

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

APPLICANT: PEE WEE HOMES

PROJECT TYPE: Construction of 3 small homes for individuals earning 30% or less. The homes will be permanently affordable rental units.

AMOUNT REQUESTED: \$51,100 for 3 tiny homes.

TOWN AH GOALS ADDRESSED: 2.1 Increase number of rental units that are permanently affordable to individuals and families earning less than 60% AMI.

Comprehensive Plan: Goal 2. Increase the number of rental units permanently affordable to households earning less than 30% AMI or historically disadvantaged households.

PROJECT ADDRESS: 106 Hill Street – in town limits.

PROJECT SUMMARY: This project will serve individuals who are either currently experiencing homelessness or who have a history of chronic homelessness with incomes below 30% AMI. The needs of these individuals will be served through the development of rental housing that is available at rates affordable to extremely low-income households. Pee Wee Homes also commits to offering community support for the tenants.

POPULATION SERVED: Total Number: 3

% AREA MEDIAN INCOME	<30%	31%-60%	61-80%	81-100%	101-115%	
	3					
RACE/ETHNICITY	ASIAN	BLACK	HISPANIC/LATINO	MIXED RACE	OTHER	WHITE
		2	1			
SENIORS PRESENT	3					
CHILDREN PRESENT						
DISABILITY PRESENT		1				

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ENVIRONMENTAL IMPACT:

Planned list of energy efficient measures:

- Solar panels
- Lighting Fixtures – all LED fixtures
- Weatherization
- Appliances and Water Heater– Energy Star Qualified Units
- Windows, Doors – Energy Star Qualified
- HVAC - Energy Star Qualified Unit, 14 SEER
- Plumbing - Water Sense toilets

FUNDING RECOMMENDATION:

- FULLY FUND
- PARTIALLY FUND (Can include suggested amount or %) _____
- DO NOT FUND

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

APPLICANT: REBUILDING TOGETHER OF THE TRIANGLE

PROJECT TYPE: Rehab/Repair, Age in Place conversions, Weatherization

AMOUNT REQUESTED: \$33,730.99 - two homes.

TOWN AH GOALS ADDRESSED: 1.3 A2. Grants for critical home repairs, energy efficiency, up fits to accommodate changing mobility, etc. +opportunities to decrease utility payments.

PROJECT ADDRESS: Weatherhill Place and Prince Street – Carrboro Town Limits

PROJECT SUMMARY: **Weatherhill Place** – Drywall repairs, shower conversion in bathroom, plumbing, new HVAC. **Prince Street** – Install roof and gutters, replace railing, and window repairs. Weatherization in attic and crawlspace. Inside the home, drywall repairs, carpet removal, shower conversion in bathroom, bath fan and grab bars installation, new ADA toilet, plumbing, new HVAC, replace kitchen cabinets, countertops, and sink.

These repairs and modifications will allow elder and longtime homeowners remain in their homes.

POPULATION SERVED: Total Number: 4

% AREA MEDIAN INCOME	<30%	31%-60%	61-80%	81-100%	101-115%	
		1	3			
RACE/ETHNICITY	ASIAN	BLACK	HISPANIC/LATINO	MIXED RACE	OTHER	WHITE
		4				
SENIORS PRESENT		2				
CHILDREN PRESENT						
DISABILITY PRESENT						

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

ENVIRONMENTAL IMPACT:

Both homes will have energy efficient HVAC systems installed and one of the homes will be weatherized in the crawlspace and attic.

FUNDING RECOMMENDATION:

- FULLY FUND
- PARTIALLY FUND (Can include suggested amount or %) _____
- DO NOT FUND

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

APPLICANT: EMPOWERMENT, INC.

PROJECT TYPE: Acquisition

AMOUNT REQUESTED: \$100,000

TOWN AH GOALS ADDRESSED: 2.1 Increase the number of rental units that are permanently affordable to individuals and families earning less than 60% of AMI.

PROJECT ADDRESS: Homestead Road, Carrboro ETJ

PROJECT SUMMARY: The project will acquire ten existing rental units on 9 acres on 301 Homestead Road near Calvander, in the Carrboro ETJ. The units are naturally occurring affordable housing, and EmPOWERment has committed to ensuring that the current tenants would not be displaced. The cost of the project is \$2,530,000.

POPULATION SERVED: Total Population: 59

% AREA MEDIAN INCOME	<30%	31%-60%	61-80%	81-100%	101-115%	
		59				
RACE/ETHNICITY	ASIAN	BLACK	HISPANIC /LATINO	MIXED RACE	OTHER	WHITE
		9	21			12
SENIORS PRESENT		5				
CHILDREN PRESENT		12				
DISABILITY PRESENT						

Full race/ethnicity data not available

ENVIRONMENTAL IMPACT: Not at this time. As repairs and upgrades are needed, EI will incorporate universal design features and replace aged appliances with energy efficient ones and will seek to partner with other County programs to weatherize the homes.

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

FUNDING RECOMMENDATION:

- FULLY FUND
- PARTIALLY FUND (Can include suggested amount or %) _____
- DO NOT FUND

Affordable Housing Special Revenue Fund

Application

Fiscal Year 2023-2024



OVERVIEW

The Town of Carrboro established an Affordable Housing Special Revenue Fund in 2007. The goal of

the Affordable Housing Special Revenue Fund is to advance the Town's goal of increasing and improving the stock of affordable housing within Carrboro and its planning jurisdiction.

FUNDING

Source of Funds. Since June 2018, the Town Council has passed two half cent property tax increases, creating a dedicated revenue source for affordable housing. For Fiscal Year 2023-2024, the Council has approved an amount equal to 1.5¢, which is an allocation of \$393,046.

The Affordable Housing Special Revenue Fund may also be funded by payments made by developers in lieu of providing affordable housing units under the applicable provisions of the Land Use Ordinance. Other revenue sources for the fund may include grants, donations, loans, interest payments, or other contributions or assignments.

ELIGIBILITY

Nonprofit organizations may request funds to be used to support projects that meet the Town's affordable housing goals and are in alignment with the Town's 2020 Comprehensive Plan. In order to qualify, the following requirements must also be met by the beneficiaries (individuals) and substantiated by the applicant (nonprofit organization):

- a. Beneficiaries must be a resident of Carrboro or the Carrboro planning jurisdiction, or purchasing a home in Carrboro or the Carrboro planning jurisdiction;
- b. Beneficiaries must have a gross household income of 115% the Area Median Income or less, with priority given to households at 80% of AMI and below for homeowners, and 60% of AMI and below for renters; projects benefitting households earning less than 30% AMI, seniors, or those who are disabled are further prioritized (Please see Attachment A for current incomelimits.);
- c. Beneficiaries must be unable to obtain a loan, either subsidized or unsubsidized, on comparable terms and conditions;
- d. Beneficiaries or applicants must be the owner of the property in fee simple or leasehold estate and have paid or have appropriate arrangements with the county tax assessor to pay the tax bill, if the property is to be rehabilitated, or have clear title if the property is to be purchased or constructed;
- e. Beneficiaries must be residing in the property to be rehabilitated, or if purchased or constructed, occupy the property when the acquisition is completed. The building or affordable unit that is subject to program funding must have an anticipated life of at least 20 years after rehabilitation, or 30 years, if constructed or acquired. Beneficiaries must also have an intact homeowner's insurance policy, if applicable.

PERMITTED USES OF FUNDING

Development & Acquisition

Loans: 1. To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of acquiring affordable housing.

2. To provide direct deferred payment loans to beneficiaries to supplement loans made by financial institutions for the purpose of acquiring affordable housing.

Land Banking: To assist in the purchase of land for conveyance to nonprofit affordable housing agencies.

Construction: To pay some or all of the expenses associated with the construction of affordable housing.

Acquisition: To acquire developed properties suitable for resale to individuals or families.

Pre-development Costs: To pay some or all of the pre-development costs (such as feasibility studies, appraisals, land options and preparation of an application) for projects to be developed for the purpose of providing rental or owner-occupied affordable housing.

Land Trust: To provide grants to organizations for land trust projects that guarantee long-term affordability of a property through a 99-year renewable ground leases or for maintenance of land trust housing stock.

Subsidy: To provide permanent subsidies to reduce the sale price of new or existing housing units so as to make them more affordable.

Repair, Rehabilitation, Weatherization & Preservation

- To provide for emergency home repairs and/or weatherization of properties in the affordable housing stock.
- To provide for the maintenance of properties in the affordable housing stock that are falling into disrepair.
- To provide grants or loans to nonprofits to avoid losing homes in the permanent affordable housing stock as a result of foreclosure.

NOTE: Town of Carrboro Housing Stabilization Assistance funds are administered by Orange County through the Emergency Housing Assistance program.

APPROVAL

The Affordable Housing Advisory Commission (AHAC) was formed in 2017. A key responsibility of the AHAC is to review funding applications and to make recommendations to Town Council to approve or deny funding based on their review.

In 2018 the Town Council voted to allow the Town Manager to approve or deny funding applications for no more than \$5,000 or 15% of the existing fund, whichever is lower. These applications are accepted year-round.

PROJECT REPORTING AND MONITORING

Recipients of funds for development are required to submit a progress report to the Town by the end of the fiscal year (June 30) to monitor progress and performance, financial and administrative management, and compliance with the terms of the performance agreements. Please submit annual reports via email by June 30 to: amvanaman@carrboronc.gov. A report form will be provided with the performance agreement.

GENERAL APPLICATION INFORMATION AND PROCEDURES

Funding applications are accepted three times a year: October 5th, January 5th, and April 5th. Funding is based on the availability of funds. Only as many funding cycles will be completed as necessary to use the available funds. All application documents should be submitted electronically to both amvanaman@carrboronc.gov and humanservices@carrboronc.gov.

CHECKLIST OF REQUIRED DOCUMENTATION

Application:

- Section 1: Applicant and Project Overview
- Section 2: Project Description
- Section 3: Performance Measurements*
- Section 4: Project Budget and Pro-forma
- Section 5: Agency Description
- Section 6: Disclosure of Potential Conflicts of Interest

Other Required Attachments:

Please provide one copy of each of the following documents (once per year):

- Current list of Board of Directors, including addresses, phone numbers, terms, and relevant affiliations;
- Current Bylaws and Articles of Incorporation;
- IRS tax determination letter [501(c)(3)] (if applicable)

Most recent independent audit (if applicable). (**Not Applicable**)

Applications may not be considered for the following reasons:

1. Project does not align with the eligibility criteria for these funding sources;
2. Applicant has demonstrated poor past performance in carrying out projects or complying with funding guidelines;
3. Applicant fails to provide required information;
4. Incomplete or late applications.

*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

PLEASE CALL OR EMAIL ANNE-MARIE VANAMAN WITH FUNDING QUESTIONS:

919-918-7321 OR amvanaman@carrboronc.gov

FUNDING APPLICATION

Section 1: APPLICANT AND PROJECT OVERVIEW

A. Applicant Information

Applicant/Organization's Legal Name: Pee Wee Homes

Primary Contact Person and Title: Quinton Harper, Executive Director

Applicant/Organization's Physical Address: 8410 Merin Rd, Chapel Hill, NC 27516

Applicant/Organization's Mailing Address: PO Box 17102, Chapel Hill, NC 27516

Telephone Number: (919) 590-9023

Email Address: peeweehomes@gmail.com

B. Project Information

Project Name: Pee Wee Homes at 106 Hill Street

Total Project Cost: \$594,000

Total Amount of Funds Requested: \$51,100

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.): Development & Acquisition: Construction: To pay some or all of the expenses associated with the construction of affordable housing.

To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.

Signature:



Quinton Harper, Executive Director

Pee Wee Homes

Signed 12/28/23

<i>AMI</i>									
<i>81-100% of AMI</i>									
<i>101-115% of AMI</i>									
TOTAL	3		1		2	1			

3. Project Staff. Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

Greg Rockett: Greg serves as our construction manager for this project. He's the Residential Construction Manager at Self-Help Development Corporation with decades of construction experience and Founding Board of Directors member of Pee Wee Homes. Greg has overseen the construction of hundreds of quality affordable housing units across the country and has helped oversee the previous 7 units of Pee Wee Homes.

Sarah Howell: Architect, AIA LEED AP, lead architect designing and constructing efficient, beautiful, customized homes for reconstruction in the Make It Right Foundation effort post-Hurricane Katrina. Sarah's design plans and specifications were used to build the first seven Pee Wee Homes and are being used for this project as well. Sarah is also a founding board member of Pee Wee Homes and will help oversee this project as part of the Site Development and Construction Committee of Pee Wee Homes.

Heather Ferrell: Architect and Executive Director of Prism Design Lab, a member of the SEED Network, the National Organization of Minority Architects, the Association for Community Design and is the Executive Director of Prism Design Lab. She earned a BS of Anthropology from NC State University and a Masters of Architecture from the University of Oregon. She is a registered architect in the states of North Carolina and Massachusetts. She has provided the final architectural plans for this project.

David Swanson: David has nearly 40 years of experience in landscape architecture and planning in public and private practice, with particular expertise in site planning and historic preservation issues. He specializes in the use of native landscapes and natural settings, and in the adaptive reuse of landscape and hardscape elements. He and his spouse/business partner Terri have served on various boards and commissions including the Chapel Hill Design Review Board, Chapel Hill Community Design Commission, and the Chapel Hill Historic District Commission. He is serving as the Landscape Architect for this project.

Quinton Harper: Pee Wee Homes' new Executive Director, Quinton recently founded and directed Activate! IFC. He has over a decade of non-profit, community organizing and advocacy experience and will be helping coordinate the team overseeing this project.

New Start Development: An acclaimed Black-owned general contracting business led by Greg Mann, who has

several decades of construction and contracting experience. Greg will serve as the general contractor for two of the homes as well as provide oversight for all of the site work.

Hope Renovations: A nationally award-winning non-profit that provides women with construction trades training, primarily through critical home repair work. Hope Renovations has built a new construction tiny home in Durham in partnership with Coram Homes. Sandy DeWeese, Director of Construction Programs, will manage the project for Hope Renovations. Hope Renovations will serve as the general contractor for one home.

Mellicent Blythe, LCSW - Pee Wee Homes Board Chair and Clinical Faculty in the School of Social Work at UNC. Mellicent has served on Pee Wee Homes board for three years as its Vice-Chair and will help coordinate board support and oversight for this project.

Libby Searles-Bohs – Pee Wee Homes Treasurer, Libby has extensive bookkeeping and financial management experience and will help oversee the processing of invoices and financial management of this project.

Pee Wee Homes Tenancy Committee: made up of professional social workers, homeless programs service providers, and board members with lived experience, this committee will be responsible for identifying tenants, managing leasing and other property management, as well as connecting with service providers to support the project's tenants. The committee is also made up of people with lived experience of experiencing housing insecurity and Pee Wee Homes tenants.

B. "What"

1. Type of Activity. Please check the category under which your project falls.

- Acquisition
- Pre-development costs
- Rental subsidy
- Ownership subsidy
- New construction for homeownership
- New construction for rental
- Rehabilitation for owner-occupied or rental

2. Project Description. Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

This grant will help us construct three new permanently affordable rental homes at 106 Hill Street, and extend our community of support for three additional residents transitioning out of homelessness. The 106 Hill Street site was donated by Carrboro to Pee Wee Homes for this purpose. The designs and site plans are complete; the zoning permit has been granted; and we

have submitted for final building permits. Two general contractors are lined up to do the site work and construction, managed by our site development and construction committee. The only missing piece is the remaining gap funding pending in our Orange County bond application (that has been recommended by their affordable housing board to the Commissioners) and requested in this application, a gap which resulted from rising construction and infrastructure costs over our two years of site development on this project. When we were allocated \$60,000 of our \$100,000 request two years ago from Carrboro's Affordable Housing Special Revenue Fund, the board told us to come back if we needed additional funding based on costs. We are applying for this \$51,100 because the delays from Carrboro's planning process (two years!) and the requirements for specialized engineering led to significant increases in our infrastructure and construction costs.

The three homes will range in size 360 - 384 square feet on the interior and take advantage of creative livable design elements to maximize space and creatively engage the physical environment. The land these homes will be built on resides within the Northside neighborhood and is right across the street from Baldwin Park and two blocks from downtown Carrboro. By building in this neighborhood, the project leverages an existing community asset to allow for our tenants to live independently within the context of community. This project will assist with the dire need for affordable rental development in our community. The Pee Wee Homes model builds in ongoing communities of support, distinguishing it from other tiny home community models.

C. "Where"

1. Project Location. This project will occur at 106 Hill St in Carrboro, on the corner of Hill and Broad streets in the Lloyd/Broad section of the Northside Neighborhood of Carrboro. This location is across the street from a park and community garden, a block from Piedmont Community Health Center, two blocks from grocery stores, shops, and restaurants in downtown Carrboro as well as the many bus lines that run down Main Street. It is also half a mile from Northside Elementary School.

2. Project Size (if applicable). Please provide the size of development

site: 0.172 acres

Please attach the following:

- ✓ Site map showing lot boundaries, locations of structure(s), and other site features

✓ General location map (at least ½ mile radius)

(both are included in attachment called "Maps of 106 Hill St"

D. "When"

Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.)

Attached as "106 Hill St Project Timeline and Project Schedule"

E. Project Details

If the questions below are not applicable or the requested information is not currently available, please insert N/A.

1. Property Acquisition.

a. Has your agency acquired real property in order to carry out the project, or is property acquisition planned? Yes, Pee Wee Homes owns the property (donated by Carrboro!)

b. Is the property currently occupied? If so, attach a description of your plan to relocate. No, the property is vacant

c. Please attach an appraisal of the property. Appraisal of vacant land attached.

2. Construction/RehabilitationDetail.

a. How many units will be newly constructed? 3 units

b. How many units will be rehabilitated? N/A

c. What is the square footage of each unit? 360, 384, and 384 SF

d. What is the number of bedrooms in each unit? 1

e. What is the number of bathrooms in each unit? 1

f. How many units will have full ADA accessibility? 0

g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?

Within Carrboro town limits at 106 Hill St.

h. Please attach the following:

- ✓ Floor plan(s)
- ✓ Elevation(s)
- ✓ List of Energy Efficiency measures included in the project (if applicable)
- ✓ List of Universal Design principles included in the project (if applicable)

3. Design, Affordability, Marketing, and Supportive Services.

a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.

When the property was conveyed to Pee Wee Homes by the Town of Carrboro, the organization agreed to restrictive covenants ensuring a 99 year period of affordability for these units to serve households with incomes below 30% of the area median income.

b. What are the proposed rents (including utility costs) or sales prices for completed units?

Tenants pay a monthly rent amount no more than 30% of their income, generally in the range of \$220-\$400 per month, calculated based on income and estimated utility expenses. Additionally, 10% of each tenant's on-time rental payment is held in escrow for the tenant – assisting tenants in building equity during their residency. The tenant will be able to use these escrow deposits as a cushion in emergencies or to transition to their next home.

c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:

We will partner with the Community Empowerment Fund (CEF), Interfaith Council for Social Services (IFC) and Orange County to reach homeless and formerly homeless individuals. CEF provides support to 600 homeless and near-homeless individuals in Orange County and has been a partner on previous projects. Partnership with Orange County Coordinated Entry will enable the agency to prioritize the needs of potential tenants based on their circumstances and needs. Pee Wee Homes also has a waitlist of income-eligible renters.

d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.

Pee Wee Homes' model centers around energy efficiency and quality, sustainable design.

1) Design: Pee Wee Homes are designed to provide incredibly efficient spaces, take up little impervious surface, and to utilize high-quality sustainable materials in the construction process. We receive additional design support from occupational therapists at UNC's Partnerships in Aging to plan in universal design features and aging-friendly designs given how many of our residents are seniors.

2) Energy efficiency measures: We incorporate a range of energy efficient measures into our home builds, including LED lighting fixtures, extensive envelope improvements (R-40 attic insulation, sealed attic and crawlspace, etc), Energy Star appliances and windows, high efficiency mini-split HVAC systems, and water sense toilets.

3) Solar Panels: starting with our current development project, we are adding solar panels in our builds,

thanks to a generous private donor interested in environmental sustainability.

4) Proactive maintenance visits: We have a maintenance team, including a qualified General Contractor, who visits our homes regularly, changing out filters and checking in on maintenance, safety, and repair concerns proactively.

5) Reserves: We have established maintenance and replacement reserves into all of our building projects, and include additional 20% of rental revenue each year to add to this reserve. This helps ensure that in case of major maintenance issues or the need to replace several larger systems, our organization can respond immediately.

e. What supportive services, if any, will be provided through this project?

With help from the Pee Wee Homes Tenancy Committee, made up of professional social workers and several homeless programs service providers, the Resident Support Specialist will collaborate with each tenant to develop a support plan and connect our tenants with service providers and community partners to for issues around aging in place, financial planning, food access, and social work support. We are committed to providing our residents with the support and grace they require to transition out of homelessness. Our highly skilled and energized board is ready to jump in and help our tenants with tasks such as furnishing their homes or providing transportation to important events and appointments. In addition to very low rents, ten percent of each tenant's on-time rental payment is held in escrow for the tenant – assisting tenants in building equity. The tenant will be able to use these escrow deposits as a cushion in emergencies or to transition to their next home. In addition to building equity for the tenant, rental payments will help to perpetuate the model and provide for maintenance costs to ensure that dwellings remain high-quality, safe places to call home.

Section 3: PERFORMANCE MEASUREMENTS

A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI.</i>
Build quality homes for extremely low-income individuals.	By June 2024, complete three new rental units affordable for Orange County individuals who make \leq 30% AMI.
Provide permanent, independent housing and a community of support to sustain transitions out of homelessness.	Three new Pee Wee Homes residents will make transitions out of homelessness, pay no more than 30% of their income to housing costs, and be sustained in a community of support for years to come.

B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

The PWH 106 Hill St project aligns with many of the local goals and affordable housing strategies as outlined in the Town of Carrboro Affordable Housing Goals and Strategies document and the Carrboro Connect comprehensive plan.

The project specifically addresses the following Town of Carrboro goals:

- 2.1 Increase number of rental units that are permanently affordable to individuals and families earning less than 60% AMI.
- 2.4 Reduce erosion of rental housing quality and affordability.

The project specifically aligns with goals and strategies elevated in the Carrboro Connects:

- Goal 2. Increase the number of rental units that are permanently affordable to those earning less than 30% AMI and historically disadvantaged households.
- Strategy 2.2: Create targeted rental programs for extremely low-income households (less than 30% AMI).
- Strategy 3.2: Support affordable housing options for older adults and persons with different abilities
- Strategy 3.4: Assist with acquisition of land for affordable housing.
- Strategy 5.2: Help extremely low-income households and people experiencing homelessness transition to permanent affordable housing.
- Strategy 5.3: Prevent homelessness.

The most relevant niche that Pee Wee Homes and this project in particular fall into, is providing housing to those with <30% AMI. Though our project may only house a few individuals, only 5% of the housing in Orange County is currently available to those of extremely low income, so we believe any step in the right direction will significantly help this population, especially as our organization continues to pick up momentum and grow. We also prioritize our housing for individuals who are experiencing homelessness or have a history of chronic homelessness, which aligns with the Orange County strategic plan priorities (2020-2025 Orange County Five Year Consolidated Plan) . It is our goal to be able to provide housing for people who are aging or who have service needs, and we have taken steps in that direction. But as the situation of homelessness in our county is so dire, at this time we prioritize building units with as much livable design incorporated as possible and are still working on our capacity to support those with service needs.

Section 4: PROJECT BUDGET AND PRO-FORMA

A. Project Budget

- ✓ Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which

funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.

Attached as "106 Hill St Detailed Project Budget" and funding commitment letters are attached as well.

Has an appraisal been conducted? If so, please attach.
Appraisal of the vacant land is attached.

B. Terms of Project Funding

Please specify the type of funding request for which you are applying:

Grant Loan

C. Pro-forma (for rental property only)

If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

Section 5: ORGANIZATION DESCRIPTION

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

A. Organization

What is your organization's . . .

1. Mission statement?

The mission of Pee Wee Homes is to create dignified, affordable, tiny homes in a caring community for, and with, people transitioning out of homelessness.

2. Incorporation date (Month and Year)? August, 2017

3. Estimated Total Agency Budget for this fiscal year?

\$243,871

4. Total number of agency staff (full time equivalents):

1.5 FTE

B. Organization Track Record and Community Support

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project.

This project is shovel ready because of the broad-based collaboration and support that exists for this project. This support includes construction support from a Black-owned general contracting business, New Start Development, led by Greg Mann, who has several decades of construction and contracting experience. Greg will serve as the general contractor for two of the homes as well as provide oversight for all of the site work. Hope Renovations, a nationally award-winning non-profit that provides women with construction trades training, primarily through critical home repair work. Hope Renovations has built a new construction tiny home in Durham in partnership with Coram Homes, and will serve as the general contractor for one home.

Pee Wee Homes also collaborates closely with many organizations and community groups to make our builds happen and house our neighbors as can be seen by the answer to question 4 below. Self-Help and the Jackson Center, leaders of the Northside Neighborhood Initiative, initiated the conversation for Carrboro to donate this lot for affordable housing. The Northside Compass Group, consisting of leaders throughout Northside, is supportive of Pee Wee Homes as an organization, and has a track record of helping provide community support and friendship to our residents once they move in, by providing them services offered to those in need in the neighborhood. Through huge support from the Carrboro Affordable Housing Advisory Board, the Town of Carrboro donated the parcel at 106 Hill Street to Pee Wee Homes in 2022.

2. Involvement of intended beneficiaries of the project in the planning process.

The Pee Wee Homes Board includes at least five formerly homeless individuals, two of whom are current Pee Wee Homes' residents. As part of the board, they have been involved in the planning, visioning, design, and fundraising for these units and are a critical part of all decision-making for the organization. This includes the recent development of our Three Year Strategic Plan, the nomination and election of board members, participation on sub-committees, and the successful efforts to rezone the Hill Street property a few years back. Additionally, the current residents of the Pee Wee Homes provided feedback on their experiences in their homes and improvements they would suggest to provide guidance on design adaptations and livability of the units.

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables.

Pee Wee Homes has completed 7 units of affordable housing in Chapel Hill since 2016. Four of these homes are located in Northside (Chapel Hill) and three at the Church of the Advocate. All these projects have been incredibly successful communities so far, with seven residents who have all made transitions out of homelessness (all over the age of 58) and are receiving support from staff, neighbors, board members, and other volunteers. The model has been working: residents are paying on average \$286 in income-based rent, gaining equity, and sustaining their transitions into permanent housing (our longest resident is now in year 6 of stable housing with Pee Wee Homes).

4. Collaborative relationships with other agencies.

Pee Wee Homes has close collaborative relationships with the Jackson Center, the Community Empowerment Fund, Self-Help Credit Union, the Interfaith Council, UNC-Chapel Hill, and the Towns of Chapel Hill and Carrboro. Many of these collaborations are sustained by nature of our board wearing multiple hats and bringing their connections with the above agencies and institutions with them to their work with Pee Wee Homes. There are other groups we connect with as well for specific projects, such as Carol Woods, SOHRAD, Partnerships in Aging, Church of the Advocate, and local social workers. We believe firmly that collaboration is, and has been, the key to our success.

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive.

We plan to link with the Jackson Center, the Community Empowerment Fund and the Inter-Faith Council to coordinate and provide community to those transitioning out of homelessness. As an organization, it is part of our mission to allow individuals to be supported in community. The programs: the Jackson Center, CEF and IFC offer will support our residents with ongoing resources, community connections, and advocacy. As an organization, we too will provide training to ensure residents are empowered and confident in utilizing house amenities and managing their needs. As an organization, we have partnered with UNC occupational therapy students to conduct a capacity analysis evaluating how we as an organization can best assist our residents to transition out of homelessness and age in community.

6. Any other features relating to organization capacity that you consider relevant, (i.e., property management experience, including accepting Section 8 Vouchers, etc.).

Our property management team is made up of a licensed contractor, the former director of the Partnerships in Aging, and our Resident Support Coordinator who make monthly proactive maintenance visits as well as responsive ones to ensure high quality management. Additionally, we accept housing choice vouchers for rental units and provide income-based rents to our residents that do not exceed 30% of each resident's income.

Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES

NO

b) Members of or closely related to members of the governing bodies of Carrboro?

YES

NO

c) Current beneficiaries of the project/program for which funds are requested?

- YES
 NO

d) Paid providers of goods or services to the program or having other financial interest in the program?

- YES
 NO

If you have answered YES to any question, **please explain below**. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an **undisclosed** conflict may result in the termination of any grant awarded.

Attachment A

2023 Income Limits

US Department of Housing and Urban Development (HUD)

Durham-Chapel Hill Metropolitan Statistical Area
(Durham, Orange, and Chatham Counties)

Income Level	1 person	2 people	3 people	4 people	5 people	6 people	7 people	8 people
30% area median income	\$21,250	\$24,300	\$27,350	\$30,350	\$32,800	\$35,250	\$37,650	\$40,100
50% area median income	\$35,400	\$40,450	\$45,500	\$50,550	\$54,600	\$58,650	\$62,700	\$66,750
60% area median income	\$42,480	\$48,540	\$54,600	\$60,660	\$65,520	\$70,380	\$75,240	\$80,100
80% area median income	\$56,650	\$64,750	\$72,850	\$80,900	\$87,400	\$93,850	\$100,350	\$106,800

106 Hill Street Project Timeline & Schedule

May 2021

Orange County 2021 HOME funds committed

December 2021-February 2022

Town of Carrboro Affordable Housing Special Revenue Funding secured

Secured major private donor

January 2023

Submit final revised site plans for approval

Submit for zoning permits

Bids for General Contractor and other contractors solicited

April 2023-June 2023

Orange County 2023 HOME funds committed

Received and responded to zoning permit review comments

July-September 2023

Bid review and contractor selection

Major gift received for solar panel system for all 3 homes

Oak Funding from Northside Neighborhood Initiative Committed

Submitted updated zoning plans to final round of comments

October-December 2023

Granted zoning/land permits by Town of Carrboro

Contracts signed with Hope Renovations/New Start Development (General Contractors)

Submitted for building permits

Broke Ground on site for all three Pee Wee Homes

Applied for final gap subsidy based on final contract numbers

January 2024

Site clearance and preparation for construction

Site work completed

Final gap fund decisions from Orange County and Carrboro

Construction on all three homes underway

June 2024

Construction complete and certificate of occupancy obtained

Occupied on July 1, 2024

Pee Wee Homes
Project Budget: 106 Hill Street

Sources	Amount	Affordability Period
Foundation Grants		
Oak Foundation Matching Grant(Northside Neighborhood Initiati	\$40,000	N/A
Government Grants		
Town of Carrboro Affordable Housing Special Revenue Fund Gr	\$60,000	99 years by deed restriction
Orange Co. 2021 HUD/HOME Program Grant	\$100,000	30% AMI - 15 years; affordable - 99 years
Orange Co. 2023 HUD/HOME Program Grant	\$50,000	30% AMI - 15 years; affordable - 99 years
Orange Co. CIP/Bond Funds	\$166,500	TBD
Town of Carrboro Affordable Housing Special Revenue Fund Gr	\$51,100	99 years by deed restriction
Private Donations	\$126,400	N/A
Total Sources	\$594,000	

Expenses	Budget
Pre-Development (surveys, soil sampling, etc.)	\$2,000
Site work and infrastructure	\$56,000 *Based on final contract
Construction & Materials (includes site work & solar installation)	\$474,000 *Based on final contract breakdowns) provided b
Solar Installation	\$30,000 *Based on estimates by
Design & Engineering (soft costs)	\$3,200
Personnel & Operations	\$800
Contingency (5%)	\$28,000
Total Expenses	\$594,000

Status

Committed by NNI

Awarded 10/26/2021.
Contract signed 3/3/2022;
Revised 10/23
Awarded as part of the
FY21-22 Annual Action
Plan, Development
Awarded as part of the
FY23-24 Annual Action
Plan, Development
Agreement Signed
Proposed September
2023; Recommended by
OCAHB on 12/19/23

This request, proposed
January 2024

Awarded and received

numbers for site work
numbers (with detailed
y General Contractors
two solar companies

20 Year Pro Forma: Pee Wee Homes on Hill Street

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20			
Revenue to Landlord																						ASSUMPTIONS	
Gross Potential Rent	\$ 10,800	\$ 11,124	\$ 11,458	\$ 11,801	\$ 12,155	\$ 12,520	\$ 12,896	\$ 13,283	\$ 13,681	\$ 14,092	\$ 14,514	\$ 14,950	\$ 15,398	\$ 15,860	\$ 16,336	\$ 16,826	\$ 17,331	\$ 17,851	\$ 18,386	\$ 18,938	Monthly Rent Yr 1	\$ 300 per unit	
Vacancy of 5%	\$ (540)	\$ (556)	\$ (573)	\$ (590)	\$ (608)	\$ (626)	\$ (645)	\$ (664)	\$ (684)	\$ (705)	\$ (726)	\$ (747)	\$ (770)	\$ (793)	\$ (817)	\$ (841)	\$ (867)	\$ (893)	\$ (919)	\$ (947)	Annual Rent Inflation	3%	
Effective Gross Income	\$ 10,260	\$ 10,568	\$ 10,885	\$ 11,211	\$ 11,548	\$ 11,894	\$ 12,251	\$ 12,619	\$ 12,997	\$ 13,387	\$ 13,789	\$ 14,202	\$ 14,628	\$ 15,067	\$ 15,519	\$ 15,985	\$ 16,464	\$ 16,958	\$ 17,467	\$ 17,991	Vacancy	5%	
Expenses to Landlord																						ASSUMPTIONS	
Insurance	\$ 1,500	\$ 1,545	\$ 1,591	\$ 1,639	\$ 1,688	\$ 1,739	\$ 1,791	\$ 1,845	\$ 1,900	\$ 1,957	\$ 2,016	\$ 2,076	\$ 2,139	\$ 2,203	\$ 2,269	\$ 2,337	\$ 2,407	\$ 2,479	\$ 2,554	\$ 2,630	Starting Insurance	\$ 500 3%	
Management (includes lawn)	\$ 2,052	\$ 2,114	\$ 2,177	\$ 2,242	\$ 2,310	\$ 2,379	\$ 2,450	\$ 2,524	\$ 2,599	\$ 2,677	\$ 2,758	\$ 2,840	\$ 2,926	\$ 3,013	\$ 3,104	\$ 3,197	\$ 3,293	\$ 3,392	\$ 3,493	\$ 3,598	Management Fee	20% 3%	
Maintenance	\$ 1,539	\$ 1,585	\$ 1,633	\$ 1,682	\$ 1,732	\$ 1,784	\$ 1,838	\$ 1,893	\$ 1,950	\$ 2,008	\$ 2,068	\$ 2,130	\$ 2,194	\$ 2,260	\$ 2,328	\$ 2,398	\$ 2,470	\$ 2,544	\$ 2,620	\$ 2,699	Maintenance Costs	15% 3%	
Replacement reserves	\$ 1,539	\$ 1,585	\$ 1,633	\$ 1,682	\$ 1,732	\$ 1,784	\$ 1,838	\$ 1,893	\$ 1,950	\$ 2,008	\$ 2,068	\$ 2,130	\$ 2,194	\$ 2,260	\$ 2,328	\$ 2,398	\$ 2,470	\$ 2,544	\$ 2,620	\$ 2,699	Repl. Reserve	15% 3%	
Operating reserves	\$ 1,026	\$ 1,057	\$ 1,088	\$ 1,121	\$ 1,155	\$ 1,189	\$ 1,225	\$ 1,262	\$ 1,300	\$ 1,339	\$ 1,379	\$ 1,420	\$ 1,463	\$ 1,507	\$ 1,552	\$ 1,598	\$ 1,646	\$ 1,696	\$ 1,747	\$ 1,799	Oper. Reserve	10% 3%	
Equity/Tenant Escrow (savings to tenant)	\$ 1,026	\$ 1,057	\$ 1,088	\$ 1,121	\$ 1,155	\$ 1,189	\$ 1,225	\$ 1,262	\$ 1,300	\$ 1,339	\$ 1,379	\$ 1,420	\$ 1,463	\$ 1,507	\$ 1,552	\$ 1,598	\$ 1,646	\$ 1,696	\$ 1,747	\$ 1,799	Equity (Savings to Tenant)	10% 3%	
Other	\$ 513	\$ 528	\$ 544	\$ 561	\$ 577	\$ 595	\$ 613	\$ 631	\$ 650	\$ 669	\$ 689	\$ 710	\$ 731	\$ 753	\$ 776	\$ 799	\$ 823	\$ 848	\$ 873	\$ 900	Other Costs	5% 3%	
Total Expenses	\$ 9,195	\$ 9,471	\$ 9,755	\$ 10,048	\$ 10,349	\$ 10,660	\$ 10,979	\$ 11,309	\$ 11,648	\$ 11,997	\$ 12,357	\$ 12,728	\$ 13,110	\$ 13,503	\$ 13,908	\$ 14,326	\$ 14,755	\$ 15,198	\$ 15,654	\$ 16,123			
NOI	\$ 1,065	\$ 1,097	\$ 1,130	\$ 1,164	\$ 1,199	\$ 1,235	\$ 1,272	\$ 1,310	\$ 1,349	\$ 1,390	\$ 1,431	\$ 1,474	\$ 1,518	\$ 1,564	\$ 1,611	\$ 1,659	\$ 1,709	\$ 1,760	\$ 1,813	\$ 1,867			
Debt Service (No Debt service)																							
First mortgage payment (N/A)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Annual Cash Flow	\$ 1,065	\$ 1,097	\$ 1,130	\$ 1,164	\$ 1,199	\$ 1,235	\$ 1,272	\$ 1,310	\$ 1,349	\$ 1,390	\$ 1,431	\$ 1,474	\$ 1,518	\$ 1,564	\$ 1,611	\$ 1,659	\$ 1,709	\$ 1,760	\$ 1,813	\$ 1,867			
	1 Year Total	3 year Total	5 Year Total	7 Year Total	10 year Total	15 Year Total	20 Year Total																
Total Accrual to Pee Wee Homes Pay it Forward Fund	\$ 1,065	\$ 3,292	\$ 5,654	\$ 8,161	\$ 12,209	\$ 19,808	\$ 28,617																

*** SPECIAL NOTES ON ABOVE:**

- 1) Debt service has not been included in this pro forma. This is for several reasons: a) The rent can be lower each month depending on a resident's income and eliminate any revenue; 2) Any revenue is used to jumpstart future Pee Wee Homes projects (Pay it Forward Fund) or to sustain this project over time (as costs rise over rental rates)
- 2) Disposition of property is not included in this pro forma. The property will have a legal agreement for permanent affordability and will remain in the ownership of Pee Wee Homes, Inc.
- 3) Pee Wee Homes has a collective replacement reserve that this annual amount adds to.
- 4) The "Equity" line is a 10% of rent payment that will go into a special savings account for the tenant to build a small amount of equity/savings through their time renting here.

