

# TOWN OF CARRBORO

## LAND USE PERMIT APPLICATION



DATE: 09/04/2014

Fee: \$300.00

APPLICANT: WEAVER STREET MARKET	OWNER: CARR MILL MALL LIMITED PARTNERSHIP	
ADDRESS: 101 EAST WEAVER STREET	ADDRESS: P.O. BOX 673	
CITY/STATE/ZIP: CARRBORO, NC 27510	CITY/STATE/ZIP: CARRBORO, NC 27510	
TELEPHONE/EMAIL: 919-241-1766 PHONE: keith.a@weaverstreetmarket.coop EMAIL:	TELEPHONE/EMAIL: 919-942-8669 PHONE: nrmilian@aol.com EMAIL:	
LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER: TENANT	PIN: 9778868789	
PROPERTY ADDRESS: 101 EAST WEAVER STREET	PROPOSED LAND USE & USE CLASSIFICATION: RETAIL/OFFICE SPACE	
PRESENT LAND USE & USE CLASSIFICATION: RETAIL/OFFICE SPACE	LOT AREA: Acres Square Feet	
ZONING DISTRICT(S) AND AREA WITHIN EACH (including Overlay Districts):		
# OF BUILDINGS TO REMAIN 1	# OF BUILDINGS PROPOSED NA	
EXISTING GROSS FLOOR AREA OF BUILDING(S) 14000 square feet	GROSS FLOOR AREA (of proposed BUILDING / proposed ADDITION) 100 square feet	AMOUNT OF IMPERVIOUS SURFACE / proposed NA square feet

NAME OF PROJECT/DEVELOPMENT: WEAVER STREET MARKET MINOR ALTERATIONS/VESTIBULE

TYPE OF REQUEST		**INFORMATION REQUESTED (Refer to Attached Key)
SUBDIV. FINAL PLAT / EXEMPT PLAT		1, 18, 19, 21, 23, 31, 33, 34, 38
CONDITIONAL USE PERMIT (CUP)		1, 2, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 20, 21, 22, 23, 24, 25, 26, 27 28, 29, 30, 32, 34, 35, 36, 37, 38
CUP MODIFICATION		SAME AS CONDITIONAL USE PERMIT (CUP)
SPECIAL USE PERMIT (SUP)		1, 3, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 20, 21, 22, 23, 24, 25, 26, 27 28, 29, 30, 32, 34, 35, 36, 37, 38
SUP MODIFICATION		SAME AS SPECIAL USE PERMIT (SUP)
ZONING PERMIT (Project)		1, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 22, 23, 24, 25, 26, 27, 29, 30, 32, 34, 35, 36, 37, 38
ZONING PERMIT (Building Residential Infill & Additions)		9, 10, 22, 24, 34, 37 (also see "Building Permit Review – Residences Only" checklist)
SIGN PERMIT		1, 10, 13, 14, 17, 20, 38
VARIANCE		4, 5, 10, 20, 29, 34, 38, Attachment A
APPEAL		4, 5, 38, Attachment B
SPECIAL EXCEPTION		1, 4, 5, 8, 10, 20, 35, Attachment C

APPLICANT: Keith Anderson, Weaver Street Market

DATE: 09/04/14

OWNER: Keith Anderson, managing agent

DATE: 09/04/14



September 4, 2014

Town of Carrboro Planning Department  
301 West Main Street  
Carrboro, NC 27510

To whom it may concern:

I am writing on behalf of Weaver Street Market in regards to the renovation/addition of a vestibule for Weaver Street Market located at 101 East Weaver Street in Carrboro, NC. The proposed improvements are necessary to replace the current aged door system and to facilitate the ingress and egress of market customers, whose number is expected to increase after the recent renovations. The changes will also allow for the installation of an additional checkout lane to better serve our patrons. Further, the new vestibule will create an airlock which will greatly improve the energy efficiency of the retail space.

Thank you for your time and consideration of this project. Feel free to contact me with any questions or if additional information is required.

