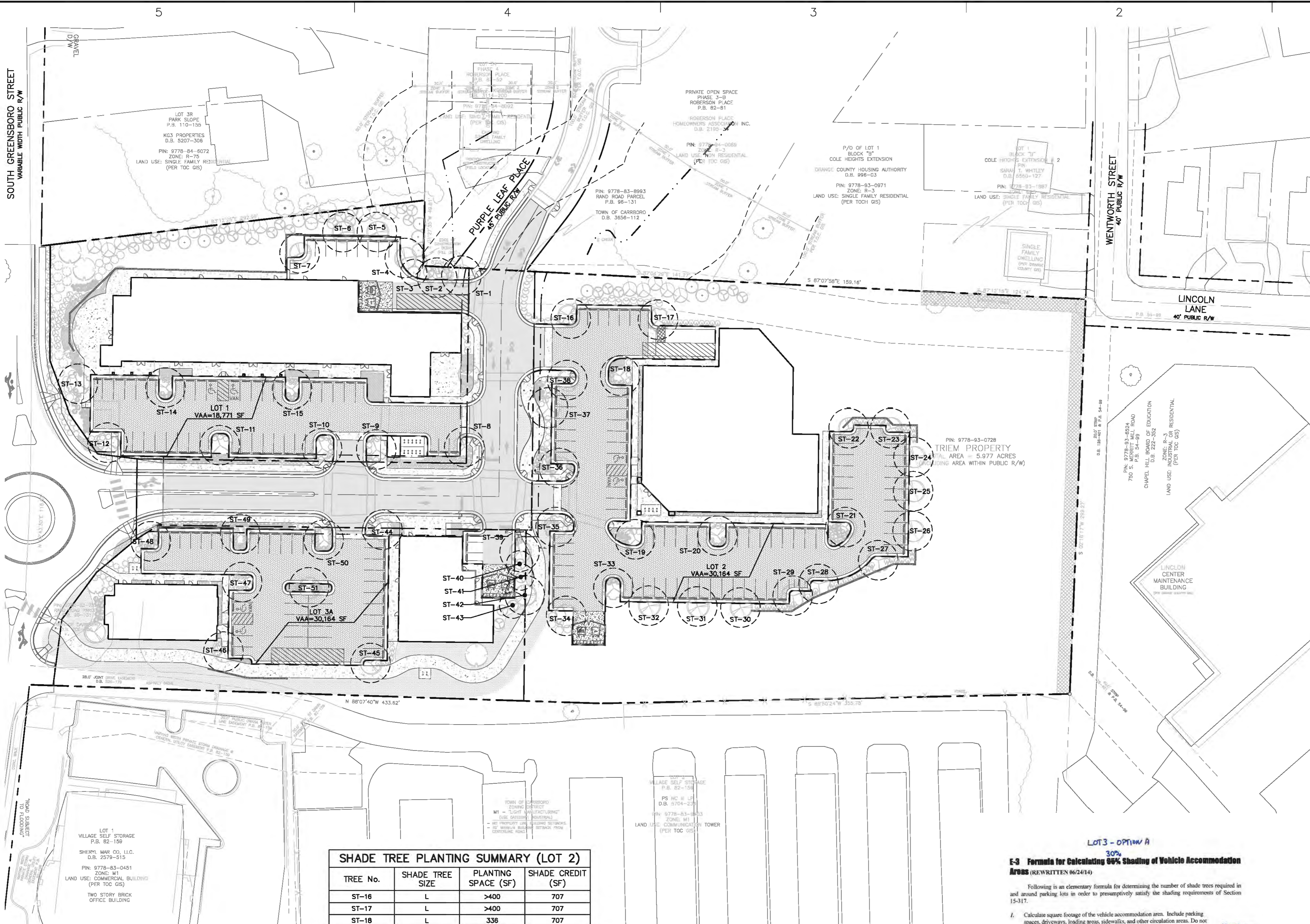
OWNERS REPRESENTATIVE:
RUYTON WOODS
PH: (919) 418-2121
FAX:
EMAIL: ruytonwoods@gmail.com

DATE	ISSUED
21 NOV 14 <td></td>	
14 JAN 15 <td></td>	
19 MAR 15 <td></td>	
	CUP SUBMITTAL #4
	CUP SUBMITTAL #5
	FINAL CUP SUBMITTAL

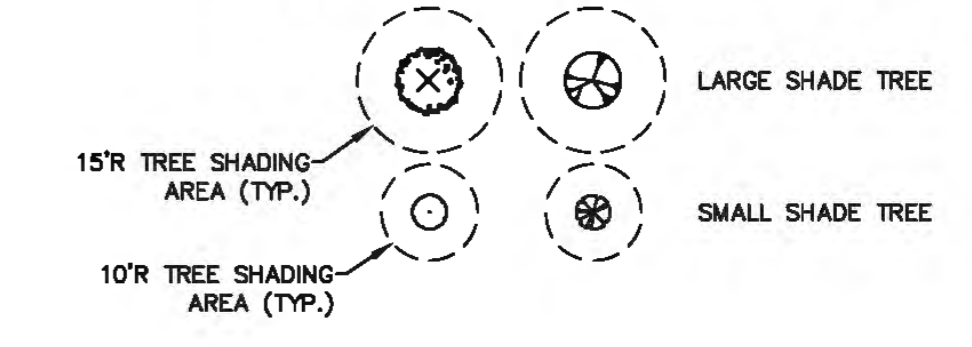
SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

SHEET
C5203



SHADE TREE PLANTING LEGEND:



LOT 1

E-3 Formula for Calculating 30% Shading of Vehicle Accommodation Areas (REWRITTEN 06/24/14)

Following is an elementary formula for determining the number of shade trees required in and around parking lots in order to presumptively satisfy the shading requirements of Section 15-317.

- Calculate square footage of the vehicle accommodation area. Include parking spaces, driveways, loading areas, sidewalks, and other circulation areas. Do not include building area and any area which will remain completely undeveloped: **18,771 sq. ft.**
- Multiply: **18,771 sq. ft. x 30% = 5,631 sq. ft.**
- Areas to be shaded: **5,631 sq. ft.**
- Add: **0 sq. ft.**
- Area shaded by existing trees to be retained in and around the vehicle accommodation area: **0 sq. ft.**
- Area shaded by required screening trees, if any: **0 sq. ft.**
- Area shaded by required street trees, if any: **0 sq. ft.**
- Subtotal: **0 sq. ft.**
- (If line #7 is greater than line #3, then the shading requirement has been met. If not, go on to line #8)
- Enter the difference between line #7 and line #3: **5,631 sq. ft.**
- Divide line #8: **+ 707 = 7.978 trees**
- Total number of shade trees required within the vehicle accommodation area: **8 NEW & LARGE TREES**

***SEE SHADE TREE PLANTING SUMMARY**
 *Existing trees retained in compliance with Section 15-316 will be credited according to their actual crown radius. Shaded area may be calculated as follows:
 $3.14 \times (\text{crown radius})^2 = \text{shaded area}$

Trees planted within the vehicle accommodation area are credited with shading 207 sq. ft. (Based on a crown radius of 15'). New or existing trees on the perimeter of the parking lot are credited for having only half a crown over the vehicle accommodation area (e.g., new perimeter trees will be credited for shading 103.5 sq. ft.). Generally, all trees planted in compliance with the screening requirements of Article XIX, Part 1 and the street tree requirements of Section 15-315 will be considered perimeter trees. When smaller trees such as Dogwoods are planted, the credited shading area will be adjusted downward to 103.5 sq. ft. for interior trees and 157 sq. ft. for perimeter trees. (Based on a crown radius of 10 ft.) (REWRITTEN 06/24/14)

LOT 2

E-3 Formula for Calculating 30% Shading of Vehicle Accommodation Areas (REWRITTEN 06/24/14)

Following is an elementary formula for determining the number of shade trees required in and around parking lots in order to presumptively satisfy the shading requirements of Section 15-317.

- Calculate square footage of the vehicle accommodation area. Include parking spaces, driveways, loading areas, sidewalks, and other circulation areas. Do not include building area and any area which will remain completely undeveloped: **30,164 sq. ft.**
- Multiply: **30,164 sq. ft. x 30% = 9,049 sq. ft.**
- Areas to be shaded: **9,049 sq. ft.**
- Add: **0 sq. ft.**
- Area shaded by existing trees to be retained in and around the vehicle accommodation area: **0 sq. ft.**
- Area shaded by required screening trees, if any: **0 sq. ft.**
- Area shaded by required street trees, if any: **0 sq. ft.**
- Subtotal: **0 sq. ft.**
- (If line #7 is greater than line #3, then the shading requirement has been met. If not, go on to line #8)
- Enter the difference between line #7 and line #3: **9,049 sq. ft.**
- Divide line #8: **+ 707 = 12.813 trees**
- Total number of shade trees required within the vehicle accommodation area: **13 LARGE SHADE TREES**

***SEE SHADE TREE PLANTING SUMMARY**
 *Existing trees retained in compliance with Section 15-316 will be credited according to their actual crown radius. Shaded area may be calculated as follows:
 $3.14 \times (\text{crown radius})^2 = \text{shaded area}$

Trees planted within the vehicle accommodation area are credited with shading 207 sq. ft. (Based on a crown radius of 15'). New or existing trees on the perimeter of the parking lot are credited for having only half a crown over the vehicle accommodation area (e.g., new perimeter trees will be credited for shading 103.5 sq. ft.). Generally, all trees planted in compliance with the screening requirements of Article XIX, Part 1 and the street tree requirements of Section 15-315 will be considered perimeter trees. When smaller trees such as Dogwoods are planted, the credited shading area will be adjusted downward to 103.5 sq. ft. for interior trees and 157 sq. ft. for perimeter trees. (Based on a crown radius of 10 ft.) (REWRITTEN 06/24/14)

SHADE TREE PLANTING SUMMARY (LOT 1)

TREE No.	SHADE TREE SIZE	PLANTING SPACE (SF)	SHADE CREDIT (SF)
ST-1	L	>400	354
ST-2	L	>400	354
ST-3	S	>400	157
ST-4	L	>400	354
ST-5	L	>400	354
ST-6	L	>400	354
ST-7	L	210	707
ST-8	L	>400	707
ST-9	L	223	354
ST-10	L	>400	707
ST-11	L	>400	707
ST-12	L	>400	354
ST-13	L	>400	354
ST-14	L	309	707
ST-15	L	309	707
TOTAL AREA SHADED BY TREES IN VAA			7,231
TOTAL % VAA SHADED			38.82%

SHADE TREE PLANTING SUMMARY (LOT 2)

TREE No.	SHADE TREE SIZE	PLANTING SPACE (SF)	SHADE CREDIT (SF)
ST-16	L	>400	707
ST-17	L	>400	707
ST-18	L	338	707
ST-19	L	255	707
ST-20	L	207	707
ST-21	L	254	707
ST-22	L	>400	354
ST-23	L	>400	354
ST-24	L	>400	354
ST-25	L	>400	354
ST-26	L	>400	354
ST-27	L	>400	354
ST-28	L	>400	707
ST-29	L	>400	707
ST-30	L	>400	354
ST-31	L	>400	354
ST-32	L	>400	354
ST-33	L	>400	707
ST-34	L	>400	354
ST-35	L	>400	707
ST-36	L	309	707
ST-37	L	309	354
ST-38	L	309	707
TOTAL AREA SHADED BY TREES IN VAA			12,378
TOTAL % VAA SHADED			41.04%

SHADE TREE PLANTING SUMMARY (LOT 3A)

TREE No.	SHADE TREE SIZE	PLANTING SPACE (SF)	SHADE CREDIT (SF)
ST-39	L	248	354
ST-40	S	248	157
ST-41	S	248	157
ST-42	L	248	354
ST-43	S	248	157
ST-44	L	244	354
ST-45	L	>400	354
ST-46	L	>400	354
ST-47	L	204	707
ST-48	L	>400	707
ST-49	L	>400	707
ST-50	L	>400	707
ST-51	L	205	707
TOTAL AREA SHADED BY TREES IN VAA			5,776
TOTAL % VAA SHADED			37.86%

LOT 3 - OPTION A

E-3 Formula for Calculating 30% Shading of Vehicle Accommodation Areas (REWRITTEN 06/24/14)

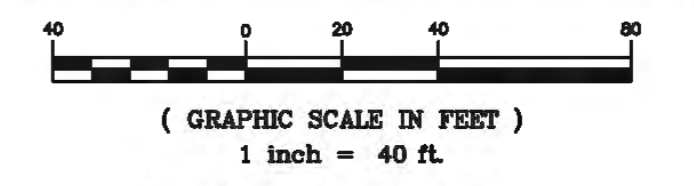
Following is an elementary formula for determining the number of shade trees required in and around parking lots in order to presumptively satisfy the shading requirements of Section 15-317.

- Calculate square footage of the vehicle accommodation area. Include parking spaces, driveways, loading areas, sidewalks, and other circulation areas. Do not include building area and any area which will remain completely undeveloped: **15,258 sq. ft.**
- Multiply: **15,258 sq. ft. x 30% = 4,577 sq. ft.**
- Areas to be shaded: **4,577 sq. ft.**
- Add: **0 sq. ft.**
- Area shaded by existing trees to be retained in and around the vehicle accommodation area: **0 sq. ft.**
- Area shaded by required screening trees, if any: **0 sq. ft.**
- Area shaded by required street trees, if any: **0 sq. ft.**
- Subtotal: **0 sq. ft.**
- (If line #7 is greater than line #3, then the shading requirement has been met. If not, go on to line #8)
- Enter the difference between line #7 and line #3: **4,577 sq. ft.**
- Divide line #8: **+ 707 = 6.473 trees**
- Total number of shade trees required within the vehicle accommodation area: **7 LARGE TREES**

***SEE SHADE TREE PLANTING SUMMARY**
 *Existing trees retained in compliance with Section 15-316 will be credited according to their actual crown radius. Shaded area may be calculated as follows:
 $3.14 \times (\text{crown radius})^2 = \text{shaded area}$

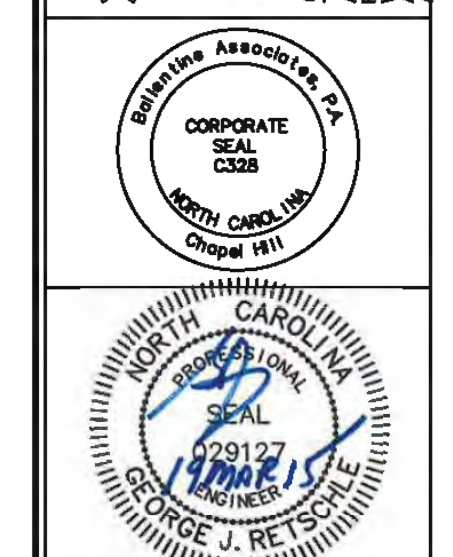
Trees planted within the vehicle accommodation area are credited with shading 207 sq. ft. (Based on a crown radius of 15'). New or existing trees on the perimeter of the parking lot are credited for having only half a crown over the vehicle accommodation area (e.g., new perimeter trees will be credited for shading 103.5 sq. ft.). Generally, all trees planted in compliance with the screening requirements of Article XIX, Part 1 and the street tree requirements of Section 15-315 will be considered perimeter trees. When smaller trees such as Dogwoods are planted, the credited shading area will be adjusted downward to 103.5 sq. ft. for interior trees and 157 sq. ft. for perimeter trees. (Based on a crown radius of 10 ft.) (REWRITTEN 06/24/14)

TREE SHADING PLAN - OPTION A



REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
 221 PRODUCE ROAD, CHAPEL HILL, NC 27514
 (919) 929-0481
 (919) 929-0481
 FAX: (919) 929-0481
 www.balentine.com



DATE

14 JUN 15
19 MAR 15

REVISIONS

NO.	DATE	PER TOWN OF CARBORO COMMENTS
1	14 JUN 15	PER FINAL TOWN OF CARBORO COMMENTS

OWNER INFORMATION
WOODHILL NC, LLC
 P.O. BOX 4022
 CHAPEL HILL, NC 27515

OWNER REPRESENTATIVE:
RUNTON WOODS
 PH: (919) 418-2121
 FAX: (919) 418-2121
 EMAIL: runtonwoods@gmail.com

ISSUED

21 NOV 14
14 JAN 15
19 MAR 15

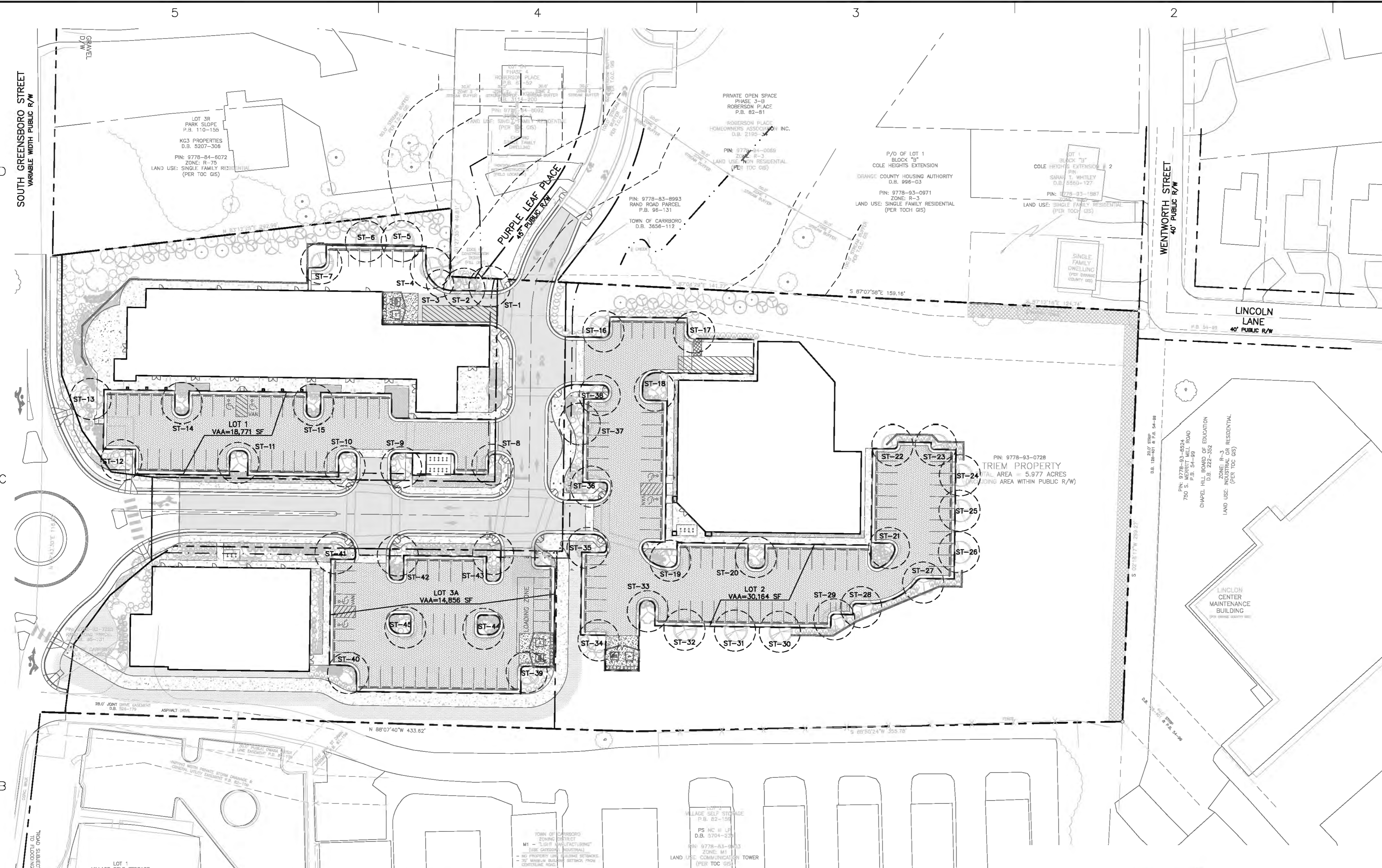
CUP SUBMITTAL #4

14 JAN 15
19 MAR 15

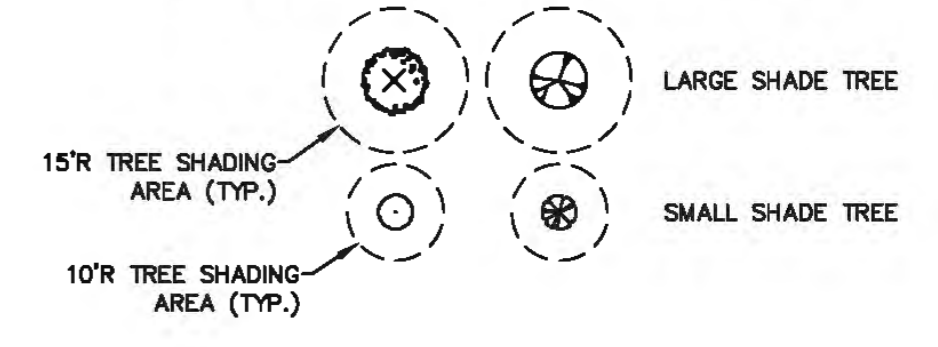
SOUTH GREEN (TRIEM)
CARRBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

JOB NUMBER: 114023.00
 DATE: 21 NOV 2014
 SCALE: AS NOTED
 DRAWN BY: S.R.M.
 REVIEWED BY: G.J.R.

SHEET TS01



SHADE TREE PLANTING LEGEND:



**LOT 1
30% Formula for Calculating 96% Shading of Vehicle Accommodation Areas (REWRITTEN 06/24/14)**

Following is an elementary formula for determining the number of shade trees required in and around parking lots in order to presumptively satisfy the shading requirements of Section 15-317.

- Calculate square footage of the vehicle accommodation area. Include parking spaces, driveways, loading areas, sidewalks, and other circulation areas. Do not include building area and any area which will remain completely undeveloped. **18,771 sq. ft.**
- Multiply by 30% shading requirement. **5,631 sq. ft.**
- Areas to be shaded: *****
- Area shaded by existing trees to be retained in and around the vehicle accommodation area.* **0 sq. ft.**
- Area shaded by required screening trees, if any.* **0 sq. ft.**
- Area shaded by required street trees, if any.* **0 sq. ft.**
- Subtotal: **0 sq. ft.**
(If line #7 is greater than line #3, then the shading requirement has been met. If not, go on to line #8)
- Enter the difference between line #7 and line #3: **5,631 sq. ft.**
- Divide line #8: **707 trees**
- Total number of shade trees required within the vehicle accommodation area: **707 trees**

*** SEE SHADE TREE PLANTING SUMMARY**
*Existing trees retained in compliance with Section 15-316 will be credited according to their actual crown radius. Shaded area may be calculated as follows:
 $3.14 \times (\text{crown radius})^2 = \text{shaded area}$

Trees planted within the vehicle accommodation area are credited with shading 207 sq. ft. (Based on a crown radius of 15'). New or existing trees on the perimeter of the parking lot are credited for having only half a crown over the vehicle accommodation area (e.g., new perimeter trees will be credited for shading 124 sq. ft.). Generally, all trees planted in compliance with the screening requirements of Article XIX, Part 1 and the street tree requirements of Section 15-315 will be considered perimeter trees. When smaller trees such as Dogwoods are planted, the credited shading area will be adjusted downward to 214 sq. ft. for interior trees and 157 sq. ft. for perimeter trees. (Based on a crown radius of 10 ft.) (REWRITTEN 06/24/14)

**LOT 2
30% Formula for Calculating 96% Shading of Vehicle Accommodation Areas (REWRITTEN 06/24/14)**

Following is an elementary formula for determining the number of shade trees required in and around parking lots in order to presumptively satisfy the shading requirements of Section 15-317.

- Calculate square footage of the vehicle accommodation area. Include parking spaces, driveways, loading areas, sidewalks, and other circulation areas. Do not include building area and any area which will remain completely undeveloped. **30,164 sq. ft.**
- Multiply by 30% shading requirement. **9,049 sq. ft.**
- Areas to be shaded: *****
- Area shaded by existing trees to be retained in and around the vehicle accommodation area.* **0 sq. ft.**
- Area shaded by required screening trees, if any.* **0 sq. ft.**
- Area shaded by required street trees, if any.* **0 sq. ft.**
- Subtotal: **0 sq. ft.**
(If line #7 is greater than line #3, then the shading requirement has been met. If not, go on to line #8)
- Enter the difference between line #7 and line #3: **9,049 sq. ft.**
- Divide line #8: **707 trees**
- Total number of shade trees required within the vehicle accommodation area: **707 trees**

*** SEE SHADE TREE PLANTING SUMMARY**
*Existing trees retained in compliance with Section 15-316 will be credited according to their actual crown radius. Shaded area may be calculated as follows:
 $3.14 \times (\text{crown radius})^2 = \text{shaded area}$

Trees planted within the vehicle accommodation area are credited with shading 207 sq. ft. (Based on a crown radius of 15'). New or existing trees on the perimeter of the parking lot are credited for having only half a crown over the vehicle accommodation area (e.g., new perimeter trees will be credited for shading 124 sq. ft.). Generally, all trees planted in compliance with the screening requirements of Article XIX, Part 1 and the street tree requirements of Section 15-315 will be considered perimeter trees. When smaller trees such as Dogwoods are planted, the credited shading area will be adjusted downward to 214 sq. ft. for interior trees and 157 sq. ft. for perimeter trees. (Based on a crown radius of 10 ft.) (REWRITTEN 06/24/14)

**LOT 3B - OPTION B
30% Formula for Calculating 96% Shading of Vehicle Accommodation Areas (REWRITTEN 06/24/14)**

Following is an elementary formula for determining the number of shade trees required in and around parking lots in order to presumptively satisfy the shading requirements of Section 15-317.