PEE WEE HOMES HILL STREET

6.12.2023

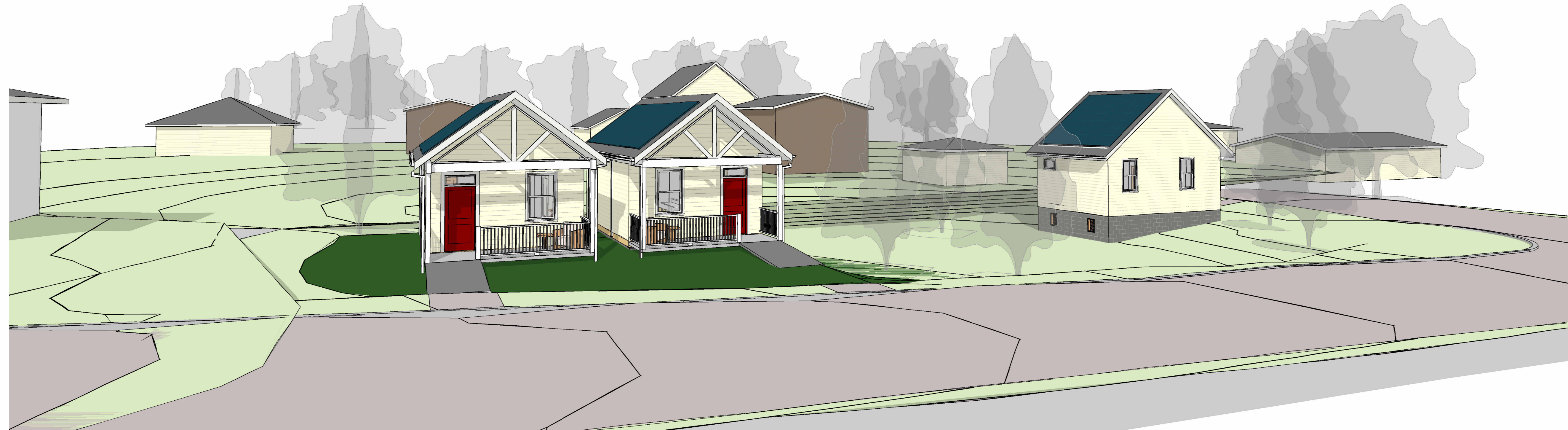
106 HILL STREET, CARRBORO, NC

PERMIT DRAWINGS



Heather Ferrell, Architect
Chapel Hill, NC www.hfastudio

CONSULTANTS:



DIVISION 1 - GENERAL CONDITIONS

A. GENERAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENTLY ADOPTED EDITION OF THE FOLLOWING:
THE NORTH CAROLINA BUILDING CODE
THE NORTH CAROLINA MECHANICAL CODE
THE NORTH CAROLINA PLUMBING CODE
THE NATIONAL ELECTRIC CODE
THE NORTH CAROLINA ENERGY CODE
ALL OTHER APPLICABLE CODES
ALL GUIDELINES AND REGULATIONS SET BY THE TOWN OF CARRBORO
ALL GUIDELINES AND REGULATIONS SET BY ORANGE COUNTY

B. STRUCTURAL NOTE:
1. ALL STRUCTURAL MEMBERS AND CONNECTIONS SHALL BE DESIGNED BY THE CONTRACTOR OR A QUALIFIED STRUCTURAL ENGINEER TO MEET THE NORTH CAROLINA BUILDING CODE. THE ARCHITECTURAL DESIGNER IS NOT RESPONSIBLE FOR THE SIZING OF ANY STRUCTURAL MEMBERS OR THE DESIGN OF ANY STRUCTURAL CONNECTIONS REGARDLESS OF WHAT IS WRITTEN OR IMPLIED IN THIS SET OF DOCUMENTS.

C. GENERAL NOTES:

1. CONTRACT DOCUMENTS CONSIST OF DRAWINGS, SPECIFICATIONS, ADDENDA, AND OTHER DOCUMENTS LISTED IN THE CONTRACT BETWEEN OWNER AND CONTRACTOR. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.

2. THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL PERMITS, LICENSES, AND INSPECTIONS, AND PAY ALL FEES NECESSARY FOR THE EXECUTION OF THE WORK, INCLUDING BUT NOT LIMITED TO WATER AND SEWER TAP-IN FEES, IMPACT FEES AND BUILDING PERMIT FEES.

3. LAYOUT: FINAL ORIENTATION OF THE BUILDINGS ON THE SITE AND ESTABLISHMENT OF FLOOR LEVEL BENCH MARKS SHALL BE PROVIDED BY A LICENSED SURVEYOR AND SUBJECT TO FINAL APPROVAL BY THE OWNER.

5. SUBMITTALS: CONTRACTOR SHALL REVIEW, APPROVE, AND SUBMIT TO THE OWNER SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS FOR APPROVAL, WITH REASONABLE PROMPTNESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHOP DRAWINGS AND REQUIRED SUBMITTAL REVIEW AND APPROVAL, AND SHALL ALSO:

- a. PERFORM NO PORTION OF THE WORK REQUIRING SHOP DRAWINGS OR OTHER SUBMITTALS UNTIL THE SHOP DRAWINGS OR OTHER SUBMITTALS HAVE BEEN REVIEWED BY THE OWNER AND RETURNED TO THE CONTRACTOR WITH NO EXCEPTIONS TAKEN.
- b. REVIEW AND APPROVE SHOP DRAWINGS AND OTHER SUBMITTALS TO DETERMINE AND VERIFY: MATERIAL AND COLORS, FIELD MEASUREMENTS, AND COORDINATION WITH THE OTHER WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- c. NOT BE RELIEVED OF THE RESPONSIBILITY FOR DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, EVEN AFTER THE SHOP DRAWINGS AND/OR REQUIRED SUBMITTALS HAVE BEEN REVIEWED BY THE OWNER UNLESS, THE CONTRACTOR CLEARLY DIRECTS SPECIFIC ATTENTION TO THE DEVIATION IN THE WRITING OR ON THE SHOP DRAWING OR SUBMITTAL ITSELF.

6. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PUBLISHED INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE NOTED.

7. PROTECTION OF WORK: WORK SHALL INCLUDE PROVIDING OF ALL FORMS OF PROTECTION AS NECESSARY TO PRESERVE THE WORK OF OTHER TRADES, FREE FROM DAMAGE. ALL TRADES SHALL PROTECT THEIR OWN WORK TO PREVENT DAMAGE BY OTHERS DURING THE COURSE OF CONSTRUCTION. FINISH SURFACES SHALL BE PROPERLY PROTECTED AT TIME OF INSTALLATION.

8. SURFACE CONDITIONS: BEGINNING OF ANY SPECIFIC WORK SHALL INDICATE ACCEPTANCE OF SURFACES AND CONDITIONS BY TRADE THAT WILL PERFORM THAT WORK.

9. WARRANTIES: THE CONTRACTOR SHALL:
a. WARRANTY ALL CONSTRUCTION FOR A PERIOD OF ONE (1) YEAR
b. WARRANTY ALL ROOFING AND WATERPROOFING FOR A MINIMUM PERIOD OF TWO (2) YEARS OR GREATER IF SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS.
c. WARRANTY ALL HEATING AND AIR CONDITIONING EQUIPMENT FOR A MINIMUM PERIOD OF FIVE (5) YEARS OR GREATER IF SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL DESIGN CALCULATIONS OF STRUCTURAL MEMBERS NOT SPECIFICALLY SHOWN IN THE DRAWINGS OR SPECIFICATIONS. THE PURPOSE OF THIS ITEM IS NOT TO PLACE ADDITIONAL RESPONSIBILITY ON THE CONTRACTOR, BUT TO ENCOURAGE THE CONTRACTOR TO INFORM THE OWNER OF ANY REQUIRED STRUCTURAL MEMBERS NOT SHOWN IN THE DRAWINGS.

12. PROVIDE EACH BUILDING SITE WITH A TRASH RECEPTACLE AND MAINTAIN THE BUILDING SITE IN A CLEAN AND ORDERLY FASHION. CLEAN UP SHALL BE ON A DAILY BASIS. REMOVE AND DISPOSE OF WASTE MATERIALS IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL ORDINANCES. AT ALL TIMES BUILDING SITE SHALL BE KEPT IN A NEAT, ORDERLY APPEARANCE.

13. THE CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR EMPLOYEES AND SUBCONTRACTORS. TOILET IS TO BE SERVICED ON A REGULAR BASIS.

14. MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE DESIGN/BUILD BY RESPECTIVE SUB-CONTRACTOR. MECHANICAL, ELECTRICAL, AND PLUMBING SUB-CONTRACTORS SHALL BE LICENSED IN THE STATE OF NORTH CAROLINA AND SHALL OBTAIN PERMITS FOR THEIR WORK.

DRAWING LIST

GENERAL
A0.01 COVER SHEET
A0.03 SURVEY

ARCHITECTURAL

SITE
L-1.0 EXISTING CONDITION PLAN
L-2.0 SITE PLAN
L-2.1 SITE GRADING PLAN
L-3.0 UTILITY PLAN

A2.00 FOUNDATION PLAN
A2.01 FLOOR PLANS
A2.03 ROOF PLAN
A3.01 MEP SCHEMATIC
A4.01 EXTERIOR ELEVATIONS
A4.02 EXTERIOR ELEVATIONS
A4.03 EXTERIOR ELEVATIONS
A5.01 BUILDING SECTIONS
A6.01 WALL SECTIONS
A7.01 RATED WALL DETAILS
A7.02 EXTERIOR DETAILS

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no.	date	revision

Project Name
PEE WEE HOMES HILL STREET

Project Number
PROJ. NUMBER

Date
6.12.2023

Scale

Drawing
COVER SHEET

A0.01

PERMIT DRAWINGS

CONSULTANTS:

PEE WEE HOMES HILL STREET

PEE WEE HOMES

106 HILL STREET, CARRBORO, NC

PERMIT DRAWINGS
6.12.2023

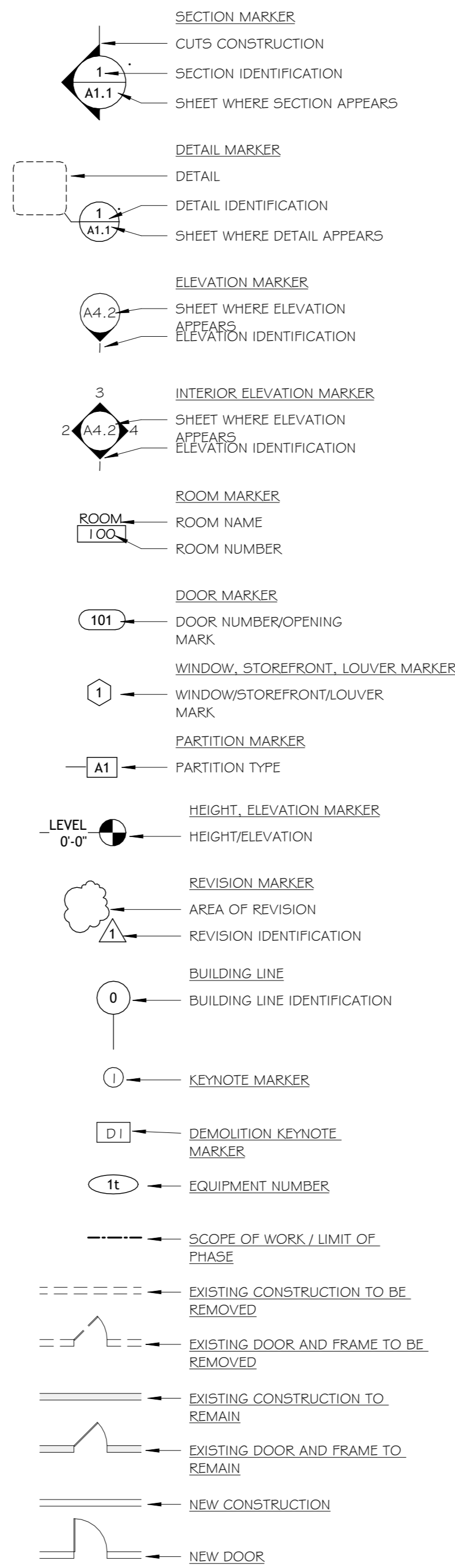
ABBREVIATIONS

A	AB ANCHOR BOLT ABV ABOVE AC ALTERNATING CURRENT ACG AIR CONDITIONER ACT ACOUSTICAL CEILING TILE A/E ARCHITECT/ENGINEER AFF ABOVE FINISH FLOOR AFG APPROXIMATE FINISH GRADE AHU AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM ANG ANGLE AP ACCESS PANEL	F F/C FIBER CEMENT FP HB FROST PROOF HOSE BIB FD FLOOR DRAIN FDV FIRE DEPARTMENT VALVE FEC FIRE EXTINGUISHER CABINET FEX FIRE EXTINGUISHER FF FINISH FLOOR FFE FINISH FLOOR ELEVATION FG FINISH GRADE FG/SS OR FG FIBERGLASS FIN FINISH FLR FLOOR FLUOR FLUORESCENT FND FOUNDATION FOM FACE OF MASONRY FOS FACE OF STUD FOW FACE OF WALL FR FIRE RATED (FIRE RATING) FS FAR SIDE FT FOOT, FEET FTG FOOTING FURN FURNISH, FURNITURE FWS FINISH WALL SURFACE	P PAF POWDER ACTUATED FASTENER PC CONC PRE-CAST CONCRETE PERM PERIMETER PLAM PLASTIC LAMINATE PLUMB OR PLBG PLUMBING PLYWD PLYWOOD FR FAIR PRE-FAB PREFABRICATED PROJ PROJECTION PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT PRESSURE TREATED PTD PAINTED PT POINT PV PIPE VENT PVC POLYVINYL CHLORIDE	Q QT QUARRY TILE QTY QUANTITY	R R RADIUS R RISER RBR RUBBER RD ROOF DRAIN RDL ROOF DRAIN LEADER REFG REFRIGERATOR REF REFERENCE REINF REINFORCED REM REMOVE REQD REQUIRED RI RIGID INSULATION RM ROOM RO ROUGH OPENING RS ROUGH SAWN RVP RADON VENT PIPING RVS RADON VENT STACK	S S SOUTH SAB SOUND ATTENUATION BATTS SS SANITARY SEWER SS OR ST. STL. STAINLESS STEEL STRUC STRUCTURAL ST ENG STRUCTURAL ENGINEER	T TEMP TEMPERED T TREAD THOLD THRESHOLD TH THICK or THICKNESS T&G TONGUE and GROOVE TME TO MATCH EXISTING TOF TOP OF FOOTING TOM TOP OF MASONRY TOS TOP OF SLAB TOW TOP OF WALL TRSM TRANSOM TYP UON TYPICAL UNLESS OTHERWISE NOTED	U UG UNDERGROUND UL UNDERWRITERS LABORATORY UL UPPER LEVEL UON UNLESS OTHERWISE NOTED US UNDER SLAB	V VB VAPOR BARRIER VCT VINYL COMPOSITION TILE VENT VENT VERT VERTICAL VIF VERIFY IN FIELD VL VERTICAL LEG VTR VENT THRU ROOF	W W WASHER W WEST W WITH WO WITHOUT WCB WASHER CONNECTION BOX WD WOOD WDW WINDOW WP WORK POINT WT WEIGHT WWF WELDED WIRE FABRIC	X X BY	Y YD YARD YH YARD HYDRANT	
B	B4B BOARD AND BATTEN BLDG BUILDING BLK BLOCK BLKG BLOCKING BM BEAM BRG BEARING BRK BRICK	G GA GAUGE GALV GALVANIZED GC GENERAL CONTRACTOR GD GARBAGE DISPOSAL GEN GENERAL GRD GROUND GRT GRANITE GS GANG STUD GYP BD GYPSUM BOARD	R	Q	S	T	U	V	W	X	Y		
C	CAB CABINET CANT CANTILEVER(ED) CATV CABLE TV C/BR CAULK & BACKER ROD CH CEILING HEIGHT CI CAST IRON CJ CONTROL JOINT CL CENTER LINE CEL CEILING CLR CLEAR CMT CASEMENT WINDOW CMU CONCRETE MASONRY UNIT CO CASED OPENING CO CLEAN OUT COL COLUMN CONC CONCRETE CONT CONTINUOUS COORD COORDINATE CPT CARPET CR COLD ROLLED CS CAST STONE CT CERAMIC TILE CU COMPRESSOR UNIT	H HB HOSE BIBB HDG HOT DIP GALVANIZED HL HORIZONTAL HLRZ OR H HORIZONTAL HP HIGH POINT HSS HOLLOW STRUC SECTION HT OR H HEIGHT	I IN INCH INSUL INSULATION INT INTERIOR INTER INTERSECTION INVT INVERT	R	Q	S	T	U	V	W	X	Y	
D	D DRYER DBL DOUBLE DC DIRECT CURRENT DET DETAIL DF DRINKING FOUNTAIN DHW DOUBLE HUNG WINDOW DIA DIAMETER DIM DIMENSIONS DJ DOUBLE JOIST DKG DECKING DN DOWN DEP DEEP DRW DRAWER DS DOWNSPOUT DSB DOWNSPOUT BOOT DVB DRYER VENT BOX DW DISHWASHER DWG DRAWING DWGS DRAWINGS DWV DRAIN, WASTE, VENT	J JB (JST BRG) JOIST BEARING JST JOIST JT JOINT	L LB (#) LF POUND LINEAL FEET LCP LINOLEUM COMPOSITE PANEL LCS LINOLEUM COMPOSITE SHEET LCT LINOLEUM COMPOSITE TILE LIN LINEAR LL LOWER LEVEL LT WT LIGHT WEIGHT	J	L	M MAX MAXIMUM MDO MEDIUM DENSITY OVERLAY MECH MECHANICAL MED CAB MEDICINE CABINET MFR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS ML MAIN LEVEL MO MASONRY OPENING MR MOISTURE RESISTANT MTG HT MOUNTING HEIGHT MTL METAL	N N NORTH N/A NOT APPLICABLE NCSBC N.C. STATE BUILDING CODE NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NS NEAR SIDE NTS NOT TO SCALE	O OC ON CENTER OD OUTSIDE DIMENSION OG ORIGINAL GRADE OH OPPOSITE HAND OPNG OPENING OPP OPPOSITE	U	V	W	X	Y
E	E EAST EA EACH EF EXHAUST FAN EG EXHAUST FAN - GARAGE EIFS EXT INSUL FINISH SYS EJ EXPANSION JOINT ELEC ELECTRICAL ELEV ELEVATOR ENG ENGINEER EOP EDGE OF PAVEMENT EQ EQUAL EQUIP EQUIPMENT ERD EMERGENCY ROOF DRAIN EW EACH WAY EWC ELECTRIC WATER COOLER EXIST EXISTING EXP/JT EXPANSION JOINT EXT EXTERIOR	N	O	U	V	W	X	Y					

MATERIALS LEGEND

	BRICK		MORTAR, GROUT, SAND
	CMU		ROUGH LUMBER OR BLOCKING (CONTINUOUS)
	CONCRETE		ROUGH LUMBER OR BLOCKING (DISCONTINUOUS)
	METAL (IN SECTION)		FINISH CARPENTRY
	EARTH		PLYWOOD
	POROUS FILL/GRAVEL		BATT INSULATION
	GYPSUM BOARD		RIGID INSULATION

GENERAL SYMBOLS



GENERAL NOTES

DIVISION I - GENERAL CONDITIONS

A. GENERAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENTLY ADOPTED EDITION OF THE FOLLOWING:
THE NORTH CAROLINA STATE BUILDING CODE
THE NORTH CAROLINA STATE MECHANICAL CODE
THE NORTH CAROLINA STATE PLUMBING CODE
THE NATIONAL ELECTRIC CODE
THE NORTH CAROLINA ENERGY CODE
ALL OTHER APPLICABLE CODES
ALL GUIDELINES AND REGULATIONS SET BY THE TOWN OF CARRBORO
ALL GUIDELINES AND REGULATIONS SET BY ORANGE COUNTY

B. MEP NOTES:

- MECHANICAL PORTION OF THIS SCOPE OF WORK IS TO BE DESIGN/BUILD BY AN NC LICENSED MECHANICAL CONTRACTOR. ANY MECHANICAL INFORMATION SHOWN IS FOR PURPOSES OF COORDINATION WITH THE ARCHITECTURE. FINAL MECHANICAL DESIGN SHALL MEET NC STATE MECHANICAL CODE AND SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO COMMENCEMENT OF WORK.
- ELECTRICAL PORTION OF THIS SCOPE OF WORK IS TO BE DESIGN/BUILD BY AN NC LICENSED ELECTRICIAN. ANY ELECTRICAL INFORMATION SHOWN IS FOR PURPOSES OF COORDINATION WITH THE ARCHITECTURE. FINAL ELECTRICAL DESIGN SHALL MEET NC STATE ELECTRICAL CODE AND SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO COMMENCEMENT OF WORK. THIS INCLUDES THE LIGHTING FIXTURE LAYOUT AND LOCATION OF ALL NEW POWER OUTLETS.
- PLUMBING PORTION OF THIS SCOPE OF WORK IS TO BE DESIGN/BUILD BY AN NC LICENSED PLUMBER. ANY PLUMBING INFORMATION SHOWN IS FOR PURPOSES OF COORDINATION WITH THE ARCHITECTURE. FINAL PLUMBING DESIGN SHALL MEET NC STATE PLUMBING CODE AND SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO COMMENCEMENT OF WORK.

C. GENERAL:

1. CONTRACT DOCUMENTS CONSIST OF DRAWINGS, SPECIFICATIONS, ADDENDA, AND OTHER DOCUMENTS LISTED IN THE CONTRACT BETWEEN OWNER AND CONTRACTOR. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.

2. THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL PERMITS, LICENSES, AND INSPECTIONS, AND PAY ALL FEES NECESSARY FOR THE EXECUTION OF THE WORK, INCLUDING BUT NOT LIMITED TO WATER AND SEWER TAP-IN FEES, IMPACT FEES AND BUILDING PERMIT FEES.

3. LAYOUT: FINAL ORIENTATION OF THE BUILDING ON THE SITE AND ESTABLISHMENT OF FLOOR LEVEL BENCH MARK SHALL BE PROVIDED BY A LICENSED SURVEYOR AND SUBJECT TO FINAL APPROVAL BY THE OWNER AND THE ARCHITECT.

4. MEASUREMENTS: DRAWINGS SHALL NOT BE SCALED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. FINAL LOCATIONS OF SWITCHES, FIXTURES, GRILLES, COVERS, ETC. SHALL BE DETERMINED IN THE FIELD AT THE APPROVAL OF THE OWNER AND THE ARCHITECT. THE CONTRACTOR SHALL CHECK, COORDINATE AND VERIFY ALL DIMENSIONS AND CONSTRUCTION DETAILS BEFORE STARTING ANY CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

5. SUBMITTALS: CONTRACTOR SHALL REVIEW, APPROVE, AND SUBMIT TO THE ARCHITECT SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS FOR APPROVAL, WITH REASONABLE PROMPTNESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHOP DRAWINGS AND REQUIRED SUBMITTAL REVIEW AND APPROVAL, AND SHALL ALSO:

- PERFORM NO PORTION OF THE WORK REQUIRING SHOP DRAWINGS OR OTHER SUBMITTALS UNTIL THE SHOP DRAWINGS OR OTHER SUBMITTALS HAVE BEEN REVIEWED BY THE ARCHITECT AND RETURNED TO THE CONTRACTOR WITH NO EXCEPTIONS TAKEN.
- REVIEW AND APPROVE SHOP DRAWINGS AND OTHER SUBMITTALS TO DETERMINE AND VERIFY: MATERIAL AND COLORS, FIELD MEASUREMENTS, AND COORDINATION WITH THE OTHER WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- NOT BE RELIEVED OF THE RESPONSIBILITY FOR DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, EVEN AFTER THE SHOP DRAWINGS AND/OR REQUIRED SUBMITTALS HAVE BEEN REVIEWED BY THE ARCHITECT UNLESS, THE CONTRACTOR CLEARLY DIRECTS SPECIFIC ATTENTION TO THE DEVIATION IN THE WRITING OR ON THE SHOP DRAWING OR SUBMITTAL ITSELF.

6. WORKMANSHIP: WORK SHALL BE EXECUTED BY SKILLED TRADESPERSON. WHEN COMPLETED, ALL PARTS SHALL BE DURABLY AND SUBSTANTIALLY BUILT AND SHALL PRESENT A NEAT WORKMANLIKE APPEARANCE. SPECIFICALLY, ALL WORK TO BE BY TRAINED AND EXPERIENCED PERSONNEL, AND SUPERVISED BY COMPETENT SUPERVISORS WHO ARE COMPLETELY FAMILIAR WITH THE REQUIREMENTS OF THE WORK, AND WITH THE INSTRUCTIONS AND RECOMMENDATIONS OF THE MANUFACTURER OF SPECIFIED ITEMS.

7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PUBLISHED INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE NOTED.

8. PROTECTION OF WORK: WORK SHALL INCLUDE PROVIDING OF ALL FORMS OF PROTECTION AS NECESSARY TO PRESERVE THE WORK OF OTHER TRADES, FREE FROM DAMAGE. ALL TRADES SHALL PROTECT THEIR OWN WORK TO PREVENT DAMAGE BY OTHERS DURING THE COURSE OF CONSTRUCTION. FINISH SURFACES SHALL BE PROPERLY PROTECTED AT TIME OF INSTALLATION.

9. SURFACE CONDITIONS: BEGINNING OF ANY SPECIFIC WORK SHALL INDICATE ACCEPTANCE OF SURFACES AND CONDITIONS BY TRADE THAT WILL PERFORM THAT WORK.

10. WARRANTIES: THE CONTRACTOR SHALL:

- WARRANTY ALL CONSTRUCTION FOR A PERIOD OF ONE (1) YEAR
- WARRANTY ALL ROOFING AND WATERPROOFING FOR A MINIMUM PERIOD OF TWO (2) YEARS OR GREATER IF SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS
- WARRANTY ALL HEATING AND AIR CONDITIONING EQUIPMENT FOR A MINIMUM PERIOD OF FIVE (5) YEARS OR GREATER IF SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL DESIGN CALCULATIONS OF STRUCTURAL MEMBERS NOT SPECIFICALLY SHOWN IN THE DRAWINGS OR SPECIFICATIONS. THE PURPOSE OF THIS ITEM IS NOT TO PLACE ADDITIONAL RESPONSIBILITY ON THE CONTRACTOR, BUT TO ENCOURAGE THE CONTRACTOR TO INFORM THE ARCHITECT OF ANY REQUIRED STRUCTURAL MEMBERS NOT SHOWN IN THE DRAWINGS.

12. PROVIDE EACH BUILDING SITE WITH A TRASH RECEPTACLE AND MAINTAIN THE BUILDING SITE IN A CLEAN AND ORDERLY FASHION. CLEAN UP SHALL BE ON A DAILY BASIS. REMOVE AND DISPOSE OF WASTE MATERIALS IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL ORDINANCES. AT ALL TIMES BUILDING SITE SHALL BE KEPT IN A NEAT, ORDERLY APPEARANCE.

13. THE CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR EMPLOYEES AND SUBCONTRACTORS. TOILET IS TO BE SERVICED ON A REGULAR BASIS.

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no.	date	revision

Project Name
PEE WEE HOMES HILL STREET

Project Number
PROJ. NUMBER

Date
6.12.2023

Scale
As indicated

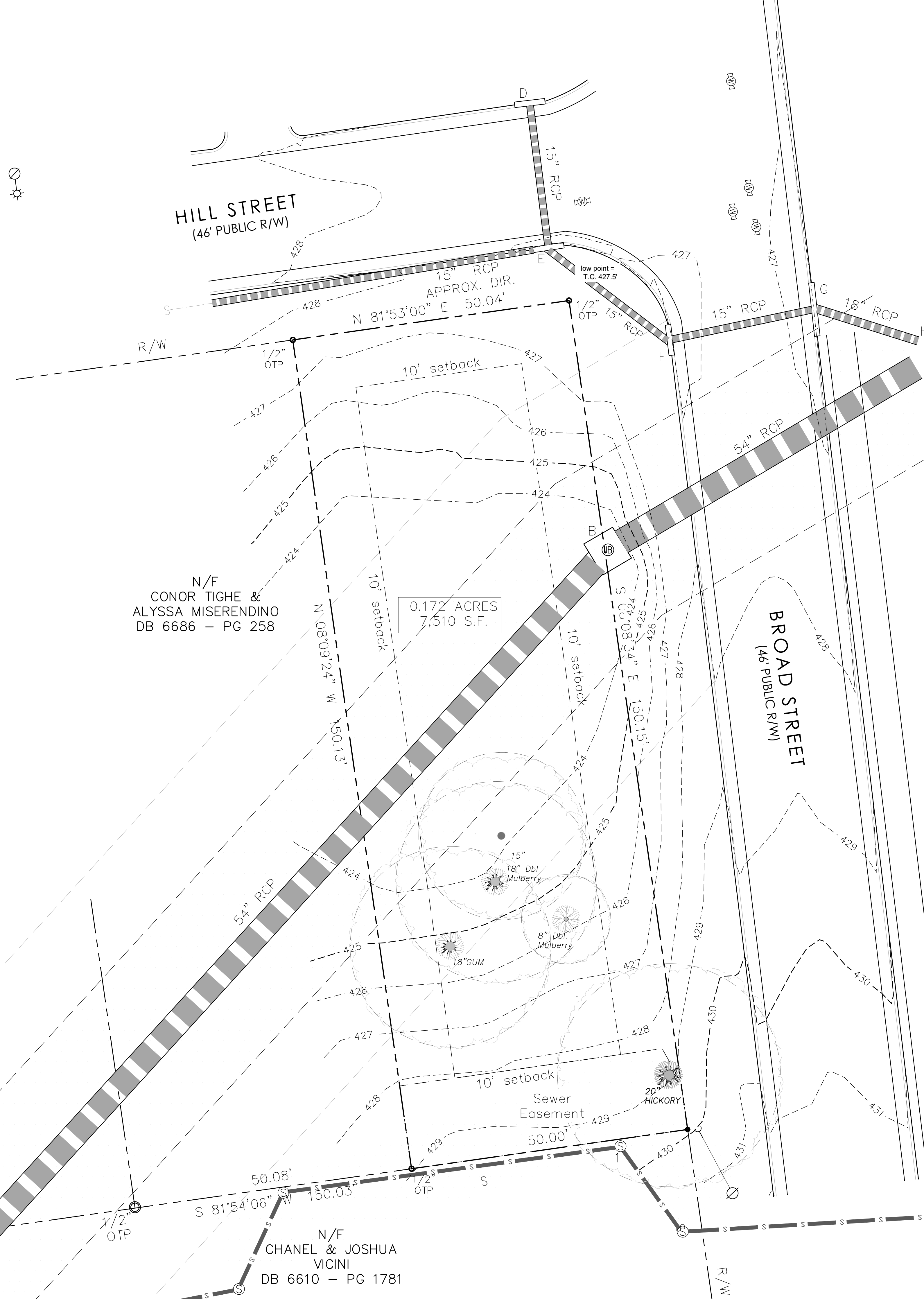
Drawing

NOTES & SYMBOLS

A0.02
PERMIT DRAWINGS

SANITARY INVERTS	
SSMH - 1	TOP: 429.68
	INV: 423.37'
	INV: 423.45'

STORM INVERTS	
A - JB	TOP: 425.88'
	INV OUT: 420.00'
B - JB	TOP: 424.17'
	INV IN: 418.35'
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	INV OUT: 419.41'
G - CB	TOP: 427.20'
	INV IN: 418.46'
	INV OUT: 418.10'
H	INV OUT: 415.85'



NOTICE: SEE THE SURVEY METHOD OR MAY NOT BE AN EASEMENT OR ASSOCIATED ETC.

DATE: 01/08/2023

FOR THIS FIRM: BOUNDARY ZONE, INC. FIRM NUMBER: C-314

GENERAL NOTES:
1. NO MONUMENTATION FOUND WITHIN 2000 FEET OF THE SUBJECT PROPERTY.
2. ALL DISTANCES ARE HORIZONTAL UNLESS OTHERWISE NOTED.
3. THE HORIZONTAL DISTANCES WERE MEASURED BY ELECTRONIC DISTANCE MEASUREMENT (EDM) USING A SOKKIA TOTAL STATION.
4. THE VERTICAL DISTANCES WERE MEASURED BY A SOKKIA LEVEL.
5. THE BOUNDARY POINTS WERE MEASURED BY A SOKKIA TOTAL STATION.
6. THE BOUNDARY POINTS WERE MEASURED BY A SOKKIA LEVEL.
7. THE BOUNDARY POINTS WERE MEASURED BY A SOKKIA TOTAL STATION.
8. THE BOUNDARY POINTS WERE MEASURED BY A SOKKIA LEVEL.

RECORDATION: BOUNDARY & TOPOGRAPHIC SURVEY
RECORDED: DB 6610 - PG 1781 - PGS 21
ADDRESS: 8024 GLENWOOD AVE, RALEIGH, NC 27617
COUNTY: RALEIGH COUNTY, NC
DATE: 01/08/2023
SCALE: AS SHOWN
JOB NO.: 23-01
REVISED BY: HSB
PROJECT: 23-01-01

LEGEND:
PROPERTY CORNER: (Symbol)
PROPERTY LINE: (Symbol)
SETBACK LINE: (Symbol)
PROPERTY CORNER: (Symbol)
PROPERTY LINE: (Symbol)
SETBACK LINE: (Symbol)

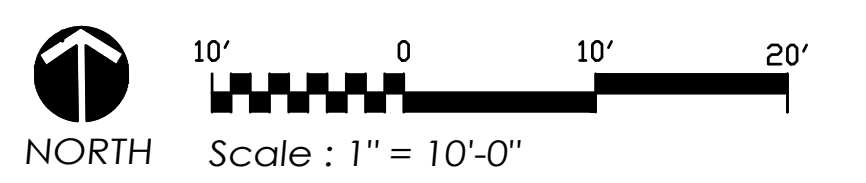
BOUNDARY ZONE, INC.
BOUNDARY & TOPOGRAPHIC SURVEY
LANDSCAPE ARCHITECTURE & LAND PLANNING
1000 W. GARDEN ST. SUITE 100
RALEIGH, NC 27617
TEL: (919) 929-9000
WWW.BOUNDARYZONE.COM



Existing Condition superimposed on 2021 Aerial
Scale = 1" = 30'-0"

Site Notes:
1) Base map from survey of property by Boundary Zone, Inc. 8024 Glenwood Ave Raleigh, NC dated 01/08/22

LEGEND - Site Work		Existing	Proposed
Property Line and Setback Line	(Symbol)	(Symbol)	(Symbol)
Existing Contour (from GIS)	(Symbol)	(Symbol)	(Symbol)
Proposed Contour	(Symbol)	(Symbol)	(Symbol)
Existing Significant Tree	(Symbol)	(Symbol)	(Symbol)
Stormwater Drainage direction	(Symbol)	(Symbol)	(Symbol)
Sanitary Sewer	(Symbol)	(Symbol)	(Symbol)
Water - meter	(Symbol)	(Symbol)	(Symbol)
Pipe (Storm Drain)	(Symbol)	(Symbol)	(Symbol)
Rain Chain Culvert Pipe (Storm Drain)	(Symbol)	(Symbol)	(Symbol)
Sleeve - 4" Sch. 40 PVC mark ends	(Symbol)	(Symbol)	(Symbol)
Electric	(Symbol)	(Symbol)	(Symbol)
Gas	(Symbol)	(Symbol)	(Symbol)
Existing Feature or Spot Elevation (in Italics) x 389.5	(Symbol)	(Symbol)	(Symbol)
Proposed Feature or Grade (Normal font) + 389.0	(Symbol)	(Symbol)	(Symbol)



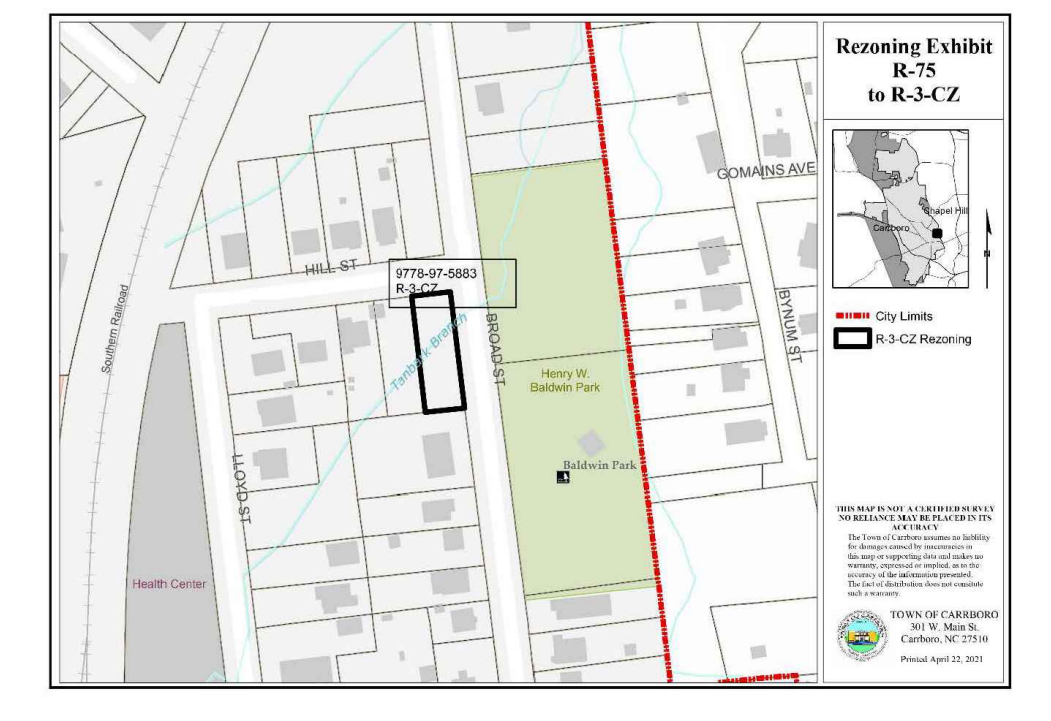
THE TOWN COUNCIL OF THE TOWN OF CARRBORO ORDAINS:

SECTION 1. The Official Zoning Map of the Town of Carrboro is hereby amended as follows:

That property being described on the Orange County Tax Map by parcel identification number shown below shall be rezoned as noted and subject to the following conditions:

Chapel Hill Township, 106 Hill Street (PIN 9778-97-5883) encompassing approximately 7405.2 square feet as shown on the accompanying map titled "Conditional Rezoning Site Plan" is hereby rezoned from R-7.5 (Residential, 7,500 square feet per dwelling unit) to R-3-CZ (Residential, 3,000 square feet per dwelling unit, Conditional).

- The rezoning exhibit labeled "Conditional Rezoning Site Plan," dated September 28, 2021 is approved and incorporated herein to indicate land uses, the general location and size of buildings, building setbacks, stormwater management features, open space and parking spaces. Other features and issues that remain to be decided at the time a permit is requested for development include, but are not necessarily limited to, the location and number of trees and other landscaped areas, and the location of recreational facilities or payment in-lieu thereof.
- The Town Council hereby finds that 0 parking spaces are sufficient to serve this development based on the evidence provided by the applicant relating to the proximity of the site to bus lines and experience that the tenant population for the project does not typically have cars.
- Up to three size-restricted dwelling units may be constructed on the site subject to the provisions of the variance approved by the Town of Carrboro Board of Adjustment on June 16th, 2021, which allows for the buildings to encroach into the Zone 1 and Zone 2 riparian buffer.
- All dwelling units constructed on the subject property are to remain affordable for residents earning less than 30% of the area AML for a period of at least 99 years following the approval date of the certificates of occupancy.
- The homes shall not be enlarged or replaced. If future replacement is deemed necessary due to age or damage the replacement building shall match the original in size, height, massing and placement on the site.
- Each dwelling unit shall be constructed with a finished floor and mechanical units elevated at least two feet above the existing elevation of the curb at the intersection of Hill and Broad Streets. The final elevation is to be determined as part of the zoning permit approval.
- The foundation or portion of the dwelling below the finished floor for each unit shall be "floodproof," meaning that flood waters will not be impeded from passing through, hydrostatic pressure will not be created, and the risk of damage to the structure will be minimized. Due to this risk of flooding, the space under the finished floor for each unit shall be not enclosed as a finished habitable space or unfinished area for storage



Poured in Place Concrete Sidewalk
5 ft. width and min. 4" depth 3,000 psi
concrete w/ control and expansion jts.