Sincerely,

Keith Anderson  
Facilities Manager  
Weaver Street Market  
919-241-1766  
Keith.a@weaverstreetmarket.coop



**ADMINISTRATIVE OFFICES**  
Hillsborough Business Center  
437 Dimmocks Mill Road, Suite 10  
Hillsborough, NC 27278  
919 241-1760  
FAX: 919 241-1799



**CARRBORO**  
101 East Weaver Street  
Carrboro, NC 27510  
919 929-0010  
FAX: 919 942-4889



**SOUTHERN VILLAGE**  
716 Market Street  
Chapel Hill, NC 27516  
919 929-2009  
FAX: 919 932-1477



**HILLSBOROUGH**  
228 S. Churton Street, Suite 100  
Hillsborough, NC 27278  
919 245-5050  
FAX: 919 245-5069

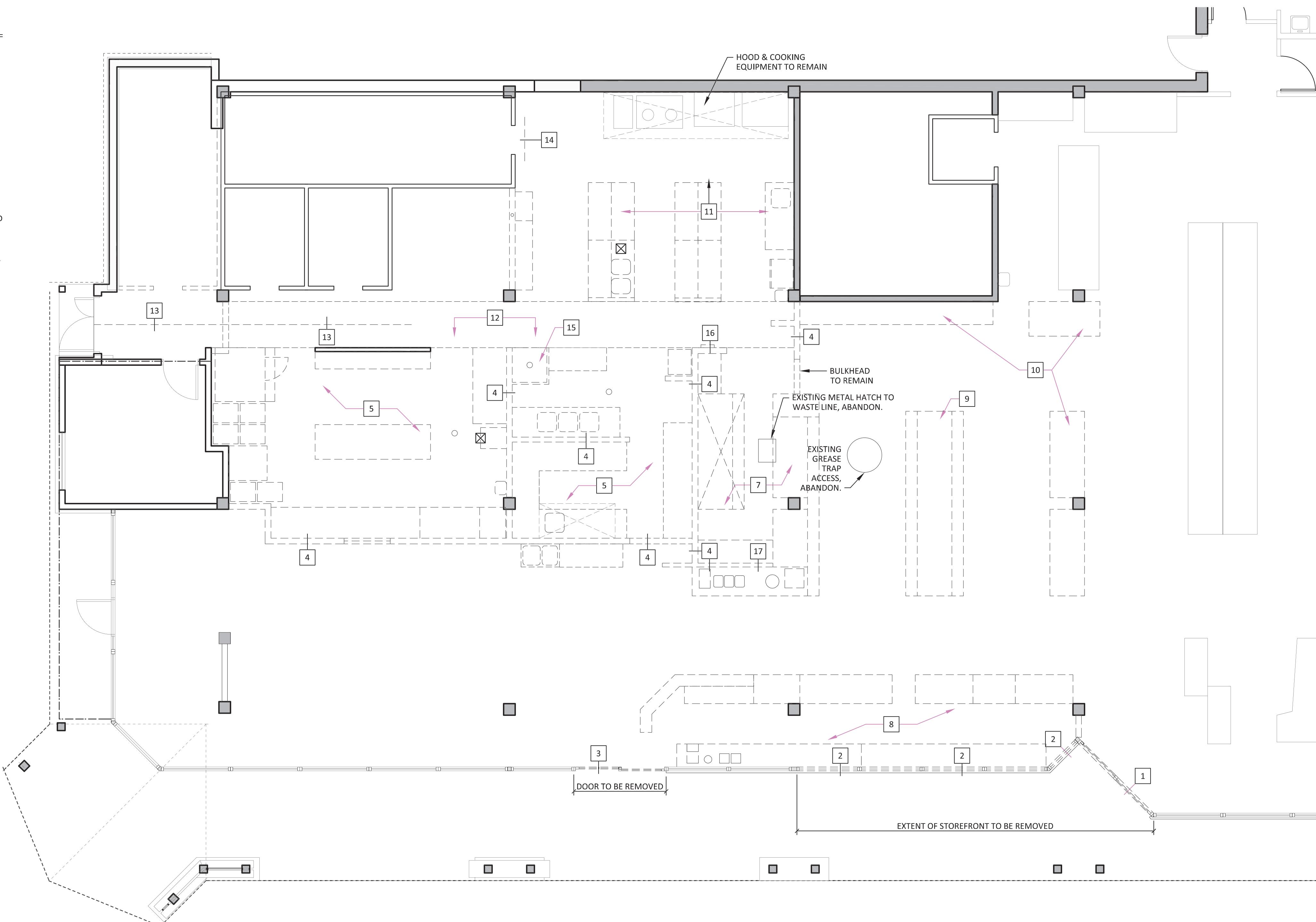


**panzanella**  
200 North Greensboro Street  
Carrboro, NC 27510  
919 929-6626  
FAX: 919 942-4B89

GENERAL DEMOLITION NOTES:	
ALL CONTRACTORS ARE REQUIRED TO VISIT THE PROJECT SITE IN ORDER TO BECOME FAMILIAR WITH DEMOLITION & JOB REQUIREMENTS. ITEMS IDENTIFIED DURING JOB SITE VISIT WILL BE INCORPORATED INTO THE CONTRACT DOCUMENTS BY ADDENDUM.	
THE AREA(S) AFFECTED BY DEMOLITION & NEW CONSTRUCTION SHALL BE FREE OF ANY AND ALL OBSTACLES TO ENSURE A SAFE WORKING ENVIRONMENT. PRIOR TO THE BEGINNING OF WORK, THE OWNER SHALL EITHER REMOVE THESE OBSTACLES OR DIRECT THE CONTRACTOR TO MOVE AND STAGE IN OTHER LOCATION.	
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF ALL EXISTING CONSTRUCTION NECESSARY TO PERMIT THE INSTALLATION OF NEW CONSTRUCTION, INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL DEMOLITION, UNLESS NOTED OTHERWISE & WHETHER OR NOT SUCH DEMOLITION IS SPECIFICALLY NOTED ON THIS PLAN. CATALOG ITS EXTENT & COMPOSITION IN WRITING & REPORT TO ARCHITECT PRIOR TO REMOVAL.	