- Calculate square footage of the vehicle accommodation area. Include parking spaces, driveways, loading areas, sidewalks, and other circulation areas. Do not include building area and any area which will remain completely undeveloped. **14,816 sq. ft.**
- Multiply by 30% shading requirement. **4,445 sq. ft.**
- Areas to be shaded: *****
- Area shaded by existing trees to be retained in and around the vehicle accommodation area.* **0 sq. ft.**
- Area shaded by required screening trees, if any.* **0 sq. ft.**
- Area shaded by required street trees, if any.* **0 sq. ft.**
- Subtotal: **0 sq. ft.**
(If line #7 is greater than line #3, then the shading requirement has been met. If not, go on to line #8)
- Enter the difference between line #7 and line #3: **4,445 sq. ft.**
- Divide line #8: **707 trees**
- Total number of shade trees required within the vehicle accommodation area: **707 trees**

*** SEE SHADE TREE PLANTING SUMMARY**
*Existing trees retained in compliance with Section 15-316 will be credited according to their actual crown radius. Shaded area may be calculated as follows:
 $3.14 \times (\text{crown radius})^2 = \text{shaded area}$

Trees planted within the vehicle accommodation area are credited with shading 207 sq. ft. (Based on a crown radius of 15'). New or existing trees on the perimeter of the parking lot are credited for having only half a crown over the vehicle accommodation area (e.g., new perimeter trees will be credited for shading 124 sq. ft.). Generally, all trees planted in compliance with the screening requirements of Article XIX, Part 1 and the street tree requirements of Section 15-315 will be considered perimeter trees. When smaller trees such as Dogwoods are planted, the credited shading area will be adjusted downward to 214 sq. ft. for interior trees and 157 sq. ft. for perimeter trees. (Based on a crown radius of 10 ft.) (REWRITTEN 06/24/14)

SHADE TREE PLANTING SUMMARY (LOT 1)

TREE No.	SHADE TREE SIZE	PLANTING SPACE (SF)	SHADE CREDIT (SF)
ST-1	L	>400	354
ST-2	L	>400	354
ST-3	S	>400	157
ST-4	L	>400	354
ST-5	L	>400	354
ST-6	L	>400	354
ST-7	L	210	707
ST-8	L	>400	707
ST-9	L	223	354
ST-10	L	>400	707
ST-11	L	>400	707
ST-12	L	>400	354
ST-13	L	>400	354
ST-14	L	309	707
ST-15	L	309	707
TOTAL AREA SHADED BY TREES IN VAA			7,231
TOTAL % VAA SHADED			38.82%

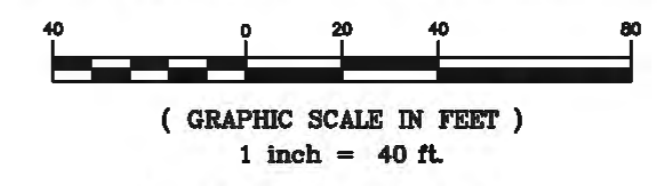
SHADE TREE PLANTING SUMMARY (LOT 2)

TREE No.	SHADE TREE SIZE	PLANTING SPACE (SF)	SHADE CREDIT (SF)
ST-16	L	>400	707
ST-17	L	>400	707
ST-18	L	338	707
ST-19	L	255	707
ST-20	L	207	707
ST-21	L	254	707
ST-22	L	>400	354
ST-23	L	>400	354
ST-24	L	>400	354
ST-25	L	>400	354
ST-26	L	>400	354
ST-27	L	>400	354
ST-28	L	>400	707
ST-29	L	>400	707
ST-30	L	>400	354
ST-31	L	>400	354
ST-32	L	>400	354
ST-33	L	>400	707
ST-34	L	>400	354
ST-35	L	>400	707
ST-36	L	309	707
ST-37	L	309	354
ST-38	L	309	707
TOTAL AREA SHADED BY TREES IN VAA			12,378
TOTAL % VAA SHADED			41.04%

SHADE TREE PLANTING SUMMARY (LOT 3B)

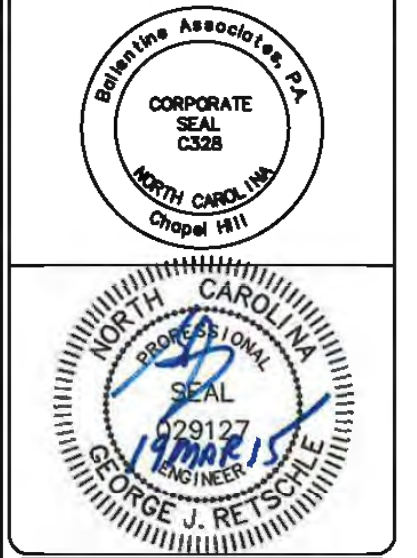
TREE No.	SHADE TREE SIZE	PLANTING SPACE (SF)	SHADE CREDIT (SF)
ST-39	L	392	707
ST-40	L	>400	707
ST-41	L	>400	707
ST-42	L	>400	707
ST-43	L	>400	707
ST-44	L	204	707
ST-45	L	204	707
TOTAL AREA SHADED BY TREES IN VAA			4,949
TOTAL % VAA SHADED			33.31%

TREE SHADING PLAN - OPTION B



**REVIEW DRAWING
NOT FOR CONSTRUCTION**

BALLENTINE ASSOCIATES PA
221 PRODUCE ROAD, CHAPEL HILL, NC 27514
(919) 829-0481
www.ballentine.com



DATE
14 JAN 15
19 MAR 15

REVISIONS

NO.	DATE	PER TOWN OF CARROBORO COMMENTS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

OWNER INFORMATION
WOODHILL NC, LLC
P.O. BOX 4022
CHAPEL HILL, NC 27515

OWNER REPRESENTATIVE:
RUYTON WOODS
PH: (919) 418-2121
FAX: (919) 418-2121
EMAIL: ruytonwoods@gmail.com

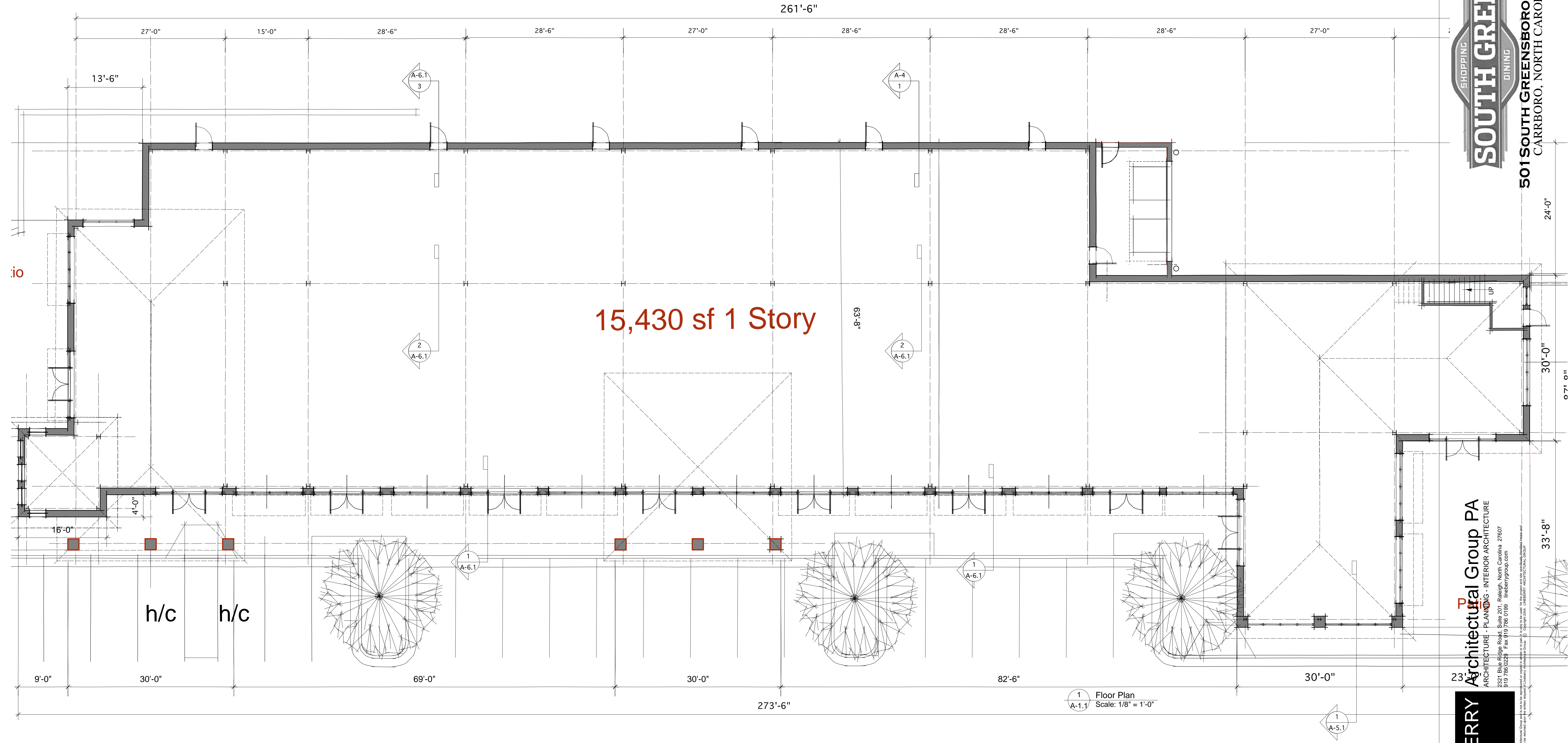
ISSUED

NO.	DATE	CUP SUBMITTAL #	FINAL CUP SUBMITTAL
1	21 NOV 14		
2	14 JAN 15		
3	19 MAR 15		
4			
5			
6			
7			
8			
9			
10			

SOUTH GREEN (TRIEIM)
CARROBORO, NORTH CAROLINA
CONDITIONAL USE PERMIT

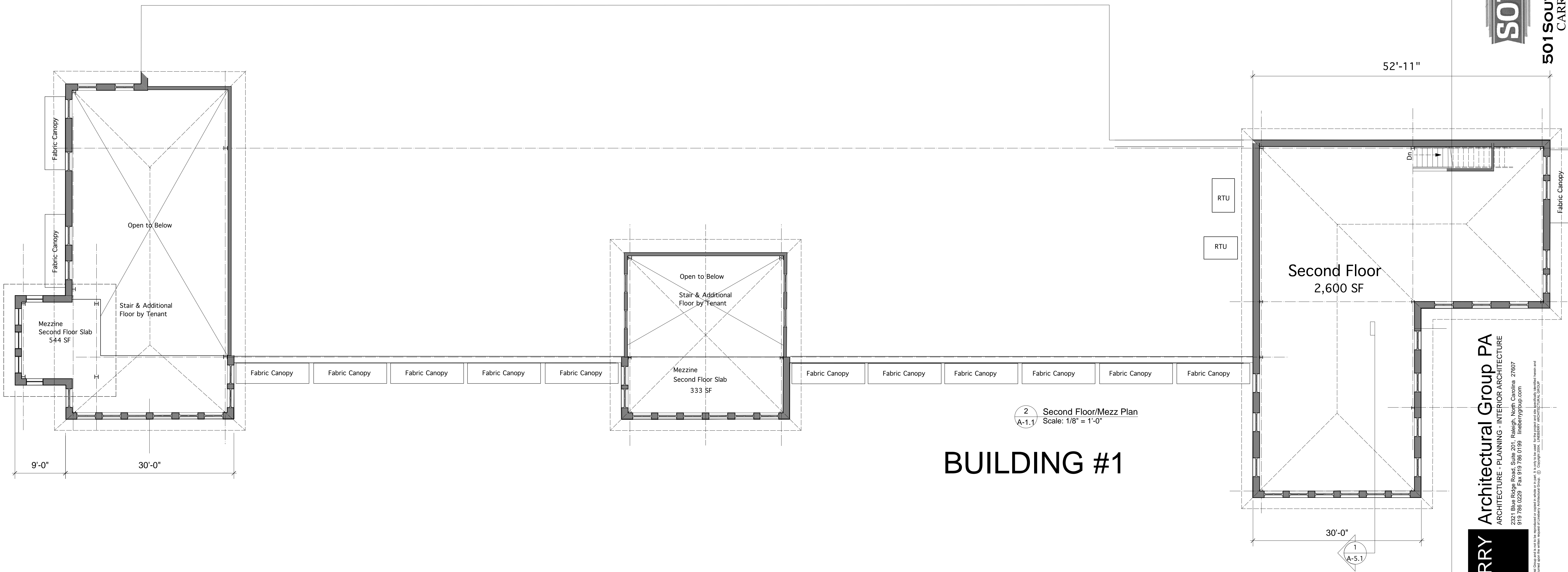
JOB NUMBER: 114023.00
DATE: 21 NOV 2014
SCALE: AS NOTED
DRAWN BY: S.R.M.
REVIEWED BY: G.J.R.

**SHEET
TS02**



15,430 sf 1 Story

1 Floor Plan
A-1.1 Scale: 1/8" = 1'-0"



2 Second Floor/Mezz Plan
 A-1.1 Scale: 1/8" = 1'-0"

BUILDING #1

SHOPPING
SOUTH GREEN
 DINING
501 SOUTH GREENSBORO STREET
 CARRBORO, NORTH CAROLINA

LINEBERRY
 Architectural Group PA
 ARCHITECTURE - PLANNING - INTERIOR ARCHITECTURE
 2321 Blue Ridge Road, Suite 201, Raleigh, North Carolina 27607
 919 786 0229 Fax 919 786 0199 lineberrygroup.com

Project Number : 1330.1
 Drawn By: T.J.L.
 Date: 18 Nov 2014

A-2.1

EXTERIOR FINISHES:

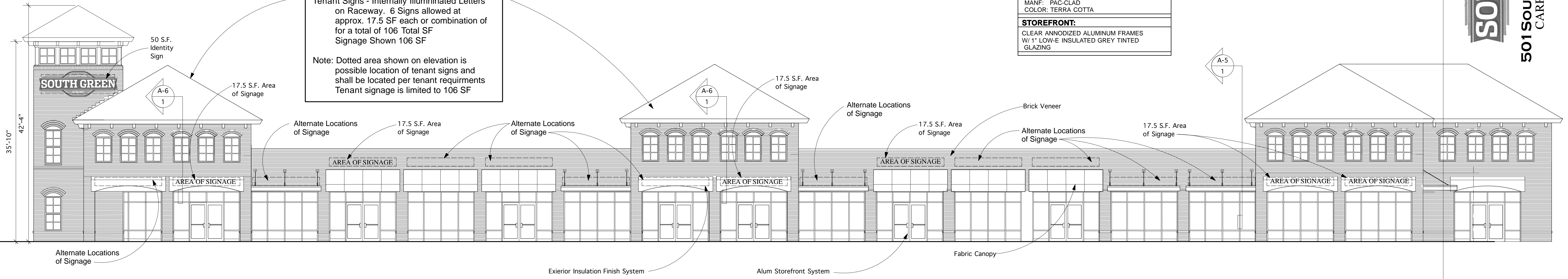
BRICK # 1: FIELD BRICK
MANF: BORAL
COLOR: FULL RANGE (WIRECUT MODULAR)
BRICK # 2: ACCENT BRICK
MANF: BORAL
COLOR: RED (WIRECUT MODULAR)
EIFS #1:
MANF: DRYVIT
COLOR: CHINA WHITE (SAND PEBBLE FINE)
BREAK METAL CAP FLASHING:
24 GA ALUMINUM
MANF: PAC-GLAD
COLOR: TERRA COTTA
STOREFRONT:
CLEAR ANNOIDIZED ALUMINUM FRAMES
W/ 1" LOW-E INSULATED GREY TINTED GLAZING

**Lot One - Building One
West Side Signage**

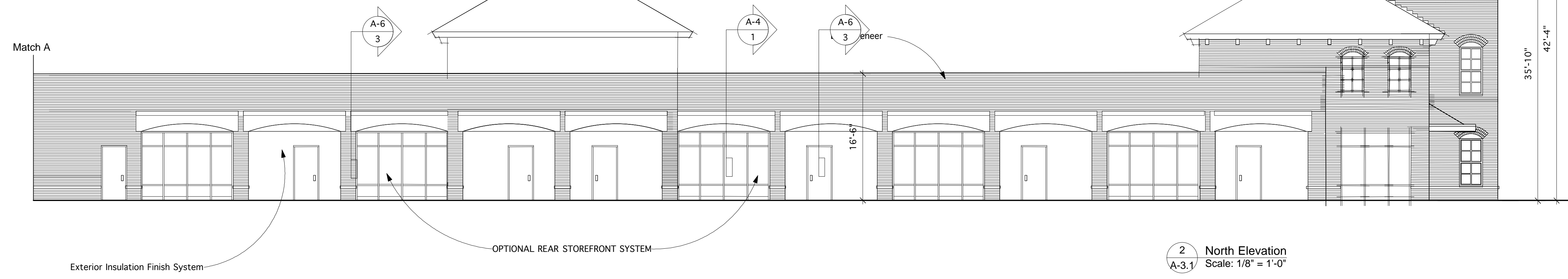
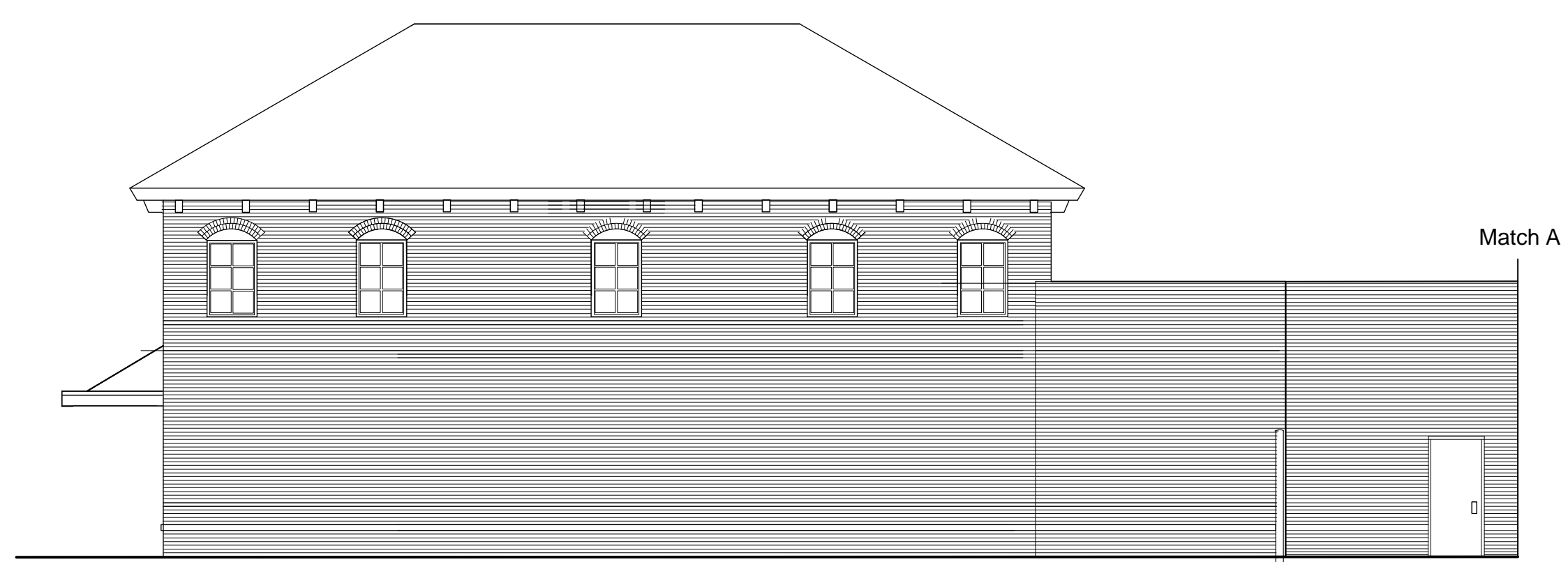
South Side Frontage = 148 LF
Sign Allowance = 156 SF

Signage Type:
Identity Sign - Internally Illuminated Sign as shown. 50 SF max
Tenant Signs - Internally Illuminated Letters on Raceway. 6 Signs allowed at approx. 17.5 SF each or combination of for a total of 106 Total SF Signage Shown 106 SF

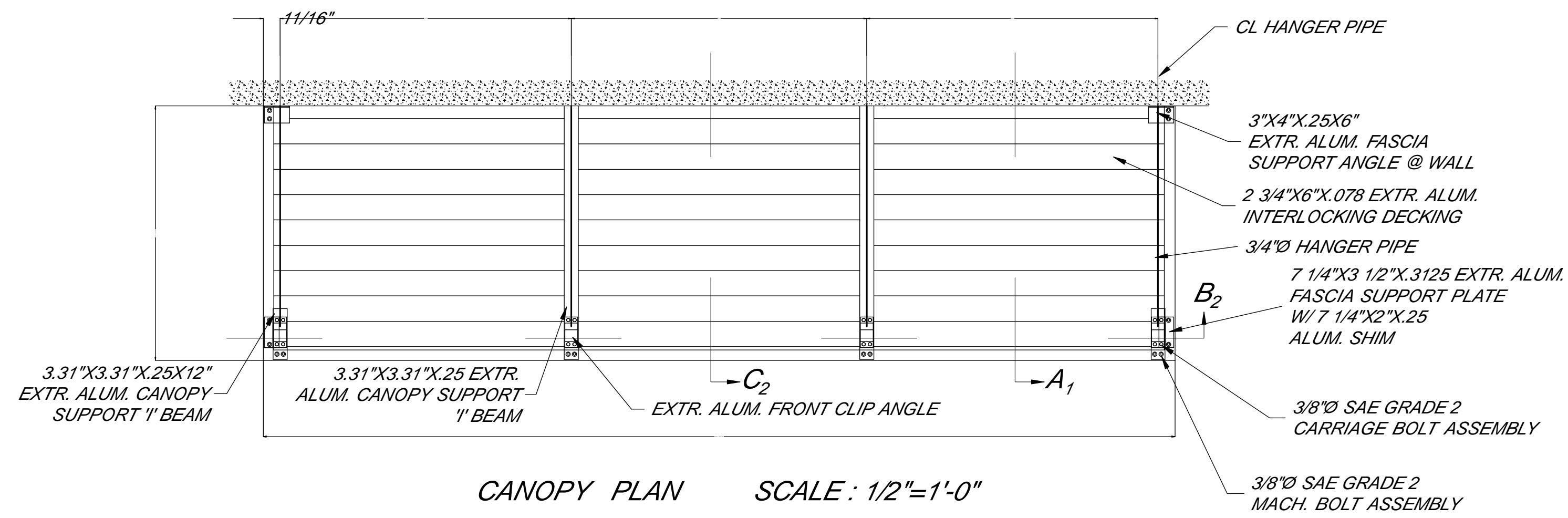
Note: Dotted area shown on elevation is possible location of tenant signs and shall be located per tenant requirements
Tenant signage is limited to 106 SF



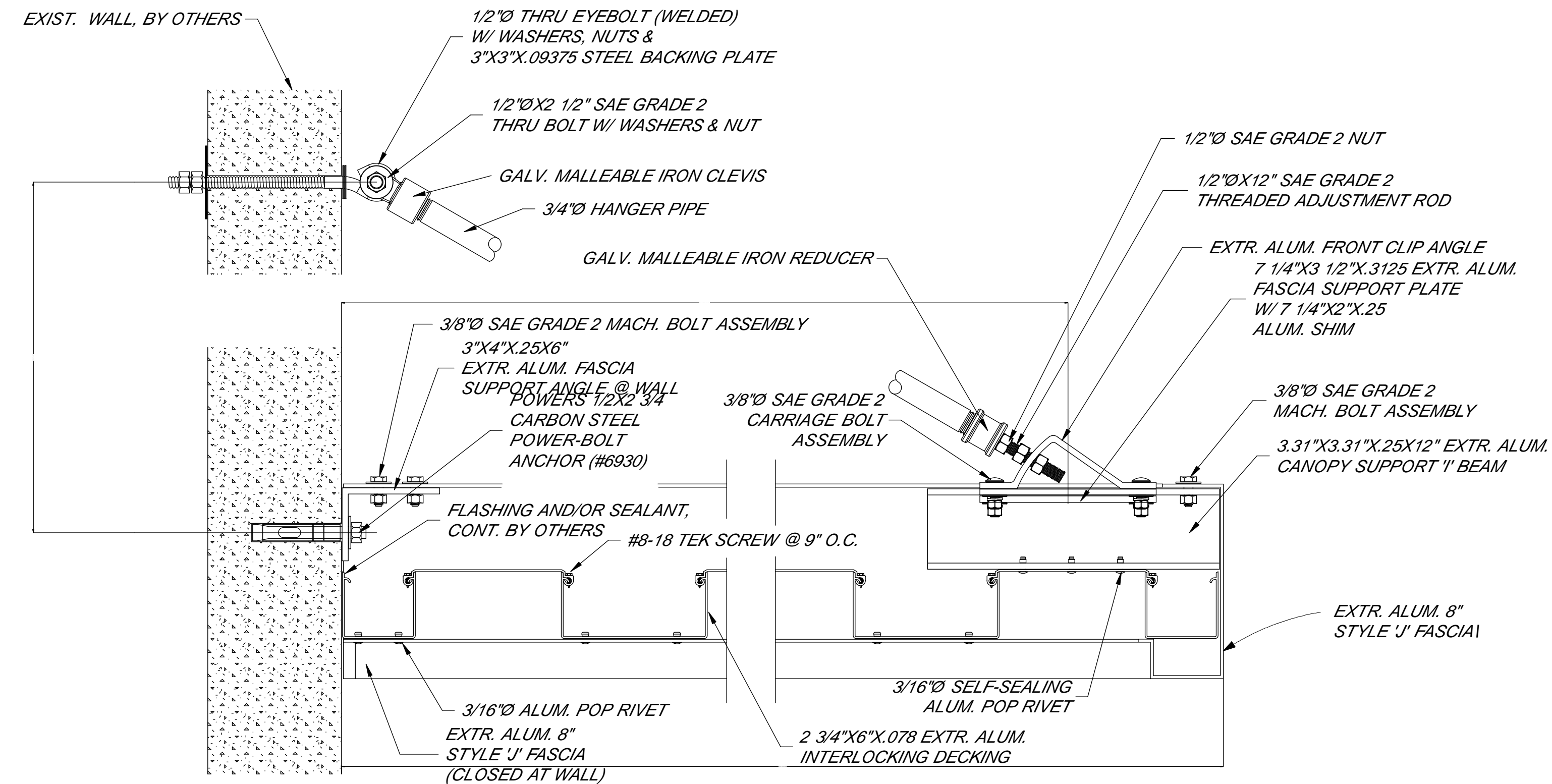
1 South Elevation
Scale: 1/8" = 1'-0"