CONDITIONAL ZONING NOTES AND INFORMATION

Parcel Address: 106 Hill Street
Carrboro, NC 27510

Orange County PIN No.: 9778-97-5883

The site plan is illustrative. The project as shown will require a conditional use permit. The applicant understands and accepts that approval of this site plan exhibit does not in any way relieve applicant from producing a site plan for the conditional use permit that fully complies with all applicable provisions of The Carrboro LUO.

Current Zoning Designation: R-7.5 and Lloyd-Broad Overlay District
Proposed Zoning Designation: R-3 Conditional (R-3-CZ) and Lloyd-Broad Overlay District

Total Property Area: 0.17 acres
7,405.20 sf

Proposed Use Classifications (see permissible use Table 15-146)
1.111 Single Family Detached (one unit per lot)
1.121 Single Family Detached (more than one unit per lot)

The maximum residential density of the project shall be limited to 3 single family residential dwelling units.

Proposed Setbacks, as approved by Variance dated June 16, 2021:

- 10' front yard at Hill Street
- 10' front yard at Broad Street
- 15' rear yard
- 10' side yard

Trees Removed - (3) Existing trees whose canopy covers approximately 40% of lot
Trees / Canopy Coverage Provided: (5) Native Species as Selected by Town Arborist to be appropriate for topographical conditions of the site and to achieve 40% Canopy Coverage at Maturity

Required Open Space: 2,962 sf (40% of area)
Provided Open Space: 5,623 sf (area, shaded in green on Site Plan, excluding walkways, driveway, and "recreation space" - picnic shelter or gazebo)

Required Recreational Facilities per LUO Section 15-196: 31.17 (10.39 per Residence)
Proposed Recreational Facilities: 32 Points (216 sf Picnic Shelter)

Parking Required: 3 Spaces, 1 per unit
Parking Provided: 1 Space

Encroachments into Zone 1 and Zone 2 Stream Buffers Approved as Shown by Variance dated June 16, 2021

Tree Removal Justification

There are five existing trees that will need to be removed as they are the construction zone for two of the proposed units.

- 15" and 18" double Mulberry
- 8" Mulberry
- 18" Gum
- 20" Hickory

All trees and stumps will have to be removed because of siting of the units and the associated utility work.

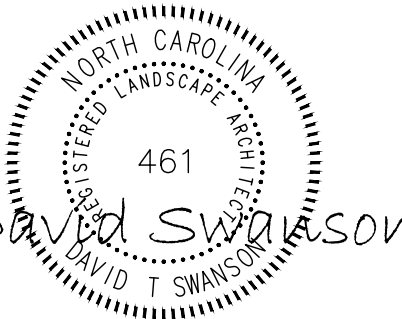
The trees will be replaced with a minimum of 7 (seven) in-kind native trees that will grow to meet intent of providing the 40% free canopy coverage for the site. The tree selection will be determined once the initial grading and site work is completed and final selection will be after assessment and site evaluation (soil conditions). All newly planted trees will be selected from the approved list of appropriate trees for Town of Carrboro. Likely the new trees will be selected will be adapted to growing in wetter growing conditions and will be:

- Tulip Poplar (Liriodendron)
- Hornbeam (Carpinus)
- Serviceberry (Amelanchier)

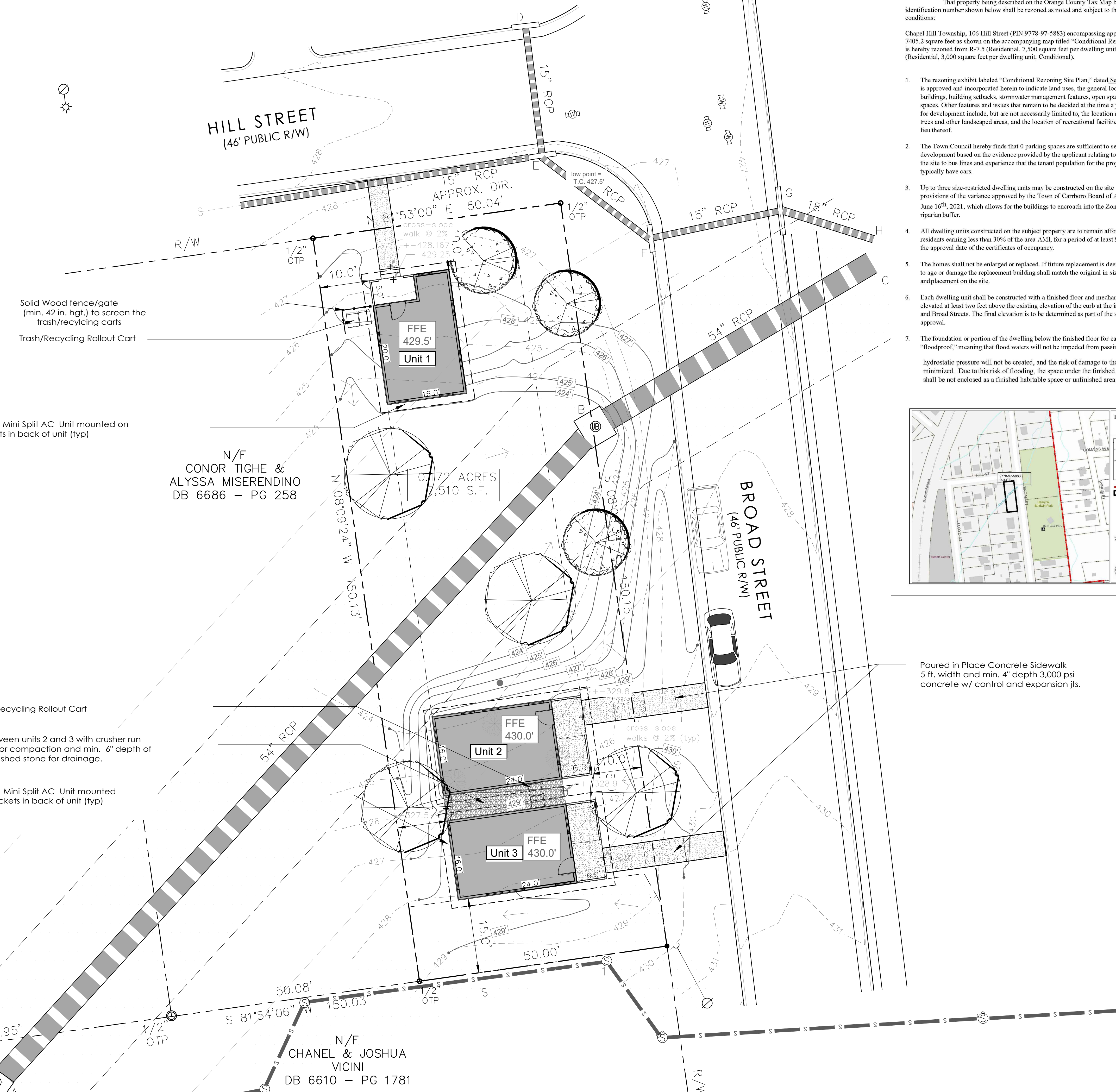
Consultants

SWANSON
and ASSOCIATES P.A.
LANDSCAPE ARCHITECTURE

Chapel Hill, NC
Ph. (919) 929-9000
info@swansonandassociatespa.com



January 04, 2023
Electronic Signature



Solid Wood fence/gate
(min. 42 in. hgt.) to screen the
trash/recycling carts

HVAC - Mini-Split AC Unit mounted on
brackets in back of unit (typ)

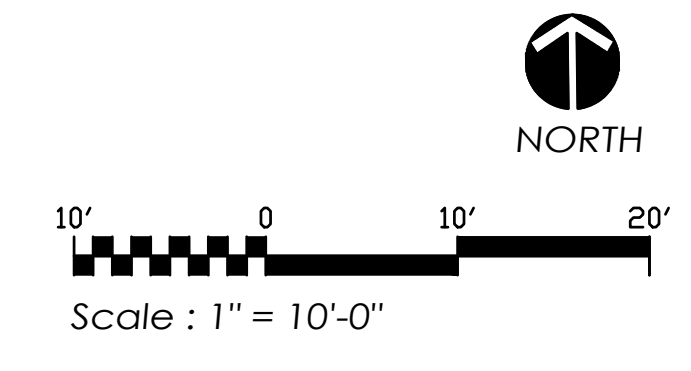
N/F
CONOR TIGHE &
ALYSSA MISERENDINO
DB 6686 - PG 258

Trash/Recycling Rollout Cart

Fill between units 2 and 3 with crusher run
(ABC) for compaction and min. 6" depth of
#57 washed stone for drainage.

HVAC - Mini-Split AC Unit mounted
on brackets in back of unit (typ)

N/F
CHANEL & JOSHUA
VICINI
DB 6610 - PG 1781



PEEWEE
HOMES
106 Hill Street,
Carrboro, North Carolina

- Rev 4: Adjust plantings out of OWASA Easement 06-23-23
- Rev 3: Adjust FFE for units to be min. 2 ft above 227.5' 05-12-23
- Rev 2: Refine Grading and revise Sewer lateral for Unit 1 04-10-23
- Rev 1: Add Sewer laterals and note re: 4" DIP to tap into sewer main in easement 01-09-23

SANITARY INVERTS

SSMH - 1
 TOP: 429.68
 INV: 423.37'
 INV: 423.45'

STORM INVERTS

A - JB
 TOP: 425.88'
 INV OUT: 420.00'

B - JB
 TOP: 424.17'
 INV IN: 418.35'
 INV OUT: 418.31'

C
 INV OUT: 417.31'

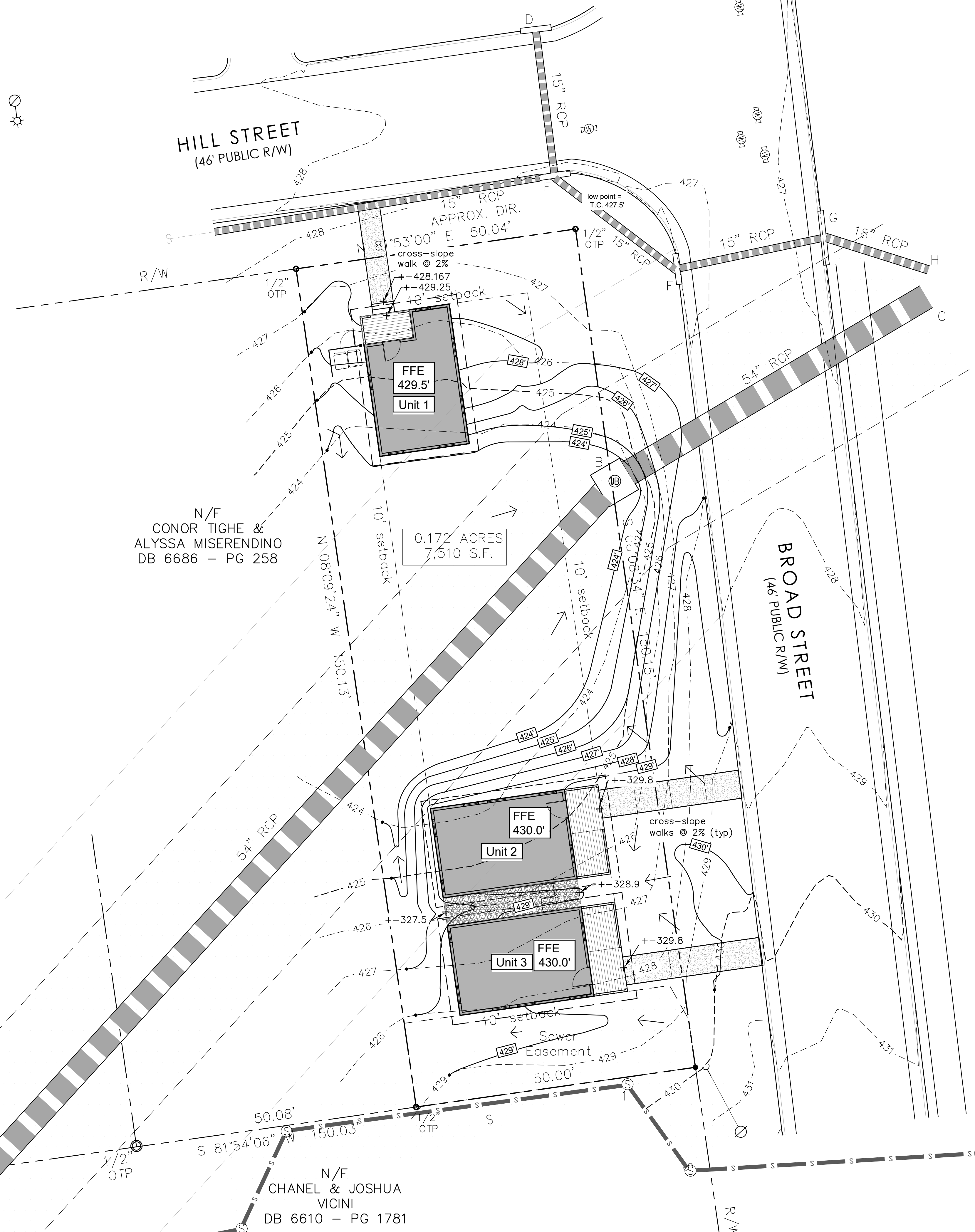
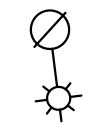
D - CB
 427.79'
 INV OUT: 423.73'

E - CB
 TOP: 427.71
 INV IN: 423.16'
 INV IN: 420.23'
 INV OUT: 419.73'

F - CB
 TOP: 427.31'
 INV IN: 419.80'
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G - CB
 TOP: 427.20'
 INV IN: 418.46'
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 INV OUT: 415.85'



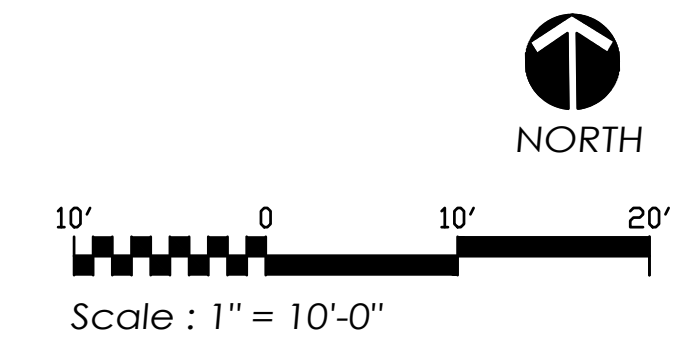
Consultants
SWANSON
 and ASSOCIATES P.A.
 LANDSCAPE ARCHITECTURE
 Chapel Hill, NC
 Ph. (919) 929-9000
 info@swansonlandscapearchitecture.com



January 04, 2023
 Electronic Signature

LEGEND - Site Work

	Existing	Proposed
Property Line and Setback Line	---	---
Existing Contour (from GIS)	--- 430 ---	---
Proposed Contour	---	--- 430 ---
Existing Significant Tree	○ 12" Mulberry	---
Stormwater Drainage direction	---	→
Sanitary Sewer	---	---
Water - meter	---	---
Pipe (Storm Drain)	---	---
Rain Chain Culvert Pipe (Storm Drain)	---	---
Roof Leader Downspout Drain	---	---
Sleeve - 4" Sch. 40 PVC mark ends	---	---
Electric	---	---
Gas	---	---
Proposed PeeWee House	---	---
Existing Feature or Spot Elevation (in Italics)	389.5'	---
Proposed Feature or Grade (Normal font)	---	389.0



PEEWEE HOMES
 106 Hill Street,
 Carrboro, North Carolina

- Rev 4: Adjust plantings out of OWASA Easement 06-23-23
 - Rev 3: Adjust FFE for units to be min. 2 ft above 227.5' 05-12-23
 - Rev 2: Refine Grading and revise Sewer lateral for Unit 1 04-10-23
 - Rev 1: Add Sewer laterals and note re: 4" DIP to tap into sewer main in easement 01-09-23
- Date: 01-09-23

SANITARY INVERTS

SSMH - 1
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 INV: 423.37'
 INV: 423.45'

STORM INVERTS

A - JB
 TOP: 425.88'
 INV OUT: 420.00'

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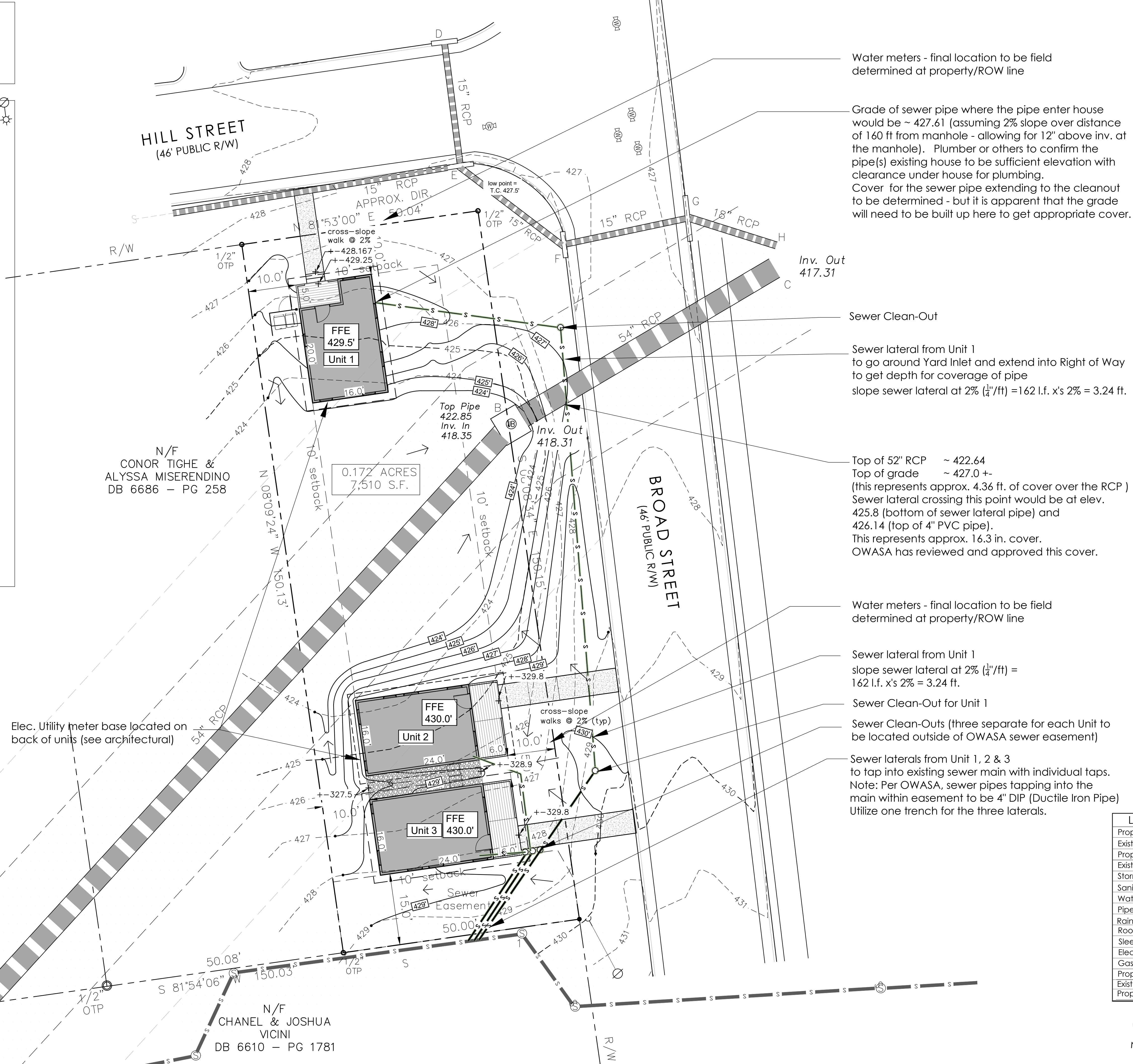
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 TOP: 427.20'
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 INV OUT: 418.10'

H
 INV OUT: 415.85'



Water meters - final location to be field determined at property/ROW line

Grade of sewer pipe where the pipe enter house would be ~ 427.61 (assuming 2% slope over distance of 160 ft from manhole - allowing for 12\"/>

Sewer Clean-Out
 Sewer lateral from Unit 1 to go around Yard Inlet and extend into Right of Way to get depth for coverage of pipe slope sewer lateral at 2% (1/4\"/>

Top of 52\"/>

Water meters - final location to be field determined at property/ROW line

Sewer lateral from Unit 1 slope sewer lateral at 2% (1/4\"/>

Sewer Clean-Out for Unit 1
 Sewer Clean-Outs (three separate for each Unit to be located outside of OWASA sewer easement)

Sewer laterals from Unit 1, 2 & 3 to tap into existing sewer main with individual taps. Note: Per OWASA, sewer pipes tapping into the main within easement to be 4\"/>

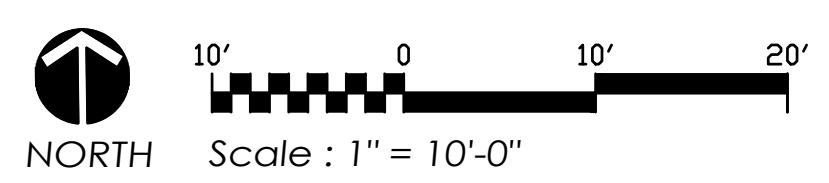
Elec. Utility meter base located on back of units (see architectural)

N/F CONOR TIGHE & ALYSSA MISERENDINO DB 6686 - PG 258

N/F CHANEL & JOSHUA VICINI DB 6610 - PG 1781

LEGEND - Site Work

	Existing	Proposed
Property Line and Setback Line	---	---
Existing Contour (from GIS)	---	---
Proposed Contour	---	---
Existing Significant Tree	○ 12" Mulberry	○ 12" Mulberry
Stormwater Drainage direction	→	→
Sanitary Sewer	---	---
Water - meter	---	---
Pipe (Storm Drain)	---	---
Rain Chain Culvert Pipe (Storm Drain)	---	---
Roof Leader Downspout Drain	---	---
Sleeve - 4" Sch. 40 PVC mark ends	---	---
Electric	---	---
Gas	---	---
Proposed PeeWee House	---	---
Existing Feature or Spot Elevation (in Italics)	389.5'	389.0'
Proposed Feature or Grade (Normal font)		389.0'



Consultants
SWANSON
 and ASSOCIATES P.A.
 LANDSCAPE ARCHITECTURE
 Chapel Hill, NC
 Ph. (919) 929-9000
 info@swansonlandscapearchitecture.com

461
 David Swanson
 January 04, 2023
 Electronic Signature

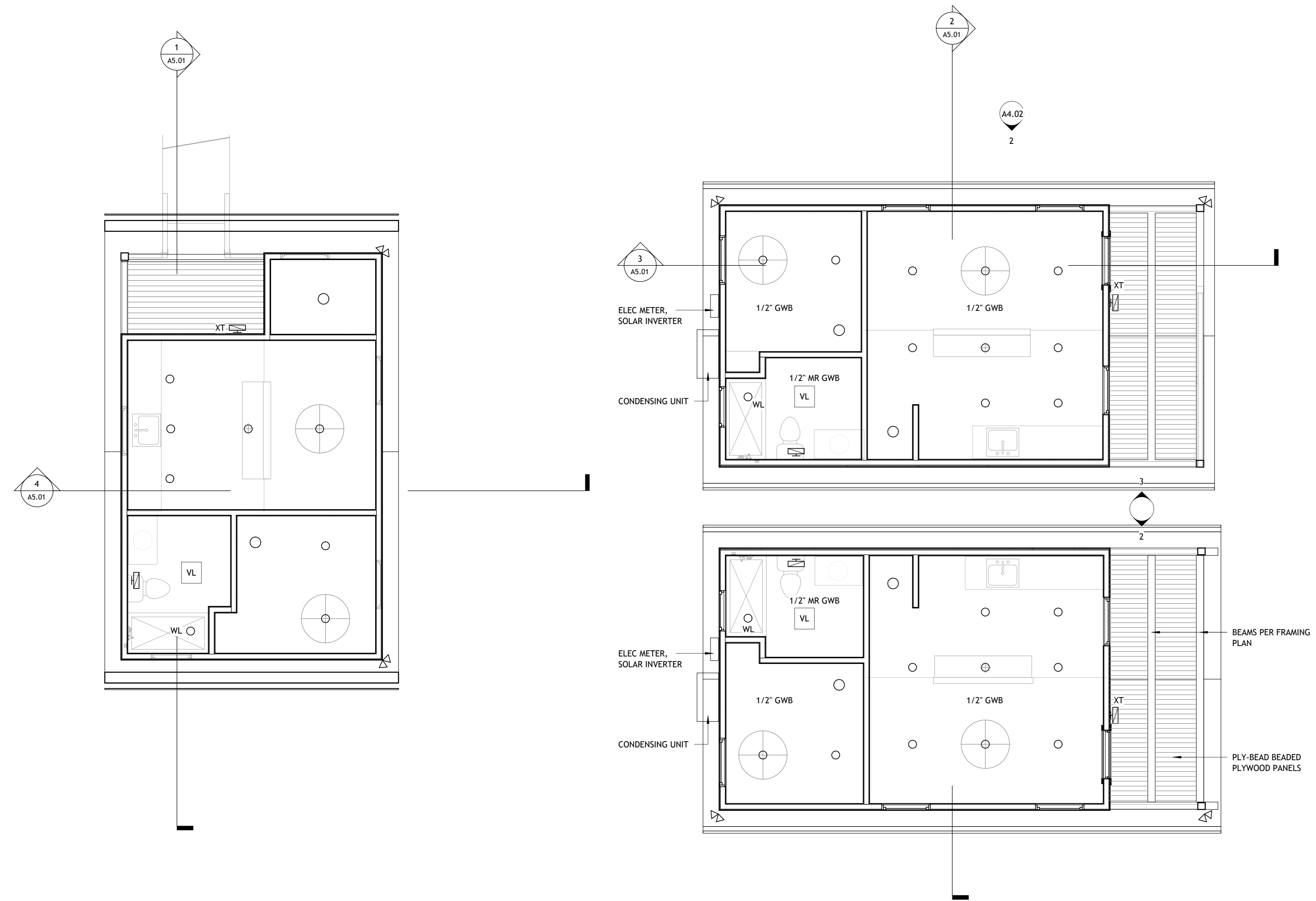
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 Date: 01-05-23

NOT FOR CONSTRUCTION
FOR REVIEW ONLY

NOT FOR CONSTRUCTION
FOR REVIEW ONLY

CONSULTANTS:



2 UNIT A
A3.01 1/4" = 1'-0"

1 UNITS B & C
A3.01 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

	WALL SCONCE		HEIGHT TYPE		CEILING HEIGHT TAG
	EXTERIOR WALL SCONCE		ACCESS PANEL: 20"x30" NET OPENING AVG 30" CLEAR HEADROOM ABOVE PER RES CODE SECTION 807.1		BATHROOM EXHAUST VENT / LIGHT COMBO; VENT TO EXTERIOR
	RECESSED DOWN LIGHT		PENDANT		MOTION SENSORED FLOOD
	RECESSED DOWN LIGHT - WET LOCATION				
	36" CEILING FAN W/ LIGHT KIT				
	SURFACE MOUNTED LIGHT				

OUTLINE SPECIFICATIONS

1. SEALED CMU CRAWL W/ 15 MIL VAPOR BARRIER AT EARTH
2. 2x4 FRAMING AT WALLS, SHEATHING, HOUSE WRAP
3. ROOF FRAMING MAY BE ATTIC TRUSSES 2x10 RAFTERS @ 24" O.C.
4. R-15 DENSE PACK CELLULOSE INSULATION AT WALLS AND FLOOR
5. R-38 INSULATION AT ROOF
6. VINYL WINDOWS, SDL SPACERS, INSULATED LOW-E GLASS
7. 2-PANEL PTD SOLID WOOD INTERIOR DOORS
8. LEVEL 3 SMOOTH PTD GWB WALLS AND CEILING
9. 1x4 PAINTED POPLAR TRIM
10. LUXURY VINYL PLANK FLOORING
11. PTD WOOD CABINETS
12. PLASTIC LAMINATE COUNTERTOPS
13. LOW THRESHOLD ACRYLIC SHOWER BASE AND SHOWER WALL KIT
14. MINISPLIT W/ TRANSFER VENT FAN AT BATHROOM AND BEDROOM
15. LED LIGHT FIXTURES
16. LOW BOY ELECTRIC WATER HEATER IN CRAWL

PEE WEE HOMES HILL
STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

PERMIT DRAWINGS
6.12.2023

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no.	date	revision

Project Name
PEE WEE HOMES HILL STREET

Project Number
PROJ. NUMBER

Date
6.12.2023

Scale
As indicated

Drawing
MEP SCHEMATIC

A3.01

PERMIT DRAWINGS

CONSULTANTS:

PEE WEE HOMES HILL STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

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no. date revision

Project Name
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Project Number
PROJ. NUMBER

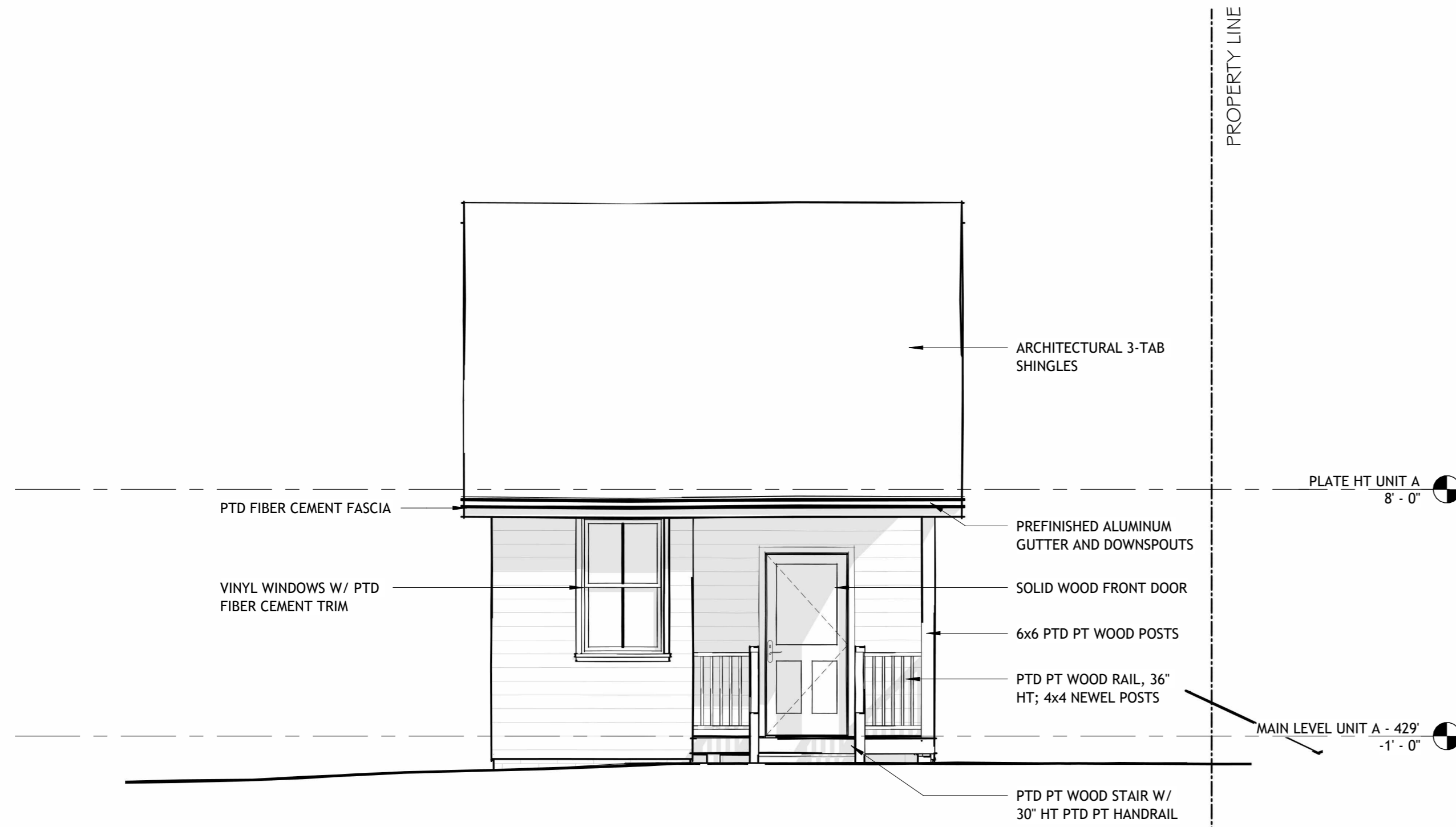
Date
6.12.2023

Scale
As indicated

Drawing
EXTERIOR ELEVATIONS

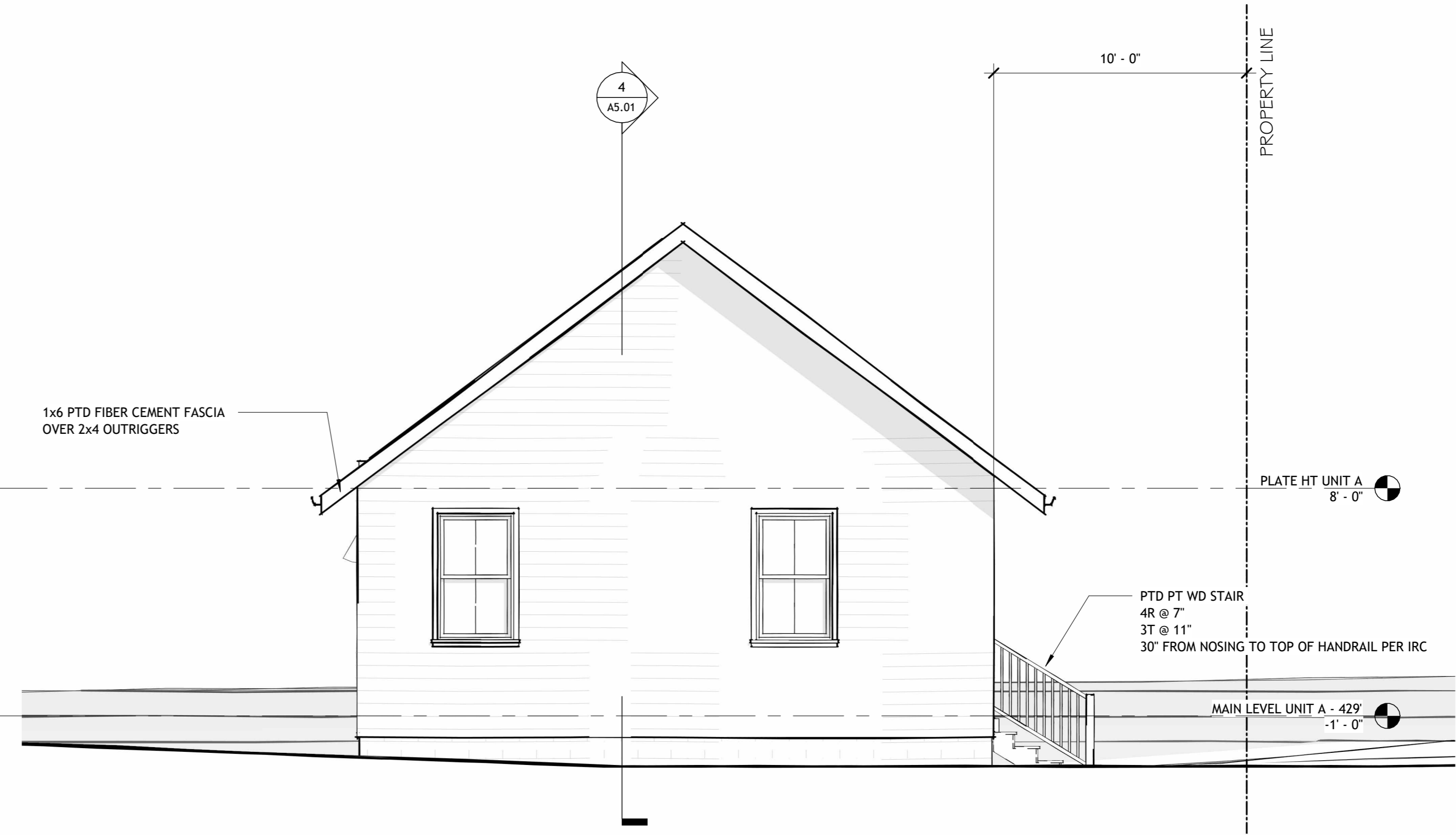
A4.01

PERMIT DRAWINGS



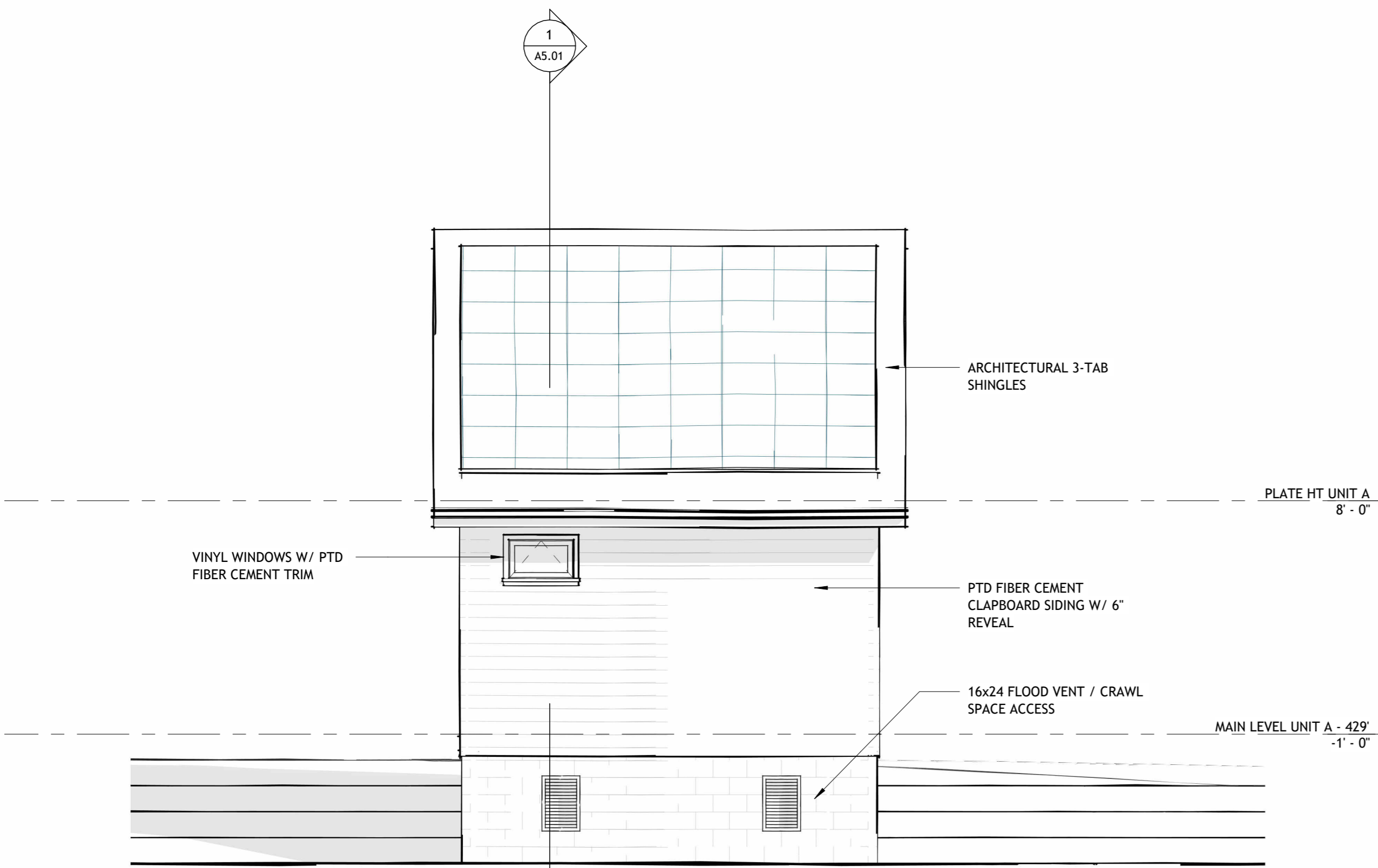
2 NORTH ELEVATION - HILL STREET - UNIT A