THE CONTRACTOR SHALL FIRST OFFER ALL REMOVED ITEMS TO THE OWNER, BUT IS NOT REQUIRED TO DO SO. CASEWORK, EQUIPMENT, ETC. TO THE OWNER. IF THE OWNER DOES NOT ACCEPT THE DEMOLISHED ITEMS, THEN THEY SHALL BE BECOME THE PROPERTY OF CONTRACTOR & SHALL BE COMPLETELY REMOVED FROM THE SITE.	
FINISHES IN ANY RENOVATED AREAS, WHICH ARE DAMAGED IN THE COURSE OF DEMOLITION AND/OR CONSTRUCTION SHALL BE PATCHED, REPAVED AND RETURN TO ORIGINAL STATE (INCLUDING MATERIALS REQUIRED TO OBTAIN FIRE RATING), IN ORDER TO PROVIDE A COMPLETE INSTALLATION.	
THE GENERAL CONTRACTOR SHALL TAKE CARE TO MAINTAIN THE STRUCTURAL INTEGRITY, APPEARANCE, & WEATHER-TIGHTNESS, OF EXISTING CONSTRUCTION TO BE RETAINED, PRIOR TO THE INSTALLATION OF NEW CONSTRUCTION.	
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS WHERE DEMOLITION & NEW CONSTRUCTION ARE TO OCCUR & NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.	
ALL EXISTING DEVICES, CONTROLS & WIRING RELATED TO THE WORK SHALL BE MARKED BOTH IN PLAN & IN THE FIELD FOR RECONNECTION, RECONFIGURATION AND/OR ABANDONMENT IF DISTURBED DURING DEMOLITION. IF NOT REQUIRED FOR FUTURE OPERATIONS, ABANDONED UTILITIES SHALL BE TIGHTED & CAPED AS REQUIRED BY CODE OR AS NECESSARY FOR SAFETY. THE ARCHITECT SHALL BE NOTIFIED OF ALL INSTANCES WHERE EXISTING CONSTRUCTION IS ABANDONED.	
THE INTERIOR CONSTRUCTION ZONE AREA IS TO BE PROTECTED & CLOSED OFF TO THE PUBLIC BY MEANS SUITABLE BY THE OWNER & GENERAL CONTRACTOR AGREEMENT. ONE EXISTING DOOR IS TO BE DEFEATED AS FIELD USE DURING CONSTRUCTION; HOWEVER, MUST BE MAINTAINED TO THE OWNER'S STANDARDS.	