2 North Elevation
Scale: 1/8" = 1'-0"



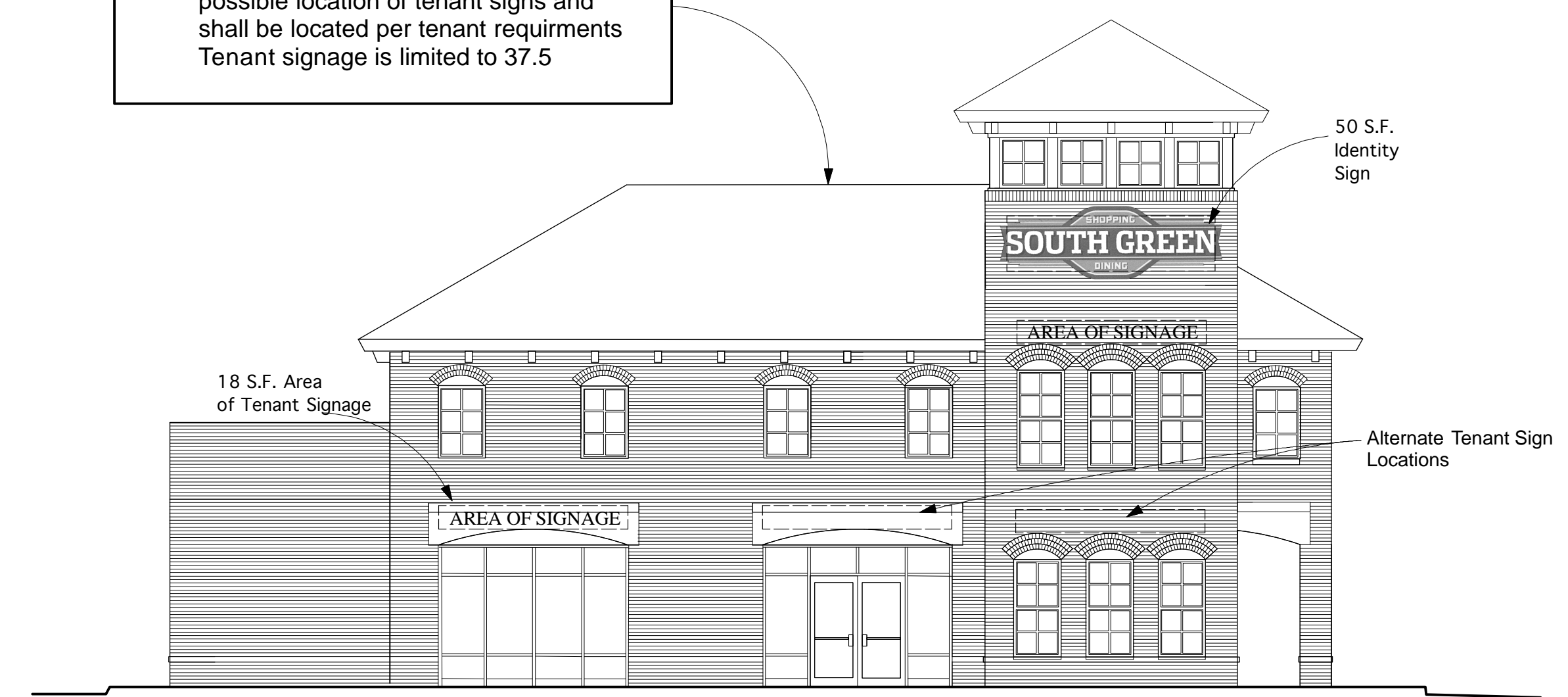
NOTES:
 FINISH SHALL BE CLEAR ANODIZED
 VERIFY ALL DIMENSIONS
 FLASHING & SEALANT, CONT. BY OTHERS
 ALL FASTENER HOLES NOT OTHERWISE NOTED TO BE FIELD DRILLED
 ALL FASTENERS NOT OTHERWISE NOTED ARE CADMIUM PLATED FERROUS OR ALUMINUM



SECTION A SCALE: 3"=1'-0"
 3 Alumn Canopy Detail
 A-4.1 Scale: 3" = 1'-0"

Lot One - Building One West Side Signage
 West Side Frontage = 172 LF
 Sign Allowance = 87.5 SF
 Signage Type:
 Identity Sign - Internally Illuminated Sign as shown. 50 SF max
 Tenant Sign - Internally Illuminated Letters on Raceway. 2 Signs allowed at approx. 18 SF each for a total of 37.5
 Total SF Signage Shown 87.5 SF
 Note: Dotted area shown on elevation is possible location of tenant signs and shall be located per tenant requirements
 Tenant signage is limited to 37.5

Lot One - Building One East Side Signage
 West Side Frontage = 148 LF
 Sign Allowance = 74 SF
 ATM -24 SF
 Building Signage 50 SF Allowed
 Signage Type:
 Tenant Sign - Internally Illuminated Letters on Raceway. 2 Signs allowed at approx. 25 SF each for a total of 50 SF
 ATM Signage on Lot One 24 SF
 Total SF Signage w/ ATM 74 SF
 Note: Dotted area shown on elevation is possible location of tenant signs and shall be located per tenant requirements
 Tenant signage is limited to 50 SF



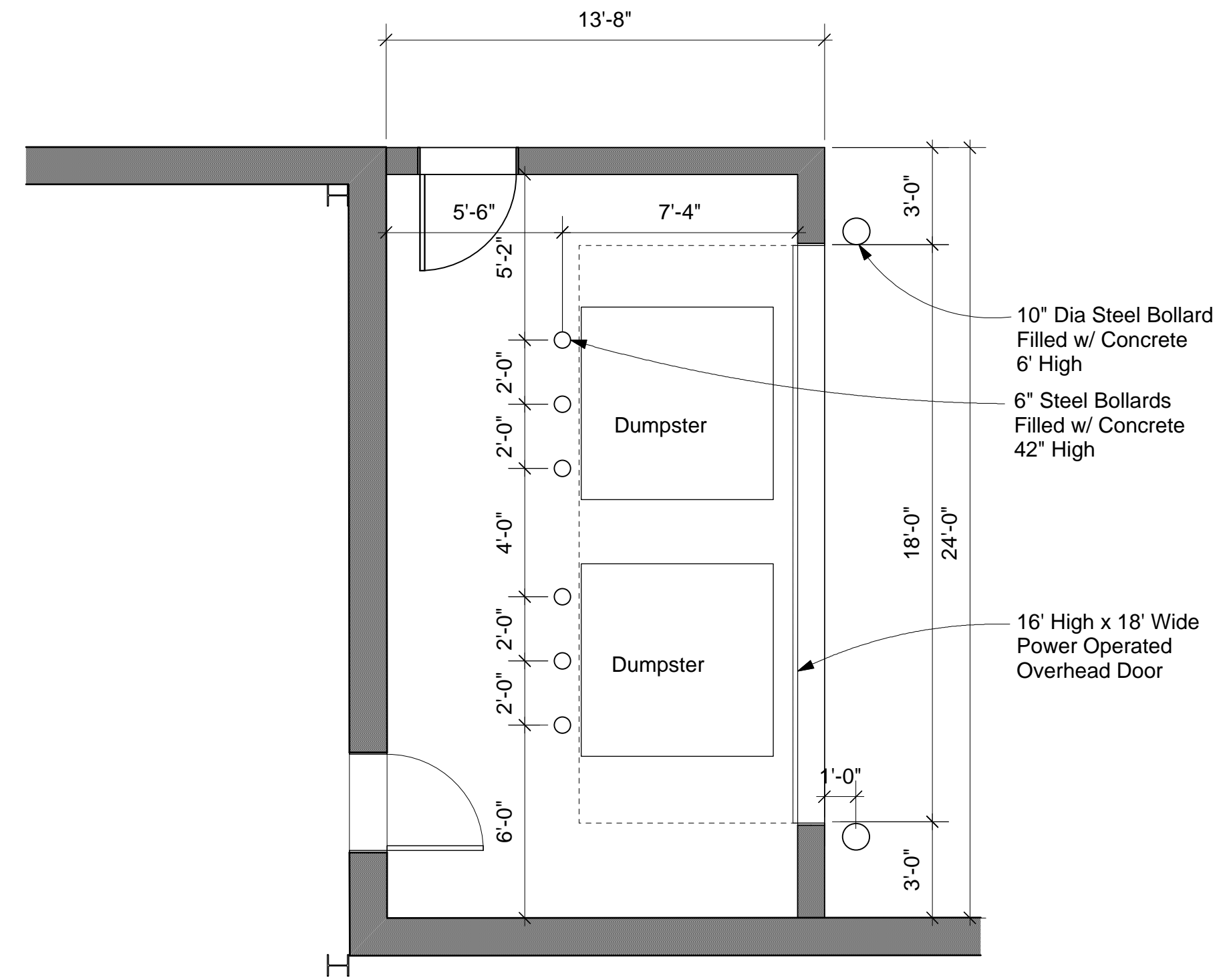
2 Front Elevation
 A-4.1 Scale: 1/8" = 1'-0"



1 East Elevation
 A-4.1 Scale: 1/8" = 1'-0"

BUILDING #1

A-4.1

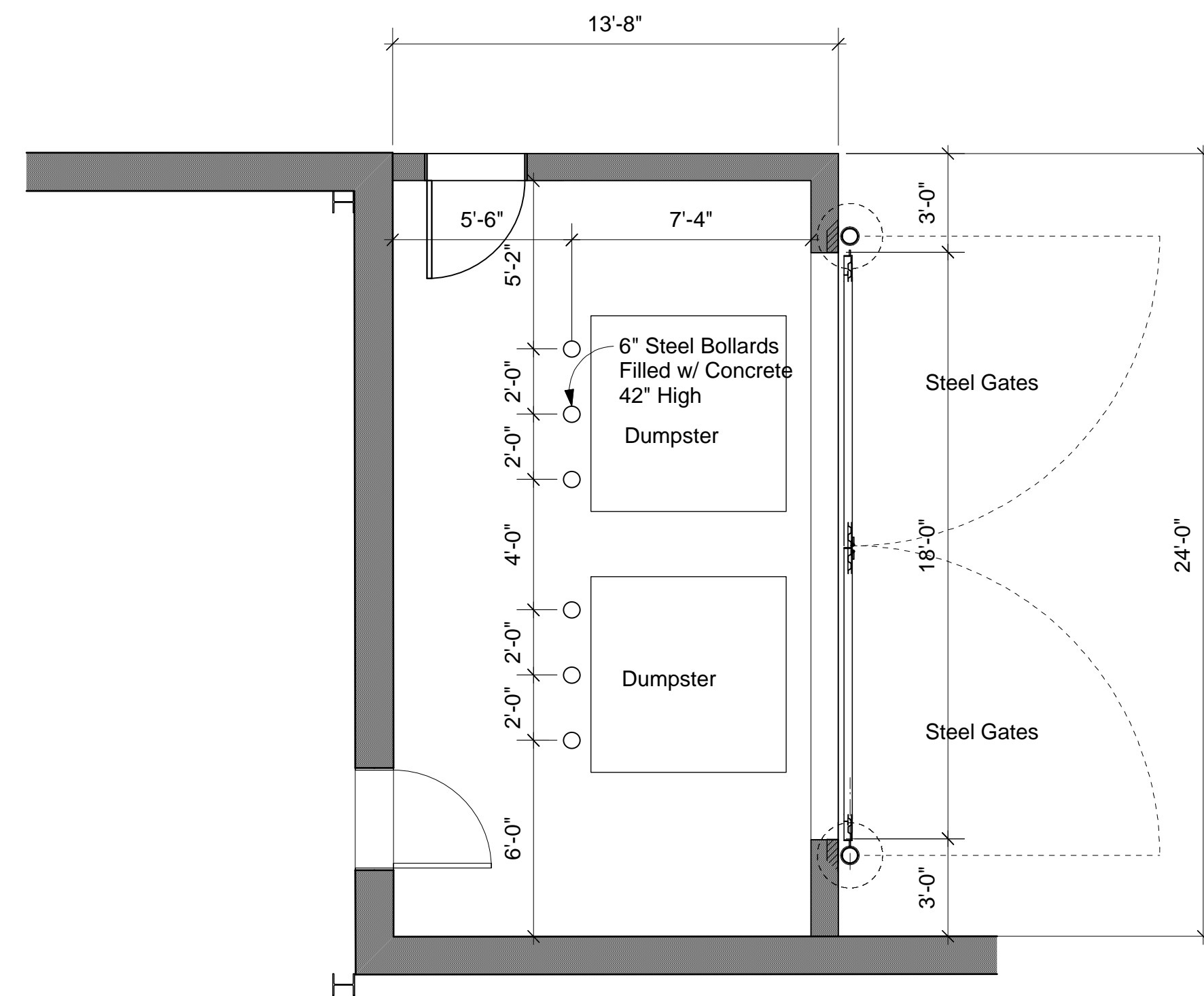


1 Dumpster Overhead Door Plan Option 1
A-7.1 Scale: 1/4" = 1'-0"

Option #1

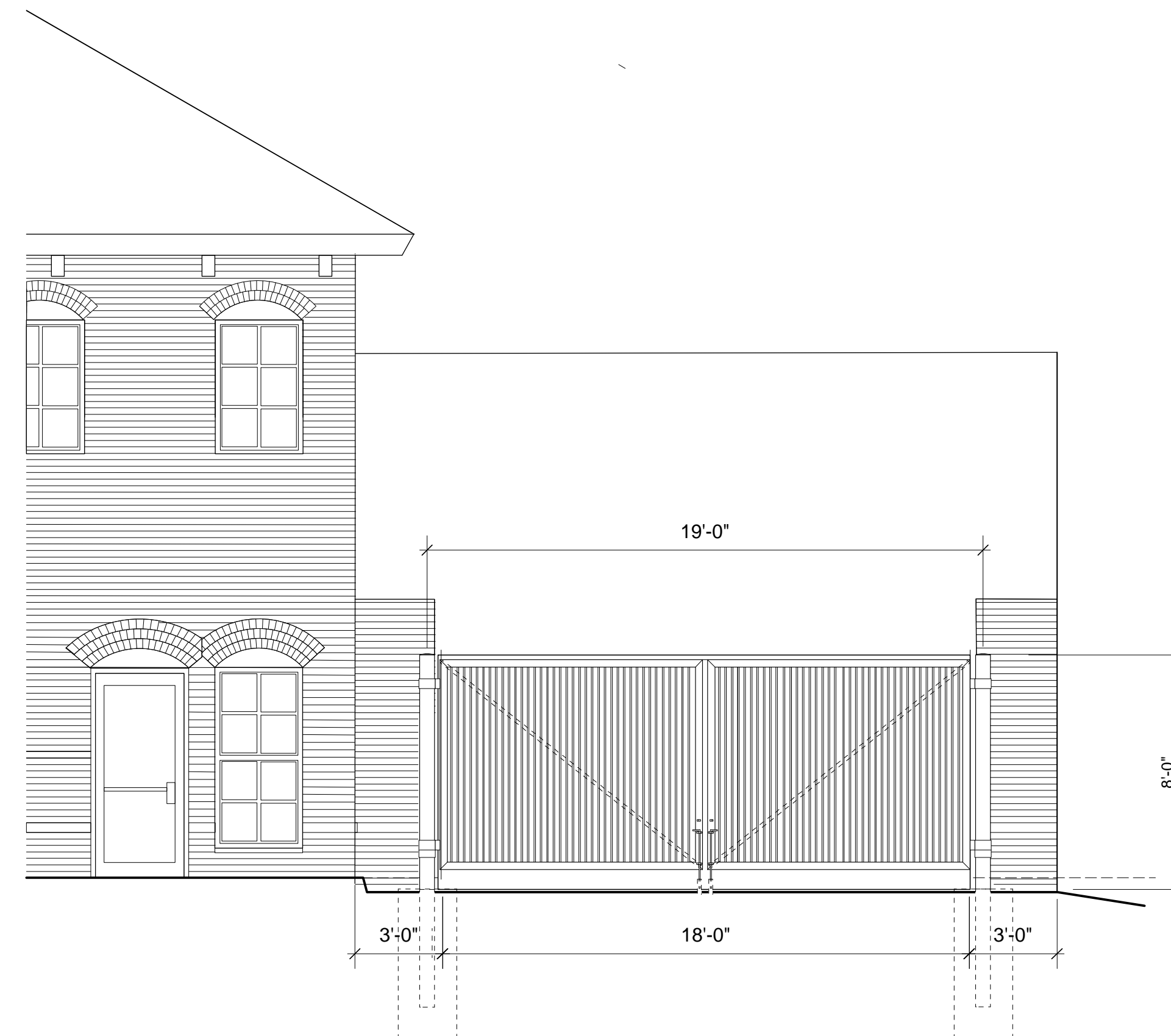


2 Dumpster Overhead Door Elevation Option 1
A-7.1 Scale: 1/4" = 1'-0"



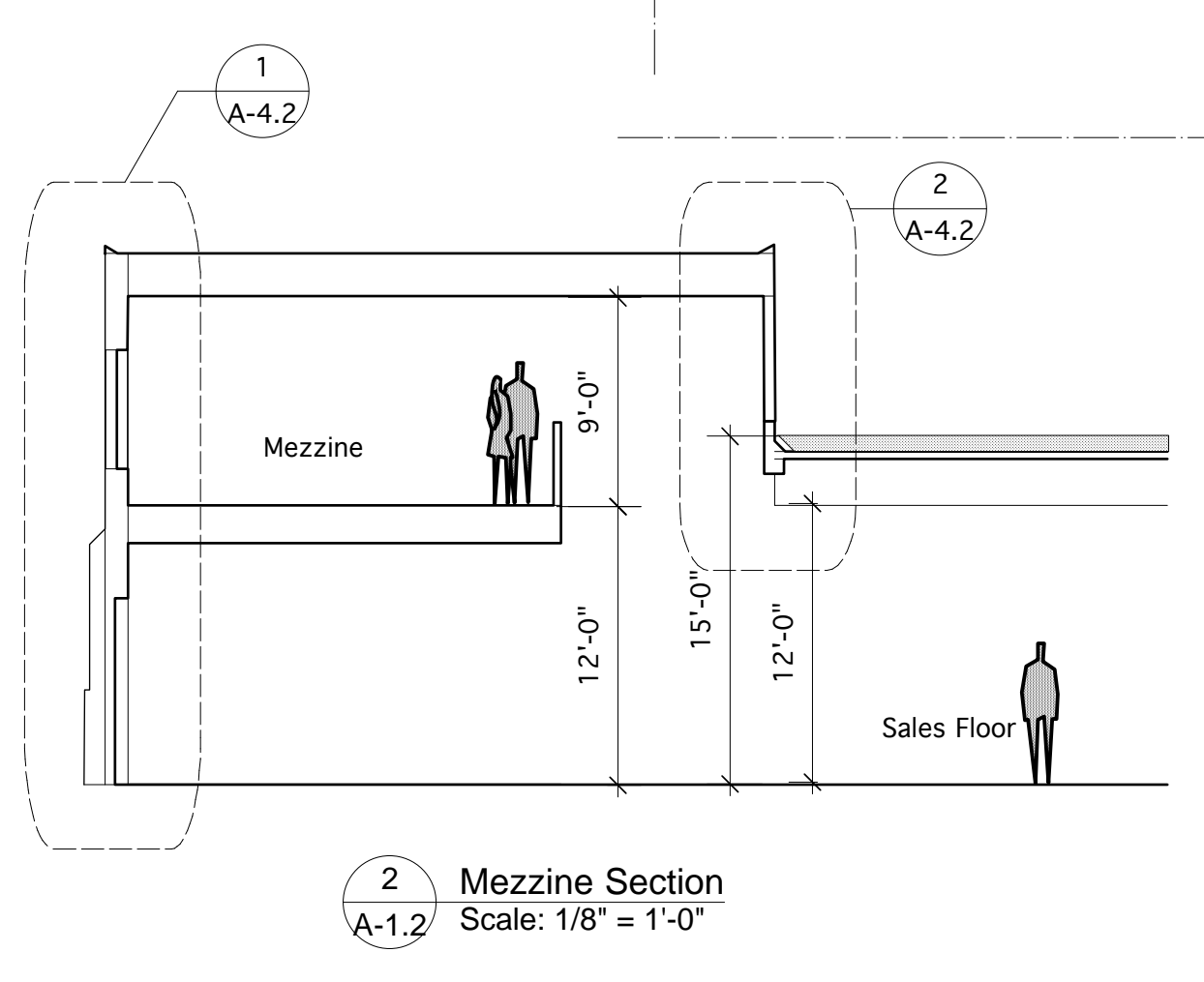
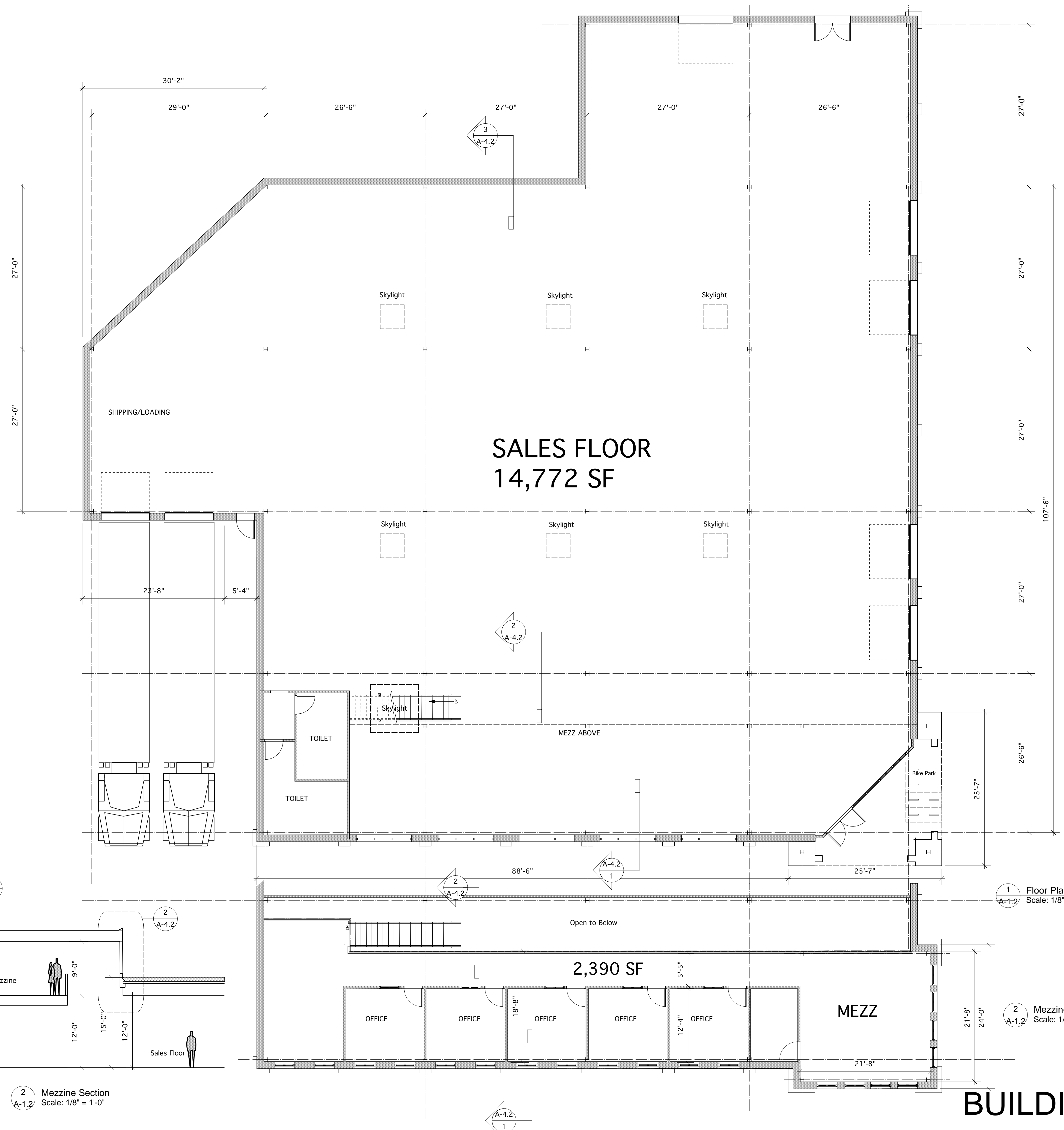
3 Dumpster Gate Plan Option 2
A-7.1 Scale: 1/4" = 1'-0"

Option #2



4 Dumpster Gate Elevation Option 2
A-7.1 Scale: 1/4" = 1'-0"

BUILDING 1 DUMPSTER SCREEN



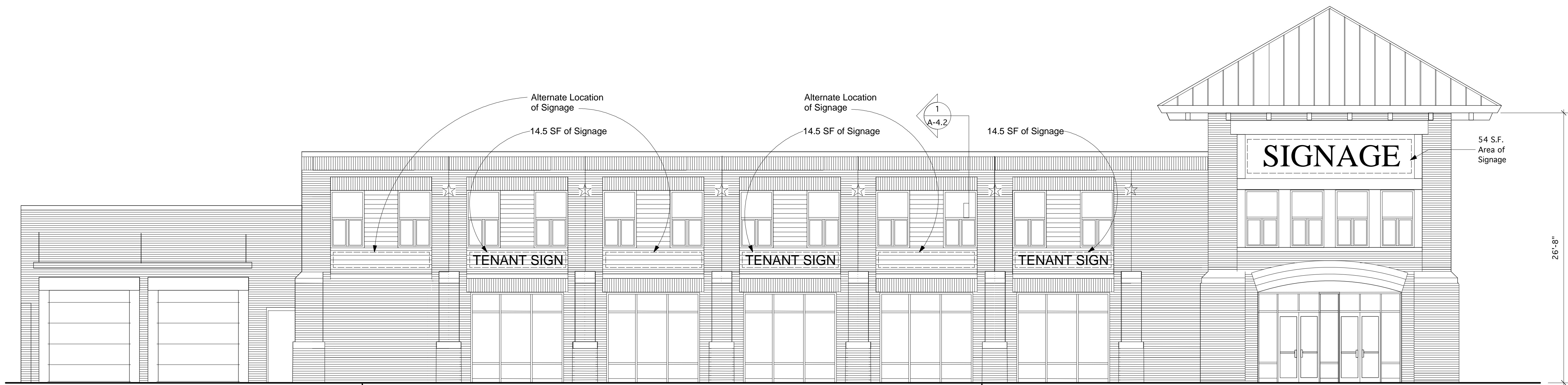
1 Floor Plan
A-1.2 Scale: 1/8" = 1'-0"

2 Mezzanine Floor Plan
A-1.2 Scale: 1/8" = 1'-0"

2 Mezzanine Section
A-1.2 Scale: 1/8" = 1'-0"

BUILDING #2

A-1.2



**Lot Two - Building Two
West Side Signage**

West Side Frontage = 195 LF
Sign Allowance = 97.5 SF

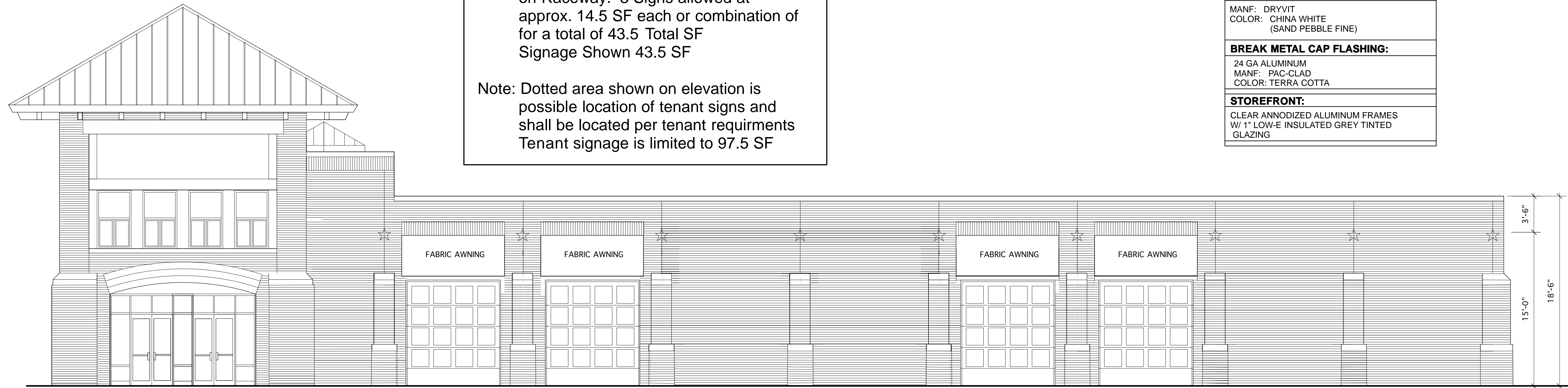
Signage Type:
Identity Sign/Tenant - Internally Illuminated Sign
or Letters on Raceway 54 SF max
Tenant Signs - Internally Illuminated Letters
on Raceway. 3 Signs allowed at
approx. 14.5 SF each or combination of
for a total of 43.5 Total SF
Signage Shown 43.5 SF