A4.01 1/4" = 1'-0"



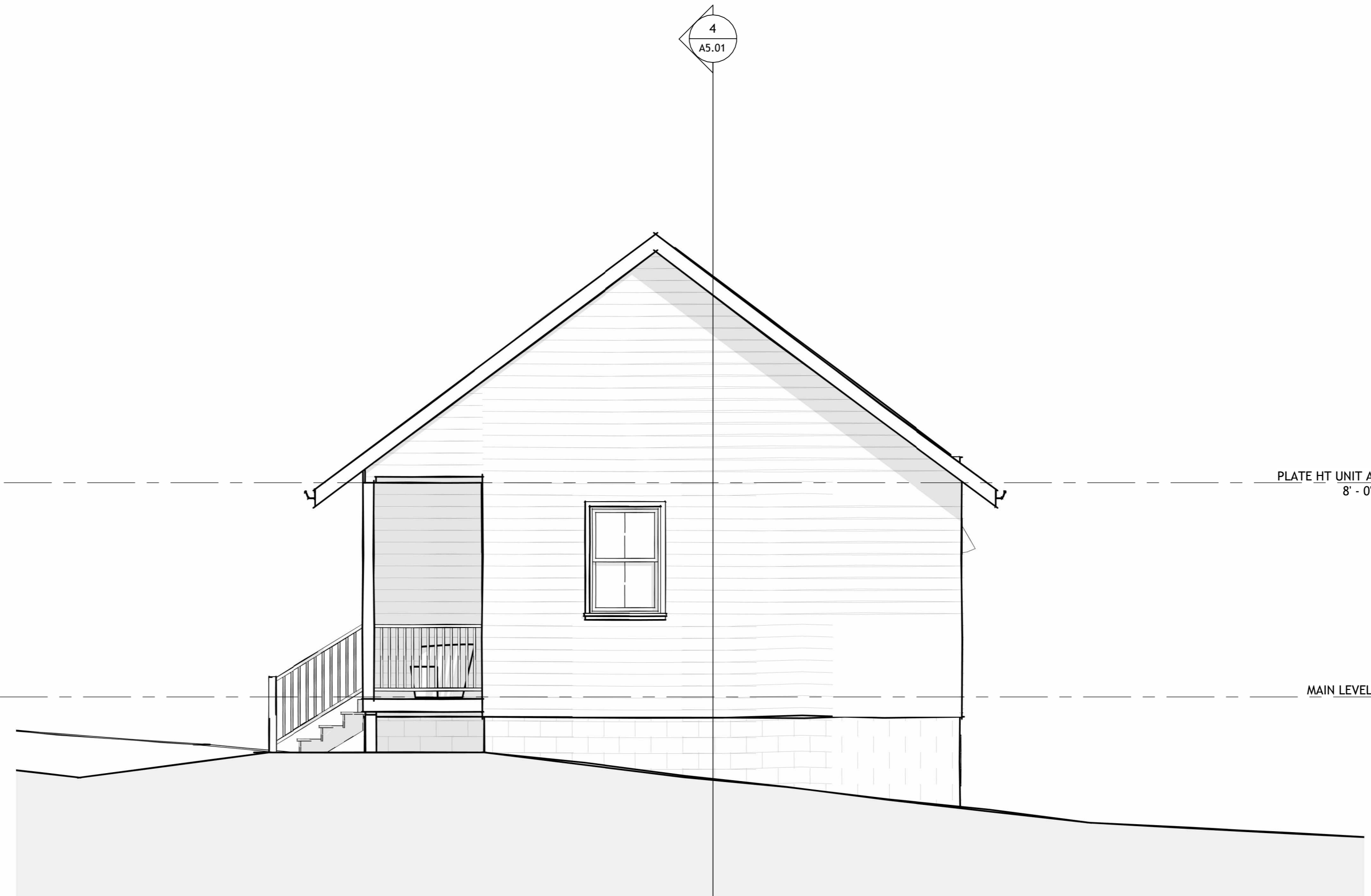
1 EAST ELEVATION - BROAD STREET - UNIT A

A4.01 1/4" = 1'-0"



3 EAST ELEVATION - UNIT A

A4.01 1/4" = 1'-0"



4 WEST ELEVATION - UNIT A

A4.01 1/4" = 1'-0"

EXTERIOR FINISH NOTES (TYPICAL ALL UNITS)

1. FIBER CEMENT CLAPBOARD SIDING
2. 5/4x4 FIBER CEMENT TRIM, INCLUDING CORNER BOARDS
3. PAINTED PT WOOD RAILINGS
4. ALL EXTERIOR WOOD TO BE PRESSURE TREATED AND PAINTED
5. ARCHITECTURAL SHINGLE ROOF
6. VINYL WINDOWS
7. SOLID WOOD FRONT DOOR
8. 1'-0" EAVE AND RAKE

CONSULTANTS:

PEE WEE HOMES HILL STREET

PEE WEE HOMES

106 HILL STREET, CARRBORO, NC

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Project Name
PEE WEE HOMES HILL STREET

Project Number
PROJ. NUMBER

Date
6.12.2023

Scale
As indicated

Drawing
EXTERIOR ELEVATIONS

A4.02

PERMIT DRAWINGS

PTD PT 2x6 STARBURST; FASTEN TO 2x6's ON FLAT WITH GALVANIZED 3x3 CLIP ANGLES, INTERIOR FACE; SANDWICH BETWEEN PLIES OF DOUBLE 2x10 BEAM AND FASTEN WITH 2 1/2" CORTEX DECK SCREW HIDDEN FASTENERS

5/4 x 10" FIBER CEMENT FASCIA OVER DBL 2x10 BEAM W/ SPACER

PLATE HT
9'-3"

MAIN LEVEL UNITS B & C -
0'-0"



1 BROAD STREET ELEVATION - UNITS B & C

A4.02 1/4" = 1'-0"

2
AS.01



3 SOUTH ELEVATION - UNIT B

A4.02 1/4" = 1'-0"

3
AS.01



4 WEST ELEVATION - UNITS B & C

A4.02 1/4" = 1'-0"

2
AS.01



2 NORTH ELEVATION - UNIT B

A4.02 1/4" = 1'-0"

EXTERIOR FINISH NOTES (TYPICAL ALL UNITS)

1. FIBER CEMENT CLAPBOARD SIDING
2. 5/4x4 FIBER CEMENT TRIM, INCLUDING CORNER BOARDS
3. PAINTED PT WOOD RAILINGS
4. ALL EXTERIOR WOOD TO BE PRESSURE TREATED AND PAINTED
5. ARCHITECTURAL SHINGLE ROOF
6. VINYL WINDOWS
7. SOLID WOOD FRONT DOOR
8. 1'-0" EAVE AND RAKE

CONSULTANTS:



1 SOUTH ELEVATION - UNIT C

A4.03 1/4" = 1'-0"



2 NORTH ELEVATION - UNIT C

A4.03 1/4" = 1'-0"

PEE WEE HOMES HILL STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

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no.	date	revision

Project Name
PEE WEE HOMES HILL STREET

Project Number
PROJ. NUMBER

Date
6.12.2023

Scale
1/4" = 1'-0"

Drawing
EXTERIOR ELEVATIONS

A4.03

PERMIT DRAWINGS

CONSULTANTS:

PEE WEE HOMES HILL STREET
PEE WEE HOMES

106 HILL STREET, CARBORO, NC

PERMIT DRAWINGS
6.12.2023

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Project Name
PEE WEE HOMES HILL STREET

Project Number
PROJ. NUMBER

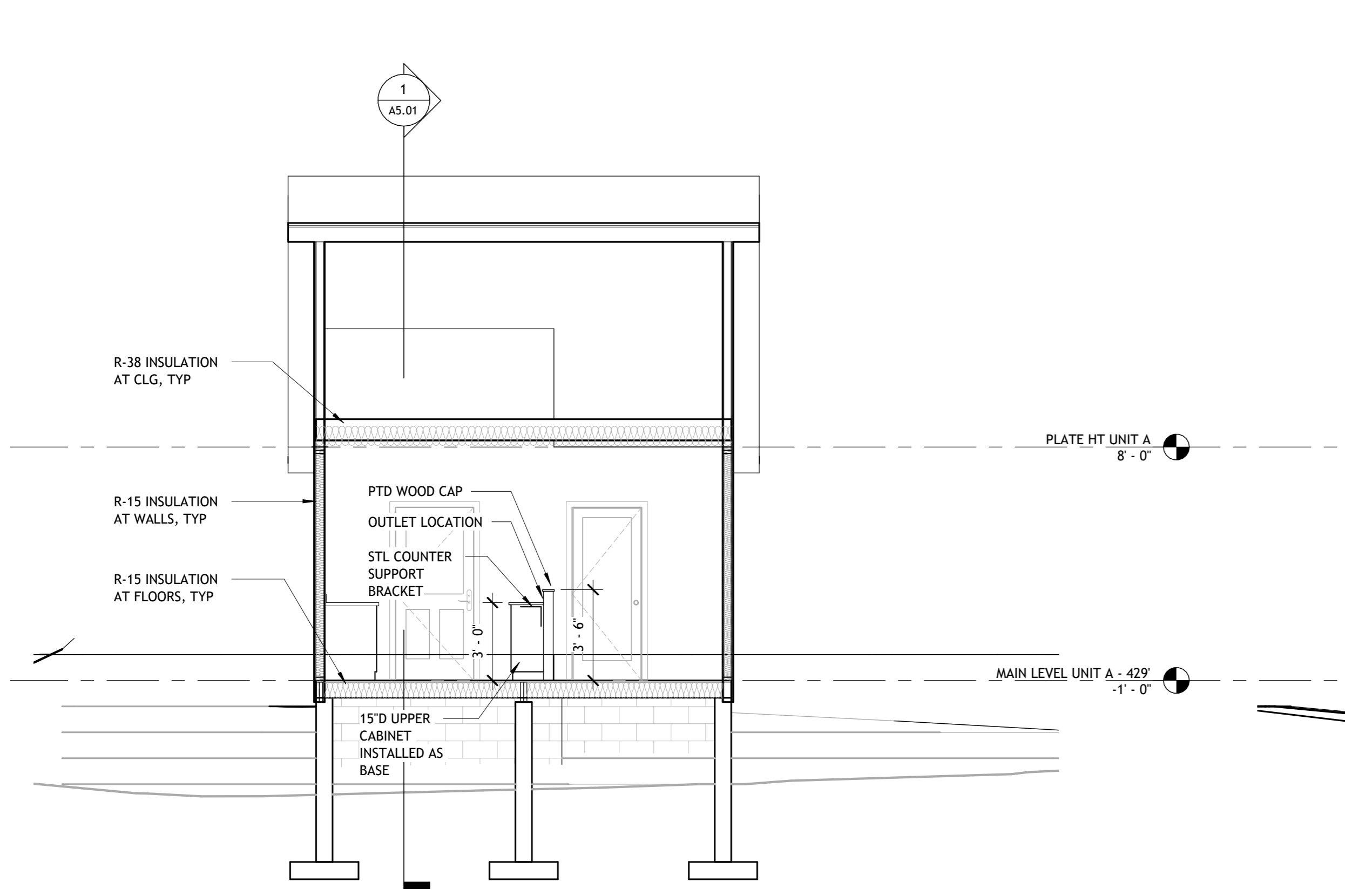
Date
6.12.2023

Scale
1/4" = 1'-0"

Drawing
BUILDING SECTIONS

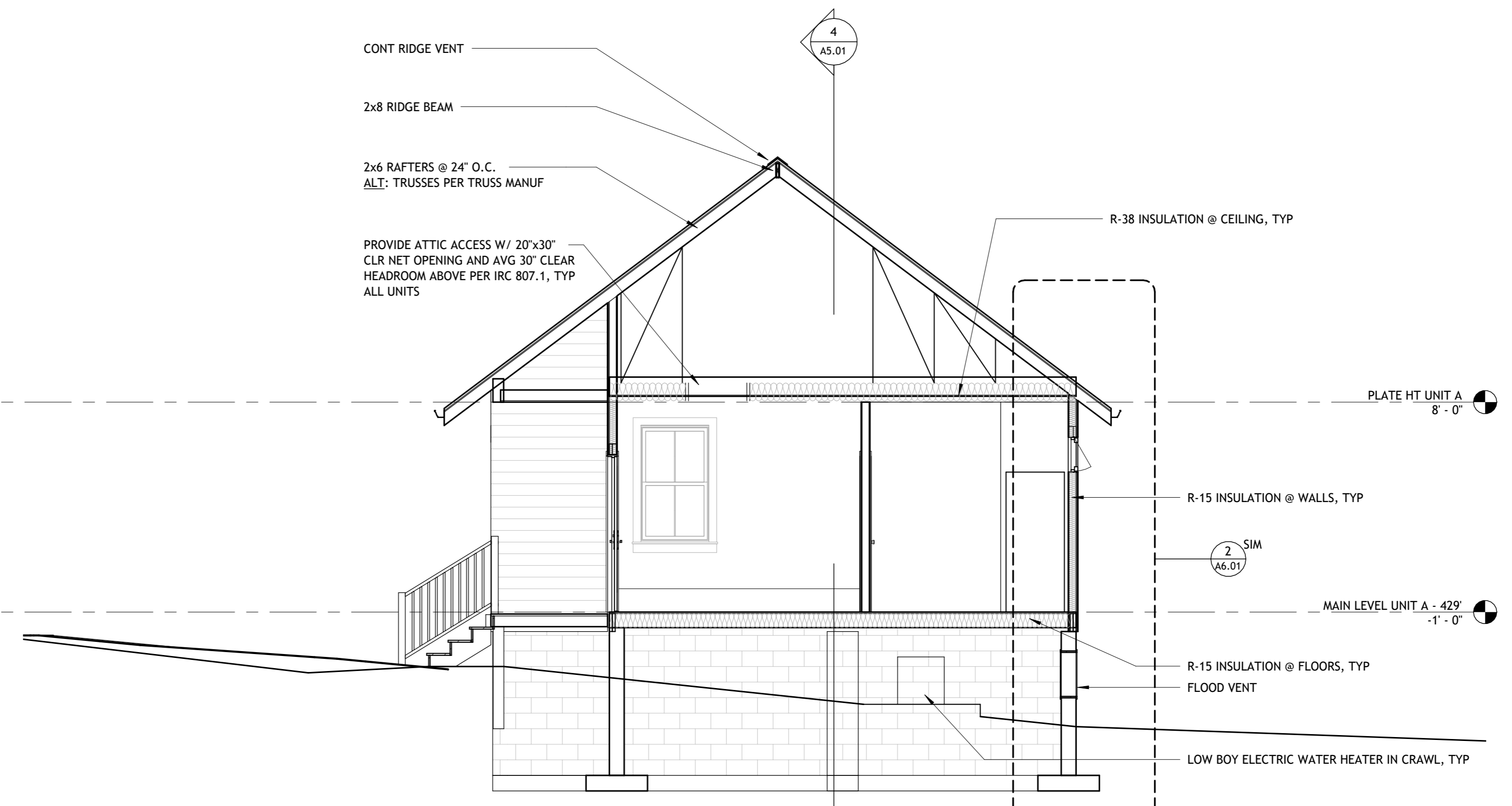
A5.01

PERMIT DRAWINGS



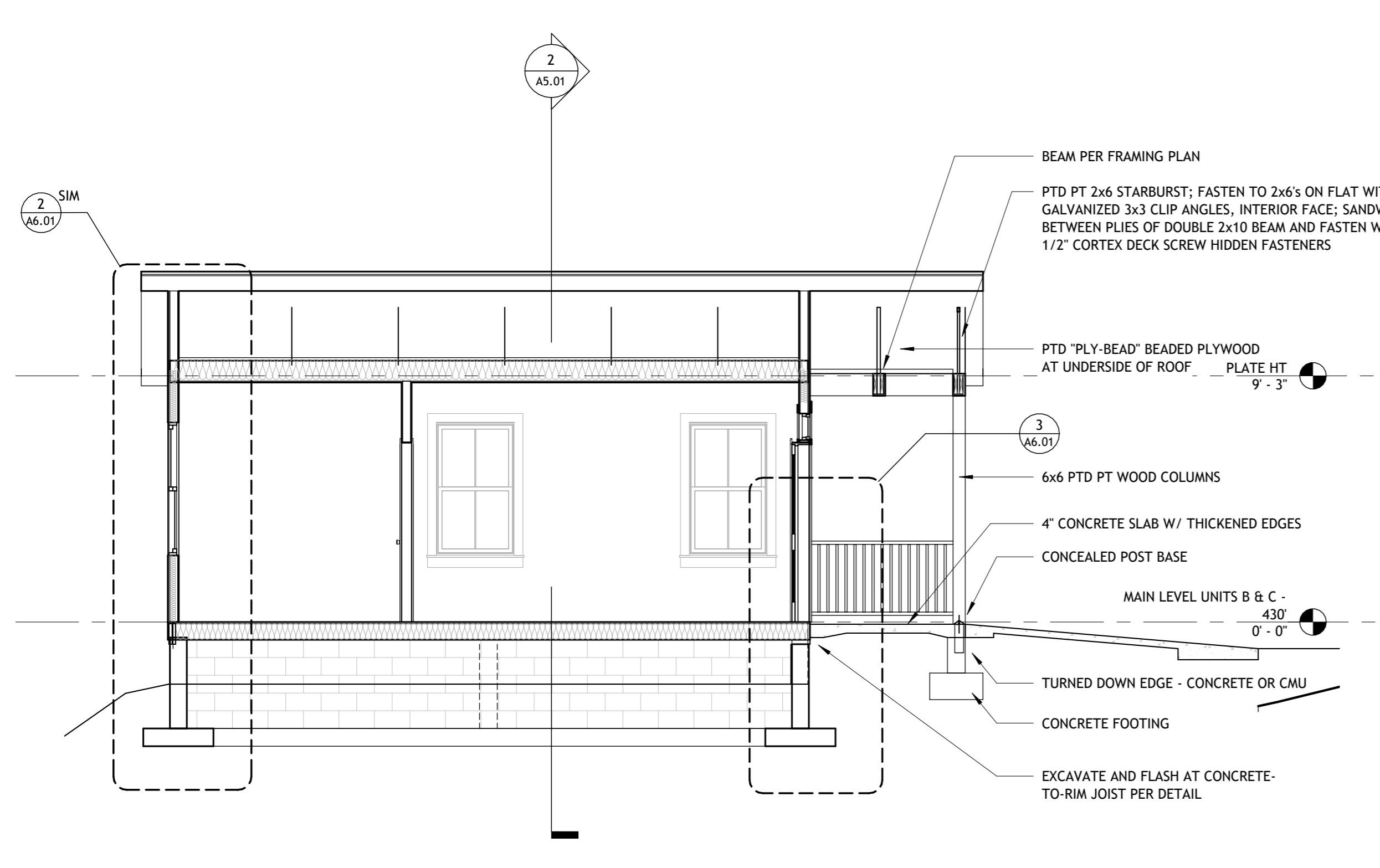
4 UNIT A - CROSS SECTION

A5.01 1/4" = 1'-0"



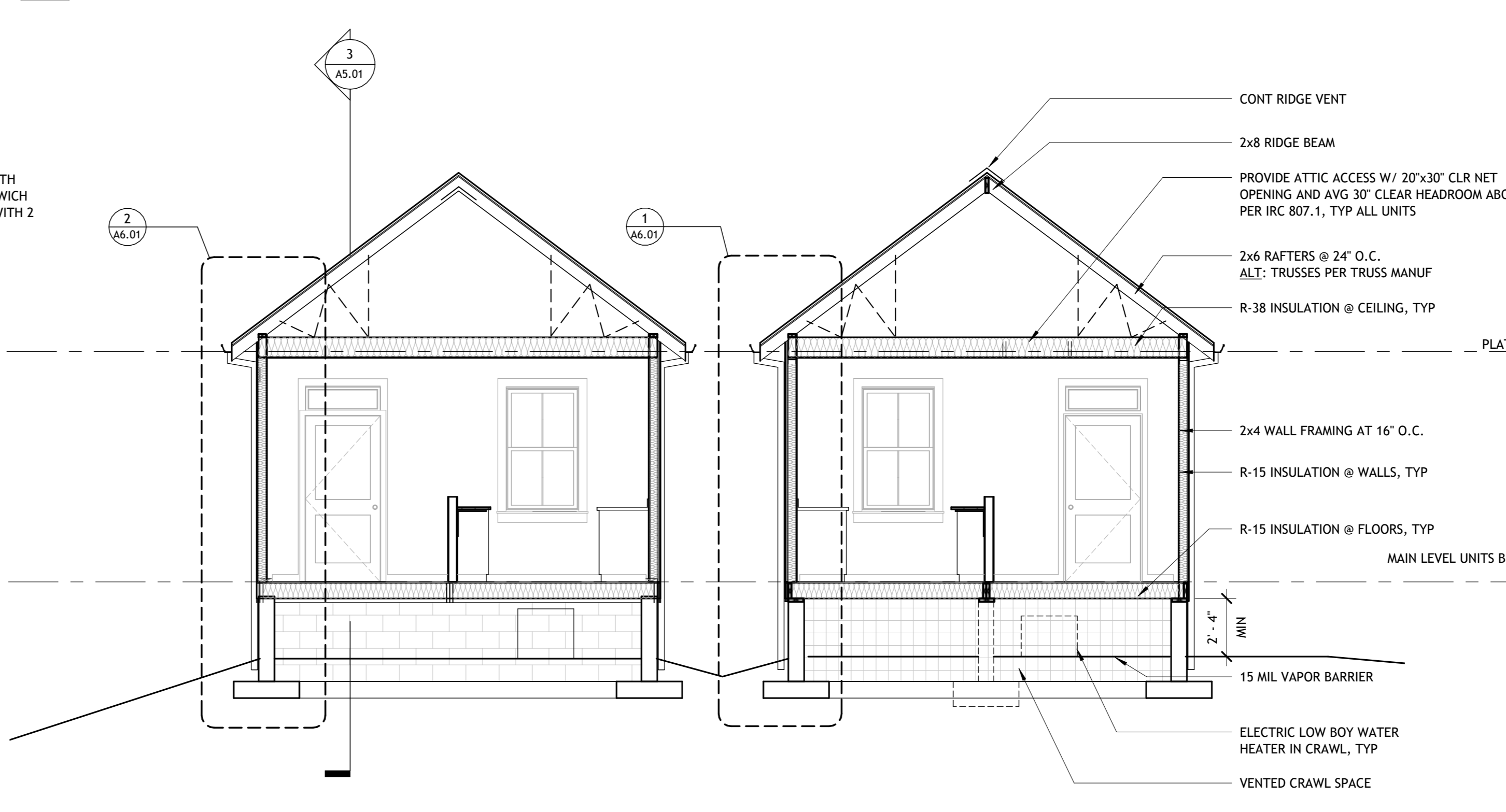
1 UNIT A - TRANSVERSE SECTION

A5.01 1/4" = 1'-0"



3 UNITS B & C - TRANSVERSE SECTION

A5.01 1/4" = 1'-0"



2 UNITS B AND C - CROSS SECTION 01

A5.01 1/4" = 1'-0"

CONSULTANTS:

PEE WEE HOMES HILL STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

PERMIT DRAWINGS
6.12.2023

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no.	date	revision

Project Name
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Project Number
PROJ. NUMBER

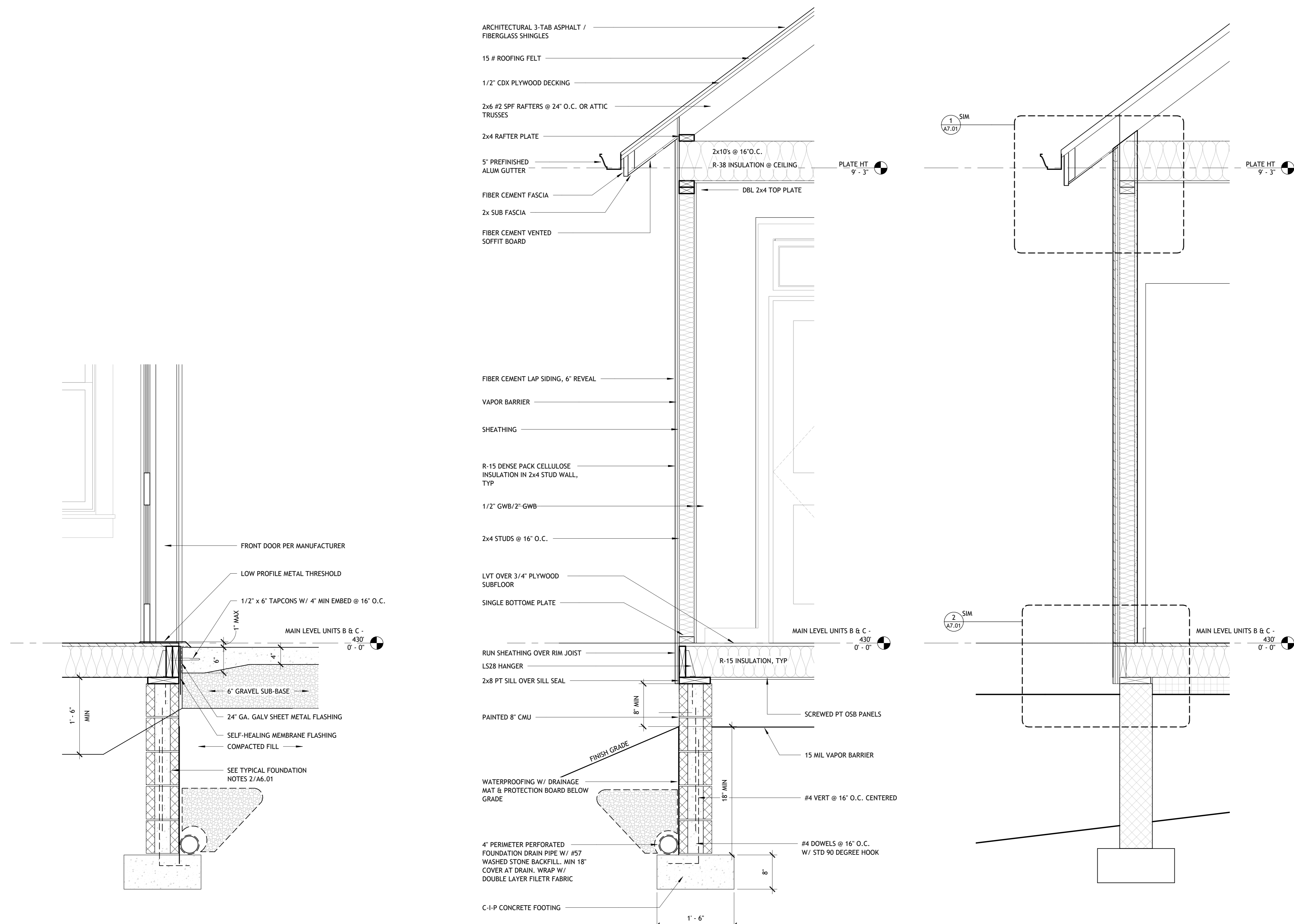
Date
6.12.2023

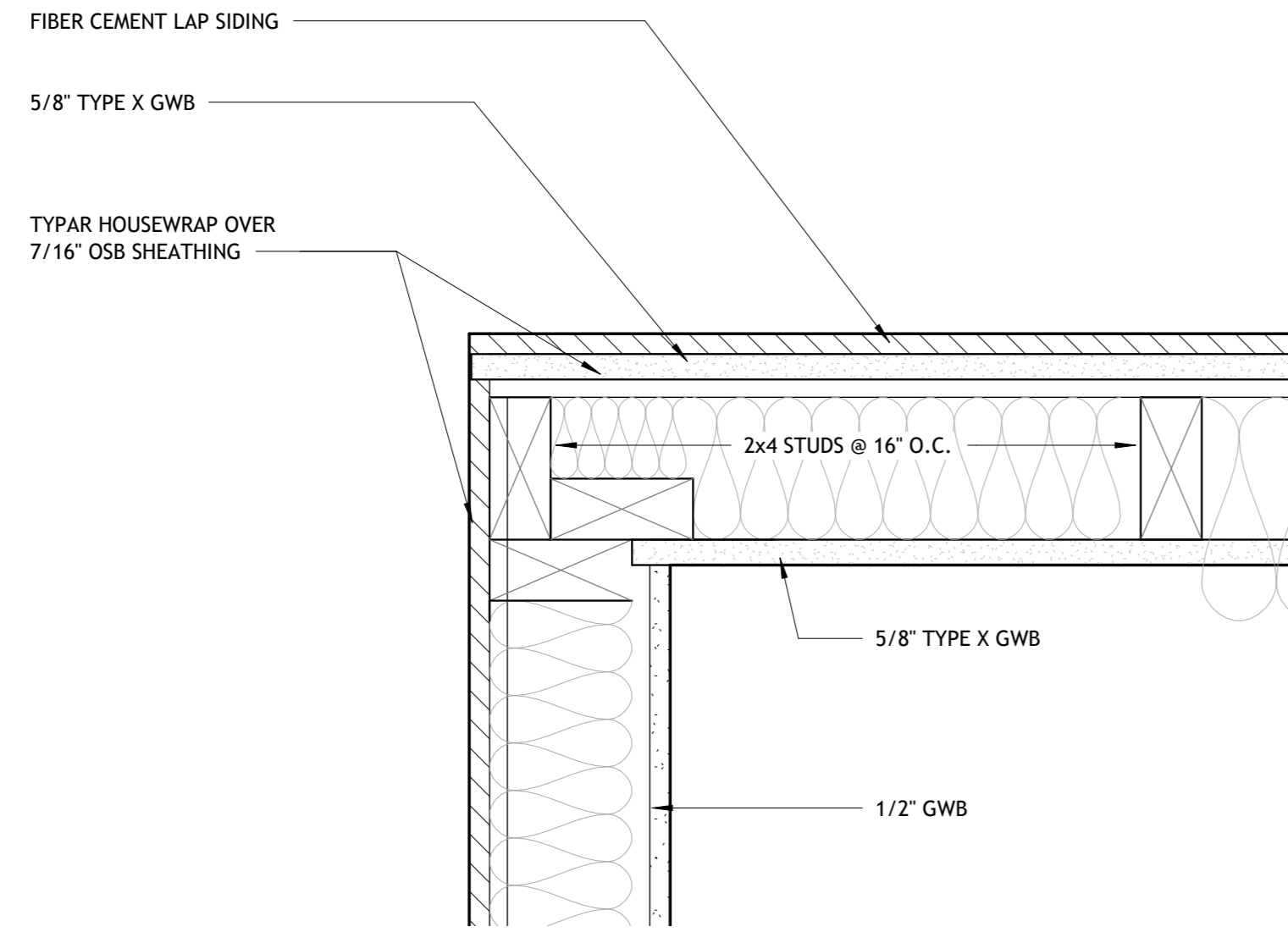
Scale
1" = 1'-0"

Drawing
WALL SECTIONS

A6.01

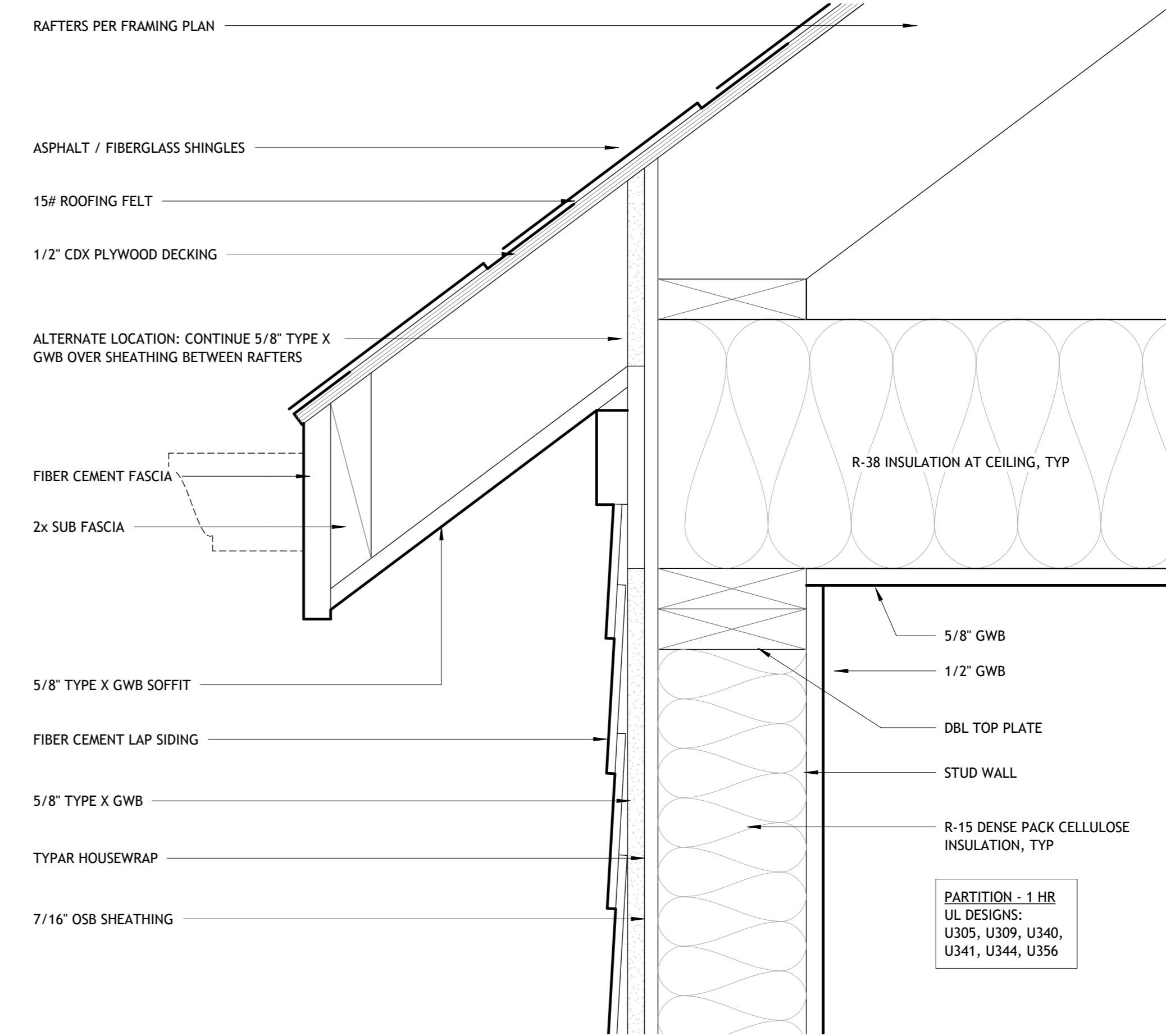
PERMIT DRAWINGS





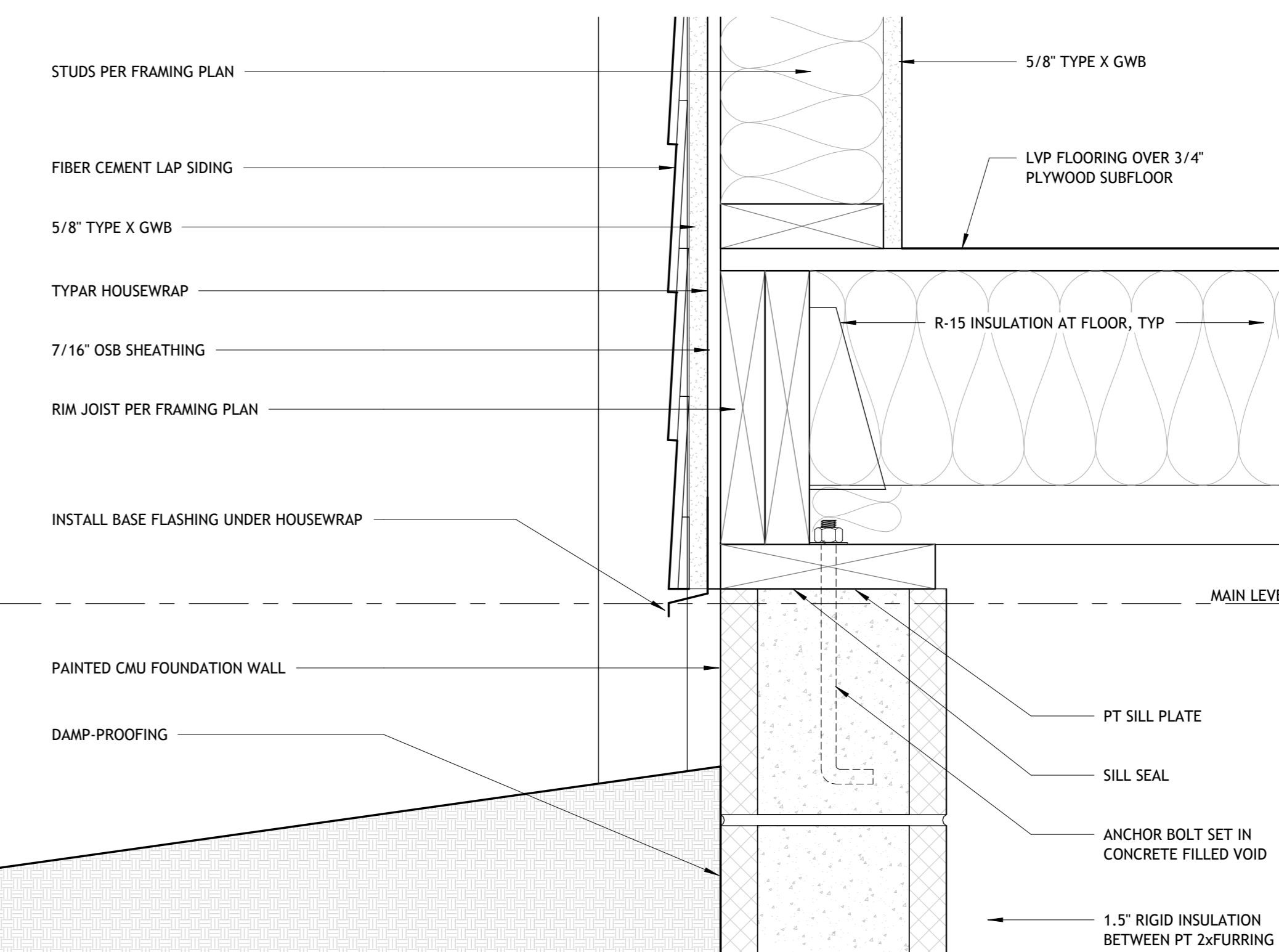
3 PLAN DETAIL AT 1 HOUR RATED WALL

A7.01 3" = 1'-0"