#### SPECIFIC DEMOLITION NOTES:

- 1 REMOVE EXISTING AUTOMATIC ENTRY GLAZED STOREFRONT DOOR SYSTEM WITH ALL IT'S COMPONENTS IN ENTIRETY.
- 2 REMOVE EXISTING NON-LOAD BEARING STOREFRONT SYSTEM TO THE EXTENT AS INDICATED ON THESE PLANS FROM TOP OF FINISH FLOOR TO UNDERSIDE OF FLOOR FRAMING SYSTEM. PREPARE AFFECTED AREA FOR NEW CONSTRUCTION.
- 3 REMOVE EXISTING ENTRY GLAZED AUTOMATIC STOREFRONT DOOR SYSTEM WITH ALL IT'S COMPONENTS IN ENTIRETY & PREPARE AREA FOR NEW CONSTRUCTION.
- 4 REMOVE & DISCARD EXISTING INTERIOR NON-LOAD BEARING PARTITIONS FROM TOP OF FINISH FLOOR TO UNDERSIDE OF 2nd FLOOR STRUCTURAL DECK TO EXTENT AS INDICATED ON THESE PLANS WITH ALL COMPONENTS.
- 5 REMOVE ALL MOVEABLE EQUIPMENT, FURNITURE, & ITEMS LOCATED ON FLOOR AREA OF EMPLOYEE/STORAGE ROOMS. REMOVE CEILING SYSTEM & LIGHTING FIXTURES.
- 6 REMOVE ALL MOVEABLE DISHWASH ROOM EQUIPMENT, FIXTURES & SINKS IN THEIR ENTIRETY INCLUDING ASSOCIATED PLUMBING, ELECTRICAL, & VENTED HOODS. REMOVE CEILING SYSTEM & LIGHT FIXTURES. REMOVE FLOOR TILE & ADHESIVE SYSTEM TO EXISTING CONCRETE SLAB. PREPARE & REPAIR FLOOR TO MATCH EXISTING SALES FLOOR AREA.
- 7 REMOVE ALL MOVEABLE FIXTURES, EQUIPMENT, & FURNISHINGS OF KITCHEN AREA IN THEIR ENTIRETY, INCLUDING ASSOCIATED PLUMBING, ELECTRICAL, & VENTED HOODS. REMOVE CEILING SYSTEM, BULKHEAD, SOFFITS, & LIGHT FIXTURES. REMOVE FLOOR TILE & ASSOCIATED ADHESIVES TO EXISTING CONCRETE SLAB. PREPARE & REPAIR SLAB TO MATCH EXISTING SALES FLOOR AREA.
- 8 COFFEE BAR & BAKERY COUNTER AREA - REMOVE ALL FIXTURES, EQUIPMENT, FURNISHINGS, & MILLWORK IN THEIR ENTIRETY, INCLUDING ASSOCIATED PLUMBING & ELECTRICAL COMPONENTS. REMOVE CEILING BULKHEAD & SOFFIT WITH ALL ASSOCIATED LIGHTING. PREPARE & REPAIR SLAB TO MATCH EXISTING SALES FLOOR AREA.
- 9 REMOVE COLD/HOT BAR FIXTURE INCLUDING OVERHEAD FLOATING CEILING COMPONENT WITH ALL ASSOCIATED ELECTRICAL & PLUMBING. REPAIR SLAB TO MATCH EXISTING SALES FLOOR AREA.
- 10 REMOVE COOLER UNITS IN THEIR ENTIRETY. REPAIR FLOOR TO MATCH EXISTING SALES FLOOR AREA OR AS DIRECTED BY OWNER.
- 11 REMOVE ALL EQUIPMENT, FURNITURE, & SINKS OF FOOD PREP KITCHEN IN THEIR ENTIRETY INCLUDING ASSOCIATED PLUMBING & ELECTRICAL COMPONENTS. REMOVE CEILING SYSTEM & LIGHT FIXTURES. EXTENT OF FLOOR SYSTEM TO BE REMOVED PER OWNER DIRECTION.
- 12 REMOVE ENTIRE CEILING SYSTEMS & ALL IT'S COMPONENTS & LIGHT FIXTURES OF EXISTING KITCHEN(S), FOOD PREP, WASHROOM, & STORAGE/EMPLOYEE ROOM AREAS. PREPARE FOR NEW CEILING & LIGHTING SYSTEM.
- 13 PLUMBING TRENCH - SEE PLUMBING DWG'S FOR EXTENT OF WORK AND DIRECTION.
- 14 TRENCH DRAIN - SEE PLUMBING DWG'S FOR EXTENT OF WORK AND DIRECTION.
- 15 JANITOR CLOSET/CAN WASH - TO BE REMOVED IN IT'S ENTIRETY. INCLUDING WALL PARTITION EQUIPMENT, FIXTURES, & ASSOCIATED PLUMBING & ELECTRICAL COMPONENTS.
- 16 RELOCATE EXISTING ELECTRICAL PANEL AND ALL ASSOCIATED ELECTRICAL DEVICES & FEEDS TO NEW LOCATION GRAPHICALLY REPRESENTED ON A-1.3 & E-1.
- 17 RELOCATE EXISTING ELECTRICAL PANEL AND ALL ASSOCIATED ELECTRICAL DEVICES & FEEDS TO NEW LOCATION GRAPHICALLY