Note: Dotted area shown on elevation is
possible location of tenant signs and
shall be located per tenant requirements
Tenant signage is limited to 97.5 SF

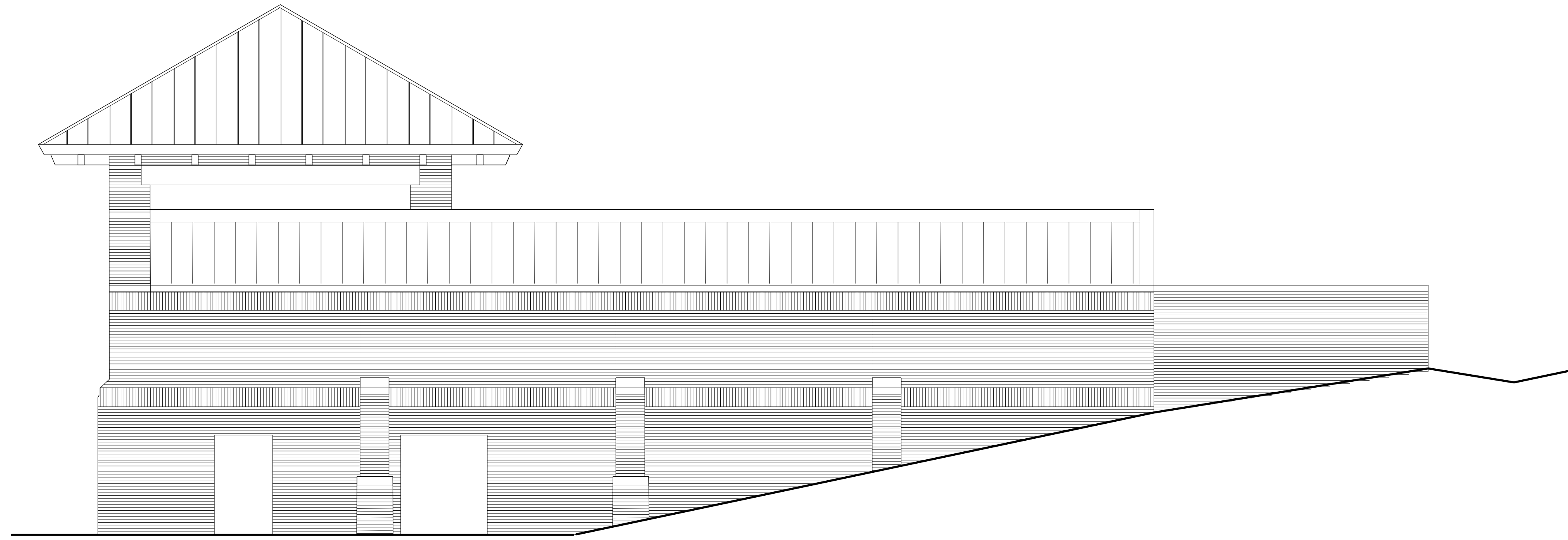
1 Front Elevation
Scale: 3/16" = 1'-0"

EXTERIOR FINISHES:

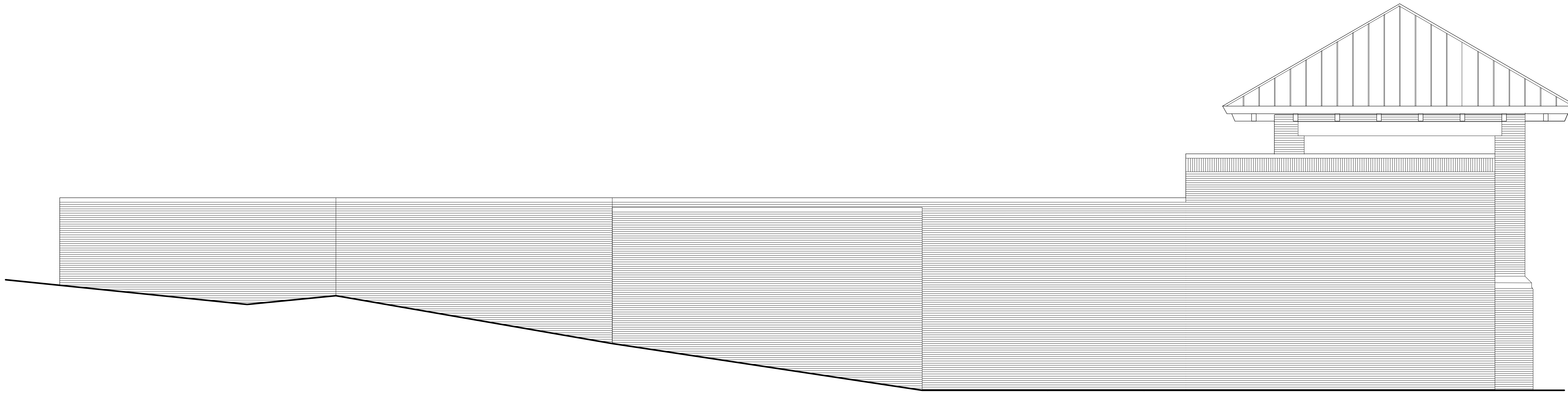
BRICK # 1: FIELD BRICK
MANF: BORAL COLOR: FULL RANGE (WIRECUT MODULAR)
BRICK # 2: ACCENT BRICK
MANF: BORAL COLOR: RED (WIRECUT MODULAR)
WOOD SIDING
MANF: RECLAIMED WOOD COLOR: NATURAL FINISH
EIFS #1:
MANF: DRYVIT COLOR: CHINA WHITE (SAND PEBBLE FINE)
BREAK METAL CAP FLASHING:
24 GA ALUMINUM MANF: PAC-CLAD COLOR: TERRA COTTA
STOREFRONT:
CLEAR ANNOIDIZED ALUMINUM FRAMES W/ 1" LOW-E INSULATED GREY TINTED GLAZING



2 Parking Side Elevation
Scale: 3/16" = 1'-0"



1 Side Elevation
A-4.2 Scale: 3/16" = 1'-0"



2 Side Elevation
A-4.2 Scale: 3/16" = 1'-0"

BUILDING #2

LINEBERRY

Architectural Group PA

ARCHITECTURE - PLANNING - INTERIOR ARCHITECTURE

2321 Blue Ridge Road, Suite 201, Raleigh, North Carolina 27607
919 786 0220 Fax 919 786 0199 lineberrygroup.com

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Project Number : 1330.1
Drawn By: T.J.L.
Date: 18 Nov 2014
7 Jan 2014

SHOPPING
SOUTH GREEN
DINING

501 SOUTH GREENSBORO STREET
CARBORO, NORTH CAROLINA

A-4.2



SALES FLOOR
14,772 SF

1 Floor Plan
A-1.2 Scale: 1/8" = 1'-0"

BUILDING #2a

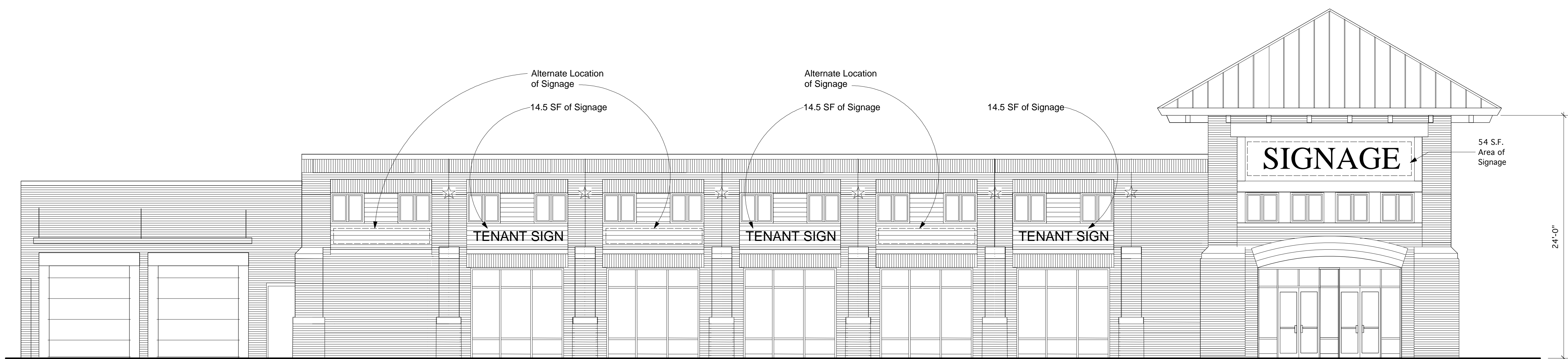
LINEBERRY

Architectural Group PA
ARCHITECTURE · PLANNING · INTERIOR ARCHITECTURE
2321 Blue Ridge Road, Suite 201, Raleigh, North Carolina 27607
919 786 0228 Fax 919 786 0199 lineberrygroup.com

Project Number : 1330.2
Drawn By: T.J.L.
Date: 18 Nov 2014

SOUTH GREEN
SHOPPING
DINING
501 SOUTH GREENSBORO STREET
CARRBORO, NORTH CAROLINA

A-1.2a



**Lot Two - Building Two
West Side Signage**

West Side Frontage = 195 LF
Sign Allowance = 97.5 SF

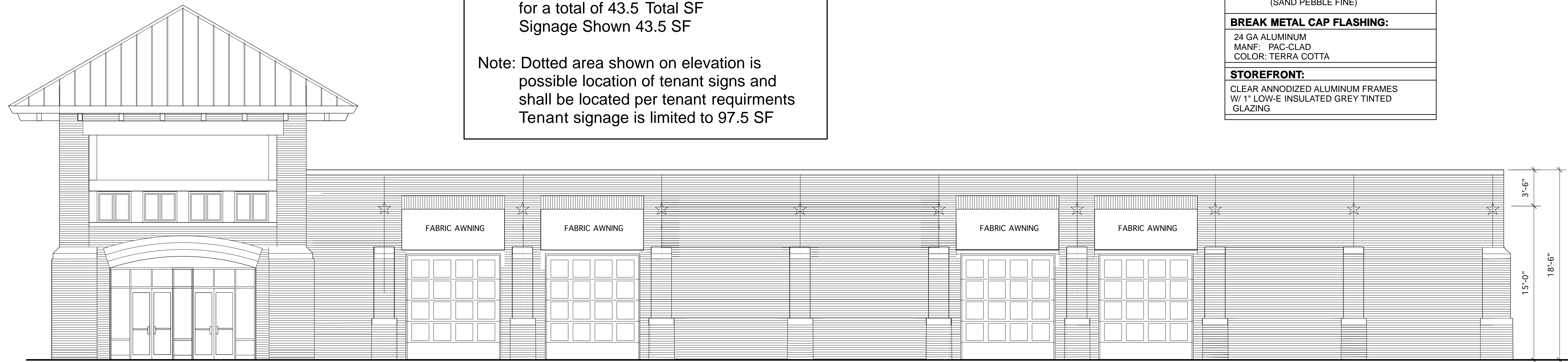
Signage Type:
Identity Sign/Tenant - Internally Illuminated Sign
or Letters on Raceway 54 SF max
Tenant Signs - Internally Illuminated Letters
on Raceway. 3 Signs allowed at
approx. 14.5 SF each or combination of
for a total of 43.5 Total SF
Signage Shown 43.5 SF

Note: Dotted area shown on elevation is
possible location of tenant signs and
shall be located per tenant requirements
Tenant signage is limited to 97.5 SF

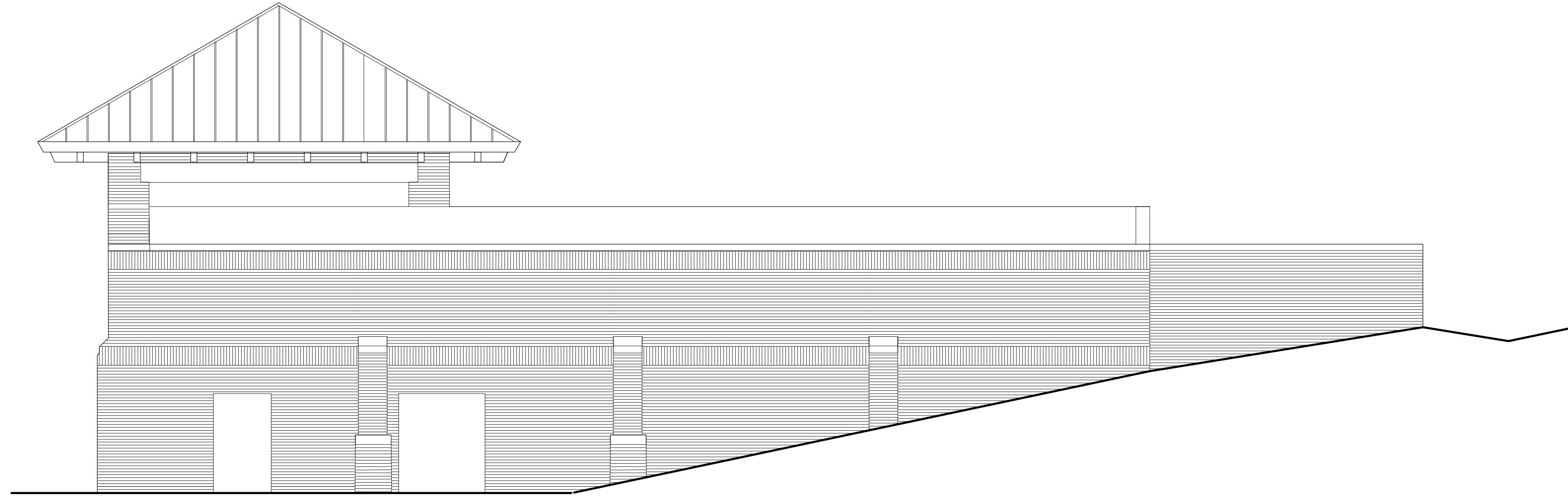
1 Front Elevation
A-3.2 Scale: 3/16" = 1'-0"

EXTERIOR FINISHES:

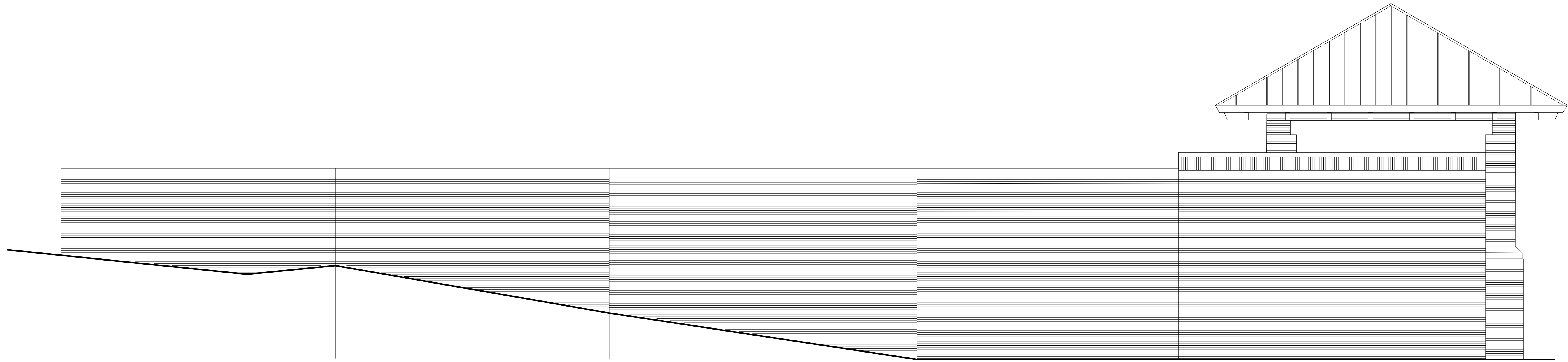
BRICK # 1: FIELD BRICK
MANF: BORAL COLOR: FULL RANGE (WIRECUT MODULAR)
BRICK # 2: ACCENT BRICK
MANF: BORAL COLOR: RED (WIRECUT MODULAR)
WOOD SIDING
MANF: RECLAIMED WOOD COLOR: NATURAL FINISH
EIFS #1:
MANF: DRYVIT COLOR: CHINA WHITE (SAND PEBBLE FINE)
BREAK METAL CAP FLASHING:
24 GA ALUMINUM MANF: PAC-CLAD COLOR: TERRA COTTA
STOREFRONT:
CLEAR ANNOIDIZED ALUMINUM FRAMES W/ 1" LOW-E INSULATED GREY TINTED GLAZING



2 Parking Side Elevation
A-3.2 Scale: 3/16" = 1'-0"

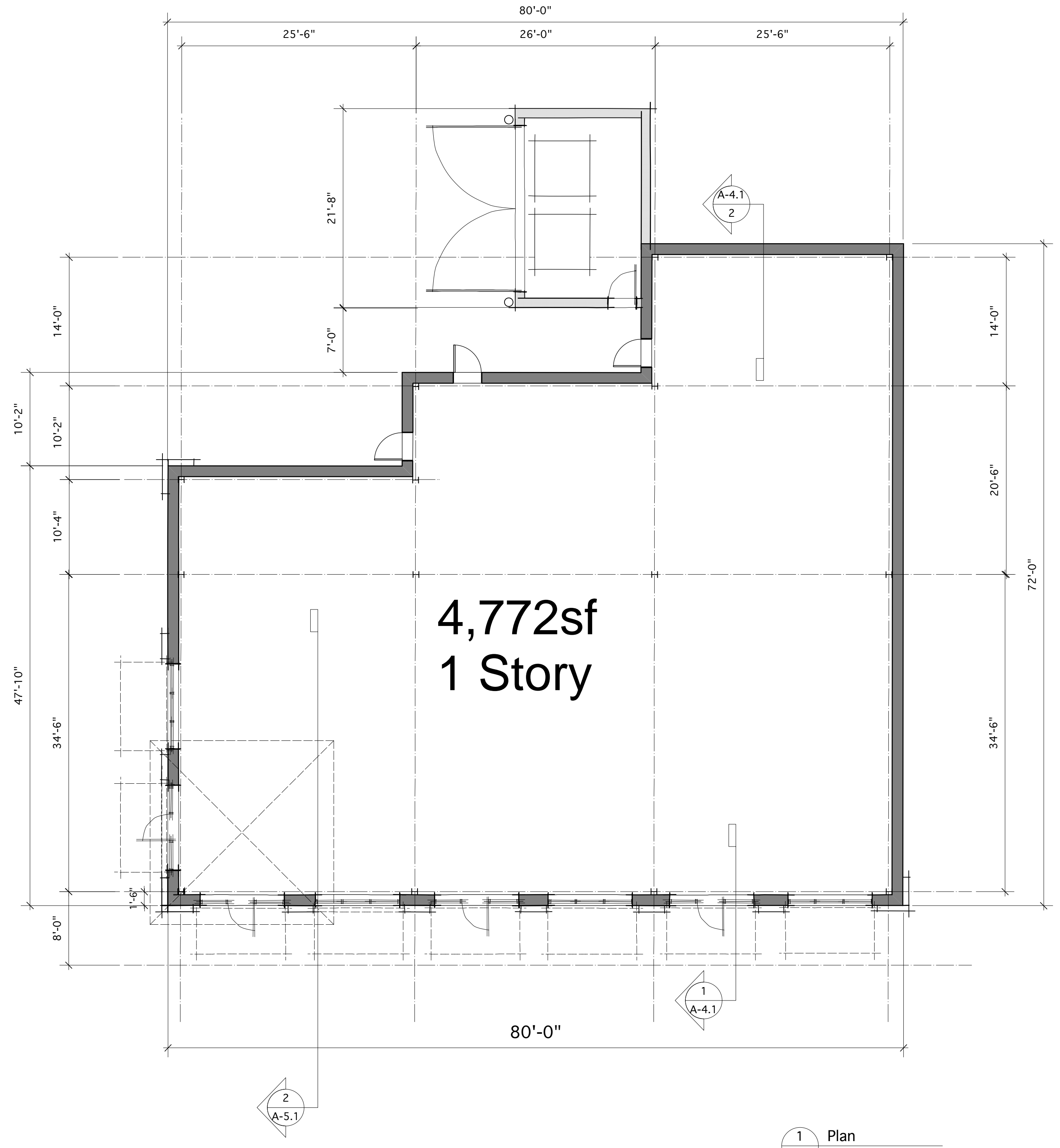


1 Side Elevation
 A-4.2 Scale: 3/16" = 1'-0"



2 Side Elevation
 A-4.2 Scale: 3/16" = 1'-0"

BUILDING #2a



4,772sf
1 Story

1 Plan
A-1.3 Scale: 1/8" = 1'-0"

EXTERIOR FINISHES:

BRICK # 1: FIELD BRICK
MANF: BORAL COLOR: FULL RANGE (WIRECUT MODULAR)
BRICK # 2: ACCENT BRICK
MANF: BORAL COLOR: RED (WIRECUT MODULAR)
EIFS #1:
MANF: DRYVIT COLOR: CHINA WHITE (SAND PEBBLE FINE)
BREAK METAL CAP FLASHING:
24 GA ALUMINUM MANF: PAC-CLAD COLOR: TERRA COTTA
STOREFRONT:
CLEAR ANNOIDIZED ALUMINUM FRAMES W/ 1" LOW-E INSULATED GREY TINTED GLAZING

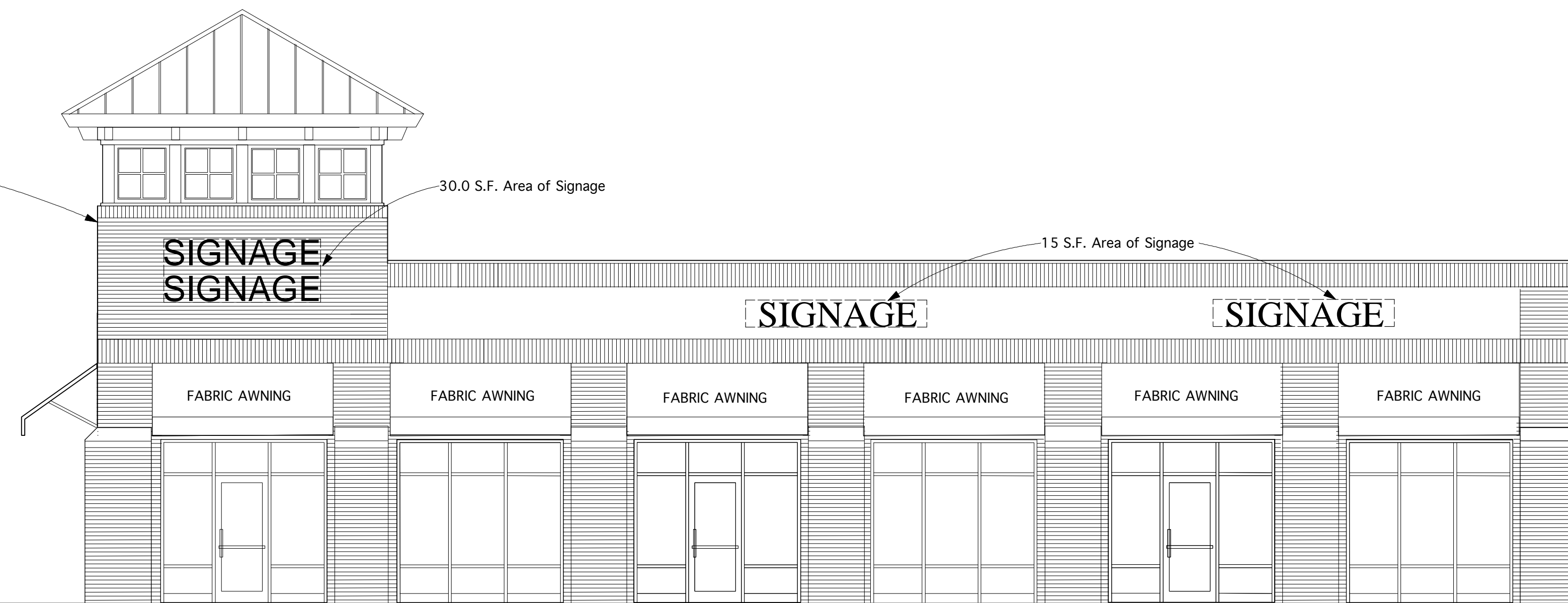
**Lot Three - Building Three
West Side Signage**

North Side Frontage = 306 LF
Sign Allowance = 180 SF

Building Three West Side Total 60.0 SF
 Building Three North Side Total 30.0 SF
 Building Four East Side Total 30.0 SF
 Building Four North Side Total 60.0 SF
 Total North Side SF Used 180.0 SF

Signage Type:
 Identity Sign/Tenant - Internally Illuminated Sign
 or Letters on Raceway 30.0 SF max
 Tenant Signs - Internally Illuminated Letters
 on Raceway. 2 Signs allowed at
 approx. 15 SF each or combination of
 for a total of 30 Total SF
 Signage Shown 30 SF

Note: Dotted area shown on elevation is
 possible location of tenant signs and
 shall be located per tenant requirements
 Tenant signage is limited to 60.0 SF



1 Front Elevation
Scale: 3/16" = 1'-0"



2 North Elevation
Scale: 3/16" = 1'-0"

**Lot Three - Building Three
North Side Signage**

North Side Frontage = 306 LF
Sign Allowance = 180 SF

Building Three West Side Total 60.0 SF
Building Three North Side Total 30.0 SF
 Building Four East Side Total 30.0 SF
 Building Four North Side Total 60.0 SF
 Total North Side SF Used 180.0 SF

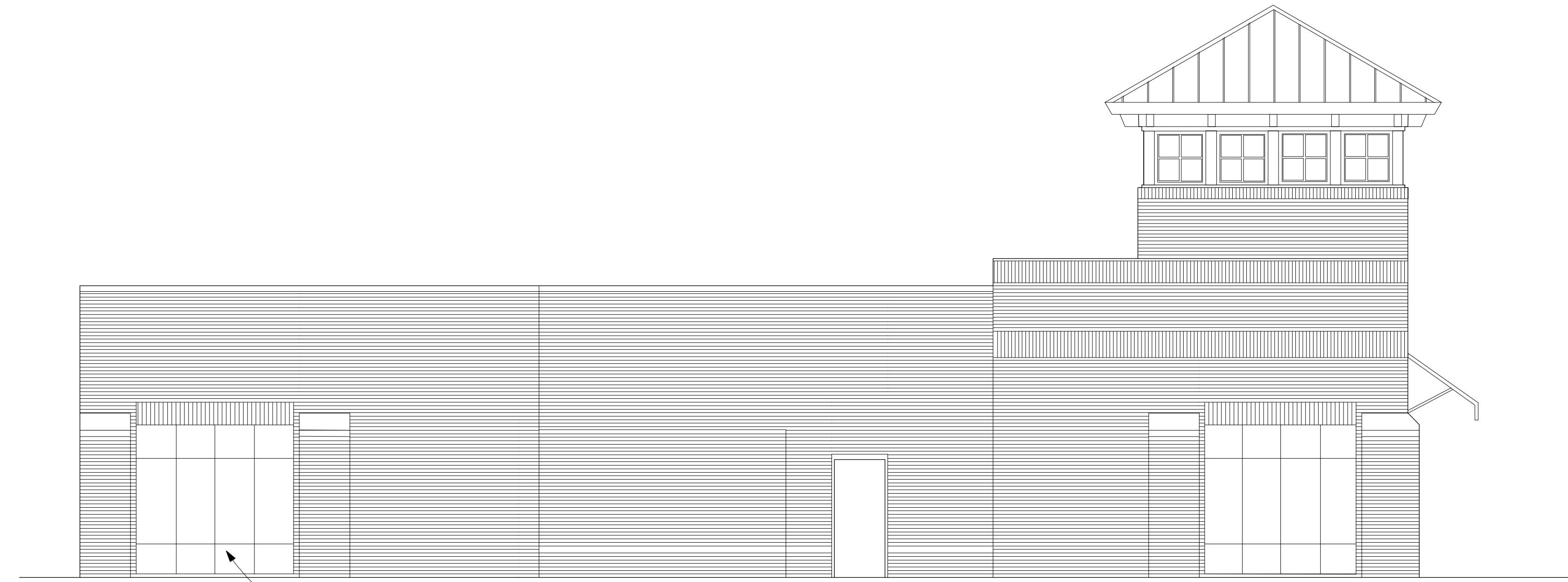
Signage Type:
 Identity Sign/Tenant - Internally Illuminated Sign
 or Letters on Raceway 30.0 SF max