1 EAVE DETAIL @ RATED WALL

A7.01 3" = 1'-0"



2 WALL SECTION AND FLOOR ASSEMBLY DETAIL @ RATED WALL

A7.01 3" = 1'-0"

CONSULTANTS:

PEE WEE HOMES HILL STREET
PEE WEE HOMES
106 HILL STREET, CARBORO, NC
PERMIT DRAWINGS
6.12.2023

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no. date revision

Project Name
PEE WEE HOMES HILL STREET

Project Number
PROJ. NUMBER

Date
6.12.2023

Scale
3" = 1'-0"

Drawing
RATED WALL DETAILS

A7.01

PERMIT DRAWINGS

CONSULTANTS:

PEE WEE HOMES HILL STREET

PEE WEE HOMES

106 HILL STREET, CARRBORO, NC

PERMIT DRAWINGS
6.12.2023

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no.	date	revision

Project Name
PEE WEE HOMES HILL STREET

Project Number
PROJ. NUMBER

Date
6.12.2023

Scale
1/2" = 1'-0"

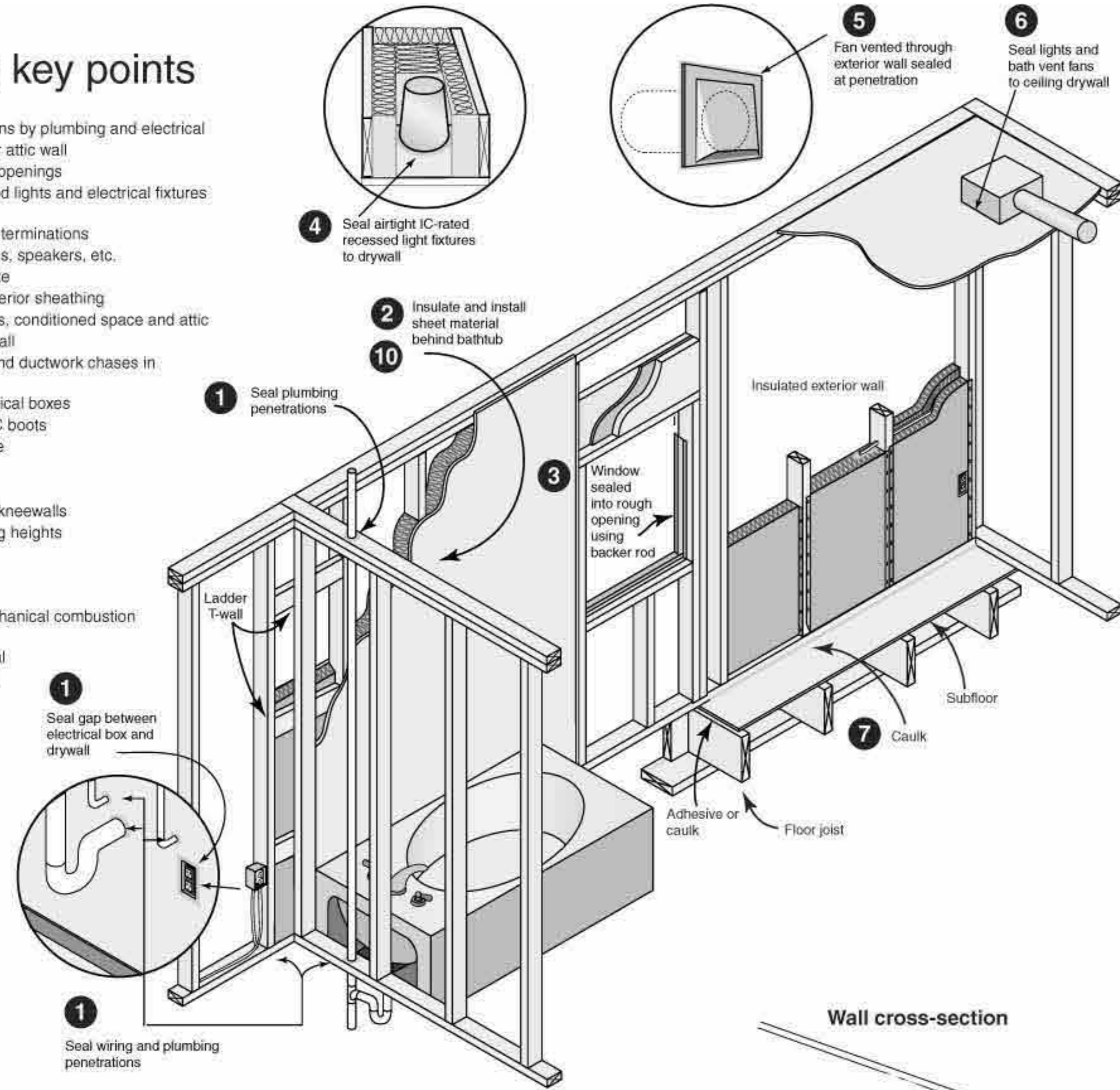
Drawing
EXTERIOR DETAILS

A7.02

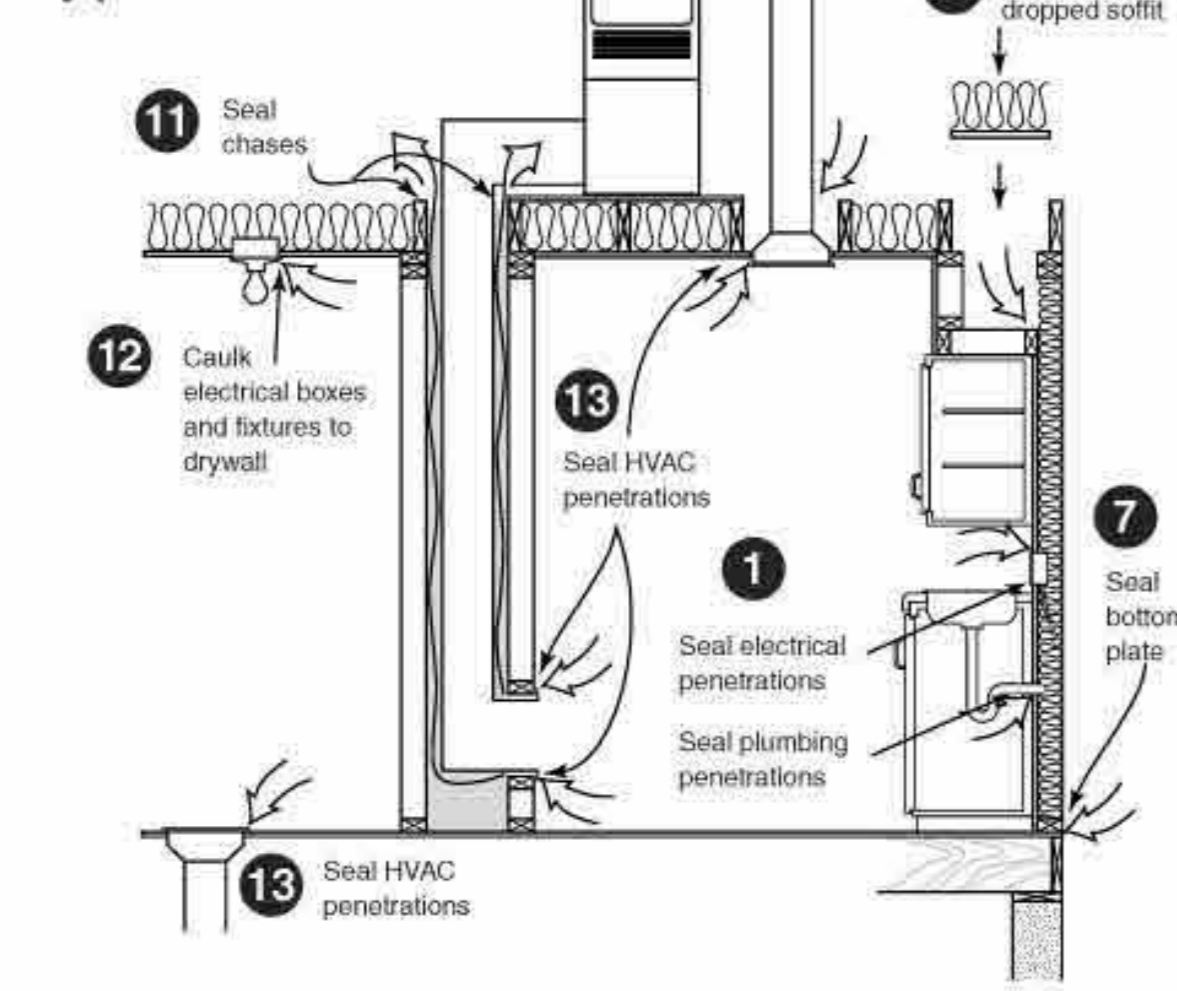
PERMIT DRAWINGS

Appendix
Air sealing key points

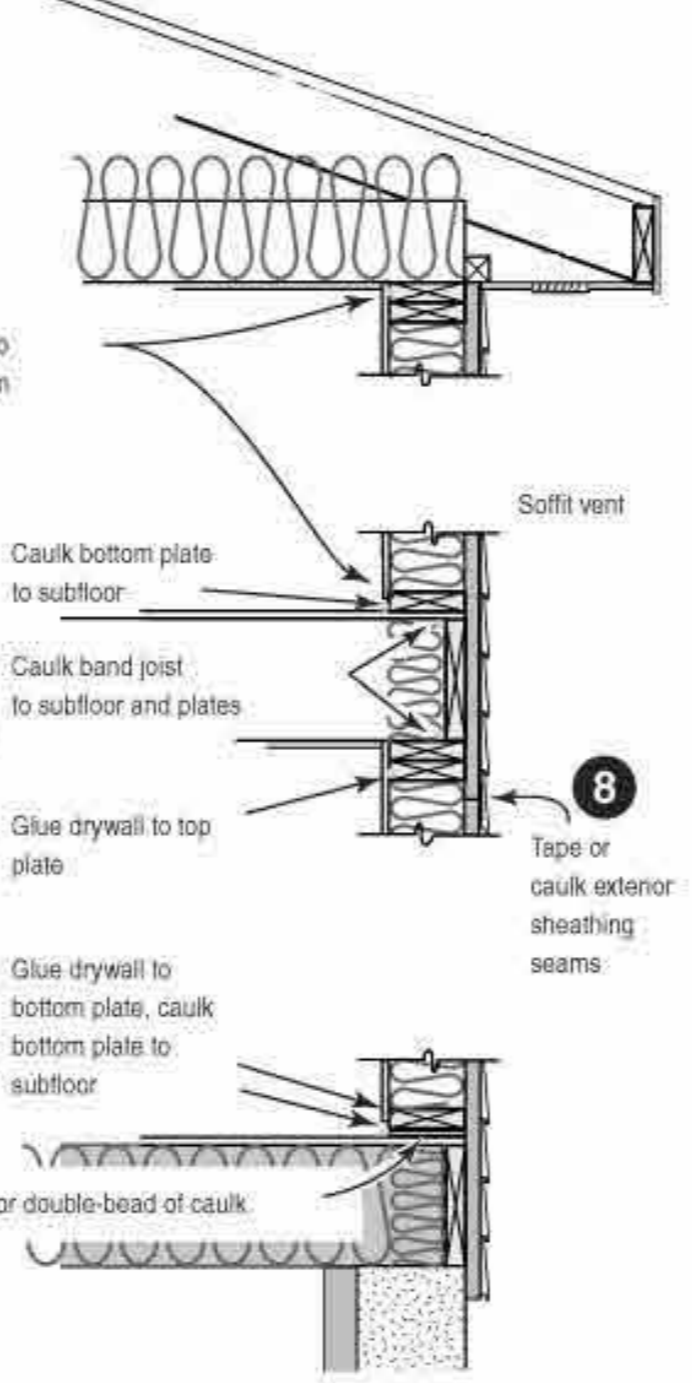
1. Plate and wall penetrations by plumbing and electrical
2. Tub/shower on outside or attic wall
3. Window and door rough openings
4. Airtight, IC-rated recessed lights and electrical fixtures exposed to attic
5. Exterior wall exhaust fan terminations
6. Ceiling mounted bath fans, speakers, etc.
7. Bottom plate and top plate
8. Seams between rigid exterior sheathing
9. Band area between floors, conditioned space and attic
10. Garden tub on exterior wall
11. Mechanical equipment and ductwork chases in attics, crawlspaces
12. Ceiling/crawlspace electrical boxes
13. Ceiling/crawlspace HVAC boots
14. Shower and tub drain line
15. Fireplace inserts
16. Attic kneewall doors
17. Joist cavities under attic kneewalls
18. Transition between ceiling heights (e.g., 10' to 8')
19. Attic scuttle hole
20. Attic pull-down stairs
21. Wall penetrations of mechanical combustion closets
22. Thresholds at mechanical combustion closet doors
23. Band joist exposed to exterior
24. Band area exposed to unconditioned space (such as basement or garage)
25. Exterior wall penetrations for refrigeration lines, condensate line, etc.



Chases and common by-passes

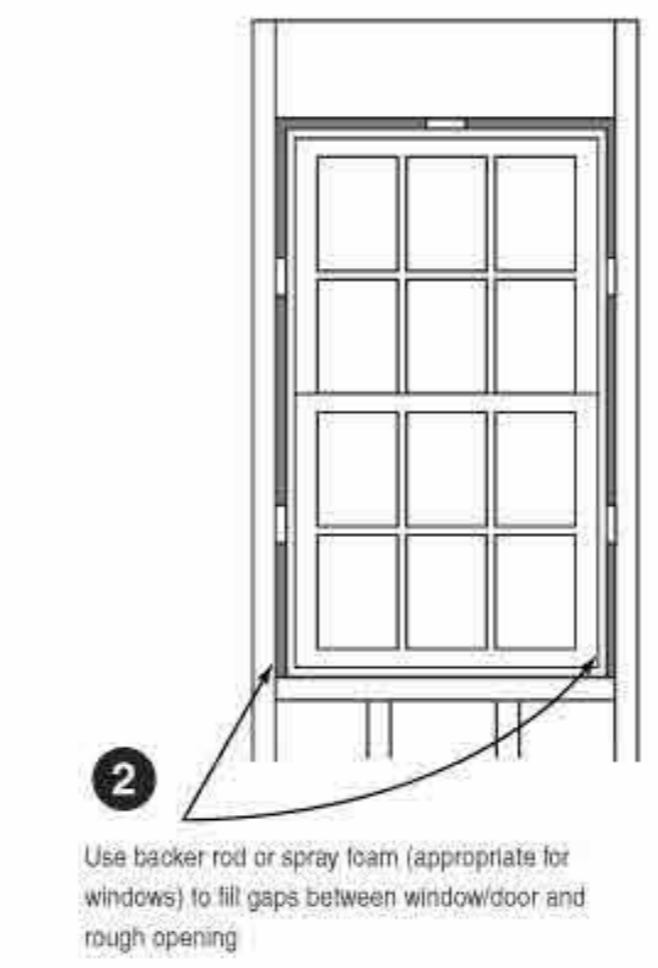


Wall cross-section

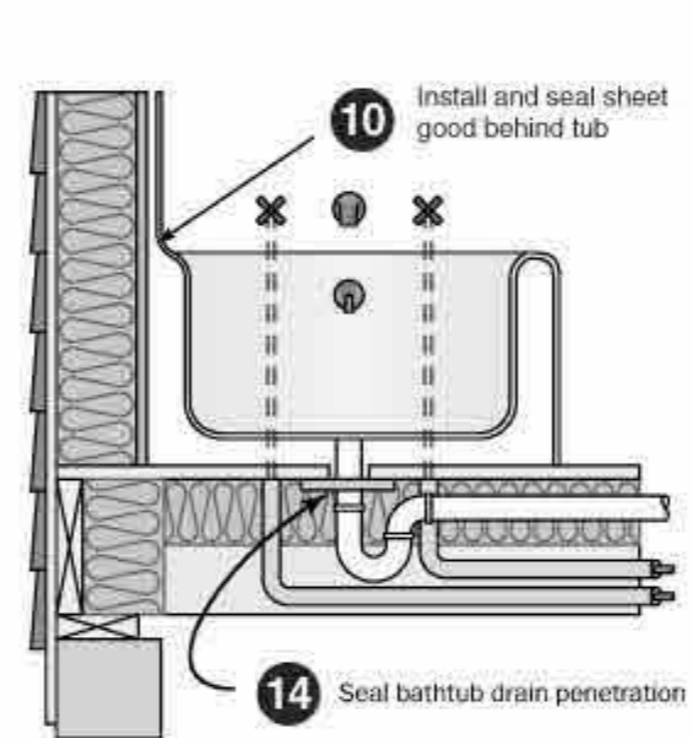


Appendix
Air sealing key points continued

Window rough opening



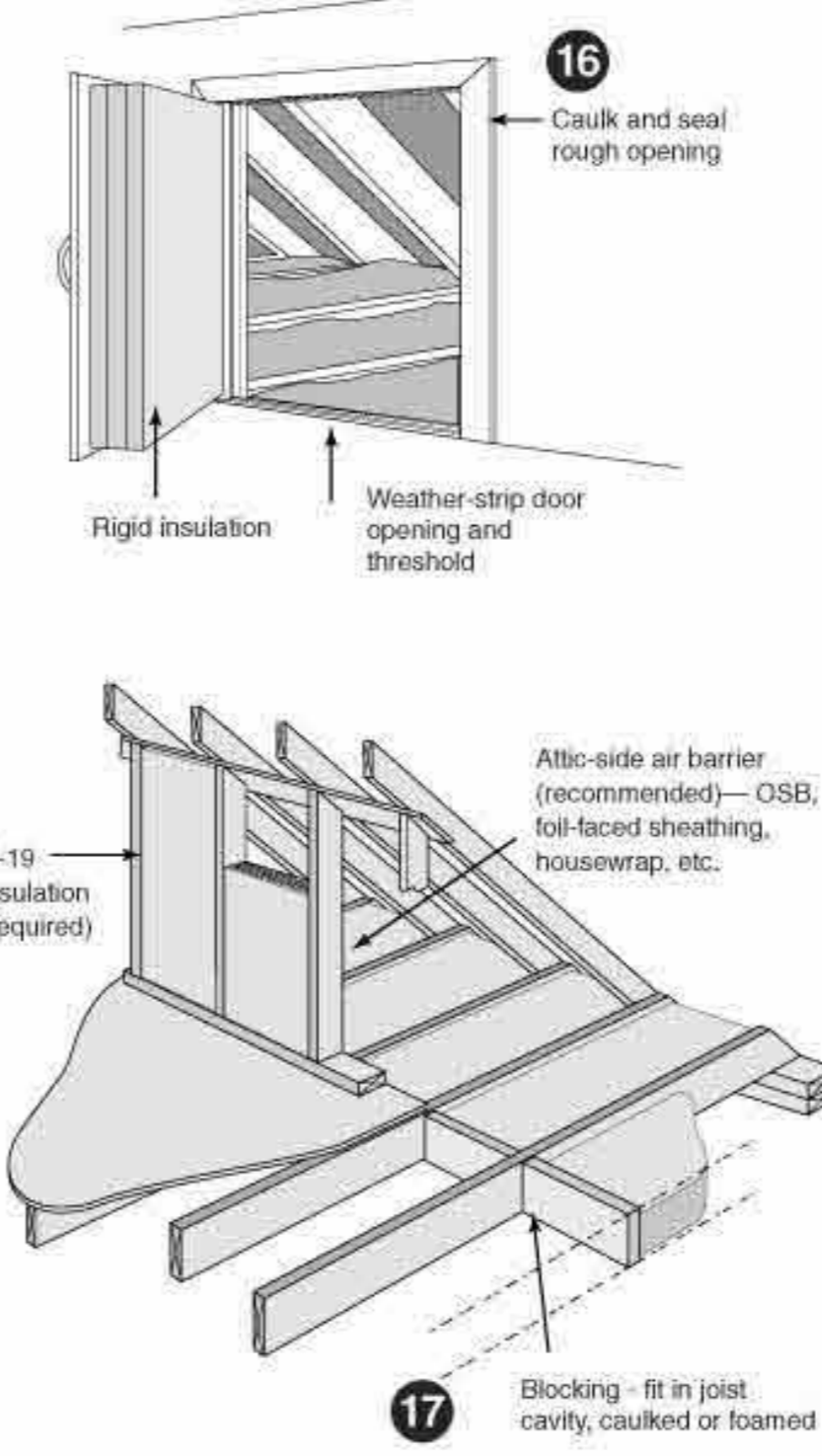
Shower/tub drain rough opening



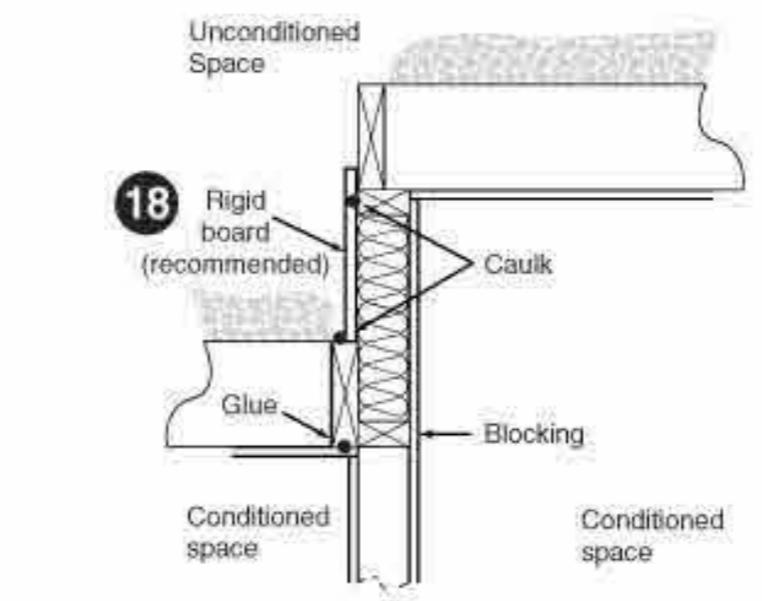
Combustion chase penetrations



Attic knee-walls

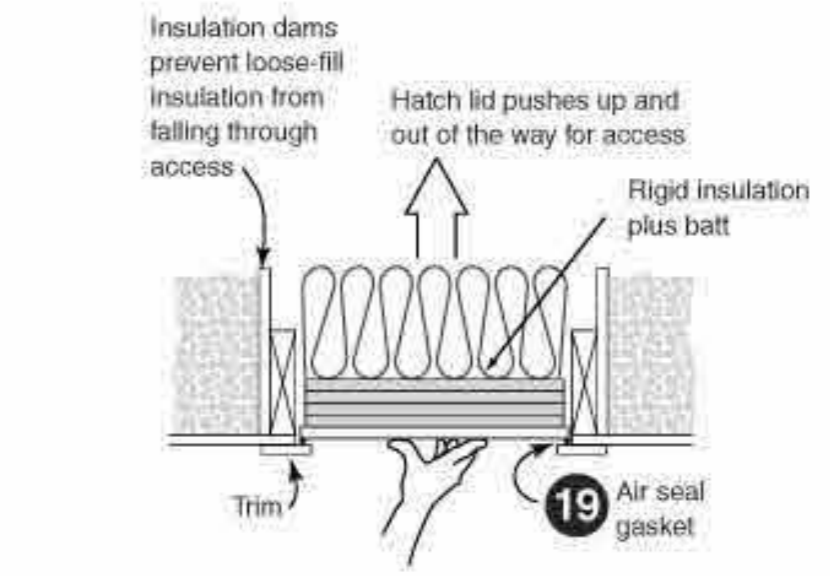


Two-level attic

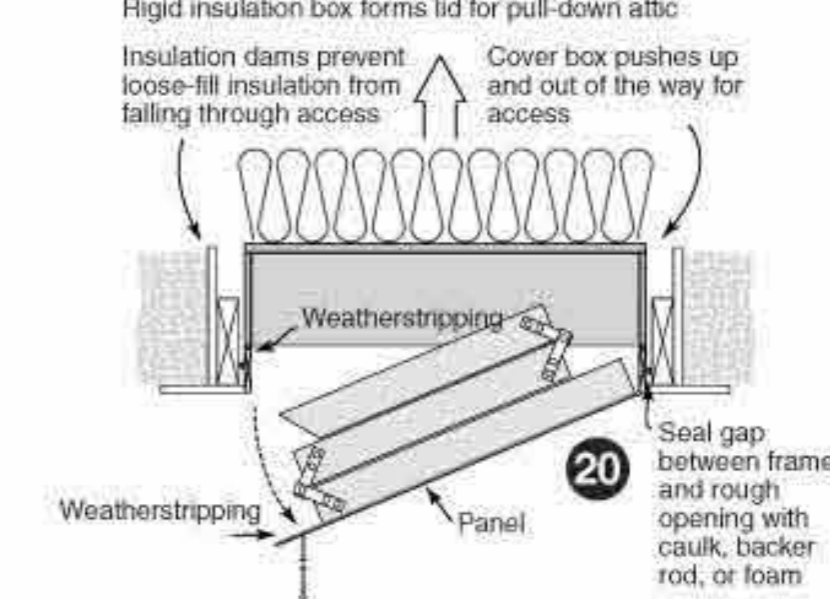


Disclaimer:
This document is intended solely to help graphically demonstrate the air leakage provisions of section 502.1.4 of the 2000 IECC. It does not cover all airsealing locations or techniques. Other code provisions may be applicable as well.

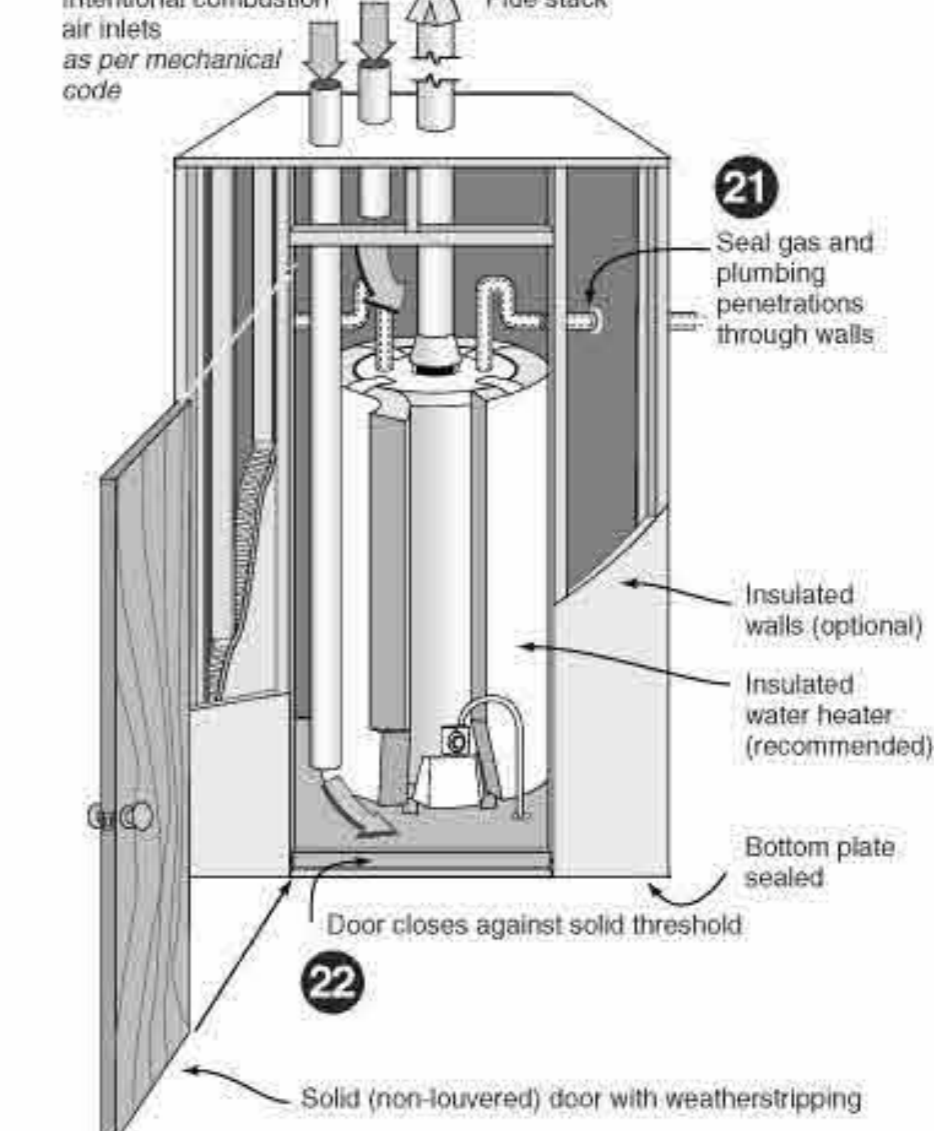
Attic scuttle



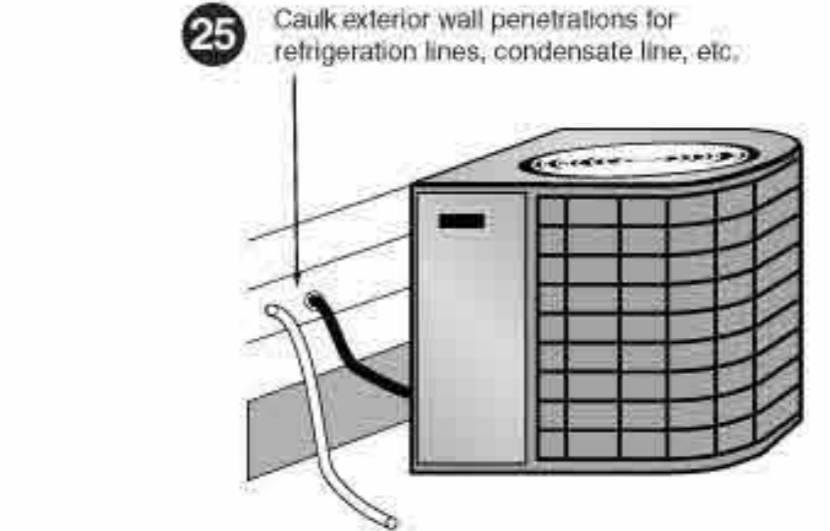
Attic pull-down stairs



Combustion closet

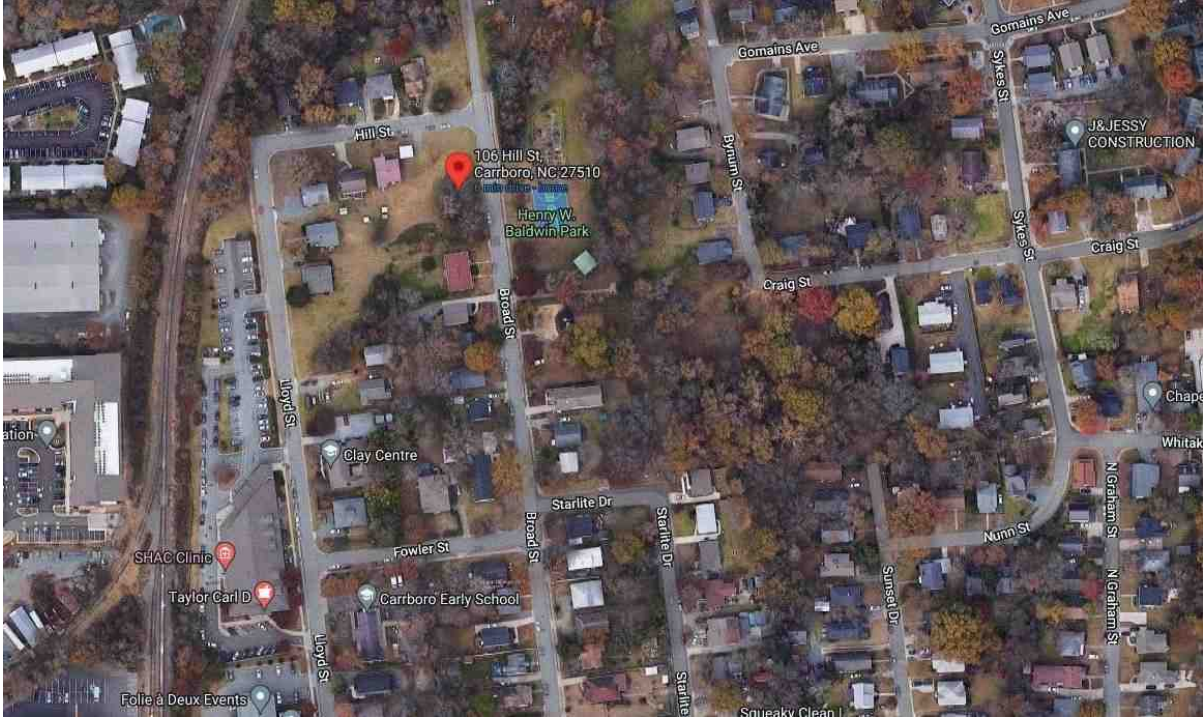


Exterior penetrations



Borrower	N/A	File No. 26576		
Property Address	106 Hill St			
City	Carrboro	County Orange	State NC	Zip Code 27510
Client	Erika M. Walker			

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Assumptions, Limiting Conditions & Scope of Work

106 Hill St(PIN# 97789758E

File No.: 26576

Property Address: 106 Hill St City: Carrboro State: NC Zip Code: 27510

Client: Erika M. Walker Address: Pee Wee Homes , 8410 Merin Rd, Chapel Hill, NC 27516

Appraiser: John A. McPhaul, III Address: 2 Bolin Hts Ste A, Chapel Hill, NC 27514-5739

STATEMENT OF ASSUMPTIONS & LIMITING CONDITIONS

- The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it. The appraiser assumes that the title is good and marketable and, therefore, will not render any opinions about the title. The property is appraised on the basis of it being under responsible ownership.
- The appraiser may have provided a plat and/or parcel map in the appraisal report to assist the reader in visualizing the lot size, shape, and/or orientation. The appraiser has not made a survey of the subject property.
- If so indicated, the appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other data sources) and has noted in the appraisal report whether the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
- The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand.
- The appraiser has noted in the appraisal report any adverse conditions (including, but not limited to, the presence of hazardous wastes, toxic substances, etc.) observed during the inspection of the subject property, or that he or she became aware of during the normal research involved in performing the appraisal. Unless otherwise stated in the appraisal report, the appraiser has no knowledge of any hidden or unapparent conditions of the property, or adverse environmental conditions (including, but not limited to, the presence of hazardous wastes, toxic substances, etc.) that would make the property more or less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied, regarding the condition of the property. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, the appraisal report must not be considered as an environmental assessment of the property.
- The appraiser obtained the information, estimates, and opinions that were expressed in the appraisal report from sources that he or she considers to be reliable and believes them to be true and correct. The appraiser does not assume responsibility for the accuracy of such items that were furnished by other parties.
- The appraiser will not disclose the contents of the appraisal report except as provided for in the Uniform Standards of Professional Appraisal Practice, and any applicable federal, state or local laws.
- An appraiser's client is the party (or parties) who engage an appraiser in a specific assignment. Any other party acquiring this report from the client does not become a party to the appraiser-client relationship. Any persons receiving this appraisal report because of disclosure requirements

applicable to the appraiser's client do not become intended users of this report unless specifically identified by the client at the time of the assignment.

- The appraiser's written consent and approval must be obtained before this appraisal report can be conveyed by anyone to the public, through advertising, public relations, news, sales, or by means of any other media, or by its inclusion in a private or public database. Possession of this report or any copy thereof does not carry with it the right of publication.
- Forecasts of effective demand for the highest and best use or the best fitting and most appropriate use were based on the best available data concerning the market and are subject to conditions of economic uncertainty about the future.

The Scope of Work is the type and extent of research and analyses performed in an appraisal assignment that is required to produce credible assignment results, given the nature of the appraisal problem, the specific requirements of the intended user(s) and the intended use of the appraisal report. Reliance upon this report, regardless of how acquired, by any party or for any use, other than those specified in this report by the Appraiser, is prohibited. The Opinion of Value that is the conclusion of this report is credible only within the context of the Scope of Work, Effective Date, the Date of Report, the Intended User(s), the Intended Use, the stated Assumptions and Limiting Conditions, any Hypothetical Conditions and/or Extraordinary Assumptions, and the Type of Value, as defined herein. The appraiser, appraisal firm, and related parties assume no obligation, liability, or accountability, and will not be responsible for any unauthorized use of this report or its conclusions.

Additional Comments (Scope of Work, Extraordinary Assumptions, Hypothetical Conditions, etc.):

We have made the extraordinary assumption that in spite of the drainage easement impacting the lot that a single family home could be constructed. Should this not be the case it could have a detrimental impact on our value conclusions.

Certifications & Definitions

Property Address: 106 Hill St City: Carrboro State: NC Zip Code: 27510
 Client: Erika M. Walker Address: Pee Wee Homes , 8410 Merin Rd, Chapel Hill, NC 27516
 Appraiser: John A. McPhaul, III Address: 2 Bolin Hts Ste A, Chapel Hill, NC 27514-5739

APPRAISER'S CERTIFICATION

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The credibility of this report, for the stated use by the stated user(s), of the reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.
- I did not base, either partially or completely, my analysis and/or the opinion of value in the appraisal report on the race, color, religion, sex, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property, or of the present owners or occupants of the properties in the vicinity of the subject property.
- Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.
- Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification.

Additional Certifications:

None

DEFINITION OF MARKET VALUE *:

Market value means the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. Buyer and seller are typically motivated;
2. Both parties are well informed or well advised and acting in what they consider their own best interests;
3. A reasonable time is allowed for exposure in the open market;
4. Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
5. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

* This definition is from regulations published by federal regulatory agencies pursuant to Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act (FIRREA) of 1989 between July 5, 1990, and August 24, 1990, by the Federal Reserve System (FRS), National Credit Union Administration (NCUA), Federal Deposit Insurance Corporation (FDIC), the Office of Thrift Supervision (OTS), and the Office of Comptroller of the Currency (OCC). This definition is also referenced in regulations jointly published by the OCC, OTS, FRS, and FDIC on June 7, 1994, and in the Interagency Appraisal and Evaluation Guidelines, dated October 27, 1994.