Note: Dotted area shown on elevation is
 possible location of tenant signs and
 shall be located per tenant requirements
 Tenant signage is limited to 30.0 SF



Exterior Insulation
Finish System

1 South Elevation
A-4.3 Scale: 3/16" = 1'-0"



Exterior Insulation
Finish System

2 East Elevation
A-4.3 Scale: 3/16" = 1'-0"



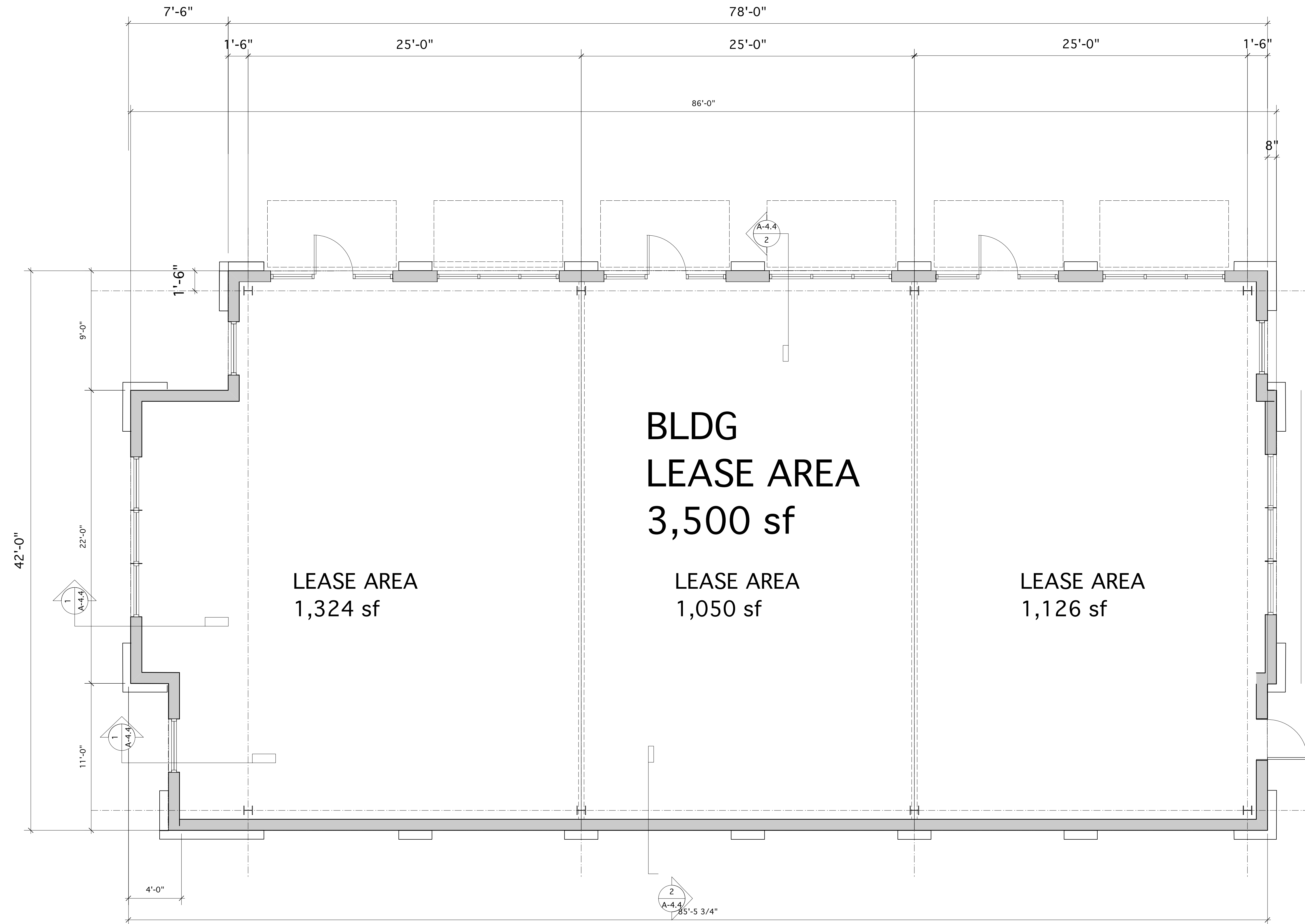
501 SOUTH GREENSBORO STREET
CARRBORO, NORTH CAROLINA

LINEBERRY Architectural Group PA
ARCHITECTURE - PLANNING - INTERIOR ARCHITECTURE
2321 Blue Ridge Road, Suite 201, Raleigh, North Carolina 27607
919 750 0629 Fax 919 750 0199 lineberrygroup.com

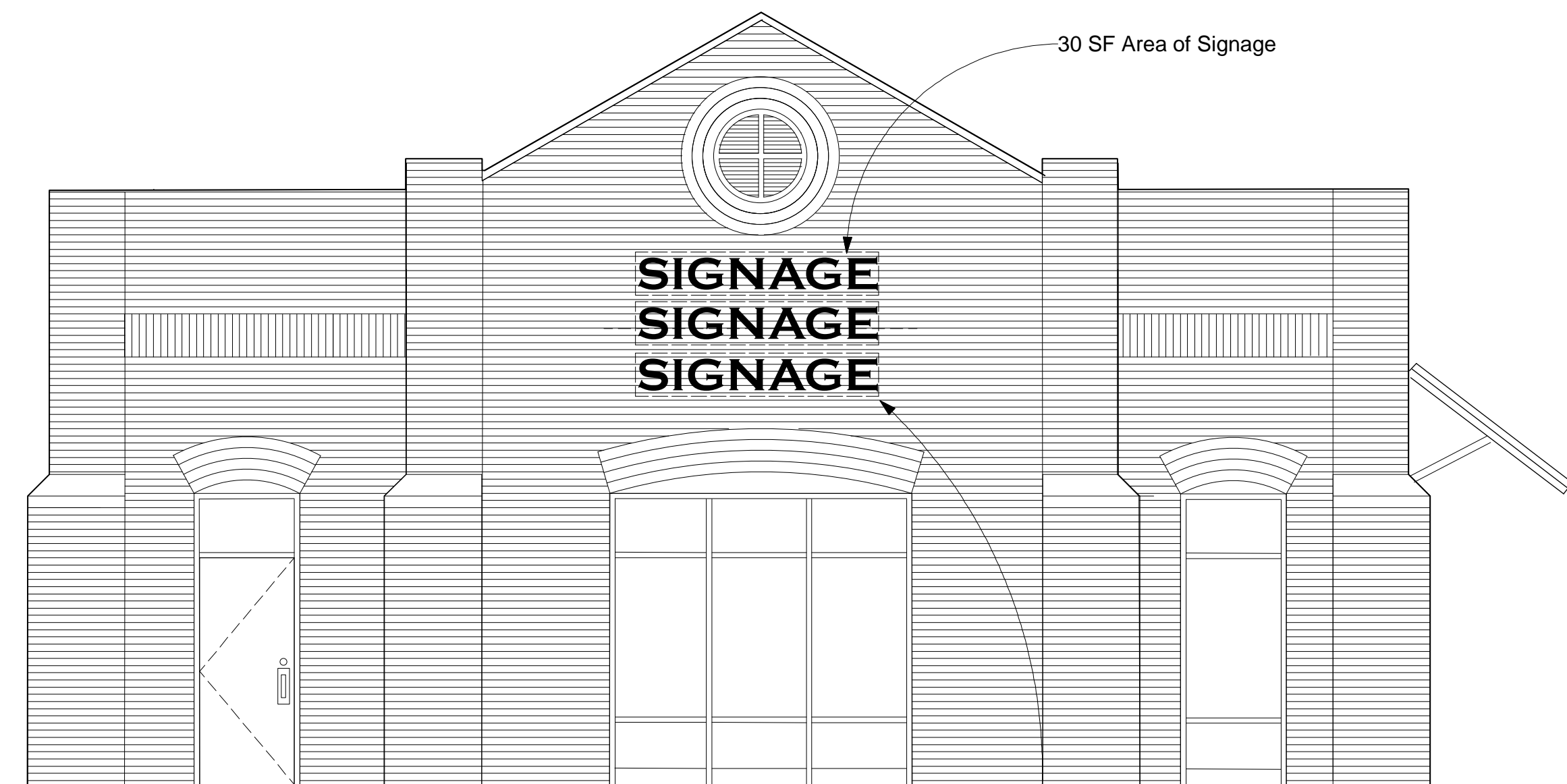


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Project Number : 1330.3
Drawn By: T.J.L.
Date: 18 Nov 2014



1 Plan
A-1.4 Scale: 1/4" = 1'-0"



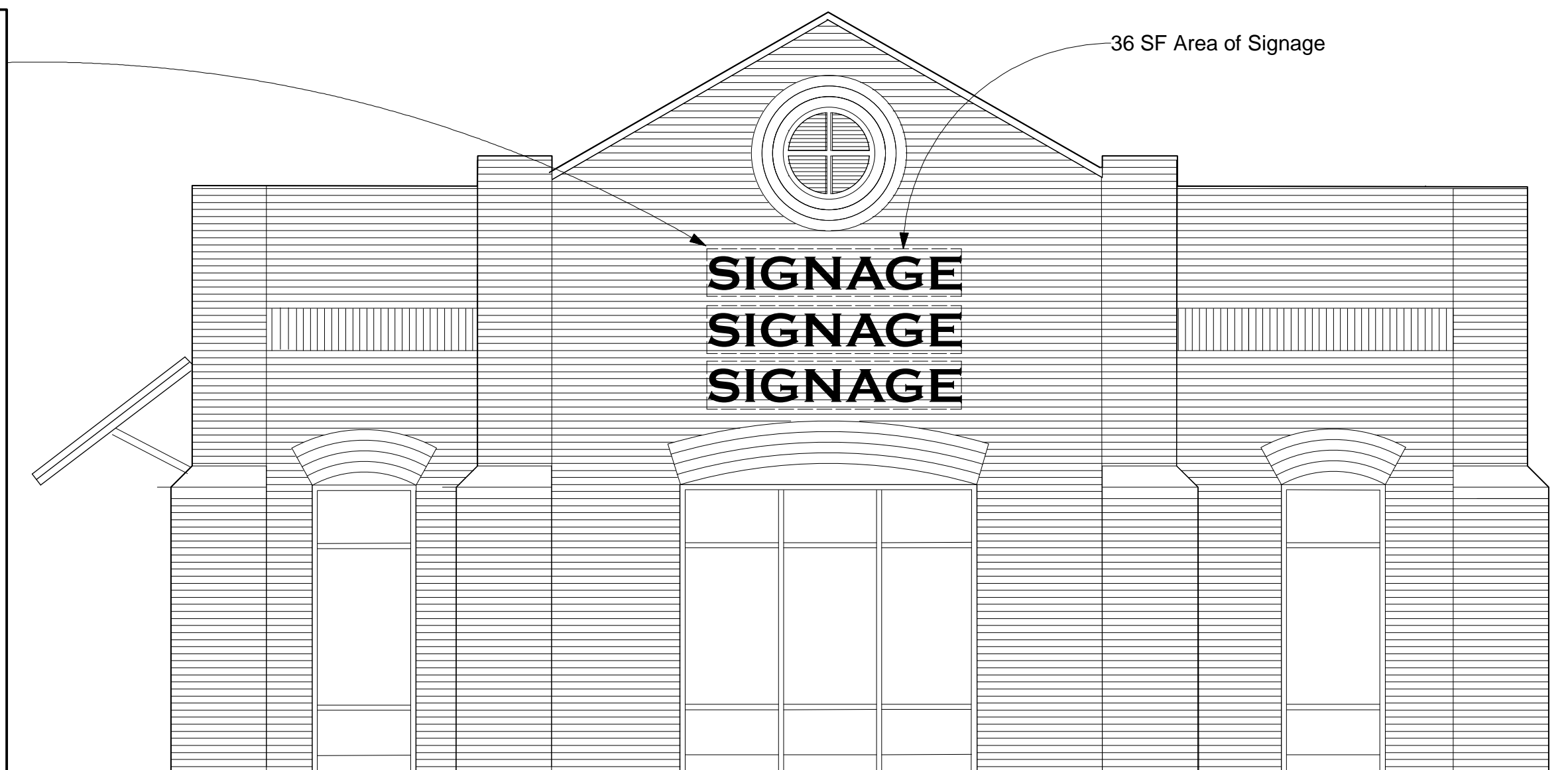
**Lot Three - Building Four
West Side Signage**

West Side Frontage = 133 LF
Sign Allowance = 66.5 SF

Free Standing Sign Allowance Deduction
30.5 SF (This will allow a Freestanding
Sign text area of approx. 7'6" x 4' or
30.5 SF)

Signage Type:
Tenant Signs - Internally Illuminated Letters
on Raceway. 3 Signs allowed at
approx. 12 SF each or combination of
for a total of 36 Total SF
Signage Shown 36 SF

Note: Dotted area shown on elevation is
possible location of tenant signs and
shall be located per tenant requirements
Tenant signage is limited to 36 SF



1 PARKING SIDE ELEVATION
A-3.4 Scale: 1/4" = 1'-0"

2 ROUND A BOUT ELEVATION
A-3.4 Scale: 1/4" = 1'-0"

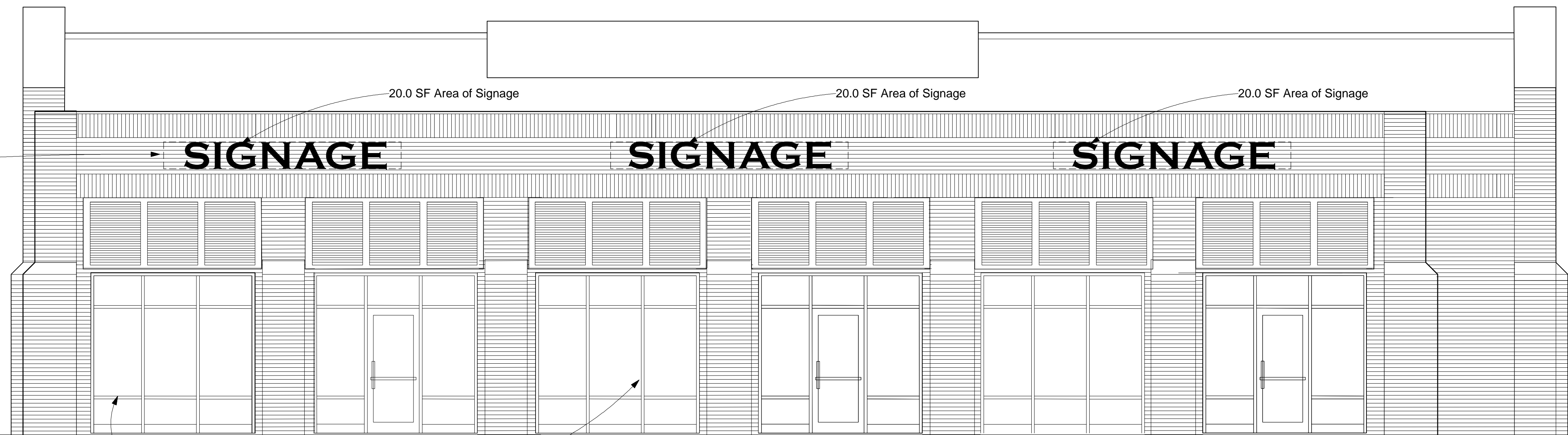
**Lot Three - Building Four
South & North Side Signage**

North Side Frontage = 306 LF
Sign Allowance = 180 SF

Building Three West Side Total 60.0 SF
Building Three North Side Total 30.0 SF
Building Four East Side Total 30.0 SF
Building Four North Side Total 60.0 SF
Total North Side SF Used 180.0 SF

Signage Type:
Identity Sign/Tenant - Internally Illuminated Sign
or Letters on Raceway 30.0 SF max
Tenant Signs - Internally Illuminated Letters
on Raceway for a total of 60 Total SF
Signage Shown 90 SF

Note: Dotted area shown on elevation is
possible location of tenant signs and
shall be located per tenant requirements
Tenant signage is limited to 60.0 SF



Alum Storefront System

3 STREET ELEVATION
A-3.4 Scale: 1/4" = 1'-0"

EXTERIOR FINISHES:

BRICK #1: FIELD BRICK

MANF: BORAL
COLOR: FULL RANGE
(WIRECUT MODULAR)

BRICK #2: ACCENT BRICK

MANF: BORAL
COLOR: RED (WIRECUT MODULAR)

EIFS #1:

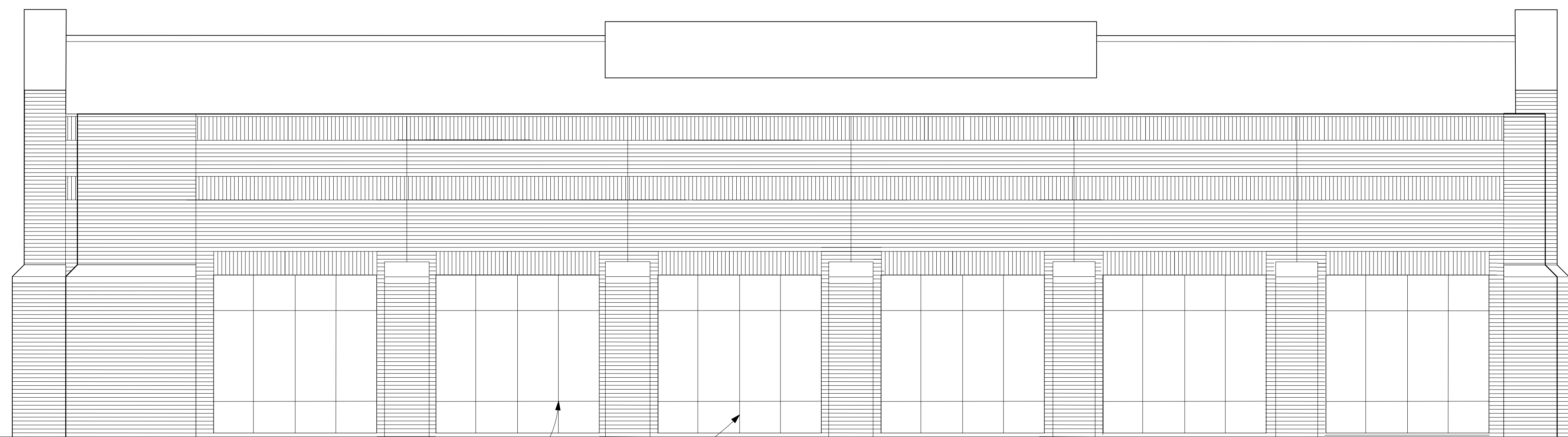
MANF: DRYVIT
COLOR: CHINA WHITE
(SAND PEBBLE FINE)

BREAK METAL CAP FLASHING:

24 GA ALUMINUM
MANF: PAC-CLAD
COLOR: TERRA COTTA

STOREFRONT:

CLEAR ANNOZIZED ALUMINUM FRAMES
W/ 1" LOW-E INSULATED GREY TINTED
GLAZING



Exterior Insulation Finish System

4 REAR ELEVATION
A-3.4 Scale: 1/4" = 1'-0"

BUILDING #4

**Lot Three - Building Five
West Side Signage**

West Side Frontage = 133 LF
Sign Allowance = 66.5 SF

Freestanding Sign Allowance Deduction 30.5 SF
(This will allow a Freestanding Sign text area of approx. 7'6" x 4' or 30.5 SF)

Signage Type:
Tenant Signs - Internally Illuminated Letters on Raceway. 6 Signs allowed at approx. 6 SF each or combination of for a total of 36 Total SF Signage Shown 36 SF

Note: Dotted area shown on elevation is possible location of tenant signs and shall be located per tenant requirements. Tenant signage is limited to 36 SF



4 ROUND A BOUT ELEVATION
Scale: 1/8" = 1'-0"



3 PARKING SIDE ELEVATION
Scale: 1/8" = 1'-0"

**Lot Three - Building Five
East & North Side Signage**

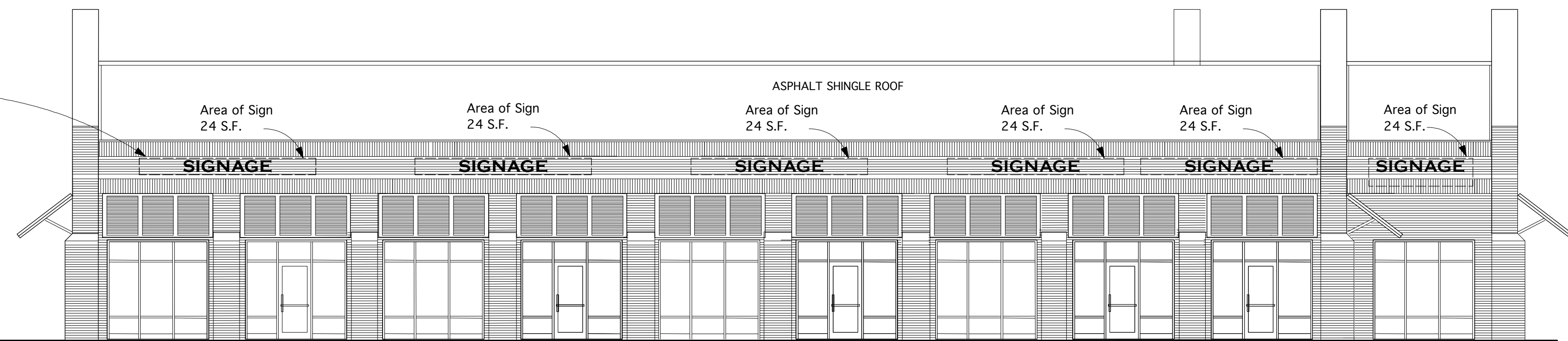
North Side Frontage = 306 LF
Sign Allowance = 180 SF

Building Five East Side Total 36.0 SF
Building Five North Side Total 144.0 SF
Total North Side SF Used 180.0 SF

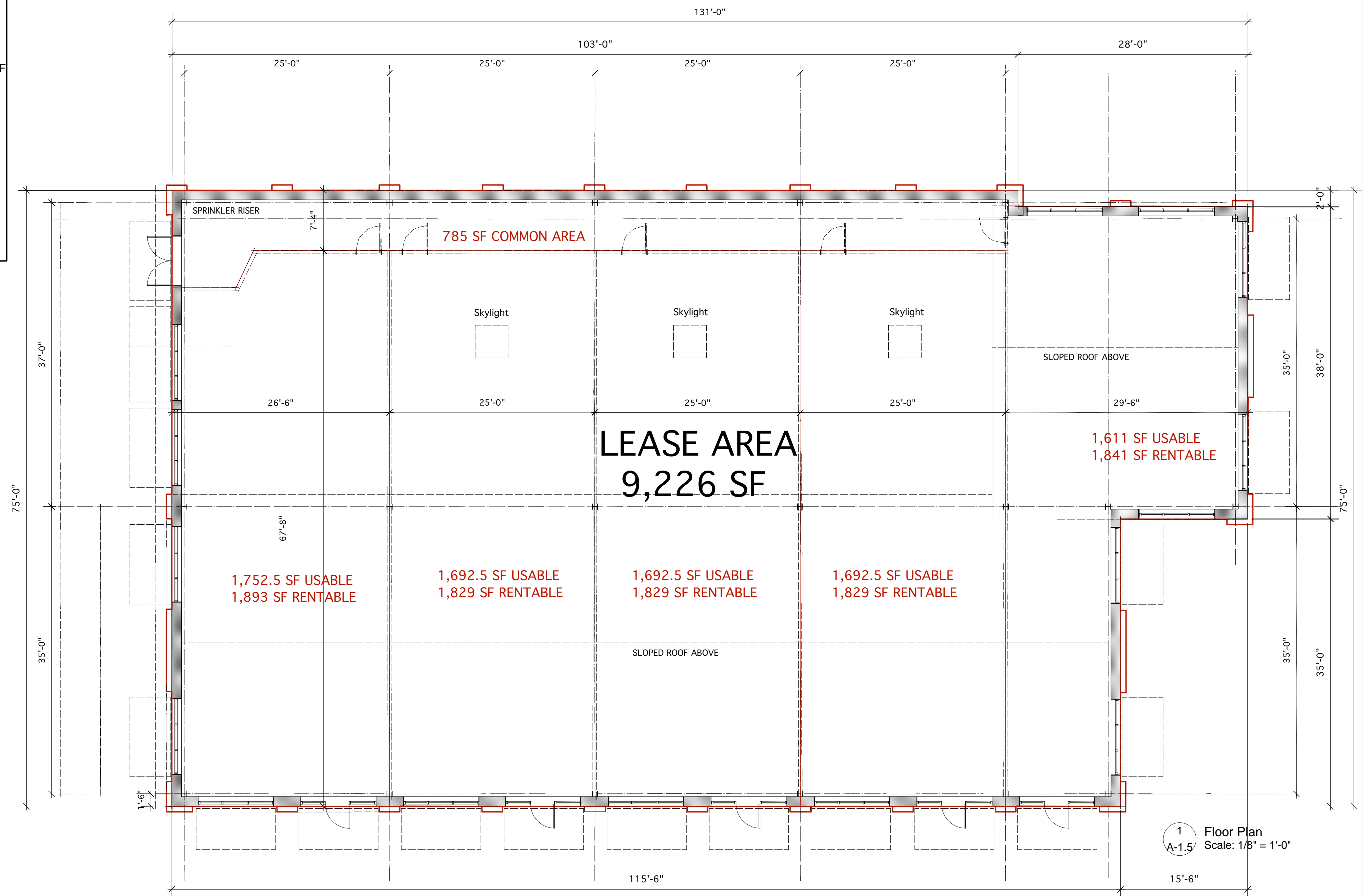
Signage Type:
Identity Sign/Tenant - Internally Illuminated Sign or Letters on Raceway 180 SF max

Signage Shown 180 SF

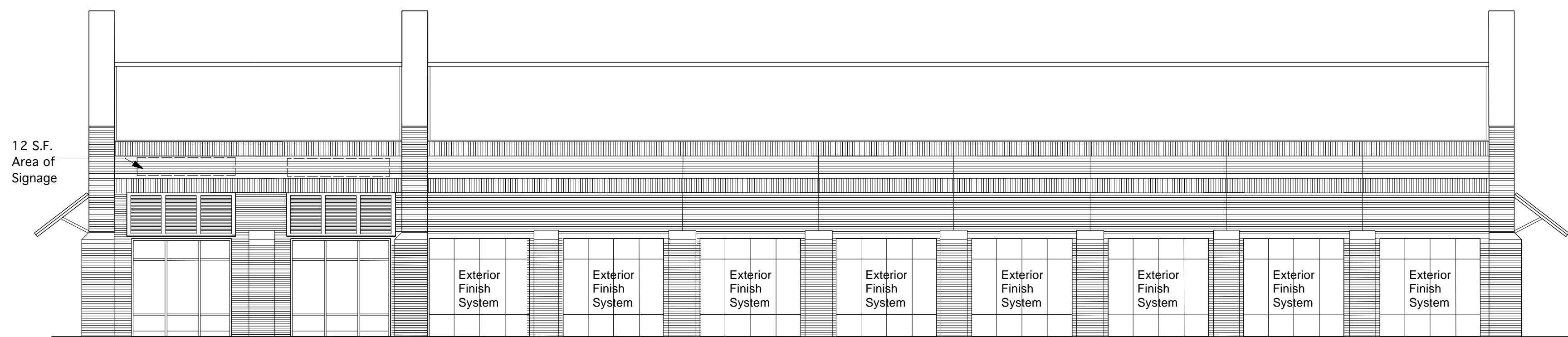
Note: Dotted area shown on elevation is possible location of tenant signs and shall be located per tenant requirements. Tenant signage is limited to 180.0 SF



2 STREET ELEVATION
Scale: 1/8" = 1'-0"

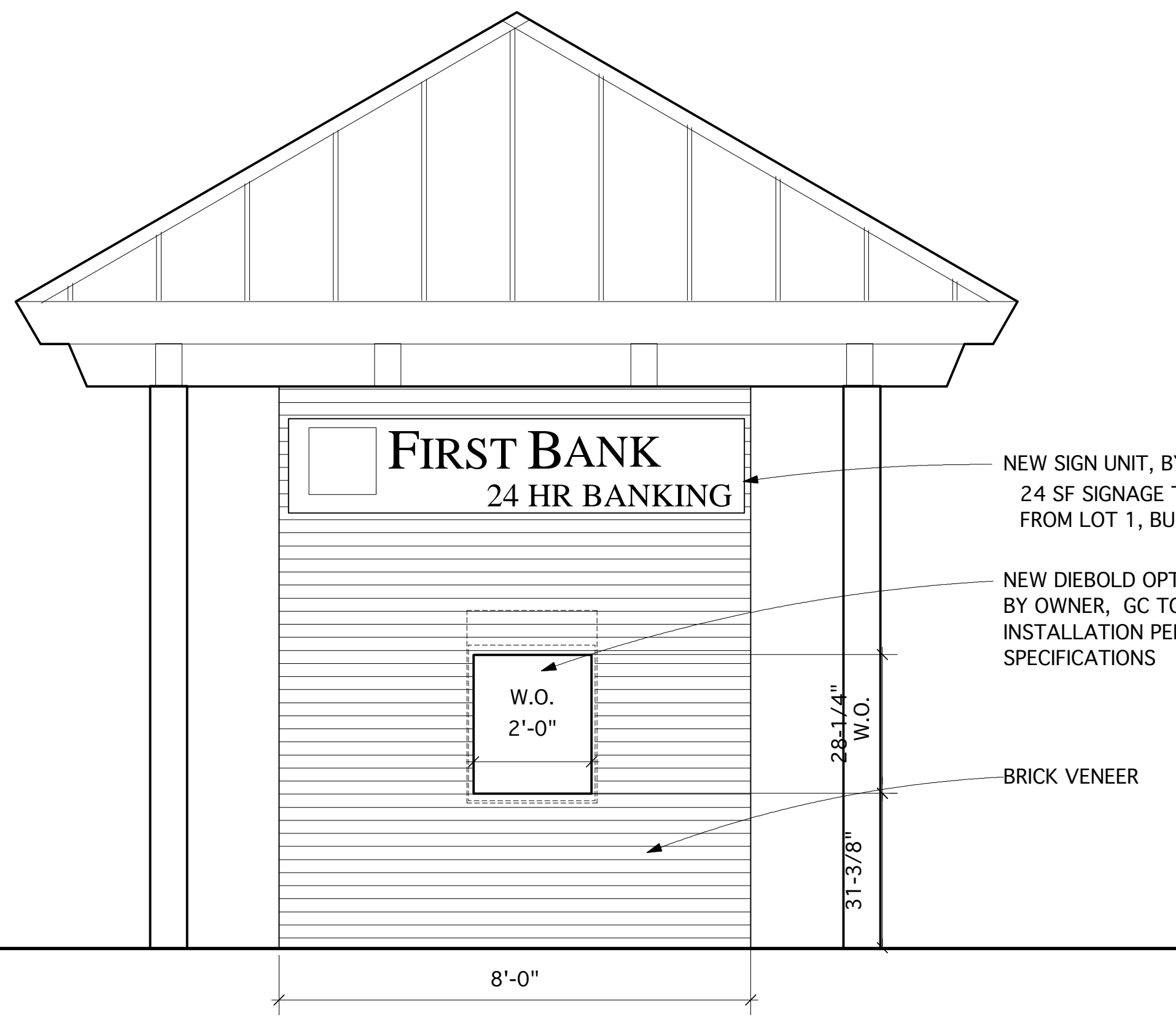


1 Floor Plan
Scale: 1/8" = 1'-0"

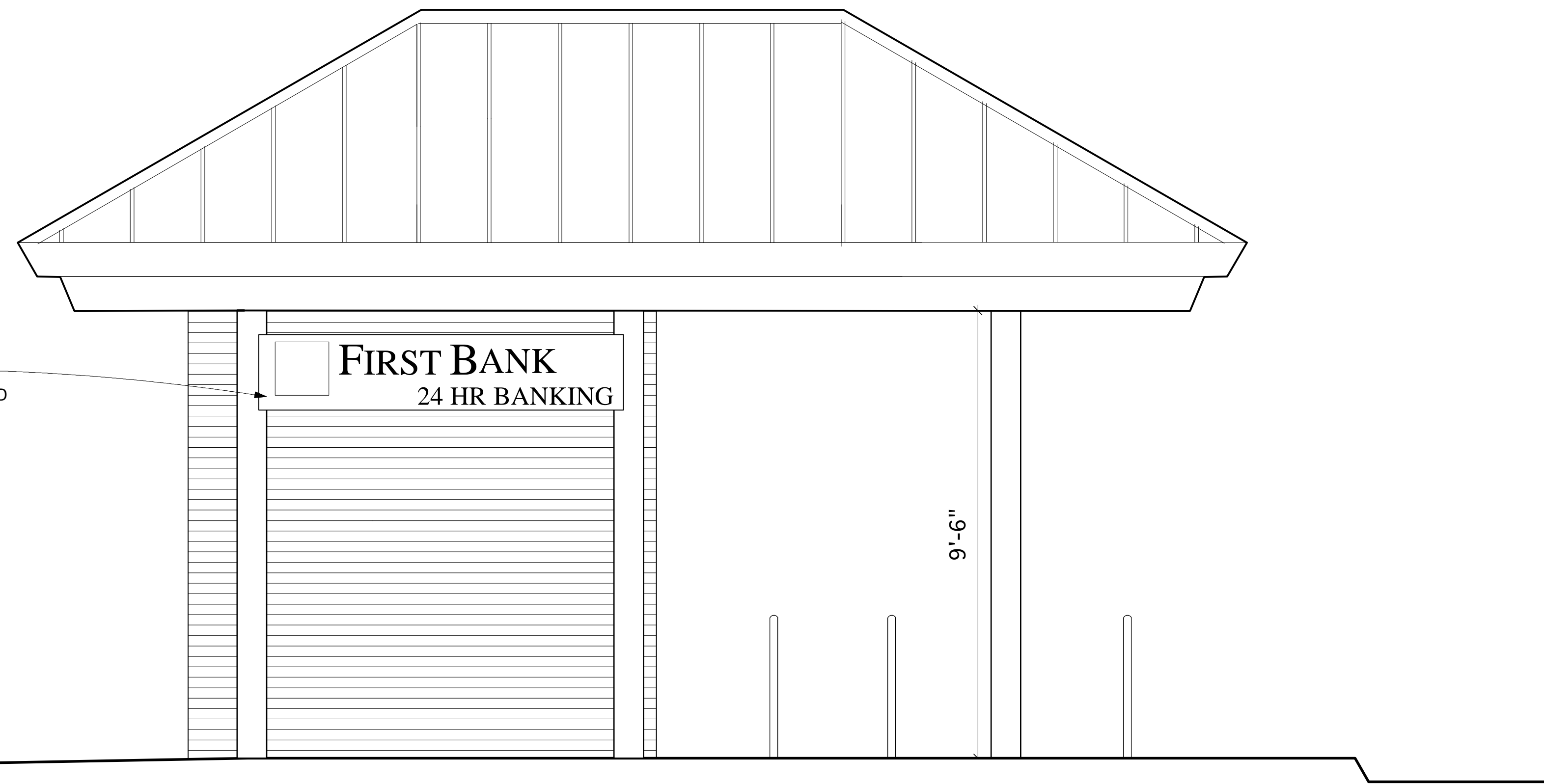


1 REAR ELEVATION
A-2.5 Scale: 1/8" = 1'-0"

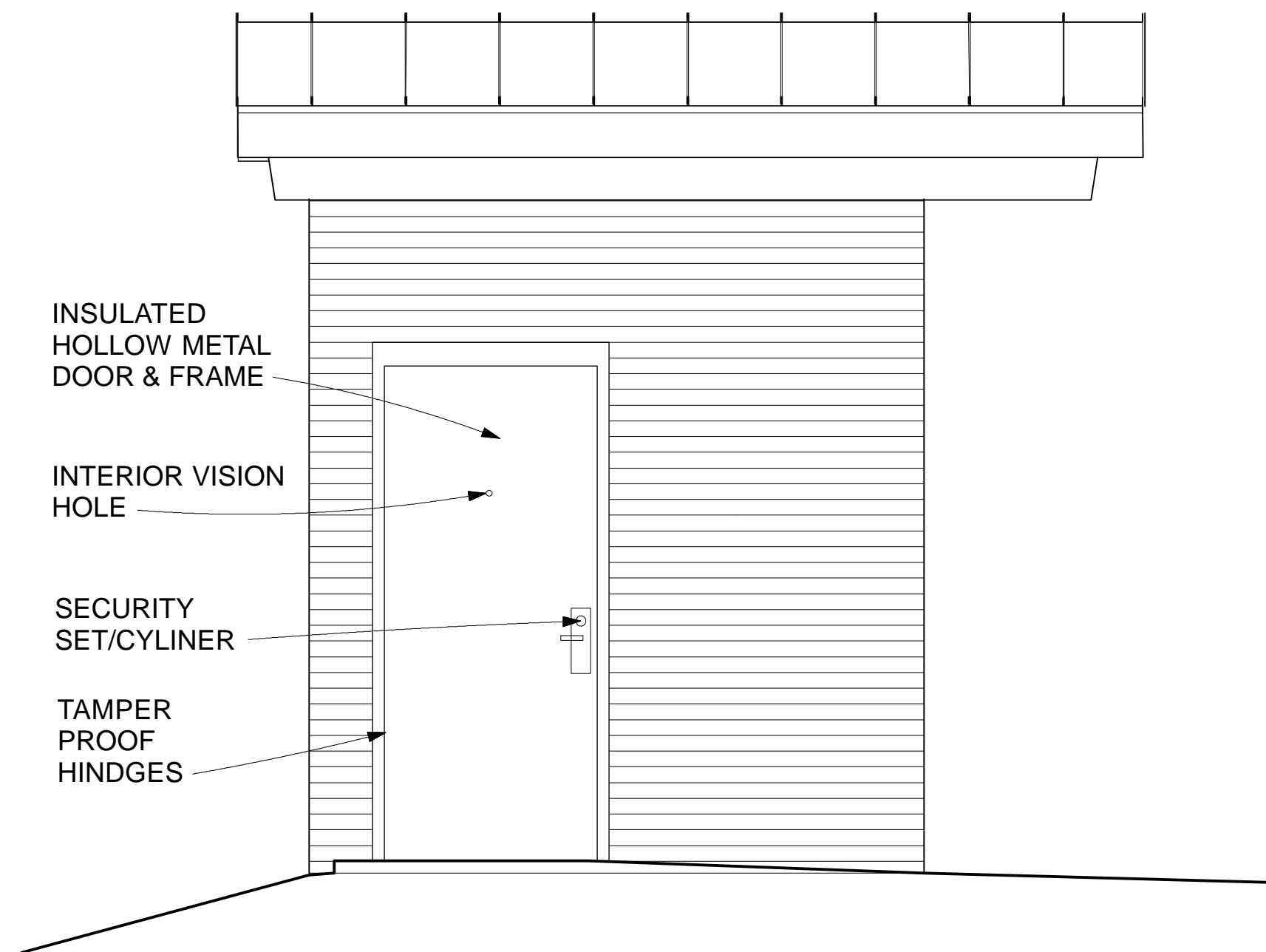
BUILDING #5 A-2.5



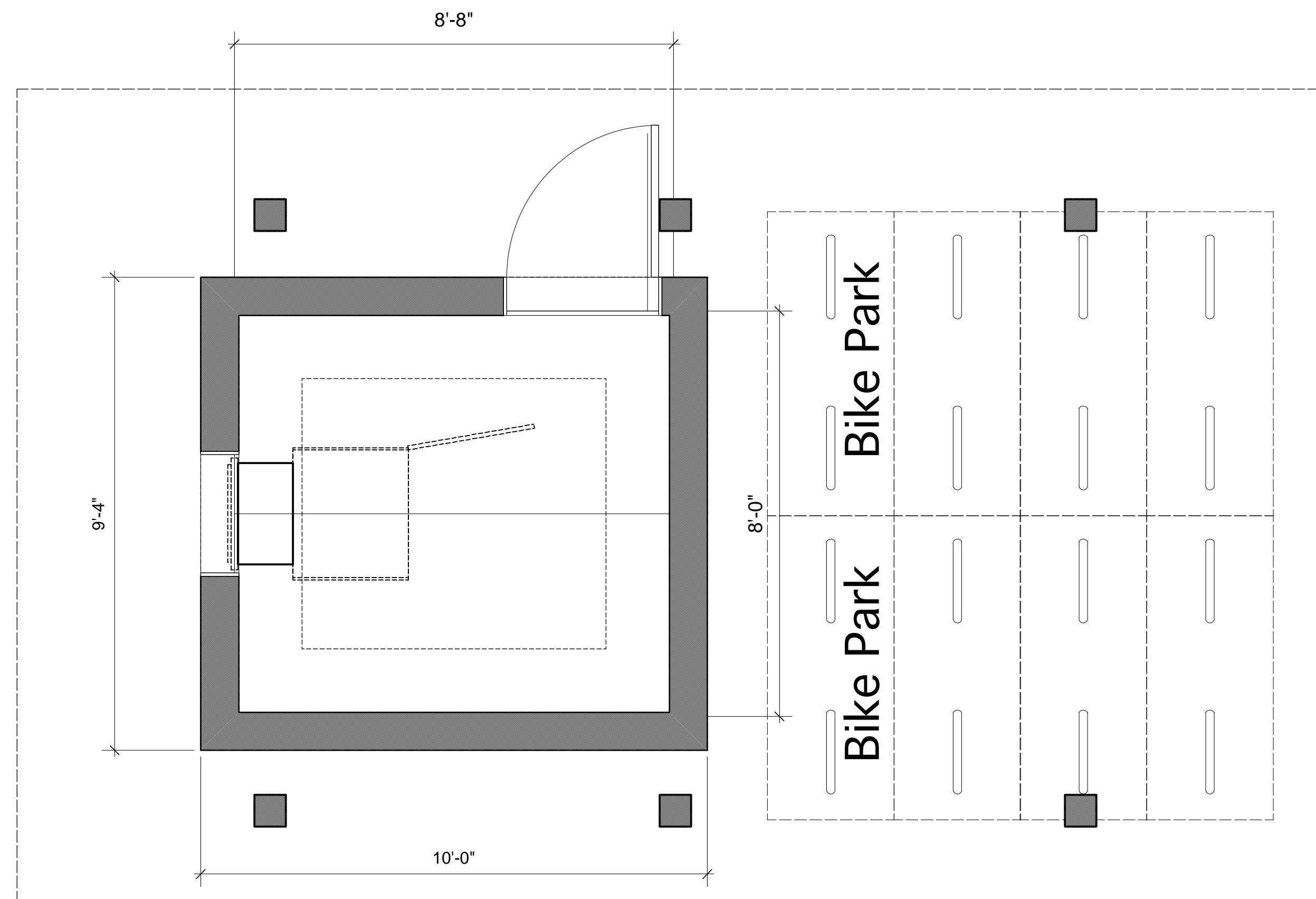
2 FRONT ELEVATION @ ATM
A-1.B Scale: 1/2" = 1'-0"



4 SIDE ELEVATION @ ATM
A-1.B Scale: 1/2" = 1'-0"



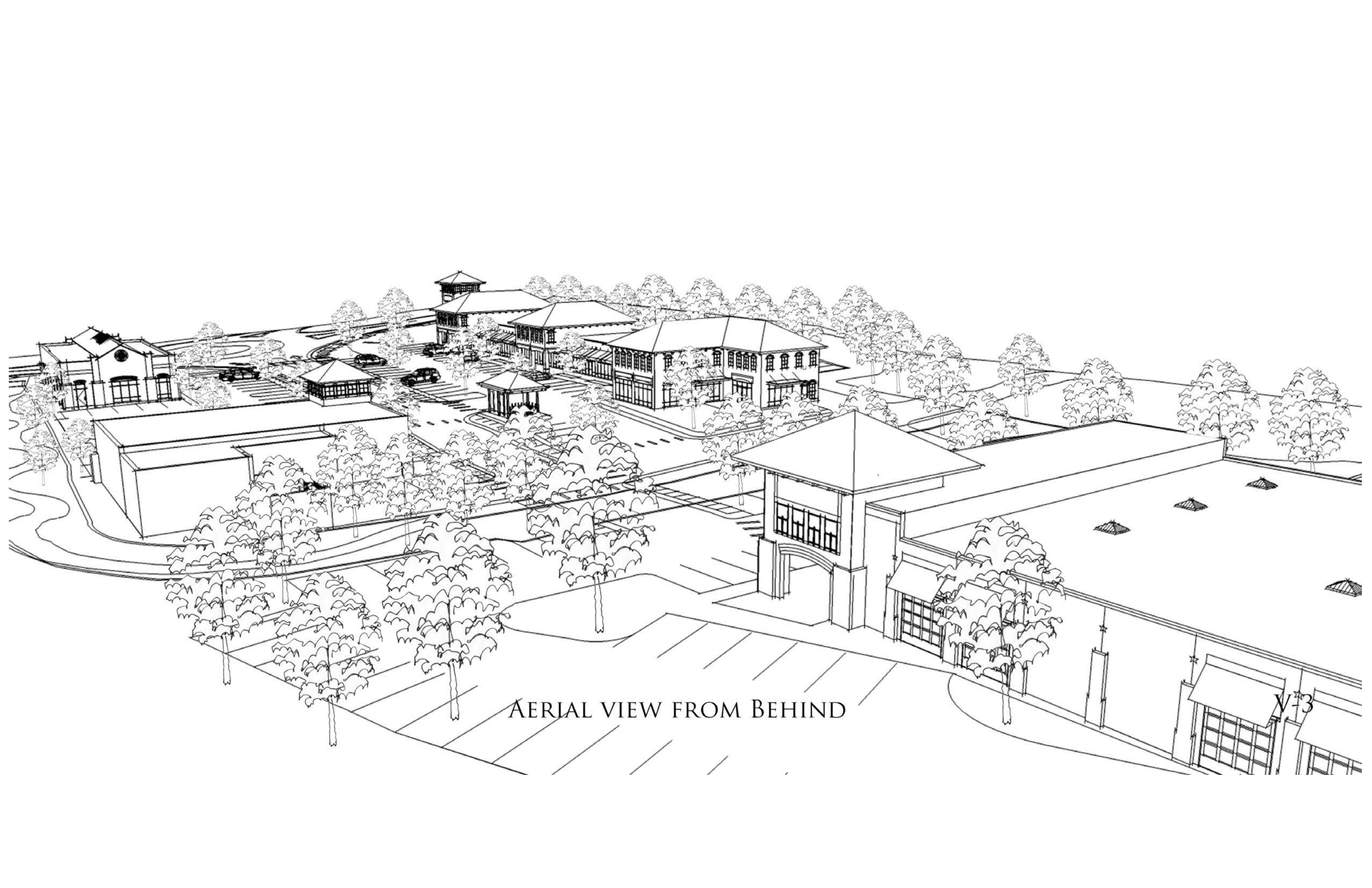
3 SIDE ELEVATION @ ATM
ATM-1 Scale: 1/2" = 1'-0"



1 ENLARGED FLOOR PLAN @ ATM
A-1.B Scale: 1/2" = 1'-0"



VIEW FROM BUILDING 1

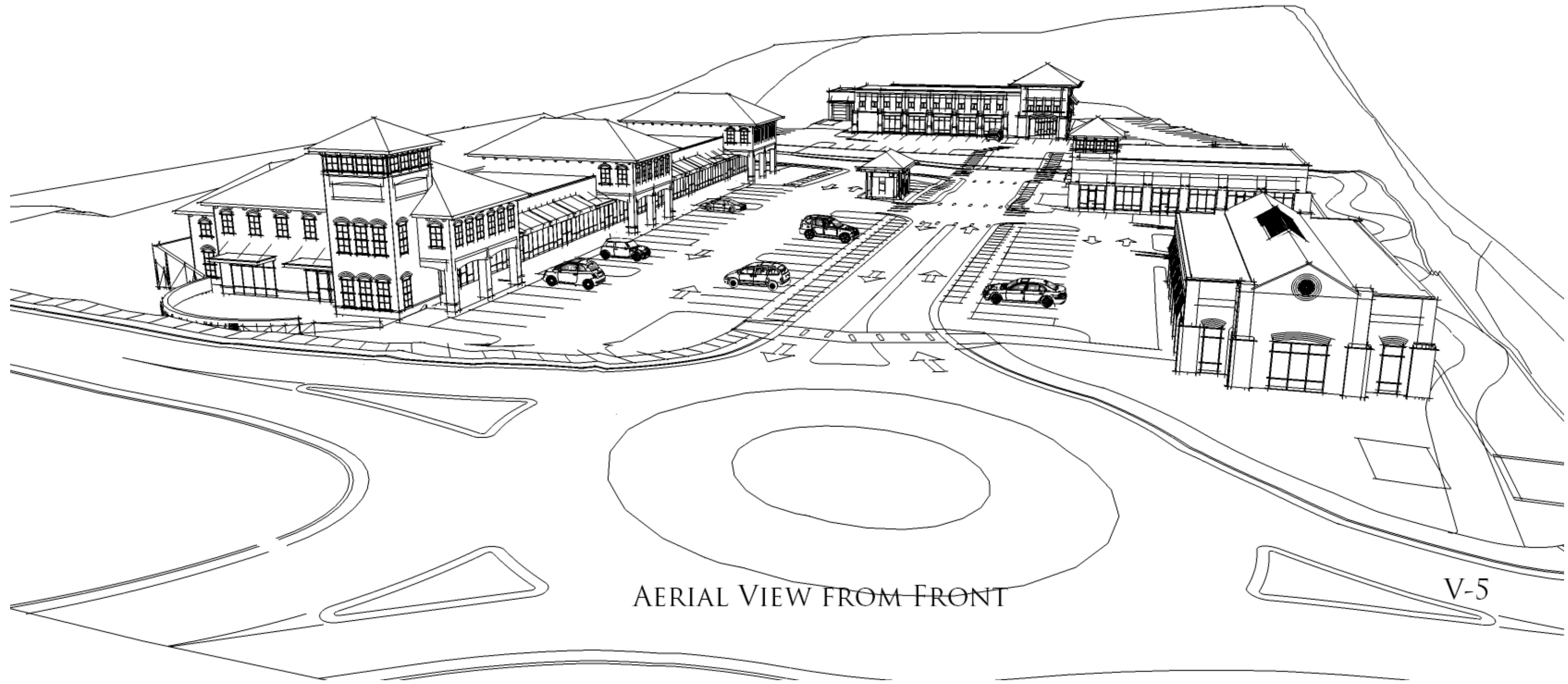


AERIAL VIEW FROM BEHIND

V-3

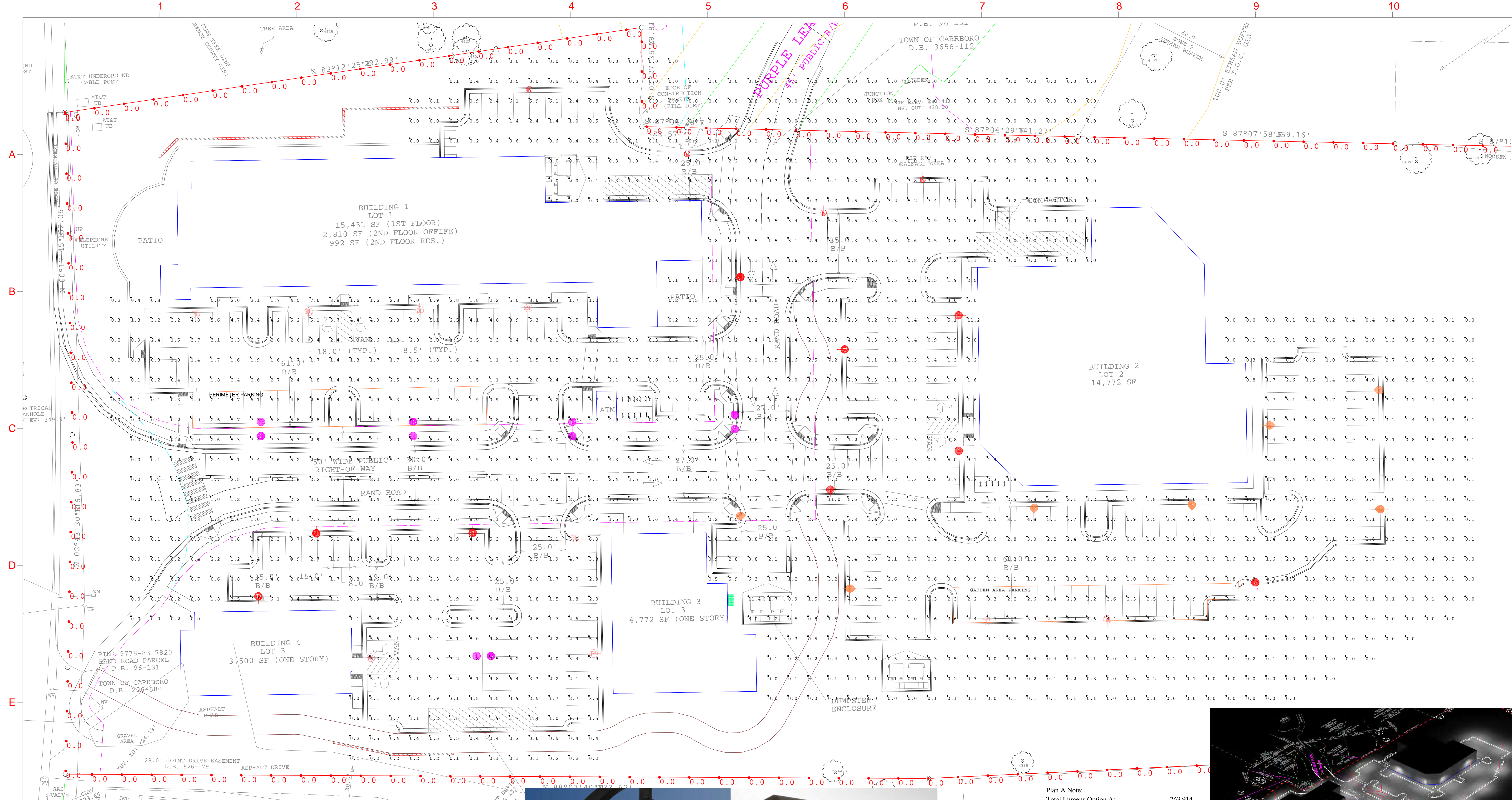


VIEW FROM NEIGHBORHOOD ABOVE



AERIAL VIEW FROM FRONT

V-5



NOTE:
 1. LUMANS SHOWN NOW REFLECT THE CUTOFF LOUVER SYSTEM THAT HELPS PREVENT OFFSIGHT LIGHT SPILLAGE.
 2. PHOTOMETRIC PLAN DOES NOT ACCOUNT FOR ELEVATION DIFFERENCE.
 3. GARDEN AREA HAS BEEN REMOVED. PLEASE IGNORE THE GARDNE AREA BREAKDOWN