Client Contact: _____ Client Name: Erika M. Walker
 E-Mail: peeweehomes@gmail.com Address: Pee Wee Homes , 8410 Merin Rd, Chapel Hill, NC 27516

APPRAISER

Appraiser Name: John A. McPhaul, III
 Company: McPhaul Appraisal, Inc.
 Phone: (919) 968-6866
 E-Mail: john@mcphaulappraisal.com
 Date Report Signed: 01/05/2023
 License or Certification #: A137 State: NC
 Designation: N. C. Certified Residential Real Estate Appraiser
 Expiration Date of License or Certification: 06/30/2023
 Inspection of Subject: Did Inspect Did Not Inspect (Desktop)
 Date of Inspection: 01/03/2023



SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)

Supervisory or Co-Appraiser Name: _____
 Company: _____
 Phone: _____ Fax: _____
 E-Mail: _____
 Date Report Signed: _____
 License or Certification #: _____ State: _____
 Designation: _____
 Expiration Date of License or Certification: _____
 Inspection of Subject: Did Inspect Did Not Inspect
 Date of Inspection: _____

SIGNATURES

LAND APPRAISAL REPORT

File No.: 26576

Property Address: 106 Hill St	City: Carrboro	State: NC	Zip Code: 27510
County: Orange		Legal Description: 24 BL D HERBERT LLOYD PA/24 AKA 23-24 HERBERT LLOYD P1/21	
Assessor's Parcel #: 9778975883	Tax Year: 2023	R.E. Taxes: \$ TBD	Special Assessments: \$ 0
Market Area Name: Carrboro	Map Reference: 20500	Census Tract: 0107.05	
Current Owner of Record: Pee Wee Homes	Borrower (if applicable): N/A		
Project Type (if applicable): <input type="checkbox"/> PUD <input type="checkbox"/> De Minimis PUD <input type="checkbox"/> Other (describe)	HOA: \$ <input type="checkbox"/> per year <input type="checkbox"/> per month		
Are there any existing improvements to the property? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, indicate current occupancy: <input type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Vacant <input type="checkbox"/> Not habitable			
If Yes, give a brief description:			

The purpose of this appraisal is to develop an opinion of: <input checked="" type="checkbox"/> Market Value (as defined), or <input type="checkbox"/> other type of value (describe)			
This report reflects the following value (if not Current, see comments): <input type="checkbox"/> Current (the Inspection Date is the Effective Date) <input checked="" type="checkbox"/> Retrospective <input type="checkbox"/> Prospective			
Property Rights Appraised: <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Leased Fee <input type="checkbox"/> Other (describe)			
Intended Use: <u>Market Value - To establish a value as of the property transfer from Town of Carrboro to Pee Wee Homes on 3/31/2022.</u>			
Intended User(s) (by name or type): <u>Pee Wee Homes and or their assigns.</u>			
Client: Erika M. Walker	Address: Pee Wee Homes , 8410 Merin Rd, Chapel Hill, NC 27516		
Appraiser: John A. McPhaul, III	Address: 2 Bolin Hts Ste A, Chapel Hill, NC 27514-5739		

Characteristics	Predominant Occupancy	One-Unit Housing	Present Land Use	Change in Land Use
Location: <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Rural	<input checked="" type="checkbox"/> Owner 80 <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Vacant (0-5%) <input type="checkbox"/> Vacant (>5%)	PRICE AGE \$(000) (yrs)	One-Unit 75 %	<input checked="" type="checkbox"/> Not Likely
Built up: <input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25%		210 Low 0	2-4 Unit 6 %	<input type="checkbox"/> Likely * <input type="checkbox"/> In Process *
Growth rate: <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow		2,500 High 208	Multi-Unit 4 %	* To: _____
Property values: <input checked="" type="checkbox"/> Increasing <input type="checkbox"/> Stable <input type="checkbox"/> Declining		555 Pred 41	Comm'l 5 %	
Demand/supply: <input checked="" type="checkbox"/> Shortage <input type="checkbox"/> In Balance <input type="checkbox"/> Over Supply		Vacant 10 %		
Marketing time: <input checked="" type="checkbox"/> Under 3 Mos. <input type="checkbox"/> 3-6 Mos. <input type="checkbox"/> Over 6 Mos.				

Factors Affecting Marketability											
Item	Good	Average	Fair	Poor	N/A	Item	Good	Average	Fair	Poor	N/A
Employment Stability	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Adequacy of Utilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Convenience to Employment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Property Compatibility	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Convenience to Shopping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Protection from Detrimental Conditions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Convenience to Schools	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Police and Fire Protection	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Adequacy of Public Transportation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General Appearance of Properties	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Recreational Facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Appeal to Market	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Market Area Comments: Current market climate demonstrates high levels of demand with limited available supply.

Dimensions: 50x150x51x150	Site Area: 7,405
Zoning Classification: <u>R75-Single Family Residential</u>	Description: <u>See attached addenda.</u>
Do present improvements comply with existing zoning requirements? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> No Improvements	
Uses allowed under current zoning: <u>Single Family Residential</u>	
Are CC&Rs applicable? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown	Have the documents been reviewed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Ground Rent (if applicable) \$ _____ / _____	
Comments:	
Highest & Best Use as improved: <input type="checkbox"/> Present use, or <input checked="" type="checkbox"/> Other use (explain) <u>Single Family Residential</u>	
Actual Use as of Effective Date: <u>Vacant Land</u>	Use as appraised in this report: <u>Single Family Residential Lot</u>
Summary of Highest & Best Use: <u>See attached addenda.</u>	

Utilities	Public	Other	Provider/Description	Off-site Improvements	Type	Public	Private	Frontage	50' on Hill St/150' Broad St
Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Duke	Street	Asphalt/Curb&Gutter/Avg	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topography	Sloping Dwn from St
Gas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Dominion	Width	60'			Size	Avg for area
Water	<input checked="" type="checkbox"/>	<input type="checkbox"/>	OWASA	Surface	Asphalt			Shape	Rectangular/Avg
Sanitary Sewer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	OWASA	Curb/Gutter	Yes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Drainage	Drainage Easement 30'
Storm Sewer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	City	Sidewalk	Yes/Broad St Side	<input checked="" type="checkbox"/>	<input type="checkbox"/>	View	N;Res;
Telephone	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Private	Street Lights	Yes	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Multimedia	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Private	Alley	None	<input type="checkbox"/>	<input type="checkbox"/>		

Other site elements: Inside Lot Corner Lot Cul de Sac Underground Utilities Other (describe)

FEMA Spec'l Flood Hazard Area Yes No FEMA Flood Zone X FEMA Map # 37135C9778K FEMA Map Date 11/17/2017

Site Comments: The subject site is heavily impacted by the drainage easement that bisects the lot from west to east. Due to required setbacks, etc. it makes development of the site difficult. Due to the limited building footprint it appears it will require a smaller improvement than the more buildable lots.

LAND APPRAISAL REPORT

106 Hill St(PIN# 977897588
File No.: 26576

My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data Source(s): MLS & Tax Records.

1st Prior Subject Sale/Transfer	Analysis of sale/transfer history and/or any current agreement of sale/listing:	The subject has not sold in the past 3 years, and the comparables have not sold within 12 months.
Date: 3/24/2022		
Price: \$0		
Source(s): DB:6775/1365		
2nd Prior Subject Sale/Transfer		
Date: 5/16/2006		
Price: \$0		
Source(s): DB:4033/184		

FEATURE	SUBJECT PROPERTY	COMPARABLE NO. 1		COMPARABLE NO. 2		COMPARABLE NO. 3	
Address	106 Hill St Carrboro, NC 27510	101 Hargraves St Carrboro, NC 27510		138 Lincoln Ln Chapel Hill, NC 27516		110 Sue Ann Ct Carrboro, NC 27510	
Proximity to Subject		0.45 miles S		0.74 miles S		0.56 miles NW	
Sale Price	\$ n/a	\$ 135,000		\$ 99,000		\$ 160,000	
Price/	\$ n/a	\$ 16.31		\$ 14.14		\$ 15.97	
Data Source(s)	On Site	TMLS#2330748;DOM 7		TMLS#2325889;DOM 510		TMLS#2368242;DOM 25	
Verification Source(s)	Tax Records	MLS & Tax Records		MLS & Tax Records		MLS & Tax Records	
VALUE ADJUSTMENT	DESCRIPTION	DESCRIPTION	+(-) \$ Adjust	DESCRIPTION	+(-) \$ Adjust	DESCRIPTION	+(-) \$ Adjust
Sales or Financing Concessions	n/a	ArmLth		ArmLth		ArmLth	
	n/a	Cash;0		Cash;0		Cash;0	
Date of Sale/Time	01/03/2023 INSP	1/5/2021		12/15/2021		4/1/2021	
Rights Appraised	Fee Simple	Fee Simple		Fee Simple		Fee Simple	
Location	N;Res;	N;Res;		N;Res;		N;Res;	
Site Area	7,405	8,276	0	7,002	0	10,019	-25,000
PIN#	9778975883	9778958485		9778946093		9778687921	
Easements	Drainage	None	-10,000	None	-10,000	None	-10,000
Tax Value 2022	\$120,000	\$150,000		\$78,200		\$175,500	
Net Adjustment (Total, in \$)		<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$	-10,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$	-10,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$	-35,000
Adjusted Sale Price (in \$)		\$	125,000	\$	89,000	\$	125,000

Summary of Sales Comparison Approach See attached addenda.

PROJECT INFORMATION FOR PUDs (if applicable) The Subject is part of a Planned Unit Development.

Legal Name of Project: _____

Describe common elements and recreational facilities: _____

Indicated Value by: Sales Comparison Approach \$ 123,000

Final Reconciliation The Sales Comparison Approach is considered the best reflection of buyer attitudes and adopted.

This appraisal is made "as is", or subject to the following conditions: _____

This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.

Based upon an inspection of the subject property, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is:

\$ 123,000, as of: 03/24/2022, which is the effective date of this appraisal.

If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.

A true and complete copy of this report contains 28 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report, which contains the following attached exhibits:

Limiting cond./Certifications Narrative Addendum Location Map(s) Flood Addendum Additional Sales

Photo Addenda Parcel Map Hypothetical Conditions Extraordinary Assumptions

Client Contact: _____ Client Name: Erika M. Walker

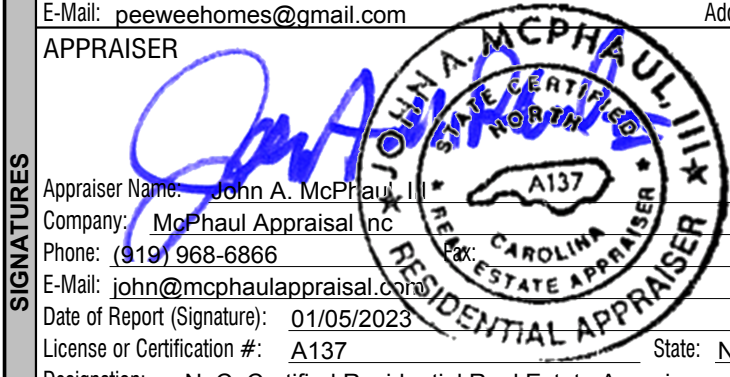
E-Mail: peeweehomes@gmail.com Address: Pee Wee Homes, 8410 Merin Rd, Chapel Hill, NC 27516

APPRAISER

Appraiser Name: John A. McPhaul, III
Company: McPhaul Appraisal Inc
Phone: (919) 968-6866
E-Mail: john@mcphaulappraisal.com
Date of Report (Signature): 01/05/2023
License or Certification #: A137 State: NC
Designation: N. C. Certified Residential Real Estate Appraiser
Expiration Date of License or Certification: 06/30/2023
Inspection of Subject: Did Inspect Did Not Inspect (Desktop)
Date of Inspection: 01/03/2023

SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)

Supervisory or Co-Appraiser Name: _____
Company: _____
Phone: _____ Fax: _____
E-Mail: _____
Date of Report (Signature): _____
License or Certification #: _____ State: _____
Designation: _____
Expiration Date of License or Certification: _____
Inspection of Subject: Did Inspect Did Not Inspect
Date of Inspection: _____



ADDITIONAL COMPARABLE SALES

FEATURE	SUBJECT PROPERTY	COMPARABLE NO. 4		COMPARABLE NO. 5		COMPARABLE NO. 6	
Address	106 Hill St Carrboro, NC 27510	119 Old Pittsboro Rd Carrboro, NC 27510		428 S Greensboro St Carrboro, NC 27510			
Proximity to Subject		0.73 miles SW		0.73 miles SW			
Sale Price	\$ n/a		\$ 175,000		\$ 175,000		\$
Price/	\$ n/a	\$ 18.26		\$ 20.09		\$	
Data Source(s)	On Site	TMLS#2367598;DOM 2		TMLS#2367600;DOM 2			
Verification Source(s)	Tax Records	MLS & Tax Records		MLS & Tax Records			
VALUE ADJUSTMENT	DESCRIPTION	DESCRIPTION	+(-) \$ Adjust	DESCRIPTION	+(-) \$ Adjust	DESCRIPTION	+(-) \$ Adjust
Sales or Financing Concessions	n/a	ArmLth		ArmLth			
	n/a	Cash;0		Cash;0			
Date of Sale/Time	01/03/2023 INSP	3/25/2021		3/24/2021			
Rights Appraised	Fee Simple	Fee Simple		Fee Simple			
Location	N;Res;	N;Res;		N;Res;			
Site Area	7,405	9,583	-25,000	8,712	-25,000		
PIN#	9778975883	9778843249		9778844249			
Easements	Drainage	None	-10,000	None	-10,000		
Tax Value 2022	\$120,000	\$133,000		\$133,000			
Net Adjustment (Total, in \$)		<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ -35,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ -35,000	<input type="checkbox"/> + <input type="checkbox"/> -	\$
Adjusted Sale Price (in \$)			\$ 140,000		\$ 140,000		\$

Summary of Sales Comparison Approach See Attached Text Addendum.

TYPE OF VALUE (PURPOSE OF THE APPRAISAL) AND DEFINITION OF VALUE

The purpose of this appraisal is to provide an opinion of the market value (fee simple) of the subject property, as defined in this report, as of the effective date of this report.

SCOPE OF THE APPRAISAL

This report is prepared according to USPAP standards. The scope of the work necessary to complete this assignment includes:

- gathered data through market participants, local multiple listing service, county tax records, local builders and developers in the subject market area on residential construction cost and improved property sales;
- verified data with market participants and those involved in the transactions;
- physically made an observation (interior/exterior) of the existing improvements on the effective date of the appraisal (unless otherwise noted) including walking the site, taking photographs and measuring the improvements;
- analyzed and considered the data and applied this data in the sales comparison approach and cost approach; no data was found for the income approach;
- reconciled the approaches into a final opinion of value for the subject property.

DEFINITION OF INSPECTION:

The term "inspection", as used in this report, is not the same level of inspection that is required for a "Professional Home Inspection". The appraiser does not fully inspect the electrical system, plumbing system, mechanical systems, foundation system, floor structure or subfloor. The appraiser is not an expert in construction materials and the purpose of the appraisal is to make an economic evaluation of the subject property.

Reasonable Exposure Time

Exposure time is always presumed to precede the effective date of the appraisal. It is the estimated length of time the property would have been offered on the market, prior to the hypothetical sale, at the appraised value, on the effective date of the appraisal. It is a retrospective estimate based on an analysis of past events assuming a competitive and open market. This includes not only adequate, sufficient and reasonable time, but adequate, sufficient and reasonable effort. It is often expressed as a range and is based on the following:

1. Statistical information about days on the market, most commonly obtained from the local Multiple Listing Service.
2. Information gathered through sales verification.
3. Interviews with market participants.

Under current market conditions, the reasonable exposure time for the subject property is approximately three to six months. This is based on the analyses of current market trends in the general area and takes into account the size, condition and price range of the subject property and surrounding area. It presupposes that the listed price would be at or near the appraised value. It also assumes aggressive professional marketing by reputable local real estate offices. Typical exposure time in the subject's market area is estimated to be roughly 30-60 days.

SALES COMPARISON APPROACH

Supplemental Addendum

File No. 26576

Borrower	N/A						
Property Address	106 Hill St						
City	Carrboro	County	Orange	State	NC	Zip Code	27510
Client	Erika M. Walker						

• GP Land: Site Description - Zoning Description

The purpose of each of the foregoing residential districts is to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in non-residential districts.

• GP Land: Site Description - Summary of Highest & Best Use

The Fifth Edition of The Dictionary of Real Estate Appraisal by the Appraisal Institute defines highest and best use as: The reasonably probable and legal use of vacant land or an improved property that is physically possible, appropriately supported, financially feasible and that results in the highest value. Most textbooks don't mention "appropriately supported" as part of the highest and best use definition. The Uniform Standards of Professional Appraisal Practice (USPAP) does not have a definition for highest and best use. However, if an appraisal report is prepared, it requires the appraiser to summarize the support and rationale for that opinion.

The appraiser's highest and best use analysis considered the property as it is improved. The use of the comparable sales demonstrates that the improvements are compatible with market demand for the neighborhood, and the present improvements contribute to the value of the subject property so that its value is greater than the estimated vacant site value, the appraiser has considered the existing use as reasonable and reported it as the highest and best use.

• GP Land: Summary of Sales Comparison Approach

All comparables are considered to be very similar in location, design, functional utility and market appeal. They are all from the subject market area and are considered to be the best indicators of value for the subject available. Sales 1-3 were given the most weight. Below are the agent comments from each sales recent listing.

101 Hargraves St - Lot one block from Franklin St and UNC- Chapel Hill.

138 Lincoln Ln - Wonderful lots at end of a Dead -End road. 3 lots available. Wonderful opportunity to build in Chapel Hill. Tax value TBD

110 Sue Ann Ct - Fabulous opportunity to build your own house in the center of Carrboro! You will have Privacy at the end of the court with dedicated Open Space around and no streets bordering you. Almost 1/4 acre wooded lot less than a mile to Weaver Street Market and even closer to park, bikeway and Carrboro Elementary. Newsurvey needed to confirm setbacks. Close proximity to the Farmer's Market, UNC, cafes, restaurants, shops & park path to Booker Creek and Carolina N bike, dog & people trails. Mockup shown. Duplex OK. Lot has Zone 1 & 2 riparian buffers. Current buildable area in dwg ~1500ft² ftprt, Larger area w/Zone 2 variance w town (see docs)- submit appl, survey & plans & have hearing. OK for landscaped R2 buffer. Lot & house dimensions hand-drawn approximations. Access easement over OWASA 15' to right of manhole. Per OWASA prob wont disturb easement & if do will do basic repair concrete/gravel.

119 Old Pittsboro Rd - Rare opportunity to build your dream home in downtown Carrboro! Oh so close to all the amazing retail, restaurants, local brew & services this special town has to offer. Bike to campus, stroll to the farmers' market & connect with a true community! New sidewalk in the works on the Westside of S. Greensboro. Adjacent lot on S. Greensboro could be combined for a truly remarkable property. Sewer access for adjacent 428 S. Greensboro lot will require a 5-foot "flag" on this property - lots will be re-drawn to allow. Old Pittsboro lot will not be sold until sewer access granted. Listing agent will happily walk the property with qualified buyers.

428 S Greensboro St - Rare opportunity to build your dream home in downtown Carrboro! Oh so close to all the amazing retail, restaurants, local brew & services this special town has to offer. Bike to campus, stroll to the farmers' market & connect with a true community! New sidewalk in the works on the Westside of S. Greensboro. Adjacent lot on Old Pittsboro could be combined for a truly remarkable property. Sewer access for this lot will require a 5-foot "flag" to 119 Old Pittsboro - lots will be re-drawn before closing to allow. Old Pittsboro lot will not be sold until sewer access granted. Listing agent will happily walk the property with qualified buyers.

MARKET ALLOCATION/EXTRACTION REVIEW

Extraction

A method of estimating land value in which the depreciated cost of the improvements on the improved property is estimated and deducted from the total sale price to arrive at an estimated sale price for the land; most effective when the improvements contribute little to the total sale price of the property.

Allocation

1. The general process of separating value between the component parts of a property.
2. A method of estimating land value in which sales of improved properties are analyzed to establish a typical ratio of land value to total property value and this ratio is applied to the property being appraised or the comparable sale being analyzed. Since there were no sales of recently constructed home it is difficult to use the extraction method so we have relied on Market Allocation to establish support for the indicated value in the Sales Comparison Approach to value.

On the attached Market Statistics page you can see that the closed sales in the last 12 months in the subject's expanded market area and they ranged in Sales Prices from \$210,000--\$2,500,000 with an average sales price of \$555,000. Using a market allocation attributing 20%-25% of the sales price to the land the indicated lot values would be from \$111,000--\$138,750.

As can readily be discerned from the sales comparison approach an allocation of @22% is most reflective of the current market.

2 of 2



Doc No: 30069848
Recorded: 03/31/2022 04:10:42 PM
Fee Amt: \$26.00 Page 1 of 3
Excise Tax: \$0.00
Orange County North Carolina
Mark Chilton, Register of Deeds
BK 6775 PG 1365 - 1367 (3)

Meloyk. Kampa

NORTH CAROLINA SPECIAL WARRANTY DEED

Excise Tax - \$0 -

Recording: Time, Book and Page

Parcel 9778-97-5883M

Mail after recording to Robert Hornik, Brough Law Firm 1526 E. Franklin St S
Suite 200, Chapel Hill, NC 27514

This instrument prepared by Robert E. Hornik, Jr.; The Brough Law Firm (without title search)

Brief Description for the index _____

THIS DEED made this 24 day of March, 2022, by and between:

GRANTOR	GRANTEE
Town of Carrboro, a North Carolina Municipality 301 W. Main Street Carrboro, NC 27510	Pee Wee Homes, a North Carolina non-profit corporation 8410 Merin Road Chapel Hill, NC 27516

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for One Dollar (\$1.00) and other good and valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of Carrboro, Chapel Hill Township, Orange County, North Carolina and more particularly described as follows:

See Attachment A; being the same property conveyed to Grantor by a deed recorded on May 19, 2006 in the Orange County Registry at Deed Book 4033, at Page 184.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land all privileges and appurtenances thereto belonging to the Grantee in fee simple.

Book 6775

BK 6775 PG 1366 DOC# 30069848

And the Grantor covenants with the Grantee, that Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against he lawful claims of all persons claiming by, under or through Grantor except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

Easements and restrictions of record.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

(SEAL)
ATTEST:

TOWN OF CARRBORO, a North Carolina Municipal Corporation

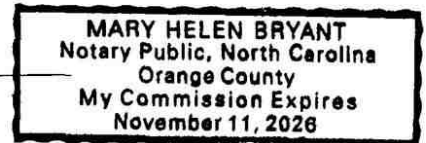

Wesley Barker, Clerk

BY 
Richard White, Town Manager

Orange County, North Carolina

I, Mary H. Bryant, a Notary Public in and for said County and State, do hereby certify that Wesley Barker, with whom I am personally acquainted, personally appeared before me, and being duly sworn, says that he is the Clerk of the Town of Carrboro and that he knows the common seal of the Town of Carrboro, a municipal corporation, and is acquainted with Richard White, Town Manager of the Town of Carrboro, and that he saw said Town Manager sign the foregoing instrument and he affixed the common seal of said Town of Carrboro to said instrument, and that he as Town Clerk signed his name in attestation of said instrument by Richard White.

My commission expires: Nov. 11, 2026 Mary H. Bryant
Notary Public



The foregoing Certificate of _____ is certified to be correct. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the first page hereof.

_____ REGISTER OF DEEDS FOR ORANGE COUNTY

By _____ Deputy/Assistant-Register of Deeds

BEGINNING at a stake Southwest intersection of Carr and Hill Streets, running thence with Carr Street South 3° 15' East 150 feet to a stake thence South 86° 45' West 50 feet to a stake, thence North 3° 15' West 150 feet to a stake in Hill Street, thence with Hill Street North 86° 45' East 50 feet to the beginning, and being Lots #23 and 24, Block D, of the Herbert Lloyd land in the Town of Carrboro, North Carolina, as per survey of E. H. Coxley, November, 1919, and traced by S. M. Credle, October 15, 1924, and recorded in the Office of the Register of Deeds for Orange County, North Carolina.

Attachment A



Tuesday, December 20, 2022



LOCATION

Property Address	No Address Available NC
Subdivision	
County	Orange County, NC

GENERAL PARCEL INFORMATION

Parcel ID/Tax ID	9778975883
Alternate Parcel ID	7.93.F.2
Account Number	
District/Ward	21
2020 Census Trct/Blk	107.05/2
Assessor Roll Year	2021

PROPERTY SUMMARY

Property Type	
Land Use	
Improvement Type	
Square Feet	

CURRENT OWNER

Name	Pee Wee Homes
Mailing Address	8410 Merin Rd Chapel Hill, NC 27516-9231

SCHOOL ZONE INFORMATION

Northside Elementary School	0.4 mi
Elementary: Pre K to 5	Distance
Smith Middle School	1.9 mi
Middle: 6 to 8	Distance
Chapel Hill High School	2.3 mi
High: 9 to 12	Distance

SALES HISTORY THROUGH 12/09/2022

Date	Amount	Buyer/Owners	Seller	Instrument	No. Parcels	Book/Page Or Document#
3/24/2022		Pee Wee Homes		Special Warranty Deed		6775/1365 30069848
5/16/2006		Carrboro Town Of				4033/184
2/1/1977	\$1,000					270/482

TAX ASSESSMENT

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Information Deemed Reliable But Not Guaranteed.

Property Report, cont.

Tax Assessment	2022	Change (%)	2021	Change (%)	2020
Appraised Land	\$120,000.00		\$120,000.00	\$35,000.00 (41.2%)	\$85,000.00
Appraised Improvements					
Total Tax Appraisal	\$120,000.00		\$120,000.00	\$35,000.00 (41.2%)	\$85,000.00
Total Assessment	\$120,000.00		\$120,000.00	\$35,000.00 (41.2%)	\$85,000.00
Jurisdiction Rates					
Carrboro City	0.00604				
Orange County	0.00831				
Chapel Hill/Carrboro School District	0.00183				

TAXES

Tax Year	City Taxes	County Taxes	Total Taxes
2022	\$725.28	\$997.44	\$1,942.32
2021	\$725.28	\$982.44	\$1,927.32
2020	\$509.49	\$737.72	\$1,418.74
2019	\$505.24	\$737.72	\$1,414.49
2018	\$104.02	\$148.82	\$288.16
2017	\$103.15	\$146.60	\$285.06
2016	\$75.06	\$111.81	\$213.41
2015	\$75.06	\$111.81	\$213.41
2014	\$75.06	\$111.81	\$213.41
2013	\$75.06	\$109.27	\$210.87

MORTGAGE HISTORY

No mortgages were found for this parcel.

FORECLOSURE HISTORY

No foreclosures were found for this parcel.

PROPERTY CHARACTERISTICS: BUILDING

No Buildings were found for this parcel.

PROPERTY CHARACTERISTICS: EXTRA FEATURES

No extra features were found for this parcel.

PROPERTY CHARACTERISTICS: LOT

Land Use	Lot Dimensions
Block/Lot	Lot Square Feet 7,405
Latitude/Longitude 35.914883°/-79.068674°	Acreage 0.17

PROPERTY CHARACTERISTICS: UTILITIES/AREA

Gas Source Private	Road Type Paved
Electric Source Public	Topography
Water Source Public	District Trend
Sewer Source Public	Special School District 1
Zoning Code R75	Special School District 2
Owner Type	

LEGAL DESCRIPTION

Subdivision	Plat Book/Page 1/21
-------------	---------------------

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Information Deemed Reliable But Not Guaranteed.

Property Report, cont.

Block/Lot	District/Ward	21
Description	24 BI D Herbert Lloyd Pa/24 Aka 23-24 Herbert Lloyd P1/21	

FEMA FLOOD ZONES

Zone Code	Flood Risk	BFE	Description	FIRM Panel ID	FIRM Panel Eff. Date
X	Minimal		Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level.	3710977800K	11/17/2017

LISTING ARCHIVE

No Listings found for this parcel.

R75 Zoning District

Section 15-135(a)

The following basic residential districts are hereby established: R-20, R-15, R-10, R-7.5, R-3, R-2, R-R, R-S.I.R., and R-S.I.R.-2. The purpose of each of the foregoing residential districts is to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in non-residential districts.

(AMENDED 5/12/81; 12/7/83; 2/4/86)

Requirements for the R75 Zoning District

Feature	Requirement
Boundary Setback (ft)	10
Centerline Setback (ft)	55
Cluster Min Sq Ft (sq ft)	5625
Maximum Height (ft)	35
Min Lot Size (sq ft)	7500
Min Lot Width (ft)	75
Min Sq Ft / Unit (sq ft)	7500
R/W Setback (ft)	25

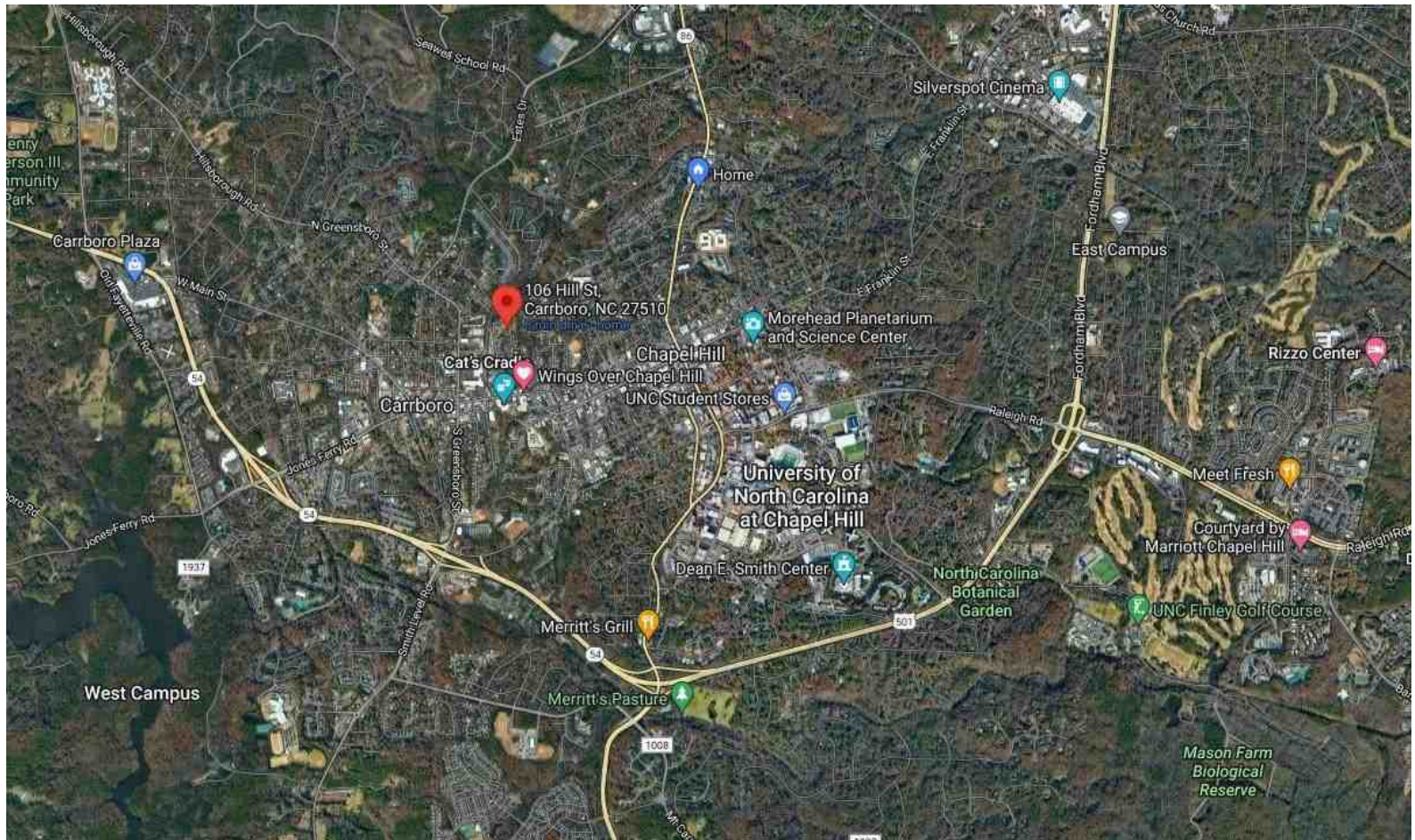
Uses Allowed in the R75 Zoning District

Category	Land Use	Required Permit
1.111	Single Family Detached 1 per lot (Site Built / Modular)	Z
1.112	Class A Mobile Home 1 per lot	Z
1.121	Single Family Detached 1-4 units (Site Built / Modular)	Z
1.1211	Single Family Detached 5-12 units (Site Built / Modular)	SUP
1.1212	Single Family Detached 13+ units (Site Built / Modular)	CUP
1.122	Class A Mobile Home > 1 per lot 1-4 units	Z
1.1221	Class A Mobile Home > 1 per lot 5-12 units	SUP
1.1222	Class A Mobile Home > 1 per lot 13+ units	CUP
1.21	2-Family Conversion 1-4 units	Z
1.2101	2-Family Conversion 5-12 units	SUP
1.2102	2-Family Conversion 13 + units	CUP
1.22	Primary Residence with Assessory Apartment 1-4 units	Z
1.2201	Primary Residence with Assessory Apartment 5-12 units	SUP
1.2202	Primary Residence with Assessory Apartment 13+ units	CUP
1.231	Duplex 1-4 units (Maximum 20% with > 3 bedrooms)	Z
1.2311	Duplex 5-12 units (Maximum 20% with > 3 bedrooms)	SUP
1.2312	Duplex 13 + units (Maximum 20% with > 3 bedrooms)	CUP
1.241	2-Family Apartment 1-4 units (Maximum 20% with > 3 bedrooms)	Z
1.2411	2-Family Apartment 5-12 units (Maximum 20% with > 3 bedrooms)	SUP
1.2412	2-Family Apartment 13+ units (Maximum 20% with > 3 bedrooms)	CUP
1.31	Multi-Family Conversion 3-4 units	Z

Zoning Info - Page 2

1.3101	Multi-Family Conversion 5-12 units	SUP
1.3102	Multi-Family Conversion 13+ units	CUP
1.321	Multi-Family Townhouse 3-4 units (Maximum 20% with > 3 bedrooms)	Z
1.3211	Multi-Family Townhouse 3-12 units (Maximum 20% with > 3 bedrooms)	SUP
1.3212	Multi-Family Townhouse 13+ units (Maximum 20% with > 3 bedrooms)	CUP
1.331	Multi-Family Apartments 3-4 units (Maximum 20% with > 3 bedrooms)	Z
1.3311	Multi-Family Apartments 5-12 units (Maximum 20% with > 3 bedrooms)	SUP
1.3312	Multi-Family Apartments 13+ units (Maximum 20% with > 3 bedrooms)	CUP
1.41	Fraternities, Sororities, Dormitories, and Similar Housing	CUP
1.42	Boarding Houses, Rooming Houses	SUP
1.43	Adult Care Home, Class A	Z
1.44	Adult Care Home, Class B	SUP
1.45	Child Care Home, Class A	Z
1.46	Child Care Home, Class B	SUP
1.47	Maternity Home	Z
1.48	Nursing Care Home	Z
1.51	Tourist Homes and Other Temporary Residences	SUP
1.61	Temporary Homes for the Homeless	SUP
1.9	Home Occupation	Z
5.11	Elementary and Secondary Schools	CUP
5.2	Churches, Synagogues, Temples, etc.	Z, S (>1 Acre)
5.31	Libraries, Museums, Art Galleries, and Similar Uses in Residential Building < 3,500 sq. ft.	SUP
6.14	Community Center (Public / Non-Profit)	Z
6.21	Outdoor Recreation / Private Lands / without Town Sponsorship / Not Part of a Residential Development	SUP
6.221	Outdoor Recreation on Public Lands Operated by the Town of Carrboro	Z
6.222	Outdoor Recreation on Public Lands Operated by a Public Entity Not the Town	CUP
13.1	Police Stations	Z
13.2	Fire Stations	Z
13.3	Rescue Squad, Ambulance Service	SUP
13.4	Civil Defense Operation	SUP
14.11	Agriculture and Farming Excluding Livestock	Z
14.2	Silvicultural Operations	Z
14.4	Reclamation Landfill	Z
15.82	All Other Town-Owned and/or Operated Facilities and Services	Z
17.1	Utility Facility, Neighborhood	SUP
17.4	Underground Utility Lines	Z
18.1	Towers and Antennas < 50 ft. Tall	Z
18.3	Antennas > 50 ft. Tall on Structures Other Than Towers [Not accessory15-150(c)5]	SUP
21.1	Town-Owned Cemetery	Z
22.1	Child Day Care Home	Z
22.2	Child Day Care Facility	SUP
22.3	Senior Citizens Day Care, Class A	SUP
22.4	Senior Citizens Day Care, Class B	SUP
23.1	Temporary Construction Structures / Parking On Site	Z
26.1	Major Subdivisions 5-12 Lots	SUP
26.1001	Major Subdivisions 13+ Lots	CUP
26.2	Minor Subdivisions 2-4 Lots	Z
27	Combination Uses	Z, SUP, or CUP (15-154)
29	Special Events	CUP
34.2	Bed and Breakfast	SUP

Aerial Map



Tax Map

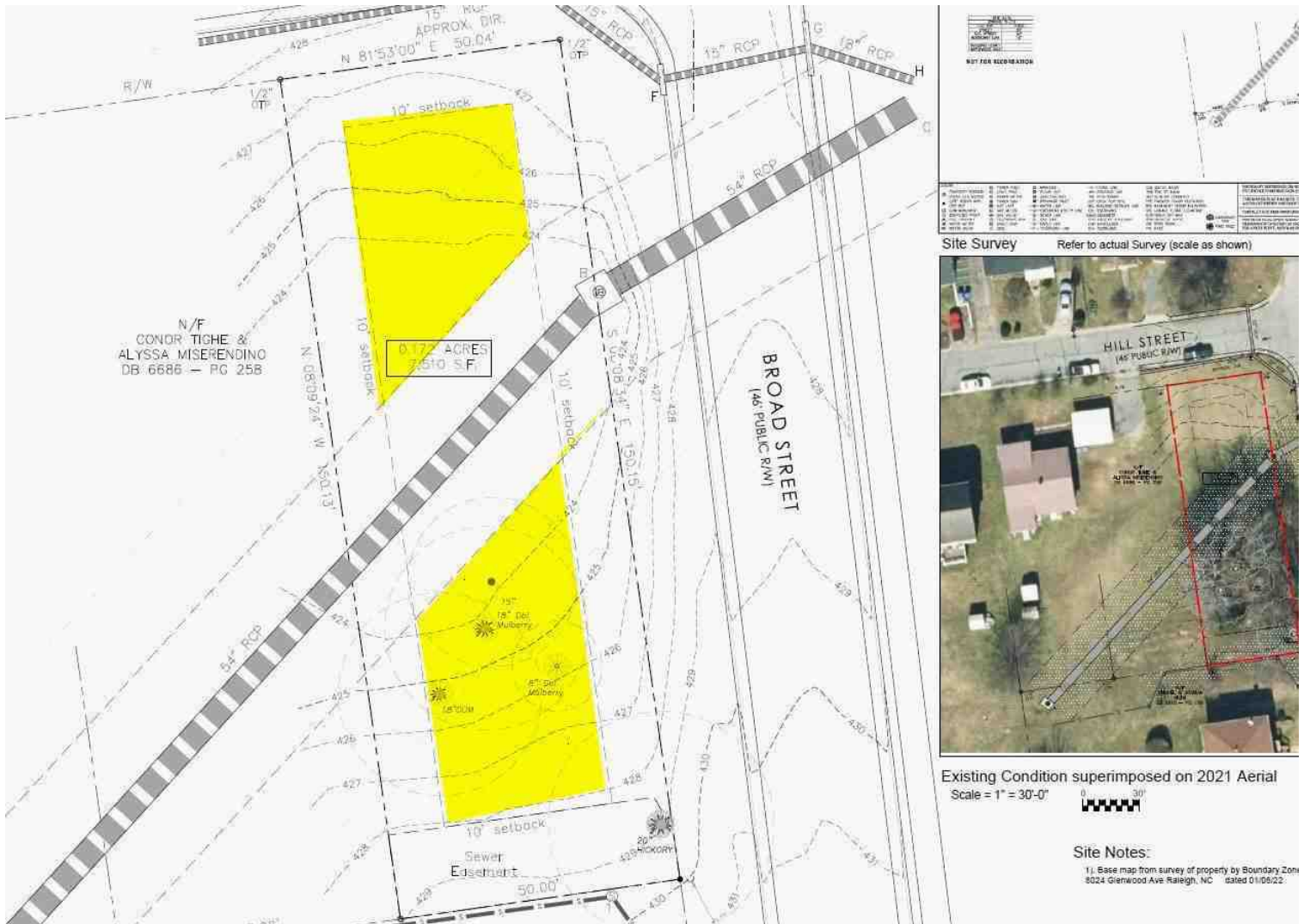
Borrower	N/A			
Property Address	106 Hill St			
City	Carrboro	County Orange	State NC	Zip Code 27510
Client	Erika M. Walker			



Site Map

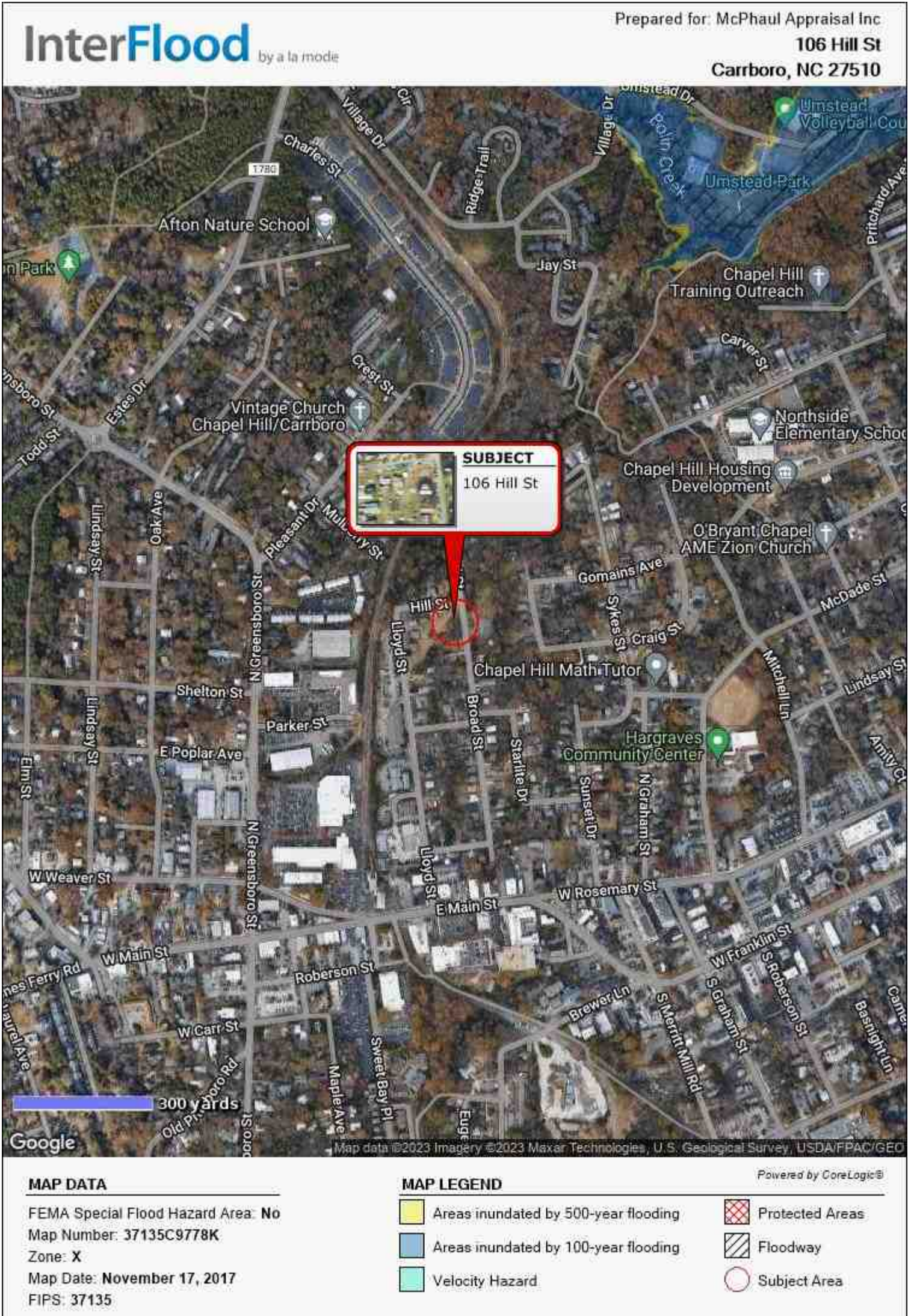
Borrower	N/A		
Property Address	106 Hill St		
City	Carrboro	County Orange	State NC Zip Code 27510
Client	Erika M. Walker		

Yellow area is buildable.



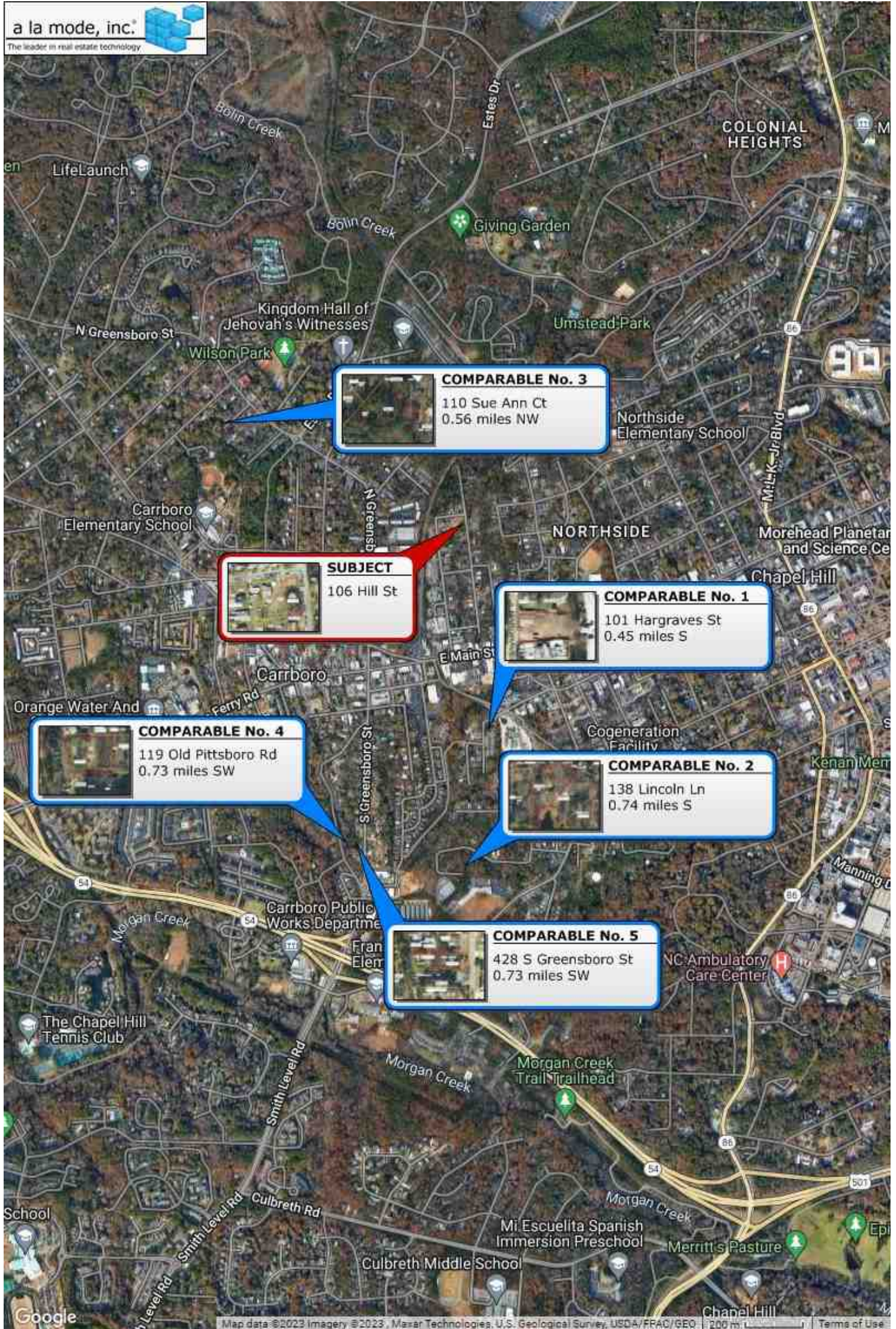
Flood Map

Borrower	N/A			
Property Address	106 Hill St			
City	Carrboro	County Orange	State NC	Zip Code 27510
Client	Erika M. Walker			



Location Map

Borrower	N/A			
Property Address	106 Hill St			
City	Carrboro	County Orange	State NC	Zip Code 27510
Client	Erika M. Walker			



Subject Land Photo Page

Borrower	N/A			
Property Address	106 Hill St			
City	Carrboro	County Orange	State NC	Zip Code 27510
Client	Erika M. Walker			

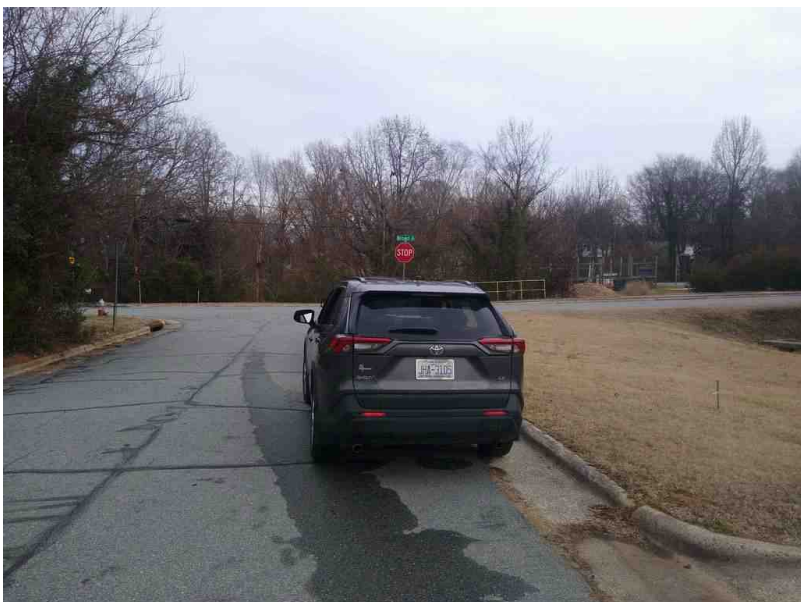


Subject Front

106 Hill St	
Sales Price	n/a
Date of Sale	01/03/2023 INSP
Site Area	7,405
Location	N;Res;
PIN#	9778975883
Easements	Drainage
Tax Value 2022	\$120,000



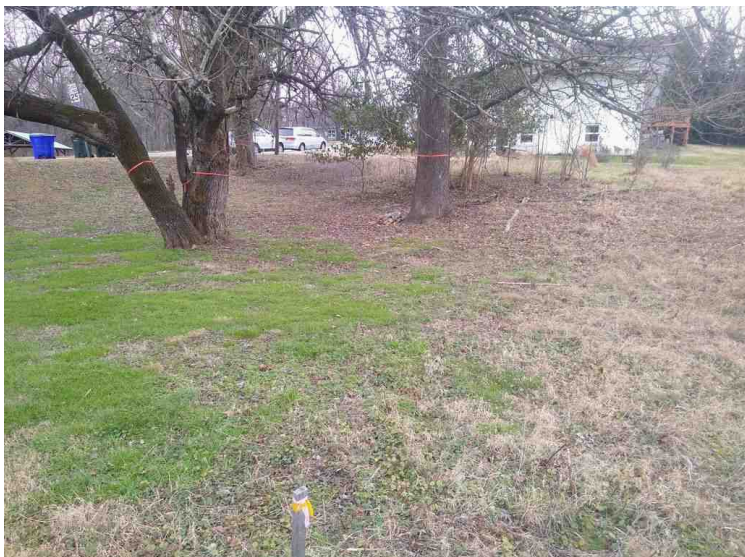
Subject Rear



Subject Street

Photograph Addendum

Borrower	N/A				
Property Address	106 Hill St				
City	Carrboro	County	Orange	State	NC Zip Code 27510
Client	Erika M. Walker				



Photograph Addendum

Borrower	N/A				
Property Address	106 Hill St				
City	Carrboro	County	Orange	State	NC Zip Code 27510
Client	Erika M. Walker				



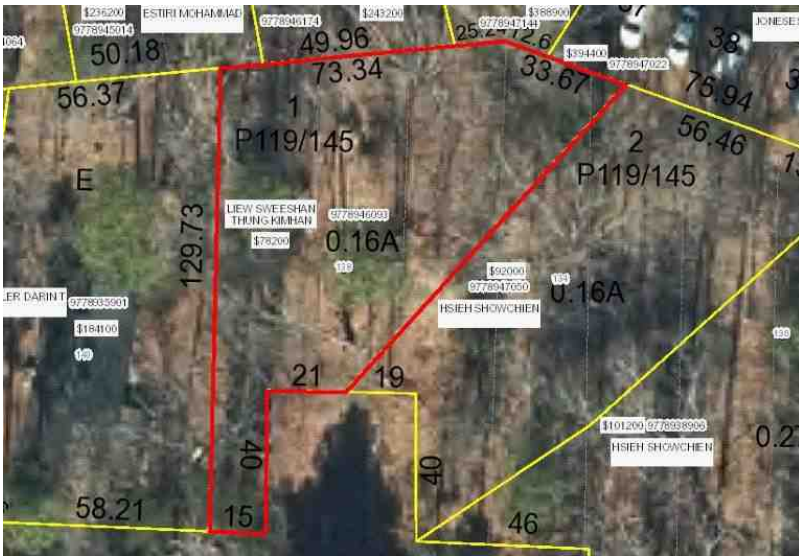
Comparable Photo Page

Borrower	N/A			
Property Address	106 Hill St			
City	Carrboro	County Orange	State NC	Zip Code 27510
Client	Erika M. Walker			



Comparable 1

101 Hargraves St
 Prox. to Subject 0.45 miles S
 Sale Price 135,000
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location N;Res;
 View
 Site 8,276
 Quality
 Age



Comparable 2

138 Lincoln Ln
 Prox. to Subject 0.74 miles S
 Sale Price 99,000
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location N;Res;
 View
 Site 7,002
 Quality
 Age



Comparable 3

110 Sue Ann Ct
 Prox. to Subject 0.56 miles NW
 Sale Price 160,000
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location N;Res;
 View
 Site 10,019
 Quality
 Age

Comparable Photo Page

Borrower	N/A			
Property Address	106 Hill St			
City	Carrboro	County Orange	State NC	Zip Code 27510
Client	Erika M. Walker			



Comparable 4

119 Old Pittsboro Rd
 Prox. to Subject 0.73 miles SW
 Sale Price 175,000
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location N;Res;
 View
 Site 9,583
 Quality
 Age



Comparable 5

428 S Greensboro St
 Prox. to Subject 0.73 miles SW
 Sale Price 175,000
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location N;Res;
 View
 Site 8,712
 Quality
 Age

Comparable 6

Prox. to Subject
 Sale Price
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location
 View
 Site
 Quality
 Age

Appraiser License



**NORTH CAROLINA
APPRAISAL BOARD**

APPRAISER QUALIFICATION CARD

REGISTRATION / LICENSE / CERTIFICATE HOLDER

22

JOHN A MCPHAUL III

23

A137

APPRAISER NUMBER

C

TYPE

Y

NATIONAL REGISTRY

John A McPhaul III
Appraiser's Signature

[Signature]

[Signature]
Executive Director

EXPIRES JUNE 30, 2023



ENERGY EFFICIENCY MEASURES

106 Hill St

Planned list of energy efficient measures:

- Electrical - Solar PV panels (kWh array TBD) on south facing roofs for energy efficiency and cost effectiveness for our tenants
- Lighting Fixtures – all LED fixtures
- Envelope Improvements
 - Air seal attics, crawlspace, sill/top plate; all windows, doors, etc.
 - Insulation: attic (R-40);
 - Crawlspace sealed with conditioned air provided- for applicable split-level unit
- Appliances – Energy Star Qualified Units
- Windows, Doors – Energy Star Qualified
- HVAC
 - Programmable Thermostat
 - High-efficiency mini-splits
 - Energy Star Qualified Unit, 14 SEER
- Plumbing
 - Water Sense toilets
 - Energy Star water heater



Universal Design Features
106 Hill St

Planned list of universal design features:

- Clear door opening widths for all entrance doorways
- 1:20 max ramps for approach to two of three units
- Zero threshold showers
- Natural light and cross ventilation
- Adjustable height shelves in wall cabinets
- Single-lever water controls on plumbing fixtures
- Electrical outlets 18" minimum height

*****Livable Design**- Pee Wee Homes is committed to building homes with livable design. Having received the proper variances needed from Town Council to build into the stream buffer, we can now build two of these units to have livable design for residents to age in place. We have considered options like a wall without wiring in it so it can be removed if needed to make space for the bathrooms to accommodate accessibility.

HILL ST

106 HILL ST, CA 95071

BROAD ST





West End Fellowship

Northside Elementary School

106 Hill St,
Carrboro, NC 27510

Harris Teeter

Weaver Street Market

Jade Palace

Hampton Inn & Suites Chapel Hill...

Carrburritos

McDonald's

Cha House

Tin Cup Ice



BROAD ST

100 HILL CANYON 27510



Town of Carrboro

Affordable Housing Special Revenue Fund Application

OVERVIEW

The Town of Carrboro established an Affordable Housing Special Revenue Fund in 2007. The goal of the Affordable Housing Special Revenue Fund is to advance the Town's goal of increasing and improving the stock of affordable housing within Carrboro and its planning jurisdiction.

The Affordable Housing Task Force was established in 2012 for the purpose of creating recommendations for an affordable housing strategy. In June of 2014, this goal was accomplished when the then Board of Aldermen approved the Town's Affordable Housing Goals and Strategies document. From this work, an Affordable Housing Advisory Commission (AHAC) was formed in 2017. This Commission's responsibilities related to the fund include:

- Reviewing and making recommendations to the Town Council for new or revised policies regarding the operation of the Affordable Housing Fund;
- Reviewing and making recommendations to the Town Council on affordable housing funding applications.

With this in mind, requests for funding (as explained below) will be reviewed by the AHAC who will then make a recommendation to the Town Council regarding the request.

FUNDING

Source of Funds. The Affordable Housing Special Revenue Fund may be funded by payments made by developers in lieu of providing affordable housing units under the applicable provisions of the Land Use Ordinance. Other revenue sources for the fund may include grants, donations, loans, interest payments, or other contributions or assignments.

The principal and interest earned on funds received from developers, grants, donations, loans, interest payments, or other revenues that may become available also accrue to this fund. As the Affordable Housing Special Revenue Fund develops over time, it is anticipated that funding will be available for time-sensitive acquisition requests that arise outside the established funding cycles.

Since June 2018, the Town Council has passed two half cent property tax increases, creating a dedicated revenue source for affordable housing. For Fiscal Year 21-22 the Council has approved an amount equal to 1.5¢, which is an allocation of \$337,500.

APPROVAL

In 2018 the Town Council voted to allow the Town Manager to approve or deny funding applications for no more than \$5,000 or 15% of the existing fund, whichever is lower. These applications do not have to provide performance measures and can apply outside of the funding cycles.

Any requests over this threshold that are not appropriated by the Town Council during the budget cycle or by resolution will complete the following application. The application will be reviewed by the AHAC and their recommendation to approve or deny funding will go to the Town Council.

ELIGIBILITY

Nonprofits and nonprofits applying on behalf of individuals may request funds to be used to address projects that meet the Town's affordable housing goals. Please see our website for a list of local housing providers: <http://www.townofcarrboro.org/982/Affordable-Housing>

In order to qualify for participation in the Affordable Housing Special Revenue Fund process, the following criteria must be met by the beneficiaries (individuals), if applicable, and substantiated by the applicant (nonprofit organizations):

- a. Beneficiaries must be a resident of Carrboro or the Carrboro planning jurisdiction, or purchasing a home in Carrboro or the Carrboro planning jurisdiction;
- b. Beneficiaries must have a gross household income of 115% the Area Median Income or less, with priority given to households at 80% of AMI and below for homeowners, and 60% of AMI and below for renters, unless otherwise described (Please see Attachment A for current income limits.);
- c. Beneficiaries must be unable to obtain a loan, either subsidized or unsubsidized, on comparable terms and conditions;
- d. Beneficiaries or applicants must be the owner of the property in fee simple or leasehold estate and have paid or have appropriate arrangements with the county tax assessor to pay the tax bill, if the property is to be rehabilitated, or have clear title if the property is to be purchased or constructed;
- e. Beneficiaries must be residing in the property to be rehabilitated, or if purchased or constructed, occupy the property when the acquisition is completed. The building or affordable unit that is subject to program funding must have an _____

anticipated life of at least 20 years after rehabilitation, or 30 years, if constructed or acquired;

f. Beneficiaries must also have an intact homeowner's insurance policy, if applicable.

PROJECT REPORTING AND MONITORING

Recipients of funds for development are required to submit written progress reports to the Town by the end of the fiscal year (June 30) to monitor progress and performance, financial and administrative management, and compliance with the terms of the performance agreements. Reporting information may include: progress toward achieving performance goals, description of activities/challenges, and revisions of proposed project timelines/budgets. Please submit annual reports electronically by June 30 to: amvanaman@townofcarrboro.org

Recipients of funds for home repairs/rehab are to submit details of work completed when submitting invoices for reimbursement of funds.

PERMITTED USES OF FUNDING

Development & Acquisition

Loans: 1. To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of acquiring affordable housing.

2. To provide direct deferred payment loans to beneficiaries to supplement loans made by financial institutions for the purpose of acquiring affordable housing.

Land Banking: To assist in the purchase of land for conveyance to nonprofit affordable housing agencies.

Construction: To pay some or all of the expenses associated with the construction of affordable housing.

Acquisition: To acquire developed properties suitable for resale to individuals or families.

Pre-development Costs: To pay some or all of the pre-development costs (such as feasibility studies, appraisals, land options and preparation of an application) for projects to be developed for the purpose of providing rental or owner-occupied affordable housing.

Land Trust: To provide grants to organizations for land trust projects that guarantee long-term affordability of a property through a 99-year renewable ground leases or for maintenance of land trust housing stock.

Subsidy: To provide permanent subsidies to reduce the sale price of new or existing housing units so as to make them more affordable.

Repair, Rehabilitation, Weatherization & Preservation

- To provide for emergency home repairs of properties in the affordable housing stock. *
- To provide for the weatherization of properties in the affordable housing stock. *
- To provide for the maintenance of properties in the affordable housing stock that are falling into disrepair. *
- To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of rehabilitating affordable housing.
- To provide grants or loans to nonprofits to avoid losing homes in the permanent affordable housing stock as a result of foreclosure.

Housing Stabilization

Town of Carrboro Housing Stabilization Assistance funds are administered by Orange County through the [Emergency Housing Assistance](#) program.

- To provide rental and/or utility deposit grants for Housing Choice Voucher, Permanent Supportive Housing (PSH), Rapid Re-housing, HUD-VASH and Housing Opportunities for Persons w/ AIDS (HOPWA) recipients relocating to rental units in Carrboro as a result of their current rental units no longer accepting a housing subsidy listed above. *
- To provide rental and/or utility deposit grants for those who have been assessed by the Coordinated Entry process as it relates to homelessness and have identified safe, decent, and affordable housing. *
- Assistance may be used for payment of security deposits, utility connections/arears, mortgage assistance and/or rental payments given extenuating circumstances. *

*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

FUNDING PRIORITIES

The fund is dedicated to the development and preservation of affordable housing. Priority goals include **increasing the supply of affordable housing units, increasing the quality of housing stock while maintaining affordability, and helping people stay in the homes they have (both owners and renters).**

Priority project areas include:

- Rental projects that serve households with incomes 60% and below the Area Median Income (AMI), with greater priority to those serving households with extremely low incomes.

- Homeownership projects that serve households with incomes 80% and below the AMI.

GENERAL APPLICATION INFORMATION AND PROCEDURES

Funding applications are accepted three times a year: October 1, January 1, and April 1. Funding is based on the availability of funds. Only as many funding cycles will be completed as necessary to use the available funds. All application documents should be submitted electronically to [Anne-Marie Vanaman](#). Applications are reviewed by the Affordable Housing Advisory Commission. The AHAC's recommendations for funding are then forwarded to the Town Council for final approval.

CHECKLIST OF REQUIRED DOCUMENTATION

Application:

- | | | |
|--------------------------|------------|---|
| <input type="checkbox"/> | Section 1: | Applicant and Project Overview |
| <input type="checkbox"/> | Section 2: | Project Description |
| <input type="checkbox"/> | Section 3: | Performance Measurements* |
| <input type="checkbox"/> | Section 4: | Project Budget and Pro-forma |
| <input type="checkbox"/> | Section 5: | Agency Description |
| <input type="checkbox"/> | Section 6: | Disclosure of Potential Conflicts of Interest |

Other Required Attachments:

Please provide **one copy** of each of the following documents (once per year):

- Current list of Board of Directors, including addresses, phone numbers, terms, and relevant affiliations
- Current Bylaws and Articles of Incorporation
- IRS tax determination letter [501(c)(3)] (if applicable)
- Most recent independent audit (if applicable)

Applications may not be considered for the following reasons:

1. Project does not align with the eligibility criteria for these funding sources
2. Applicant has demonstrated poor past performance in carrying out projects or complying with funding guidelines
3. Applicant fails to provide required information
4. Incomplete or late applications

*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

PLEASE CALL OR EMAIL ANNE-MARIE VANAMAN WITH FUNDING QUESTIONS:

919-918-7321 OR amvanaman@carrboronc.gov

FUNDING APPLICATION

DATE:

Section 1: APPLICANT AND PROJECT OVERVIEW

A. Applicant Information

Applicant/Organization's Legal Name: _____

Primary Contact Person and Title: _____

Applicant/Organization's Physical Address: _____

Applicant/Organization's Mailing Address: _____

Telephone Number: _____

Email Address: _____

B. Project Information

Project Name: _____

Total Project Cost: _____

Total Amount of Funds Requested: _____

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.):

To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.

Signature: _____

Executive Director or other Authorized Signatory

Date

Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the “who,” “what,” “when,” and “where” questions about your project). Do not assume the reader knows anything about the project.

A. “Who”

1. Who is the target population to be served and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

2. Please indicate the income of the beneficiaries (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI		
31%-60% of AMI		
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
TOTAL		

Income Group	Seniors age62+	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI									
31%-60% of AMI									
61-80% of AMI									
81-100% of AMI									
101-115% of AMI									
TOTAL									

3. **Project Staff.** Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

B. "What"

1. **Type of Activity.** Please check the category under which your project falls.

- Acquisition
- Pre-development costs
- Rental subsidy
- Ownership subsidy
- New construction for homeownership
- New construction for rental
- Rehabilitation for owner-occupied or rental (including urgent repairs - see *)
- Land banking
- Grant to land trust
- Foreclosure assistance
- Other (specify): _____

**Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.*

2. **Project Description.** Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

C. "Where"

1. **Project Location.** Please be as specific as possible.

2. **Project Size (if applicable).** Please provide the size of development site: _____ acres

Please attach the following:

- Site map showing lot boundaries, locations of structure(s), and other site features
- General location map (at least ½ mile radius)

D. "When"

Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.)

E. Project Details

If the questions below are not applicable or the requested information is not currently available, please insert N/A.

1. **Property Acquisition.**

- a. Has your agency acquired real property in order to carry out the project, or is property acquisition planned? _____

- b. Is the property currently occupied? If so, attach a description of your plan to relocate.
- c. Please attach an appraisal of the property.

2. Construction/Rehabilitation Detail.

- a. How many units will be newly constructed?
- b. How many units will be rehabilitated?
- c. What is the square footage of each unit?
- d. What is the number of bedrooms in each unit?
- e. What is the number of bathrooms in each unit?
- f. How many units will have full ADA accessibility?
- g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?
- h. Please attach the following:
 - Floor plan(s)
 - Elevation(s)
 - List of Energy Efficiency measures included in the project (if applicable)
 - List of Universal Design principles included in the project (if applicable)

3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:
- b. What are the proposed rents (including utility costs) or sales prices for completed units?
- c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:
- d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.
- e. What supportive services, if any, will be provided through this project?

Section 3: PERFORMANCE MEASUREMENTS

A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI</i>

B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

Section 4: PROJECT BUDGET AND PRO-FORMA

A. Project Budget

Attach a detailed project budget in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.

Has an appraisal been conducted? If so, please attach.

B. Terms of Project Funding

Please specify the type of funding request for which you are applying:

Grant Loan

C. Pro-forma (for rental property only)

If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

Section 5: ORGANIZATION DESCRIPTION

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

A. Organization

What is your organization's . . .

1. Mission statement?

2. Incorporation date (Month and Year)?
3. Estimated Total Agency Budget for this fiscal year? \$
4. Total number of agency staff (full time equivalents):

B. Organization Track Record and Community Support

Please describe your organization's experience with the agency, its staff, and the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and support the proposed project

2. Involvement of intended beneficiaries of the project in the planning process

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables

4. Collaborative relationships with other agencies

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive

6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).

Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES NO

b) Members of or closely related to members of the governing bodies of Carrboro?

YES NO

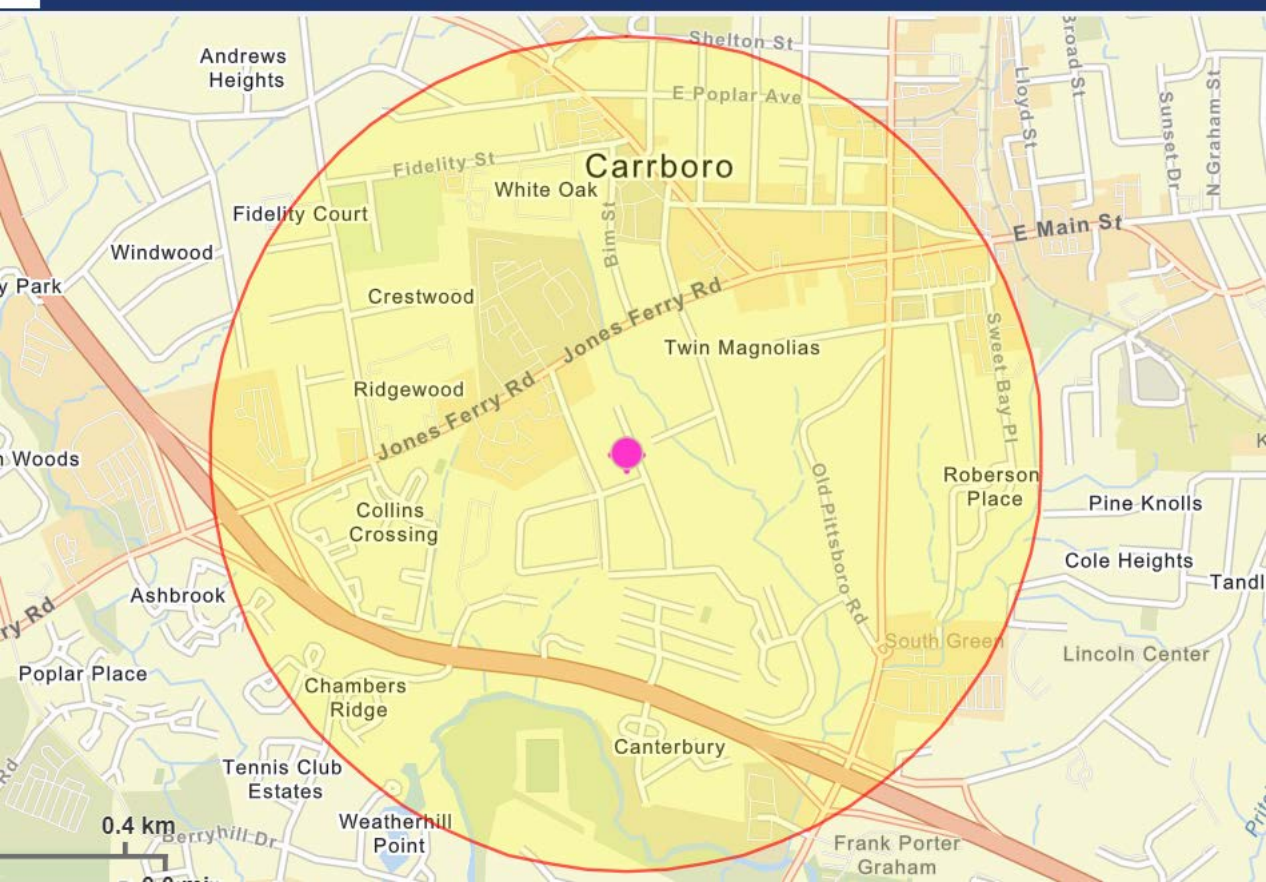
c) Current beneficiaries of the project/program for which funds are requested?

YES NO

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES NO

If you have answered YES to any question, **please explain below**. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an **undisclosed** conflict may result in the termination of any grant awarded.



Andrews Heights

Shelton St
E Poplar Ave

Carrboro

Fidelity Court

Fidelity St

White Oak

Bim St

Lloyd St
Broad St
Sunset Dr
N Graham St

E Main St

Windwood

Crestwood

Jones Ferry Rd

Twin Magnolias

Sweet Bay Pl

Ridgewood

Collins Crossing

Old Pittsboro Rd

Roberson Place

Pine Knolls

Cole Heights

Tandl

Ashbrook

Poplar Place

Chambers Ridge

Tennis Club Estates

Weatherhill Point

Canterbury

South Green

Lincoln Center

0.4 km

Berryhill Dr

Frank Porter Graham

172928

203 PRINCE ST

JANUARY 1ST OWNER MAILING ADDRESS

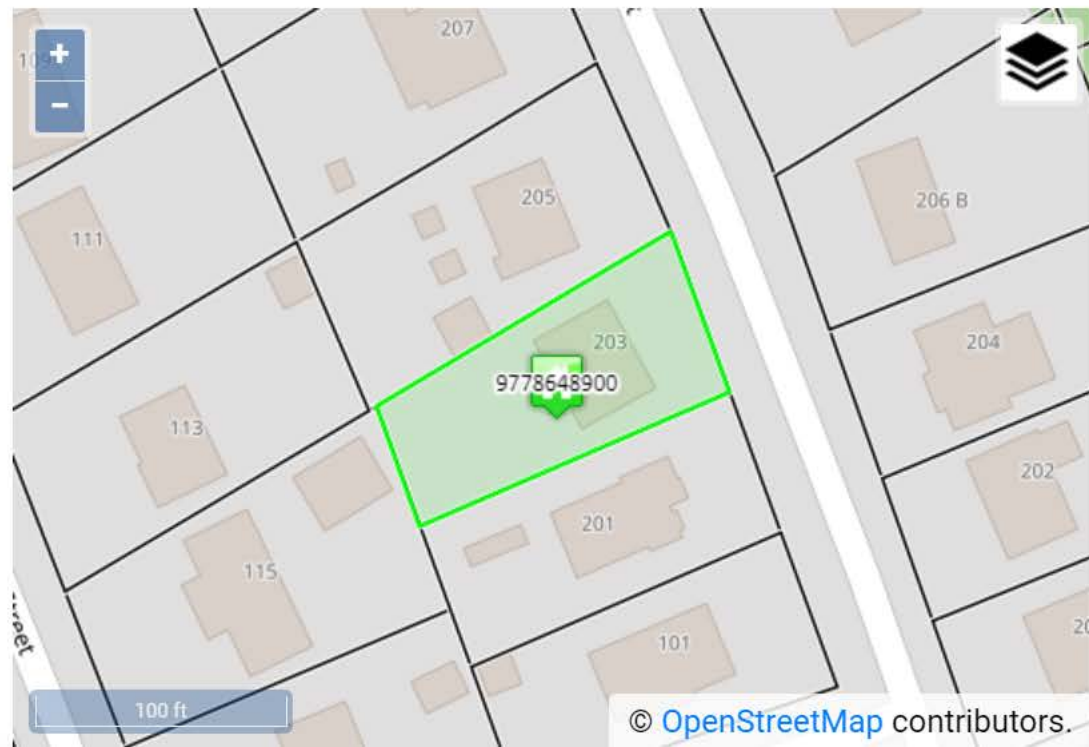
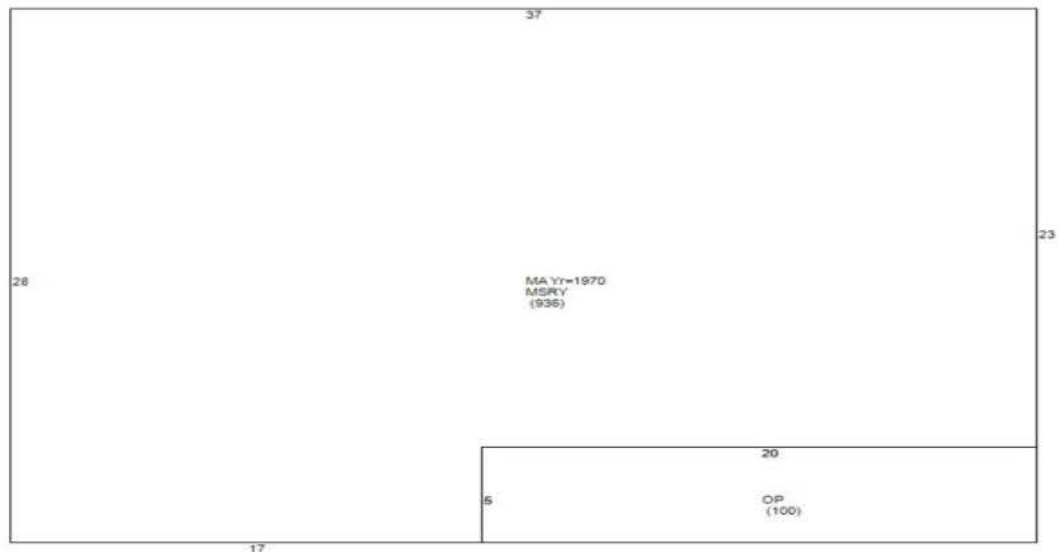
NEELY ALBERTA L

203 PRINCE ST

CARRBORO NC 27510

Total Assessed Value

\$206,500



Orange - 100 Weatherhill Pointe Carborro NC 27510

Project Notes: 1871 sq. ft. conventional 2 story house built on a crawl space in 19 AHF and DEC HHF.