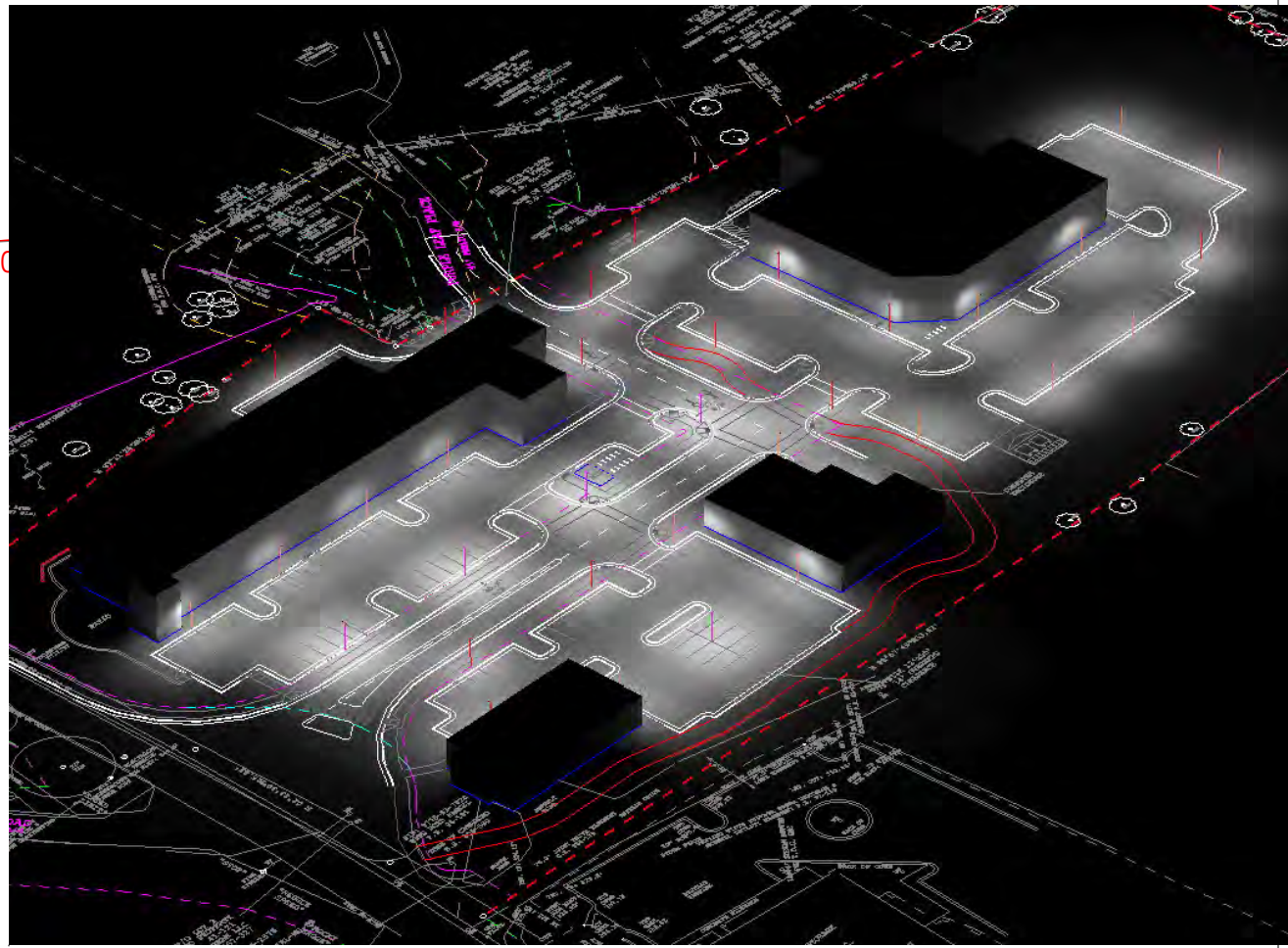
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	ILLuminance	Fc	1.80	11.4	0.0	N.A.	N.A.
PL	ILLuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
GARDEN AREA	ILLuminance	Fc	2.91	5.2	0.9	3.23	5.78
PERIMETER PARKING	ILLuminance	Fc	4.44	9.2	1.4	3.17	6.57



Plan A Note:
 Total Lumens Option A: 263,914
 LLF (Light Loss Factor): 0.95
 Mean Lumens*: 250,718.8
 0.95
 238,182.8

Area Covered (Acres): 5.98
 Lumens per acre: 39,829.90

* Mean lumens (as opposed to initial lumens) are not yet available for these (or most) LEDs. Conventional luminaires would use .70 to .75 as a means lumens factor. For these much more stable and efficient LEDs we have used a very conservative mean lumens factor of .95.



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	BUG Rating	Lum. Watts
⊙	9	1-T2	SINGLE	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T2-5-55K-SINGLE @ 15' MTG. HT.	B2-U0-G2	122
⊙	9	1-T3	SINGLE	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T3-5-55K-SINGLE @ 15' MTG. HT.	B2-U0-G2	122
⊙	4	1-T3-CLS	SINGLE	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T3-5-55K-SINGLE LS @ 15' MTG. HT.	B0-U0-G1	215
⊙	7	1-T4	SINGLE	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T4-5-55K-SINGLE @ 15' MTG. HT.	B2-U0-G2	122
⊙	5	2	BACK-BACK	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T5-5-55K-TWIN @ 15' MTG. HT.	B3-U0-G2	122
⊙	1	WM-10	SINGLE	N.A.	0.950	Visionaire Malibu MLB-2-T3-48LC-5-55K-WALL @ 10' MTG. HT.	B2-U0-G1	76

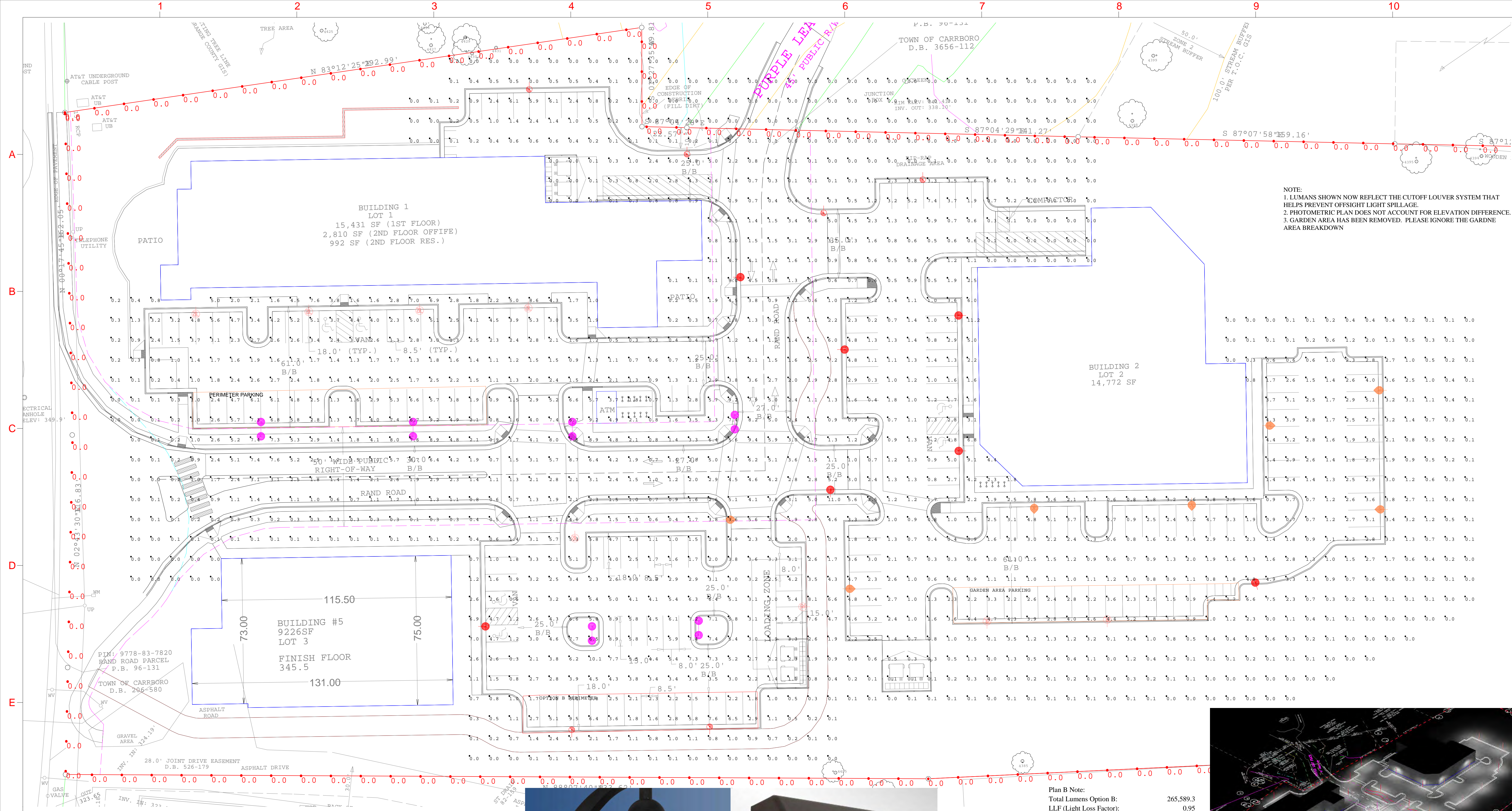
DRAWING NUMBER : CA081513DS-SOUTH GREEN RUNYON WOODS - CARRBORO,NC-05
PROJECT NAME : SOUTH GREEN RUNYON WOODS - CARRBORO,NC
LAYOUT DESIGNER : CA
DESIGNER EMAIL : calvarena@visionairelighting.com
PROJECT DATE : 01/15/13
REVISION DATE : 01/07/15
REP : KB STEPHENS

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 BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE PROJECT ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS. THE LIGHTING DATA REPRESENTS ILLUMINATION LEVELS TAKEN FROM A LABORATORY SETTING UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL PERFORMANCE MAY VARY DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, INSTALLATION TOLERANCE LEVELS, BUILDINGS, OTHER LIGHTING, AND OTHER VARIABLES THAT WERE NOT CONSIDERED WHEN THIS PHOTOMETRIC REPORT WAS CREATED. IT IS THE RESPONSIBILITY OF THE OWNER OR PROJECT ENGINEER TO ENSURE COMPLIANCE OF ALL STANDARDS IN EFFECT. THIS PHOTOMETRIC LAYOUT IS THE PROPERTY OF VISIONAIRE LIGHTING AND IT CANNOT BE USED FOR INSTALLATION OF PRODUCTS OTHER THAN SPECIFIED.
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E1001 LIGHTING - OPTION A

www.visionairelighting.com
 Phone: (310) 512-6480 Fax: (310) 512-6486
 19645 Rancho Way-Rancho Dominguez, CA. 90220
 POINT-BY-POINT CALCULATION
 Illuminance at Grade (Footcandles), unless otherwise specified.

VISIONAIRE LIGHTING
 PHOTOMETRIC STUDY



NOTE:
 1. LUMENS SHOWN NOW REFLECT THE CUTOFF LOUVER SYSTEM THAT HELPS PREVENT OFFSIGHT LIGHT SPILLAGE.
 2. PHOTOMETRIC PLAN DOES NOT ACCOUNT FOR ELEVATION DIFFERENCE.
 3. GARDEN AREA HAS BEEN REMOVED. PLEASE IGNORE THE GARDEN AREA BREAKDOWN

www.visionairelighting.com
 Phone: (310) 512-6480 Fax: (310) 512-6486
 19645 Rancho Way-Rancho Dominguez, CA. 90220
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 Illuminance at Grade (Footcandles), unless otherwise specified.

VISIONAIRE LIGHTING
 PHOTOMETRIC STUDY

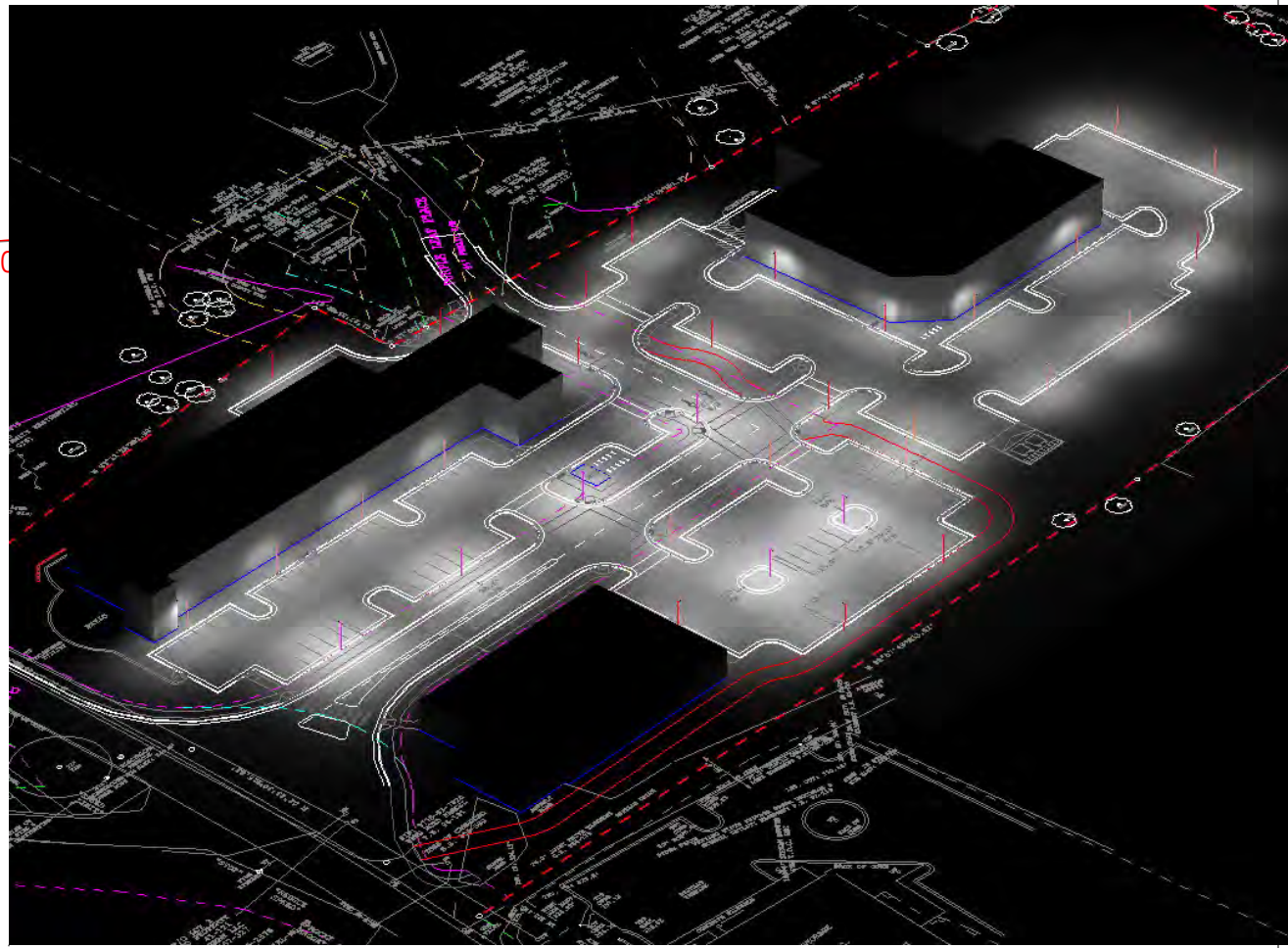
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	1.86	11.2	0.0	N.A.	N.A.
PL	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
GARDEN AREA PERIMETER	Illuminance	Fc	2.91	5.2	0.9	3.23	5.78
OPTION B PERIMETER	Illuminance	Fc	3.49	9.5	1.6	2.18	5.94
PERIMETER PARKING	Illuminance	Fc	4.43	9.2	1.3	3.41	7.08



Plan B Note:
 Total Lumens Option B: 265,589.3
 LLF (Light Loss Factor): 0.95
 252,309.9
 Mean Lumens*: 0.95
 239,694.4

Area Covered (Acres): 5.98
 Lumens per acre: 40,082.68

* Mean lumens (as opposed to initial lumens) are not yet available for these (or most) LEDs. Conventional luminaires would use .70 to .75 as a means lumens factor. For these much more stable and efficient LEDs we have used a very conservative mean lumens factor of .95.



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	BUG Rating	Lum. Watts
⊕	8	1-T2	SINGLE	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T2-5-55K-SINGLE @ 15' MTG. HT.	B2-U0-G2	122
⊕	7	1-T3	SINGLE	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T3-5-55K-SINGLE @ 15' MTG. HT.	B2-U0-G2	122
⊕	6	1-T3-CLS	SINGLE	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T3-5-55K-SINGLE LS @ 15' MTG. HT.	B0-U0-G1	215
⊕	7	1-T4	SINGLE	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T4-5-55K-SINGLE @ 15' MTG. HT.	B2-U0-G2	122
⊕	6	2	BACK-BACK	N.A.	0.950	Visionaire Oden III ODN-3-84LC-T5-5-55K-TWIN @ 15' MTG. HT.	B3-U0-G2	122

DRAWING NUMBER : CA081513DS-SOUTH GREEN RUNYON WOODS - CARRBORO,NC-07
 PROJECT NAME : SOUTH GREEN RUNYON WOODS - CARRBORO,NC
 LAYOUT DESIGNER : CA
 DESIGNER EMAIL : calvarena@visionairelighting.com
 PROJECT DATE : 01/15/13
 REVISION DATE : 01/14/15
 REP : KB STEPHENS

DISCLAIMER
 BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE PROJECT ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS. THE LIGHTING DATA REPRESENTS ILLUMINATION LEVELS TAKEN FROM A LABORATORY SETTING UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL PERFORMANCE MAY VARY DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, INSTALLATION TOLERANCE LEVELS, BUILDINGS, OTHER LIGHTING, AND OTHER VARIABLES THAT WERE NOT CONSIDERED WHEN THIS PHOTOMETRIC REPORT WAS CREATED. IT IS THE RESPONSIBILITY OF THE OWNER OR PROJECT ENGINEER TO ENSURE COMPLIANCE OF ALL STANDARDS IN EFFECT. THIS PHOTOMETRIC LAYOUT IS THE PROPERTY OF VISIONAIRE LIGHTING AND IT CANNOT BE USED FOR INSTALLATION OF PRODUCTS OTHER THAN SPECIFIED.
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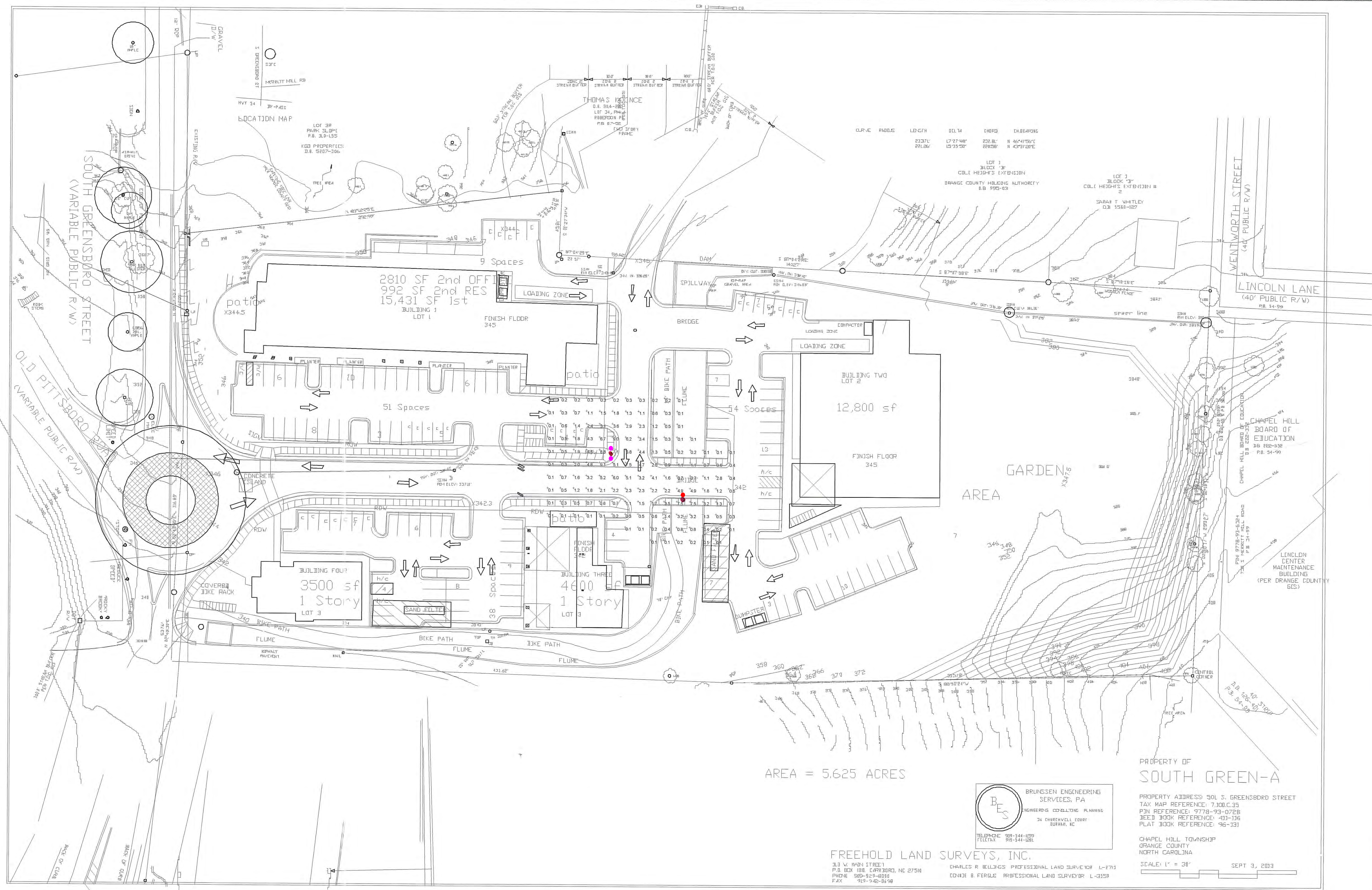
E1002 LIGHTING - OPTION B



E1003 INTERSECTION LIGHTING PLAN

Designer
Date 8/17/2014
Scale
Not to Scale
Drawing No.
Summary

LIGHT-3



Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone #2	+	1.7 fc	9.1 fc	0.1 fc	91.0:1	17.0:1	0.2:1

Plan View
Scale - 1" = 35'

AREA = 5.625 ACRES



BRUNSSON ENGINEERING SERVICES, PA
ENGINEERS & CONSULTING PLANNERS
24 CHESTERVILL COURT
DURHAM, NC

FREEHOLD LAND SURVEYS, INC.

3.3 W. MAIN STREET
P.O. BOX 188 CARRBORO, NC 27518
PHONE 919-329-0030
FAX 919-342-0198

CHARLES R. BULLOCKS PROFESSIONAL LAND SURVEYOR L-2713
CONNIE B. FERGLE PROFESSIONAL LAND SURVEYOR L-3159

PROPERTY OF SOUTH GREEN-A
PROPERTY ADDRESS 301 S. GREENSBORO STREET
TAX MAP REFERENCE: 7,100.C.35
PJN REFERENCE: 9778-93-0728
3EED BOOK REFERENCE: 401-136
PLAT BOOK REFERENCE: 96-131

CHAPEL HILL TOWNSHIP
ORANGE COUNTY
NORTH CAROLINA
SCALE: 1" = 30'
SEPT 3, 2013

CLIMATE RECORDS
DATE: 01/14
TIME: 10:00 AM
WIND: 10-15 MPH
TEMP: 45-55 F
HUMIDITY: 60-70%
PRECIP: 0.00 IN

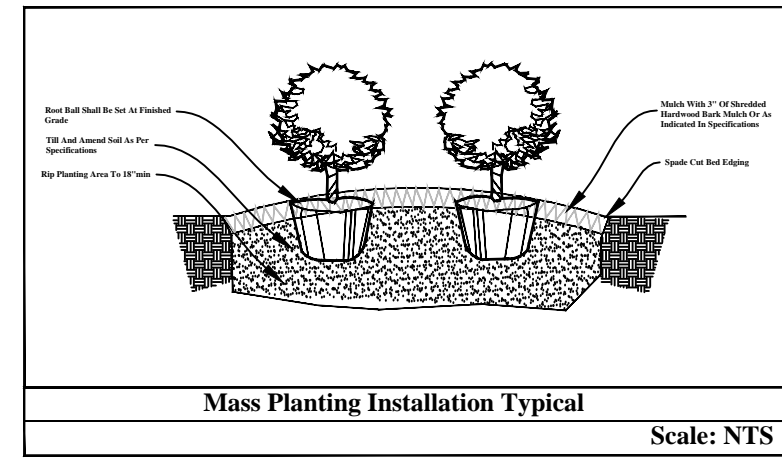
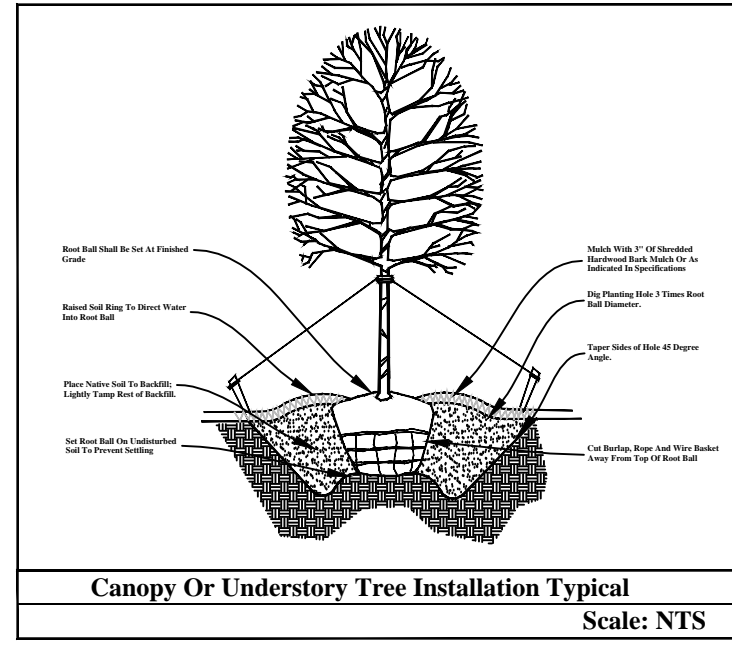
LOT 1
BLOCK 3
COLL. HEIGHT'S EXTENSION
ORANGE COUNTY HOLDING AUTHORITY
S.B. 952-03

LOT 2
BLOCK 3
COLL. HEIGHT'S EXTENSION #2
SARAH T. WHITLEY
O.B. 1566-1627

CHAPEL HILL BOARD OF EDUCATION
O.B. 222-332
S.B. 222-332
P.B. 24-99

LINCOLN CENTER MAINTENANCE BUILDING
(PER ORANGE COUNTY GIS)

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Scope of Work: Furnish all labor, materials and equipment required or indicated by the drawings and specifications to complete the work of this section including installation of trees, shrubs, ground covers, perennials, sod, seeding and mulching.