Area: 3 Interior

Title	Trade	Description
Drywall - Patch, Small	Drywall	Clean out and expand hole to allow the insertion of a 1/2" gypsum backer board coated with construction adhesive. Screw through drywall face to secure. After adhesive is set, apply patching plaster to 1/4" of surface. Finish with compound, wet sand ready for paint. Prime and paint to match, including adjacent area to a corner or wall edge for consistency

Area: 4 HVAC

Title	Trade	Description
Heat Pump w/ Electric Heat - Replace	HVAC	Use ACCA Manual J residential load calculation tool to calculate the loads and select equipment. Install a 15.3 SEER2 / 7.0 HSPF2 Heat Pump with electric auxiliary heat to existing ductwork. New outdoor unit shall be installed on a pad. Install a programmable thermostat with daily setbacks and holds. Program the thermostat to the times requested by the occupant, and demonstrate the functions to the owner. Insure that the system ductwork is capable of handling 400 cfm of airflow per ton. Rework return air duct if necessary to ensure easy access, good fit and easy replacement of air filter. Seal all exposed duct joints as a part of this item with Duct Mastic. Complete and file the warranty registration and provide copies to the owner.

Area: 6 Plumbing

Title	Trade	Description
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Shower Conversion	Plumbing	Remove existing tub. Install a 5', 4 piece, fiberglass low curb shower unit. Include a seat and ADA compliant grab bars; drain and overflow; PVC waste; single lever shower diverter; shower rod; shower faucet and a hand-held shower head with a maximum 2.0 GPM flow rate. Install faucet controls toward the outside of the tub for easier access. Exterior wall sections behind the tub shower unit and any plumbing penetrations must be completely air-sealed prior to installation.
Plumbing General	Plumbing	Replace Shower valve in upstairs tub

Area: 10 General Conditions

Title	Trade	Description
Project Supervision and Management	General	Project Management and Supervision

TOTAL ESTIMATED PROJECT COST

Work Scope

93. 6/12 Shingle, 200 Amp DEC service, Dominion Gas, OWASA utilities. Good for Carrboro

Notes	Cost Per Unit	Quantity	Unit	Total Cost
Bathroom ceiling, stairwell	\$ 450.00	\$ 2.00	Each	\$ 900.00

Notes	Cost Per Unit	Quantity	Unit	Total Cost
	\$ 11,000.00	\$ 1.00	Each	\$ 11,000.00

Notes	Cost Per Unit	Quantity	Unit	Total Cost
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LH 30x60	\$	5,500.00	\$	1.00	Each	\$	5,500.00
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	\$	850.00	\$	1.00	Each	\$	850.00
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Notes	Cost Per Unit	Quantity	Unit	Total Cost
\$500 project development fee + 20% of Construction Estimate	\$ 4,150.00	\$ 1.00	Each	\$ 4,150.00

	\$	22,400.00
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RTT WORK SCC

Orange - 203 Prince Street Carrboro NC 27510

Project Notes: 936 sq. ft. conventional brick ranch on a crawlspace built in 1970. DEC 200 am

Area: 2 Exterior

Title	Trade	Description
Railing - Exterior Replace	Carpentry	Remove deteriorated railing. Install preservative treated code approved grab-able handrail supported by 4"x 4" treated posts, 4' on center. Rail to be free from cracks, splinters, and rough edges. Set first post in a 12"x 8"x 12" concrete sleeve or on concrete block, bolt remaining posts to stringer with 7" lags.
Gutter - Replace, Aluminum 5"	Carpentry	Remove existing gutter. Install seamless, 5" K' style .027 aluminum gutter, in white or brown, owner's choice. Install to fascia with 5 in. hidden gutter hangers fastened with screws, such as the Amerimax model 21812, spaced per manufacturer's recommendations.
Window - Repair	Carpentry	Repair window without replacing sash. Repair and adjust window to open and close smoothly, replacing broken glass and caulking as needed.
Roof - Replace Fiberglass Shingles	Roofing	Remove and dispose of all roofing & defective sheathing. Cut a 1" wide vent at ridge board. Replace up to 5 sf of sheathing per 100 sf of roof using pine board or CDX plywood of matching thickness. Install 15 lb felt underlayment over the entire roof with manufacturer approved fasteners. Install preformed white aluminum, drip edge, and vent pipe boots. Install ENERGY STAR labeled self-sealing, laminated fiberglass asphalt shingles with a limited lifetime warranty. Replace all flashing, including valleys, with 0.19" aluminum sheet metal. Install step flashing and counter flashing at all wall junctures. Install flashing and roofing shingle style, not relying on sealants for waterproofing. Install shingle-over ridge vent. Color choice by owner.

Area: 3 Interior

Title	Trade	Decription
Drywall - Patch, Large	Drywall	Cut back defective gypsum to expose half of the studs on each side of the hole. Cut and tightly fit drywall patch. Glue and nail or screw patch. Apply tape and 3 coats of compound feathered out at least 8". Sand ready for paint.
Carpet and Pad - Removal	Carpentry	Remove carpet, pad, metal edge strips and tack strips to a recycling center if available. If recycling is not possible remove to a code legal dump.

Area: 4 HVAC

Title	Trade	Decription
Bath Fan - Install	Electrical	Install an Energy Star ceiling or through-the-wall, exterior ducted, vent fan with damper, and chrome faceplate capable of 60CFM at 60 sones. Include power and switch wiring using #14 copper Romex. Repair any tear out.
Heat Pump w/ Electric Heat - Replace	HVAC	Use ACCA Manual J residential load calculation tool to calculate the loads and select equipment. Install a 15 SEER Heat Pump with electric auxiliary heat to existing ductwork. New outdoor unit shall be installed on a pad. Install a programmable thermostat with daily setbacks and holds. Program the thermostat to the times requested by the occupant, and demonstrate the functions to the owner. Insure that the system ductwork is capable of handling 400 cfm of airflow per ton. Rework return air duct if necessary to ensure easy access, good fit and easy replacement of air filter. Seal all exposed duct joints as a part of this item with Duct Mastic. Complete and file the warranty registration and provide copies to the owner.
Ductwork and Air Distribution	HVAC	Install low velocity insulated metal or flexible duct work from HVAC equipment to registers.

Area: 7 Bathroom

Title	Trade	Decription
Grab Bar - Tub & Shower	Carpentry	Install 3 grab bars within the tub/shower alcove. One horizontal grab bar shall be provided on the back wall, one installed in a horizontal position, between 33 inches 36 inches above the floor of the tub measured to the top of the gripping surface.

Toilet - Replace ADA	Plumbing	Install an ADA compliant, maximum 1.28 GPF vitreous china commode, with a seat height between 17 and 19 inches. Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal. Use the rough-in dimension necessary to minimize the clearance between the tank and the wall.
Modification - Install toilet rails	Plumbing	Install new set of toilet rails per OT recommendation

Area: 8 Kitchen

Title	Trade	Description
Cabinets - Wood Base	Carpentry	<p>Replace base cabinets. Install base cabinet with door stiles of solid oak, birch or ash and matching veneered flush plywood panels. Cabinet face frames shall be solid oak, birch or ash with plywood casing and corner bracing. Drawer boxes shall be made of solid wood or plywood, with solid wood drawer fronts. Install "D" shaped pulls on all doors and drawers even when finger grooves exist.</p>
Cabinets - Wood Wall	Carpentry	<p>Replace wall cabinets. Install new wall cabinets with door stiles of solid oak, birch or ash and matching veneered flush plywood panels. Cabinet face frames shall be solid oak, birch or ash with plywood casing and corner bracing. Install "D" shaped pulls on all doors and drawers even when finger grooves exist.</p>
Countertop - Replace	Carpentry	<p>Dispose of existing counter top. Field measure and install specified new countertop. All particleboard and MDF components must comply with California 93120 (formaldehyde content) or all exposed edges must be sealed with a low-VOC sealant. Screw to base cabinet a square edged plastic laminate counter top. Provide end-caps and cutout for sink. Caulk countertop to adjoining walls with low VOC caulking to match wall color. Owner's choice of in-stock color and texture.</p>

Sink - Kitchen	Plumbing	Install a 22 gauge, stainless steel, self rimming kitchen sink including a steel, metal body faucet, rated at 2.0 GPM or less, with a 15 year drip-free warranty, grease trap, supply lines, full port ball type shut-off valves & escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered (no compression fittings) & all PVC fittings except for the trap glued.
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Area: 9 Weatherization

Title	Trade	Decription
Crawlspace Weatherization	Thermal & Moisture	Install a minimum 6 mil poly vapor barrier on ground in crawl space. Overlap seams in the plastic by 2 feet and seal the seams with fiberglass mesh tape and mastic. All penetrations including but not limited to those created by plumbing, electrical and HVAC equipment will be sealed tight. Install a minimum of R-19 faced batt insulation between joists at floor level with hangers every 24".
Attic Weatherization	Thermal & Moisture	After air sealing install blown in borate treated cellulose insulation loose filled to at least R-38 u-value. Maintain ventilation routes from soffit and other vents with baffles. Replace all material removed or cut to gain access to match existing materials. Insulate fold down stair with an airtight 2" thick reflective foil faced polyisocyanurate foam box with seams and seal the edges with a compatible foil tape.

Area: 10 General Conditions

Title	Trade	Decription
General Conditions	Project Supervision	RTT Project Supervision

TOTAL ESTIMATED PROJECT COST

DPE - 12/29/2023

up electric service, no gas, OWASA for water and sewer. Asphalt shingle roof on 4/12 slope.

Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
Repair or replace front rails	\$ 55.00	30	Linear Feet	\$ 1,650.00	RTT	Carrboro AHF
	\$ 12.00	100	Linear Feet	\$ 1,200.00	RTT	Carrboro AHF
	\$ 160.00	8	Each	\$ 1,280.00	RTT	Carrboro AHF
	\$ 425.00	16	Squares	\$ 6,800.00	RTT	Carrboro AHF

Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
Kitchen	\$ 14.00	32	Square Feet	\$ 448.00	RTT	Carrboro AHF
LR and BR1	\$ 220.00	2	Room	\$ 440.00	RTT	Carrboro AHF

Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
	\$ 650.00	1	Each	\$ 650.00	RTT	Carrboro AHF
	\$ 8,500.00	1	Each	\$ 8,500.00	RTT	OC Climate Action
	\$ 4,000.00	1	Square Feet	\$ 4,000.00	RTT	Carrboro AHF

Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
	\$ 450.00	1	Each	\$ 450.00	RTT	Carrboro AHF

\$	675.00	1	Each	\$	675.00	RTT	Carrboro AHF
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\$	225.00	1	Each	\$	225.00	RTT	Carrboro AHF
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Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
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\$	210.00	8	Linear Feet	\$	1,680.00	RTT	Carrboro AHF
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\$	185.00	8	Linear Feet	\$	1,480.00	RTT	Carrboro AHF
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\$	75.00	8	Linear Feet	\$	600.00	RTT	Carrboro AHF
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	\$	850.00	1	Each	\$	850.00	RTT	Carrboro AHF
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Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)		
	\$	3.00	936	Square Feet	\$	2,340.00	RTT	OC Climate Action
	\$	2.00	938	Square Feet	\$	2,110.50	RTT	OC Climate Action



Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)		
\$500 project developer fee + 20% of Construction Estimate	\$	7,575.70	1	Each	\$	7,575.70	RTT	OC Climate Action / Carrboro AHF
				\$ 42,954.20				

Town of Carrboro Grant Request - Budget and Funding Matrix

Homeowner	Service Address	Project Budget	Town of Carrboro Request	AHP Funded from Previous Cycle	Orange County Climate Action	Other RTT Match
	100 Weatherhill Pointe	\$ 22,400.00	\$ 6,000.00	\$ 9,200.00	\$ 7,200.00	\$ -
	203 Prince Street	\$ 42,954.20	\$ 27,730.99	\$ -	\$ 15,223.21	
TOTALS		\$ 65,354.20	\$ 33,730.99	\$ 9,200.00	\$ 22,423.21	\$ -

Affordable Housing Special Revenue Fund

Application

Fiscal Year 2023-2024



TOWN OF CARRBORO • NC
HOUSING & COMMUNITY SERVICES

FUNDING APPLICATION

DATE:

1/4/24

Section 1: APPLICANT AND PROJECT OVERVIEW

A. Applicant Information

Applicant/Organization's Legal Name: EmPOWERment, INC

Primary Contact Person and Title: Delores Bailey, Executive Director

Applicant/Organization's Physical Address: 109 N. Graham Street, #200, Chapel Hill, NC 27516

Applicant/Organization's Mailing Address: 109 N. Graham Street, #200, Chapel Hill, NC 27516

Telephone Number: 919-967-8779

Email Address: www.empowermentinc.org

B. Project Information

Project Name: Homestead Project

Total Project Cost: \$2,50,000.00

Total Amount of Funds Requested: \$100,000.00

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.):

This is a naturally occurring affordable rental (NOAH) project. This funding will acquire ten affordable single-family rental homes on 9 acres.

To the best of my knowledge, all information and data in this application are accurate and current. The document has been duly authorized by the governing board of the applicant.

Signature: Delores Bailey

Executive Director or other Authorized Signatory

1/4/2024

Date

Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the "who," "what," "when," and "where" questions about your project). **Do not assume the reader knows anything about the project.**

A. "Who"

1. Who is the target population to be served, and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

Families earning between 31-60% Area Median Income (AMI) are the target population to be served. This is a Naturally Occurring Affordable Housing community, which means the current residents live affordably without subsidies but could be displaced if a developer purchased the community. Through acquiring this community, EmPOWERment can preserve ten homes for affordable rental. With EmPOWERment ownership, these tenants will not be displaced. This project will ensure long-term affordability through deed restrictions, performance agreements, development agreements, and the right of first refusals.

2. Please indicate the beneficiaries' income (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI		
31%-60% of AMI	59	100%
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
TOTAL	59	100%

Income Group	Seniors age62+	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI									
31%-60% of AMI	5	12			9	21			12
61-80% of AMI									
81-100% of AMI									
101-115% of AMI									
TOTAL	5	12			9	21			12

3. **Project Staff.** Please provide names of staff, contractors, and volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

- Delores Bailey (EmPOWERment Executive Director) has served as the Executive Director of EmPOWERment, Inc. since 2005. For this project, Ms. Bailey will negotiate the acquisition of the properties. She will be responsible for creating the budget and the pro forma as well as overall management of the project. Under her leadership, EmPOWERment grew its rental properties from 12 to 65, including three mobile homes. Ms. Bailey has managed ten new construction projects and numerous renovation projects during her seventeen years as Executive Director. Ms. Bailey

has a Bachelor of Science in Behavioral and Social Science.

- La Tanya Davis (EmPOWERment Operations Manager) has been a part of the EmPOWERment’s team since 2007. For this project, Ms. Davis will be responsible for managing timetables and project costs and coordinating the transfer of properties. Before her current job, Ms. Davis was the Property Manager for EmPOWERment’s rental program. Before property management, Ms. Davis was the Finance Manager. Ms. Davis is also a licensed Real Estate Broker. Ms. Davis has extensive experience working with the Executive Director on acquisition, new construction, and rehab projects. Ms. Davis has a master’s in business education.
- Sharron Reid (EmPOWERment’s lead HUD Certified Housing Counselor). For this project, Ms. Reid will be responsible for verifying the incomes of current residents. She is prepared to provide rental counseling and budgeting information for the tenants if required. She is nationally certified by HUD, meaning she is certified to provide counseling throughout the United States. Ms. Reid collaborates with various community agencies to connect clients with housing stability resources. She provides services to individuals and families seeking housing counseling assistance in rental, pre-purchase, delinquency, and foreclosure. She advocates for clients by contacting landlords, mortgage companies, and lenders to help resolve crises. Ms. Reid teaches various housing-related classes, such as financial literacy, budgeting, and homebuyer education. Ms. Reid has a Bachelor of Science in criminal justice.
- Valencia Thompson (EmPOWERment’s Property Manager). Ms. Thompson has been the Property Manager for EmPOWERment since 2019. For this project, she is responsible for meeting with and setting up a rental protocol for each family member. She will create and maintain the new leases. Ms. Thompson works directly with tenants, manages administrative rental duties, data collection, tenant rental software, and Website management of the Rental Program. Ms. Thompson is also a nationally certified housing counselor and works alongside Ms. Reid to ensure vulnerable tenants and homeowners in Orange County remain in stable housing. Ms. Thompson is a licensed Real Estate Broker. She has an MBA in Accounting and Finance.
- Quintonia Thorpe (EmPOWERment’s Finance Manager). For this project, Ms. Thorpe will provide complete accounting services. She will be responsible for grant and cash management and financial reporting. Ms. Thorpe has over 25 years of accounting experience, including several years as a financial analyst and money manager. She holds a Bachelor of Arts degree and a master’s in business administration & health administration.

B. “What”

1. Type of Activity. Please check the category under which your project falls.

- Acquisition
- Pre-development costs Rental
- subsidy Ownership subsidy
- New construction for homeownership New
- construction for rental
- Rehabilitation for owner-occupied or rental (including urgent repairs - see *) Land
- banking
- Grant to land trust Foreclosure
- assistance
- Other (specify): _____
-

**Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside the funding cycles.*

2. Project Description. Please provide a general overview of your project, including what you plan to produce, how the requested funds will be used, and how you plan to carry out the project. Include how your project meets the criteria of eligible uses.

This project attempts to preserve naturally affordable housing (NOAH) in Carrboro, NC, by acquiring ten single-family homes off Homestead Road that have become a community. These homes will house people earning between 31%-61% AMI and remain affordable for 99 years. This acquisition will continue to add to the affordable housing stock following the Town of Carrboro 2022-2042 Comprehensive Plan “that there is a home for everyone in Carrboro.” This project will ensure that communities like this remain safe and affordable, meeting the criteria for eligible residents of Carrboro.

C. “Where”

1. Project Location. Please be as specific as possible.

This Naturally Occurring Affordable Housing (NOAH) community is located outside the Carrboro city limits on Homestead Road near McDougle Elementary/Middle School. It is within two miles of a business area (Carrboro Plaza), which includes a grocery store, restaurants, and a bus line. The property is less than 4 miles from the Roger Road Neighborhood Association recreation center.

2. Project Size (if applicable). Please provide the size of the development site: 9.42 acres

Please attach the following:

- Site map showing lot boundaries, locations of structure(s), and other site features General
- location map (at least ½ mile radius)

D. “When”

Attach a **detailed** timetable showing when each work task will be completed (e.g., planning, obtaining financial commitments, design, environmental review, bidding, loan closing, key milestones in construction, marketing, final inspection, occupancy, etc.)

E. Project Details

If the questions below are not applicable or the requested information is unavailable, please insert N/A.

1. Property Acquisition.

- a. Has your agency acquired real property to carry out the project, or is property acquisition planned? No. This is an acquisition.
- b. Is the property currently occupied? If so, attach a description of your plan to relocate.
Yes. This property is currently occupied by tenants earning 31%-61% AMI. This is a NOAH project; it is presently affordable per HUD’s definition of affordable. These tenants will not be displaced.
- c. Please attach an appraisal of the property. Comparative Marketing Analysis is attached.

2. Construction/Rehabilitation Detail.

- a. How many units will be newly constructed? *N/A*
- b. How many units will be rehabilitated? *N/A*
- c. What is the square footage of each unit? *700 to 1000 square feet*
- d. What is the number of bedrooms in each unit? *(9)-2-bedroom units and (1) 3-bedroom unit*

- e. What is the number of bathrooms in each unit? **One bath in each unit**
- f. How many units will have full ADA accessibility? **N/A**
- g. Is the proposed project in Carrboro Town limits, ETJ, or transitional area? **YES**

h. Please attach the following:

- Floor plan(s) Elevation(s) (See
- Attachments)
- List of Energy Efficiency measures included in the project (if applicable)
- List of Universal Design principles included in the project (if applicable)

3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:

EmPOWERment will secure the following documents to ensure the long-term affordability of these housing units for 99 years:

Performance agreements that include “right of first refusal” language for Orange County and Carrboro.

Deed restrictions that reinforce 99 years of affordability will be enforced.

- b. What are the proposed rents (including utility costs) or sales prices for completed units?
\$1100 for two bedrooms and \$1500 for three bedrooms.

- c. Explain your agency’s process for marketing to ensure an adequate pool of income-eligible renters to buyers:

EI’s process for marketing to an adequate pool of income-eligible renters has been tried and tested over twenty years of rental property management by our rental property Management team. Our first and best marketing tool is our current tenants. EI’s vacancy rate is less than 5%. When there is a vacant unit, it is marketed through our website, empowermentinc.org, and NCHousingSearch.org. Other partners' recommendations include the Community Empowerment Fund (CEF), the Department of Social Services, Family Success Alliance (FSA) local churches, and EI’s in-house Waitlist of eligible individuals. EmPOWERment advertises in the neighborhood newsletters such as The Northside News and on social media. We encourage our tenants to share information with friends and family members. We also post flyers at community gathering locations such as the Hargraves Community Center and Carrboro Community Parks, where posting is allowed. Priority is given to those applicants who fall into the “most vulnerable population” category.

- d. Describe the use of **energy-efficient principles**, universal design, and materials with extended life span.

This project is an acquisition of ten existing single-family homes. As repairs and upgrades are needed, EI will incorporate a universal design and replace any aged appliances with energy-efficient ones. EI will seek opportunities to partner with other County programs to weatherize the homes.

- e. What supportive services, if any, will be provided through this project?

EI has fostered a sustainable community environment by creating more affordable housing through several support services available for tenants. For example, rental counseling,

Homebuyers Education Classes, pre-eviction counseling, and limited budgeting classes provided by HUD-certified counselors. There is also access to the EmPOWERment Inc. MOM Utility fund for those facing financial hardships. EI has created a Tenant Association that meets to share information and resources with all EmPOWERment tenants.

Section 3: PERFORMANCE MEASUREMENTS

A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten affordable units to households earning less than 80%AMI.</i>
Provide housing for low to moderate households.	This acquisition will produce ten affordable rental units for low-income households earning 31-60% AMI.

B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

This acquisition will continue to add to the affordable rental stock following the Town of Carrboro 2022-2042 Comprehensive Plan “that there is a home for everyone in Carrboro.” The proposed project seeks to protect naturally occurring affordable housing, defined by the article “Preserving affordable housing” in the Washington Post written by Haisten Willis as “rental housing at least two decades old, short on amenities and affordable without a subsidy (2020)”. These houses will continue to provide a safety net for ten families.

Section 4: PROJECT BUDGET AND PRO-FORMA

A. Project Budget

Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.

Attaching signature pages of grant applications.

Has an appraisal been conducted? If so, please attach.

Attaching CMA/Market Analysis.

B. Terms of Project Funding

Please specify the type of funding request for which you are applying:

- Grant Loan

C. Pro-forma (for rental property only)

- If you are developing a property for rent, please attach a 20-year pro forma showing estimated income, expenses, net operating income, debt service, and cash flow.

Section 5: ORGANIZATION DESCRIPTION

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

A. Organization

What is your organization's . . .

1. Mission statement?
EmPOWERment, Inc. aims to empower individuals and communities to achieve their destiny through community organizing, affordable housing, and grassroots economic development. EmPOWERment's affordable housing mission is to reduce or remove housing barriers for the most vulnerable populations in Chapel Hill. Priorities are given to that population.
2. Incorporation date (Month and Year)? **March, 1996**
3. Estimated Total Agency Budget for this fiscal year? **\$800,000**
4. Total number of agency staff (full time equivalents): **4**

B. Organization Track Record and Community Support

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project

EmPOWERment has been purchasing privately owned properties since it was started in 1996. We have acquired over 65 properties in 27 years. Like this project, we have been most successful in purchasing NOAH properties to add to the rental inventory. We meet monthly with housing partners like the Orange County Affordable Housing Coalition, FSA, CEF, and IFC to discuss acquiring more affordable units. These discussions include buying properties, maintaining older properties, and finding funding for repairs. Many of our existing properties are old, and EmPOWERment continues to make repairs and upgrades to units to extend the life of these properties and alleviate the displacement of families.

2. Involvement of intended beneficiaries of the project in the planning process

For this project, the intended beneficiaries are the families currently living in the units. We have started a discussion with the current owner. That communication will change when the property is acquired. As vacancies occur, EI will collaborate with the families living there now to include them in the planning process. We will conduct tenant meetings to gather responses to help EI understand the problems tenants face so additional programs can be created to support them.

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables

Rental acquisitions: for the last five years, the EI rental inventory has increased by 2-3 units per year. We have consistently been on time and on budget for these acquisitions. Acquisitions and rehabs since COVID have depended on the supply chain for materials and longer than usual wait times for laborers. We work diligently to capture those two distractions on the timeline for the project.

Affordable rental: EI counselors collaborated with other non-profit agencies and municipalities to assist hundreds of families in maintaining housing through and after the pandemic. EI's timely response to the urgency of tenants is imperative. Our eviction prevention reach is 100%. EI has seen the highest level of growth in counseling and continues to rise.

4. Collaborative relationships with other agencies

EI has excellent collaborative relationships with other agencies that provide similar services throughout Orange County. We have mentioned the housing agencies we partner with earlier in the application. EmPOWERment is proud to collaborate with other local and state agencies like the NAACP, Kidzu, FSA, Boomerang, Northside Elementary School, local churches, community centers, and business owners. Many of these relationships allow us to gather resources for our current and potential clients and neighborhood members. EI has worked on these relationships for many years.

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive

EmPOWERment Inc. has a history of collaborating with other programs in the Orange County area to help support the communities we serve. We strive to create a holistic and comprehensive support network by providing resources and connecting individuals with other organizations. We shall continue these partnerships to ensure tenants have access to community resources and services. EI works with UNC students, area politicians, business owners, and school administrators to address the needs of underserved individuals in our community through program assistance and information sharing. The most crucial coordination EI can do is to provide more affordable housing for the underserved community of Orange County.

6. Any other features relating to organization capacity that you consider relevant (i.e., property management experience, including accepting Section 8 Vouchers, etc.).

EI is very proud to have an elite property management program that understands racial discrimination and bias that create barriers for marginalized communities. EI's property management team has over 20 years of experience working in underserved communities. EI accepts all kinds of housing vouchers, including VASH for veterans, housing choice vouchers, and vouchers from agencies such as DSS. EmPOWERment's goal is to assist Individuals who may have experienced hardships in the past and need "empowering" to the next stage of their life, which could lead to a second chance.

Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Are any of the Board Members or employees of the agency that will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES NO

b) Members of or closely related to members of the governing bodies of Carrboro?

YES NO

c) Current beneficiaries of the project/program for which funds are requested?

YES NO

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES NO

If you have answered YES to any question, **please explain below**. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an **undisclosed** conflict may result in the termination of any grant awarded.

TIMELINE



(10,200.00)	(10,200.00)	(10,200.00)	(10,200.00)	(10,200.00)	(10,200.00)
(26,644.40)	(27,710.17)	(28,818.58)	(29,971.32)	(31,170.18)	(32,416.98)
(12,730.80)	(13,112.72)	(13,112.72)	(13,112.72)	(13,112.72)	(13,506.11)
(17,762.93)	(18,473.45)	(19,212.39)	(19,980.88)	(20,780.12)	(21,611.32)
(8,881.47)	(9,236.72)	(9,606.19)	(9,990.44)	(10,390.06)	(10,805.66)
(21,315.52)	(22,168.14)	(23,054.86)	(23,977.06)	(24,936.14)	(25,000.00)
(18,720.00)	(18,720.00)	(18,720.00)	(18,720.00)	(18,720.00)	(18,720.00)
(<u>19,468.80</u>)	(<u>20,247.55</u>)	(<u>21,057.45</u>)	(<u>21,899.75</u>)	(<u>22,775.74</u>)	(<u>22,775.74</u>)
(135,723.91)	(139,868.76)	(143,782.20)	(147,852.18)	(152,084.96)	(155,035.81)
(144,904.03)	(144,904.03)	(144,904.03)	(152,149.23)	(159,756.70)	(159,756.67)
(<u>135,723.91</u>)	(<u>139,868.76</u>)	(<u>143,782.20</u>)	(<u>147,852.18</u>)	(<u>152,084.96</u>)	(<u>155,035.81</u>)
(9,180.12)	(5,035.27)	(1,121.83)	(4,297.05)	(7,671.74)	(4,720.86)

<u>Year 17</u>	<u>Year 18</u>	<u>Year 19</u>	<u>Year 20</u>
(164,697.60)	(164,697.60)	(172,932.48)	(172,932.48)
(<u>(4,940.93)</u>)	(<u>(4,940.93)</u>)	(<u>(4,940.93)</u>)	(<u>(4,940.93)</u>)
(159,756.67)	(159,756.67)	(167,991.55)	(167,991.55)
(10,200.00)	(10,200.00)	(10,200.00)	(10,200.00)

(33,713.66)	(33,713.66)	(33,713.66)	(33,713.66)
(13,506.11)	(13,506.11)	(13,506.11)	(13,506.11)
(22,475.77)	(23,374.81)	(23,374.81)	(23,374.81)
(11,237.89)	(11,237.99)	(11,687.40)	(11,687.40)
(25,000.00)	(25,000.00)	(25,000.00)	(25,000.00)
(18,720.00)	(18,720.00)	(18,720.00)	(18,720.00)
(<u>22,775.74</u>)	(<u>22,775.74</u>)	(<u>25,619.61</u>)	(<u>25,619.61</u>)
(157,629.17)	(158,528.30)	(161,821.59)	(161,821.59)
(159,756.67)	(159,756.67)	(167,991.55)	(167,991.55)
(<u>157,629.17</u>)	(<u>158,528.30</u>)	(<u>161,821.59</u>)	(<u>161,821.59</u>)
(2,127.50)	(1,228.37)	(6,169.96)	(6,169.96)

20-YEAR PRO FORMA, 301 Homestead Road, CHAPEL HILL, NC				
EmPOWERment, Inc accepts housing vouchers. We also rent to families without vouchers. Our target tenant population earns 30% to 80% of the area median income. The pro forma is based on initial rent at \$1100 per month for 9 units, \$1500 for 1 unit. Rental increase is calculated at 3% every five years.				
	<u>Year 1</u>	<u>Year 2</u>	<u>Year 3</u>	<u>Year 4</u>
Income	136,800.00	136,800.00	136,800.00	136,800.00
Vacancy 3% per yr (1 month)	<u>(4,104.00)</u>	<u>(4,104.00)</u>	<u>(4,104.00)</u>	<u>(4,104.00)</u>
Total Income	132,696.00	132,696.00	132,696.00	132,696.00
Expenses				
Management fee	9,600.00	9,600.00	9,600.00	9,600.00
Maintenance & Repair	18,000.00	18,720.00	19,468.80	20,247.55
Administrative/Legal	12,000.00	12,000.00	12,000.00	12,000.00
Insurance	12,000.00	12,480.00	12,979.20	13,498.37
Property Taxes	6,000.00	6,240.00	6,489.60	6,749.18
Utilities	14,400.00	14,976.00	15,575.04	16,198.04
Rental Reserves	20,000.00	20,000.00	20,000.00	18,000.00
Turn-over Costs	<u>25,000.00</u>	<u>25,000.00</u>	<u>25,000.00</u>	<u>18,000.00</u>
Total Expenses	117,000.00	119,016.00	121,112.64	114,293.15
Annual Income	132,696.00	132,696.00	132,696.00	132,696.00
Less Expenses	<u>117,000.00</u>	<u>119,016.00</u>	<u>121,112.64</u>	<u>114,293.15</u>
Net Operating Income	15,696.00	13,680.00	11,583.36	18,402.85

<u>Year 11</u>	<u>Year 12</u>	<u>Year 13</u>	<u>Year 14</u>	<u>Year 15</u>	<u>Year 16</u>
149,385.60	149,385.60	149,385.60	156,854.88	164,697.62	164,697.60
<u>(4,481.57)</u>	<u>(4,481.57)</u>	<u>(4,481.57)</u>	<u>(4,705.65)</u>	<u>(4,940.93)</u>	<u>(4,940.93)</u>
144,904.03	144,904.03	144,904.03	152,149.23	159,756.70	159,756.67
10,200.00	10,200.00	10,200.00	10,200.00	10,200.00	10,200.00
26,644.40	27,710.17	28,818.58	29,971.32	31,170.18	32,416.98
12,730.80	13,112.72	13,112.72	13,112.72	13,112.72	13,506.11
17,762.93	18,473.45	19,212.39	19,980.88	20,780.12	21,611.32
8,881.47	9,236.72	9,606.19	9,990.44	10,390.06	10,805.66
21,315.52	22,168.14	23,054.86	23,977.06	24,936.14	25,000.00
18,720.00	18,720.00	18,720.00	18,720.00	18,720.00	18,720.00
<u>19,468.80</u>	<u>20,247.55</u>	<u>21,057.45</u>	<u>21,899.75</u>	<u>22,775.74</u>	<u>22,775.74</u>
135,723.91	139,868.76	143,782.20	147,852.18	152,084.96	155,035.81
144,904.03	144,904.03	144,904.03	152,149.23	159,756.70	159,756.67
<u>135,723.91</u>	<u>139,868.76</u>	<u>143,782.20</u>	<u>147,852.18</u>	<u>152,084.96</u>	<u>155,035.81</u>
9,180.12	5,035.27	1,121.83	4,297.05	7,671.74	4,720.86

CMA Summary Report - Market Analysis

RESIDENTIAL Summary Statistics

High	Low	Average	Median
LP: \$300,000	\$229,000	\$259,333	\$249,000
SP: \$283,937	\$200,000	\$249,645 $\times 9 =$	\$265,000

RESIDENTIAL - Sold

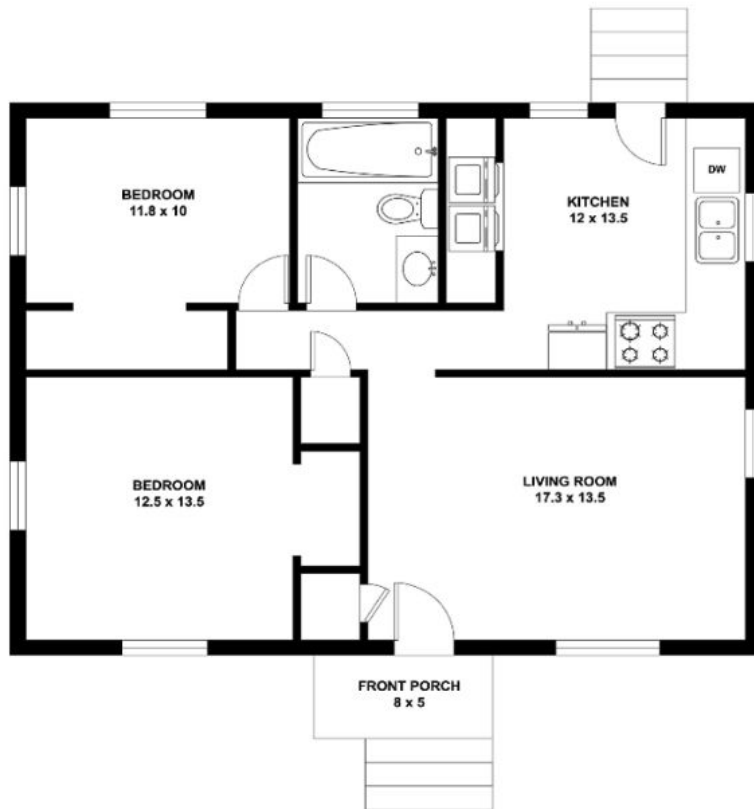
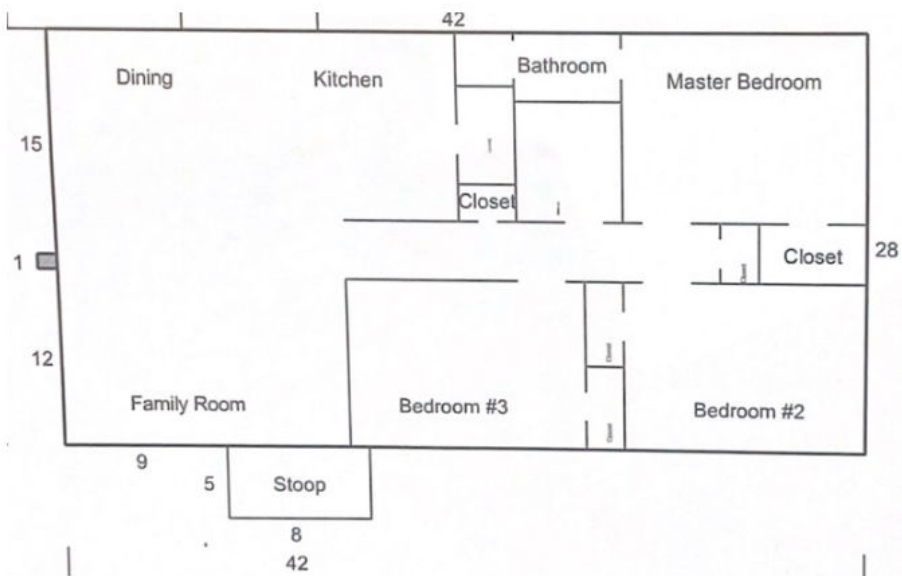
Number of Properties: 3

Num	MLS #	PropDesc	Address	Subdiv	Beds	TotBths	Y-Blt	SPLP	LvngAreaSF	DOM	LP	LP/LvngAreaSF	SP	SP/LvngAreaSF
1	2487937	SF	2506 NC 86 N Highway	Not in a Subdivision	2	1	1962	0.87	864	68	\$229,000	\$265.05	\$200,000	\$231.48
2	2492329	SF	113 Glosson Circle	Crestwood Acres	2	1	1967	0.88	875	9	\$300,000	\$342.86	\$265,000	\$302.86
3	2514913	SF	1400 W NC 54 Highway	Not in a Subdivision	2	1	1980	1.14	952	3	\$249,000	\$261.55	\$283,937	\$298.25
Avg					2	1	1969	0.96	897	26	\$259,333	\$289.82	\$249,646	\$277.53
Min					2	1	1962	0.87	864	3	\$229,000	\$261.55	\$200,000	\$231.48
Max					2	1	1980	1.14	952	68	\$300,000	\$342.86	\$283,937	\$302.86
Med					2	1	1967	0.88	875	9	\$249,000	\$265.05	\$265,000	\$298.25

Average sales price 2 bed
 $250,000 \times 9 \text{ units} = 2,250,000$

Average sales price 3 bedroom
 $340,000 \times 1 = 340,000$

2,590,000.





Anita Designs

Orange County
Early Head Start

Wexford Home
Owners Association

Calvander

Homestead Rd

Hartleyhenge

Hogan's Magnolia
View Farm

ESAR

Karen Buddhist Society
of North Carolina...

Home

Russell's Ford

Calvander Trail

Stony Hill Rd

Dairyland Rd

Hillsborough Rd

John's Woods Rd

Hillsborough Rd

Airfield Rd

Farm House Dr

Sunset Creek Ck

Hillsborough Rd

Bruton Dr

Circadian Way

Hill Rd

Tramore Dr

Tramore Dr

Elsworth Pl

Suffolk Pl

Autumn Dr

Cates Farm Rd

Rockgarden

Wynham Dr

Bellar

Gold Hand C

ockwell Trucking

on Dr

d

nd Rd

re Manor Rd

Drew Ln

Burgundy Ln

Tramo