Work Site: The contractor shall locate all utilities prior to construction.

Plant Bed Preparation: All plant beds shall be ripped to a depth of 18 inches, tilled to a depth of 8 inches and fine graded for planting. Till in a minimum of 1 inch of approved compost, fertilizer and lime as specified in soil test.

Plant Material: All plant materials shall be nursery grown, freshly dug if field grown, naturally shaped and well branched with well developed root systems. Plant material shall be the size and species as indicated on the plan. Trees should be staked per detail as necessary. All plant material shall be matched with an approved mulch upon planting.

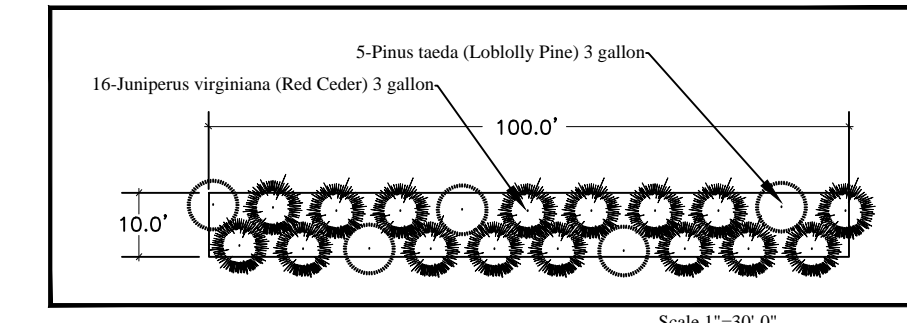
Seed Slopes: All areas with slopes 2:1 or greater shall be seeded with a seasonally appropriate mix upon completion of grading to stabilize slopes. Erosion control straw wattles shall be used as needed in areas subject to washing. The final seeding shall include scarifying the soil, applying fertilizer and amendments. The slopes will be seeded with *Eragrostis curvula* "Weeping Love Grass" and mulched with erosion control straw matting. All slopes shall be re-seeded as necessary to stabilize slope.

Sod Installation: All sod areas shall be ripped to a depth of 18 inches, tilled to a depth of 8 inches and fine graded for planting. Till in fertilizer and lime as specified in soil test. Level and compact surface soil before sod installation. Install freshly harvested hybrid Bermuda sod, roll to provide good soil contact. Water sod immediately upon installation.

NOTE: All plant and tree locations are approximate. Root ball size may require field adjustment of final locations.

Type A-Opaque Screen					
SYM	QTY	Plant Name	Size	Notes	Plant Type
Trees					
INS	28	Ilex 'Nellie R. Stevens' (Nellie Stevens Holly)	8' Ht	Stagger 8'oc	Evergreen
To	14	Juniperus virginiana (Eastern Red Cedar)	8' Ht	Stagger 11'oc	Evergreen
Mg	3	Magnolia grandiflora (Southern Magnolia)	8' Ht		Evergreen
TGG	16	Thuja plicata 'Green Giant' (Green Giant Arborvitae)	8' Ht	Stagger 10'oc	Evergreen
Shrubs					
Tg	25	Tenoreuma gymnanthera (Cleyna)	7 Gallon		Evergreen

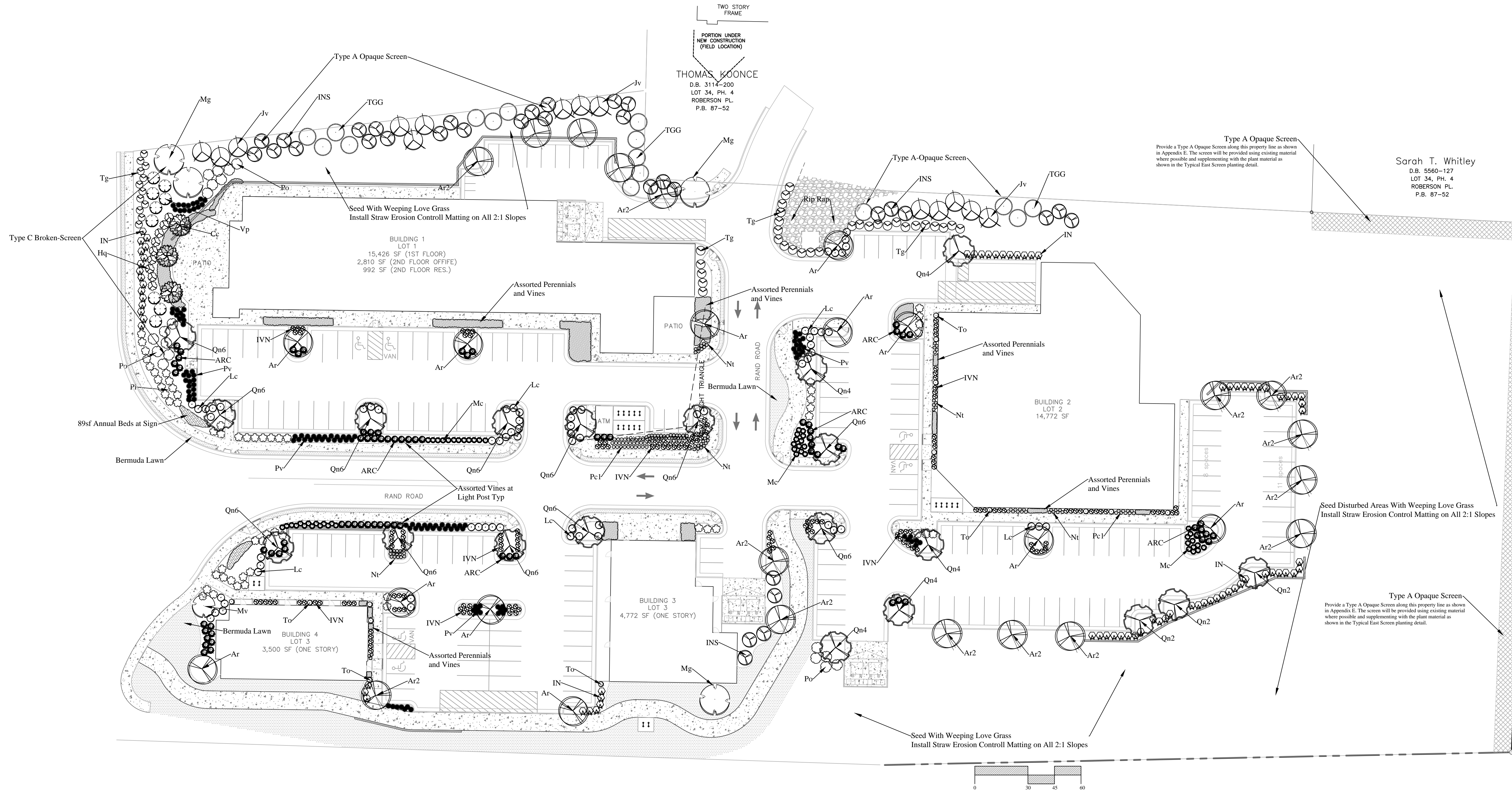
Type C-Broken-Screen					
SYM	QTY	Plant Name	Size	Notes	Plant Type
Trees					
AR	1	Acer rubrum 'Red Sunset' (Red Sunset Maple)	4" Caliper		Deciduous
Cc	3	Cercis canadensis (Redbud)	8" Ht		Deciduous
Mv	1	Magnolia virginiana (Sweet Bay Magnolia)	8" Ht		Evergreen
Qn6	3	Quercus nuttallii (Nuttall Oak)	6" Caliper		Deciduous



Type A-Opaque Screens along the northeast corner and along the east property line is needed to supplement existing plant material. Stagger planting 8'oc.

Plant Schedule					
SYM	QTY	Plant Name	Size	Notes	Plant Type
Trees					
Ar	12	Acer rubrum 'Red Sunset' (Red Sunset Maple)	4" Caliper		Deciduous
Ar2	16	Acer rubrum 'Red Sunset' (Red Sunset Maple)	2" Caliper		Deciduous
Cc	3	Cercis canadensis (Redbud)	8" Ht		Deciduous
INS	33	Ilex 'Nellie R. Stevens' (Nellie Stevens Holly)	8' Ht		Evergreen
Jv	14	Juniperus virginiana (Eastern Red Cedar)	8' Ht		Evergreen
Mg	4	Magnolia grandiflora (Southern Magnolia)	8' Ht		Evergreen
Mv	1	Magnolia virginiana (Sweet Bay Magnolia)	8' Ht		Evergreen
Qn2	3	Quercus nuttallii (Nuttall Oak)	2" Caliper		Deciduous
Qn4	5	Quercus nuttallii (Nuttall Oak)	4" Caliper		Deciduous
Qn6	12	Quercus nuttallii (Nuttall Oak)	6" Caliper		Deciduous
To	14	Thuja occidentalis 'Emerald' (Emerald Arborvitae)	6" Ht		Evergreen
TGG	16	Thuja plicata 'Green Giant' (Green Giant Arborvitae)	8' Ht		Evergreen
Shrubs					
ARC	79	Abelia x Rose Creek (Rose Creek Abelia)	3 Gallon		Evergreen
Hq	9	Hydrangea quercifolia (Oakleaf Hydrangea)	5 Gallon		Deciduous
IN	78	Ilex cornuta 'Needlepoint' (Needlepoint Holly)	3 Gallon		Evergreen
IVN	159	Ilex vomitoria 'Nana' (Dwarf Yaupon Holly)	3 Gallon		Evergreen
Tg	42	Tenoreuma gymnanthera (Cleyna)	3 Gallon		Evergreen
Le	69	Leopetalum chinensis v. r. 'Dartmoor' (Fringe Flower)	3 Gallon		Evergreen
Pv	19	Physocarpus opulifolius 'Diablo' (Ninebark)	3 Gallon		Deciduous
PI	58	Prunus laurocerasus 'Otto Luyken' (Otto Luyken Laurel)	5 Gallon		Evergreen
Vp	9	Viburnum plicatum var. tomentosum (Doublefile Viburnum)	7 Gallon		Deciduous
Grasses					
Mc	50	Muhlenbergia capillaris (Mahly Grass)	1 Gallon		Deciduous
Nt	84	Nesola tenuissima (Mexican Feather Grass)	1 Gallon		Deciduous
Pv	126	Panicum virgatum North Wind (Switch Grass)	1 Gallon		Deciduous
Pc1	47	Pennisetum alopecuroides 'Cassian' (Dwarf Fountain Grass)	1 Gallon		Deciduous
See Plan		Eragrostis curvula (Weeping Love Grass)	Seed		Deciduous
Perennials/Vines					
T700M		Assorted Perennials and Vines	1 Gallon		Varies

Note: This plan includes 132 Total trees. 50 deciduous + 82 evergreen. (62% Evergreen trees)



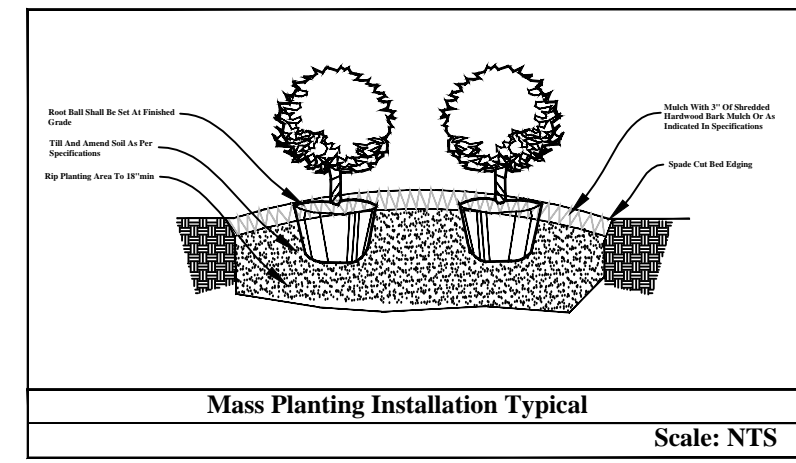
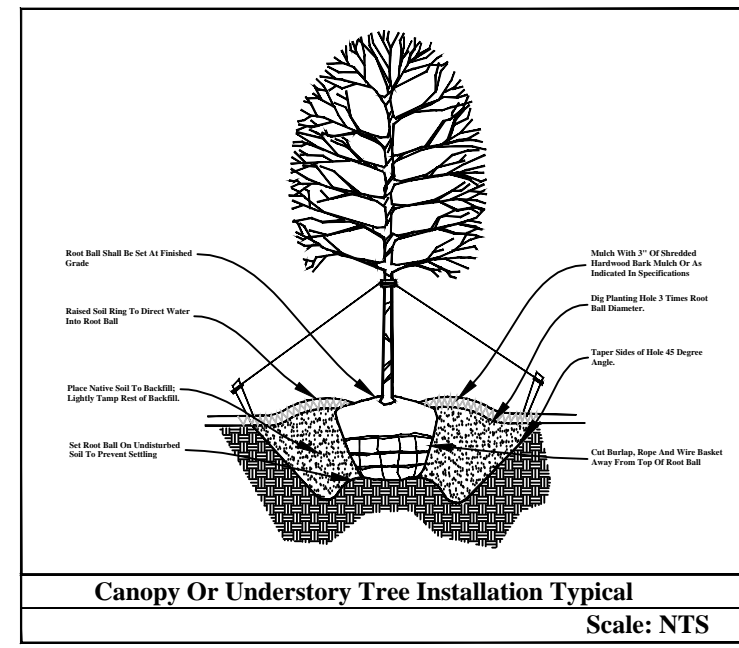
South Green-A
501 S. Greensboro St
Carboro NC
Planting Plan

Scale: 1"=30'-0"
Date: 4/21/14
Designed By: Dale Overton
Drawn By: Dale Overton
Revisions: 1/13/15
Sheet: ___ of ___

Post Office Box 727
Apex, North Carolina 27502
(919)387-0010 Office
(919)387-0690 Fax

BLAND LANDSCAPING CO., INC.
Grounds for Excellence

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Scope of Work: Furnish all labor, materials and equipment required or indicated by the drawings and specifications to complete the work of this section including installation of trees, shrubs, ground covers, perennials, sod, seeding and mulching.

Work Site: The contractor shall locate all utilities prior to construction.

Plant Bed Preparation: All plant beds shall be ripped to a depth of 18 inches, tilled to a depth of 8 inches and fine graded for planting. Till to a minimum of 1 inch of approved compost, fertilizer and lime as specified in soil test.

Plant Material: All plant materials shall be nursery grown, freshly dug if field grown, naturally shaped and well branched with well developed root systems.

Plant material shall be the size and species as indicated on the plan. Trees should be staked per detail as necessary. All plant material shall be mulched with an approved mulch upon planting.

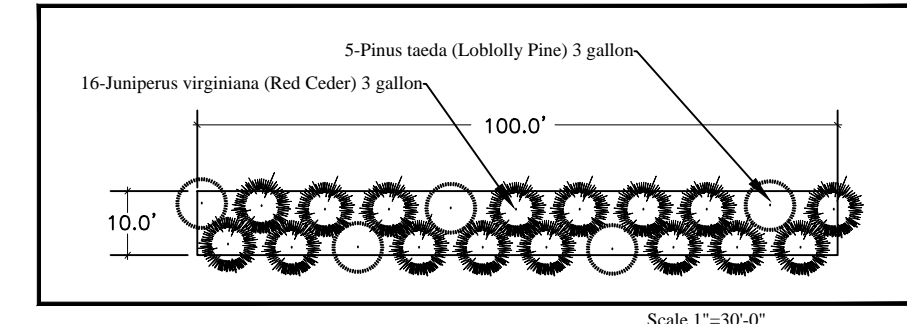
Seed Slopes: All areas with slopes 2:1 or greater shall be seeded with a seasonally appropriate mix upon completion of grading to stabilize slopes. Erosion control straw wattles shall be used as needed in areas subject to washing. The final seeding shall include scarifying the soil, applying fertilizer and amendments. The slopes will be seeded with Eragrostis curvula "Weeping Love Grass" and mulched with erosion control straw matting. All slopes shall be re-seeded as necessary to stabilize slope.

Soil Installation: All soil areas shall be ripped to a depth of 18 inches and fine graded for planting. Till in fertilizer and lime as specified in soil test. Level and compact surface soil before sod installation. Install freshly harvested hybrid Bermuda sod, roll to provide good soil contact. Water sod immediately upon installation.

NOTE: All plant and tree locations are approximate. Root ball size may require field adjustment of final locations.

Type A Opaque Screen					
SYM	QTY	Plant Name	Size	Notes	Plant Type
Trees					
INS	28	Ilex Nellie R. Stevens (Nellie Stevens Holly)	8' Ht	Stagger 8'oc	Evergreen
Jv	14	Juniperus virginiana (Eastern Red Cedar)	8' Ht	Stagger 11'oc	Evergreen
Mg	3	Magnolia grandiflora (Southern Magnolia)	8' Ht		Evergreen
TGG	16	Thuja plicata Green Giant (Green Giant Arborvitae)	8' Ht	Stagger 10'oc	Evergreen
Shrubs					
Tz	28	Ternstroemia gymnanthera (Clayton)	7 Gallon		Evergreen

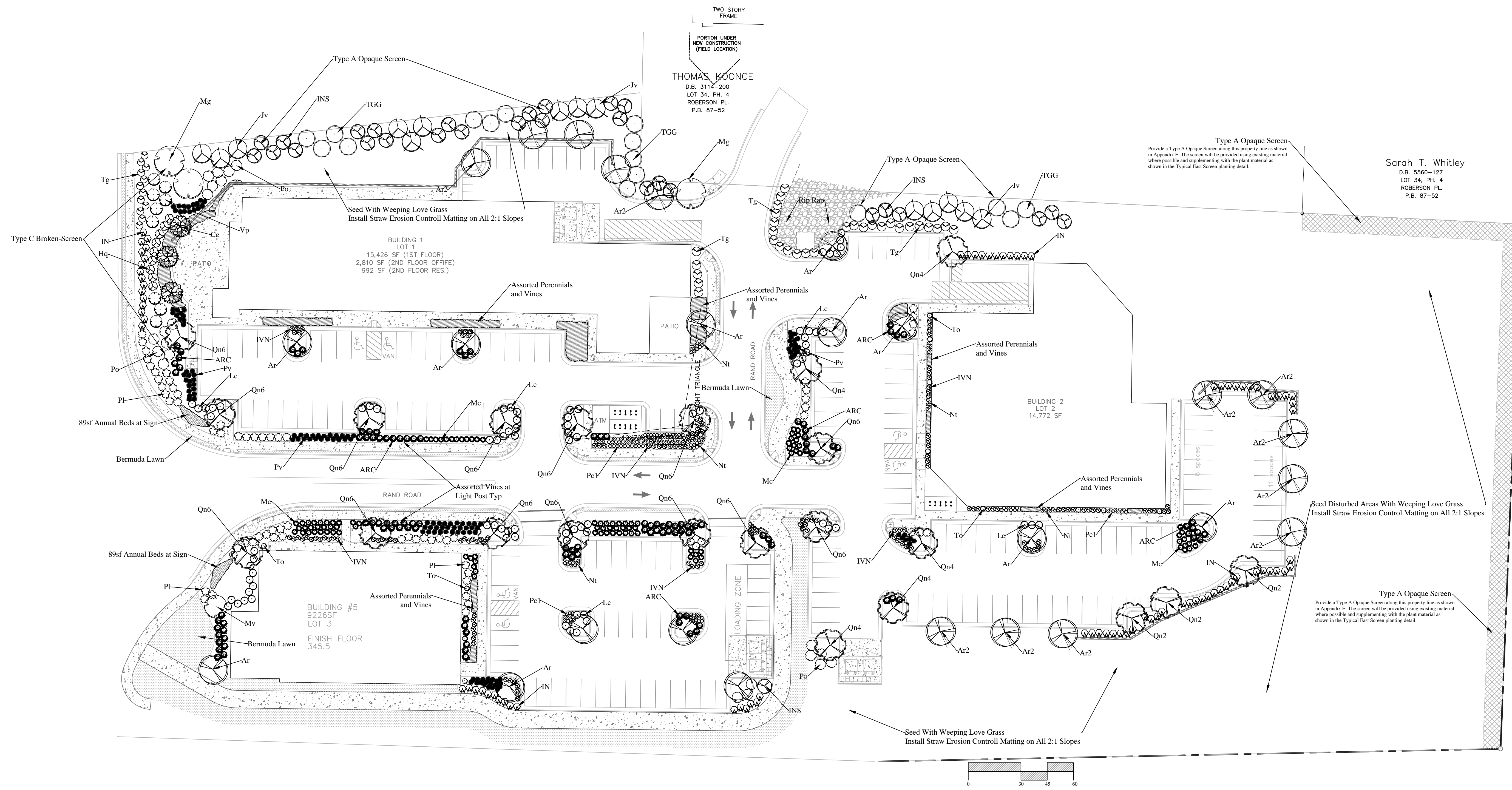
Type C Broken Screen					
SYM	QTY	Plant Name	Size	Notes	Plant Type
Trees					
AR	1	Acer rubrum Red Sunset (Red Sunset Maple)	4" Caliper		Deciduous
Cc	1	Cercis canadensis (Redbud)	8" Ht		Deciduous
Mv	1	Magnolia virginiana (Sweet Bay Magnolia)	8" Ht		Evergreen
Qn6	3	Quercus nuttallii (Nuttall Oak)	6" Caliper		Deciduous



Typical East Screen
Type A Opaque Screen along the northeast corner and along the east property line as needed to supplement existing plant material. Stagger planting 8'oc.

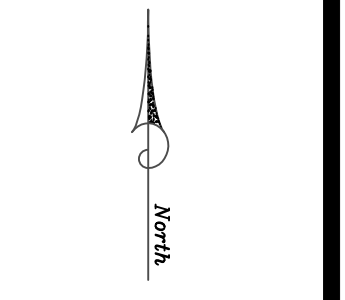
Plant Schedule					
SYM	QTY	Plant Name	Size	Notes	Plant Type
Trees					
Ar	13	Acer rubrum Red Sunset (Red Sunset Maple)	4" Caliper		Deciduous
Ar2	13	Acer rubrum Red Sunset (Red Sunset Maple)	2" Caliper		Deciduous
Cc	3	Cercis canadensis (Redbud)	8" Ht		Deciduous
INS	29	Ilex Nellie R. Stevens (Nellie Stevens Holly)	8" Ht		Evergreen
Jv	14	Juniperus virginiana (Eastern Red Cedar)	8" Ht		Evergreen
Mg	3	Magnolia grandiflora (Southern Magnolia)	8" Ht		Evergreen
Mv	1	Magnolia virginiana (Sweet Bay Magnolia)	8" Ht		Evergreen
Qn2	3	Quercus nuttallii (Nuttall Oak)	2" Caliper		Deciduous
Qn4	5	Quercus nuttallii (Nuttall Oak)	4" Caliper		Deciduous
Qn6	14	Quercus nuttallii (Nuttall Oak)	6" Caliper		Deciduous
To	12	Thuja occidentalis Emerald (Emerald Arborvitae)	6" Ht		Evergreen
TGG	16	Thuja plicata Green Giant (Green Giant Arborvitae)	8" Ht		Evergreen
Shrubs					
ARC	116	Abelia x Rose Creek (Rose Creek Abelia)	3 Gallon		Evergreen
Hq	9	Hydrangea quercifolia (Oakleaf Hydrangea)	5 Gallon		Deciduous
IN	85	Ilex cornuta Needlepoint (Needlepoint Holly)	3 Gallon		Evergreen
IVN	145	Ilex vomitoria Nana (Dor Yarrow Holly)	3 Gallon		Evergreen
Tg	42	Ternstroemia gymnanthera (Clayton)	3 Gallon		Evergreen
Lc	84	Loropetalum chinensis v. r. Daruma (Fringe Flower)	3 Gallon		Evergreen
Po	22	Physocarpus opulifolius Diablot (Ninebark)	3 Gallon		Deciduous
PI	66	Prunus laurocerasus Otto Luyken (Otto Luyken Laurel)	5 Gallon		Evergreen
Vp	9	Viburnum plicatum var. tomentosum (Doublefile Viburnum)	7 Gallon		Deciduous
Grasses					
Mc	98	Muhlenbergia capillaris (Muhly Grass)	1 Gallon		Deciduous
Nt	107	Nesselia tenuissima (Mexican Feather Grass)	1 Gallon		Deciduous
Pv	134	Panicum virgatum North Wind (Switch Grass)	1 Gallon		Deciduous
Pc1	59	Perisetum alopecuroides Cassian (Dwarf Fountain Grass)	1 Gallon		Deciduous
Perennials/Vines					
		Eragrostis curvula (Weeping Love Grass)	Seed		Deciduous
	160bf	Assorted Perennials and Vines	1 Gallon		Varies

Note: This plan includes 126 Total trees. 51 deciduous + 75 evergreen. (59% Evergreen trees)



South Green-B
501 S. Greensboro St
Carrboro NC
Planting Plan

Scale: 1"=30'-0"
Date: 4/21/14
Designed By: Dale Overton
Drawn By: Dale Overton
Revisions: 1/13/15



Post Office Box 727
Apex, North Carolina 27502
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