GROCERY ENTRY DEMOLITION PLAN  
SCALE: 3/16" = 1'-0"

WEAVER STREET MARKET  
MINOR ALTERATIONS

101 EAST WEAVER STREET  
CARRBORO, NC 27510

DEMOLITION PLAN

PROJECT NO.  
14-0010.020

DRAWING NAME:

SHEET NO.

A-1.2

**SUMMIT**  
DESIGN AND ENGINEERING SERVICES  
Creatively Inspired - Technically Executed

Subcontractor: 101 East Weaver Street  
License # P-0339  
Address: 101 East Weaver Street  
Phone: (919) 732-3683  
Fax: (919) 732-4676  
www.summit-engineer.com

7	7
6	6
5	5
4	4
3	3
2	2
1	1
INCREASED SCOPE	INCREASED SCOPE
REVISIONS	REVISIONS
BY DATE	BY DATE

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PROJECT ENGINEER/ARCHITECT BRIAN SHEPARD, AIA/NCARB/LEED GA
PROJECT ARCHITECT / DESIGNER BRIAN SHEPARD, AIA/NCARB/LEED GA
DRAWN BY JCC
FIRST ISSUE DATE 3/21/2014
SCALE 3/16" = 1'-0"

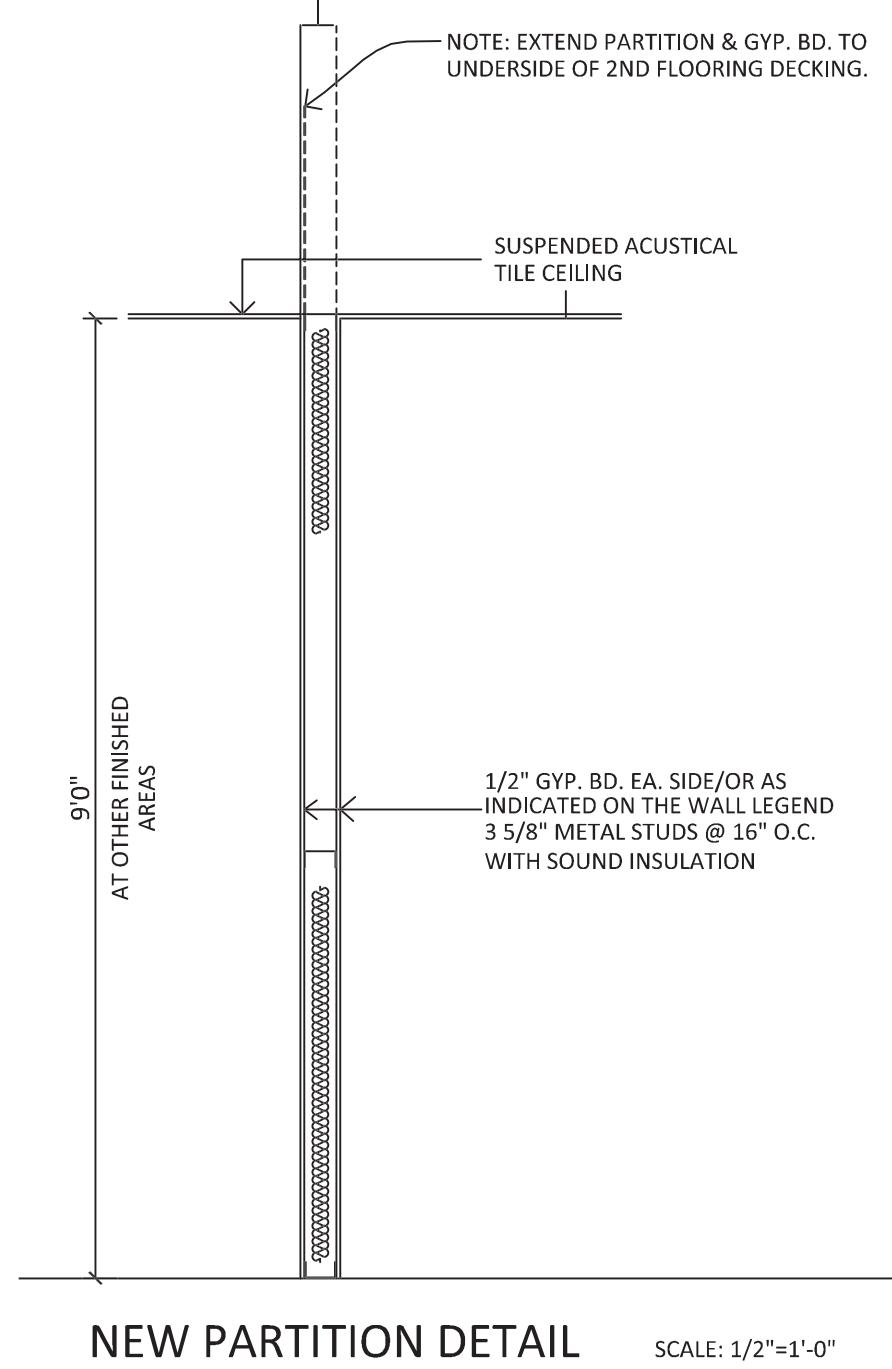
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PERMIT SET  
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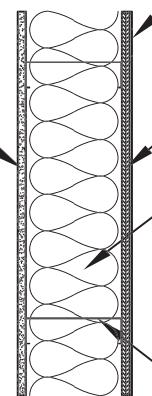
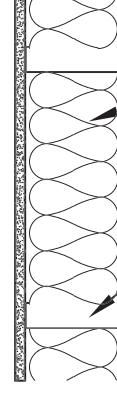
BY DATE  
BY DATE



SCALE: 1/2"=1'-0"

## NEW PARTITION DETAIL

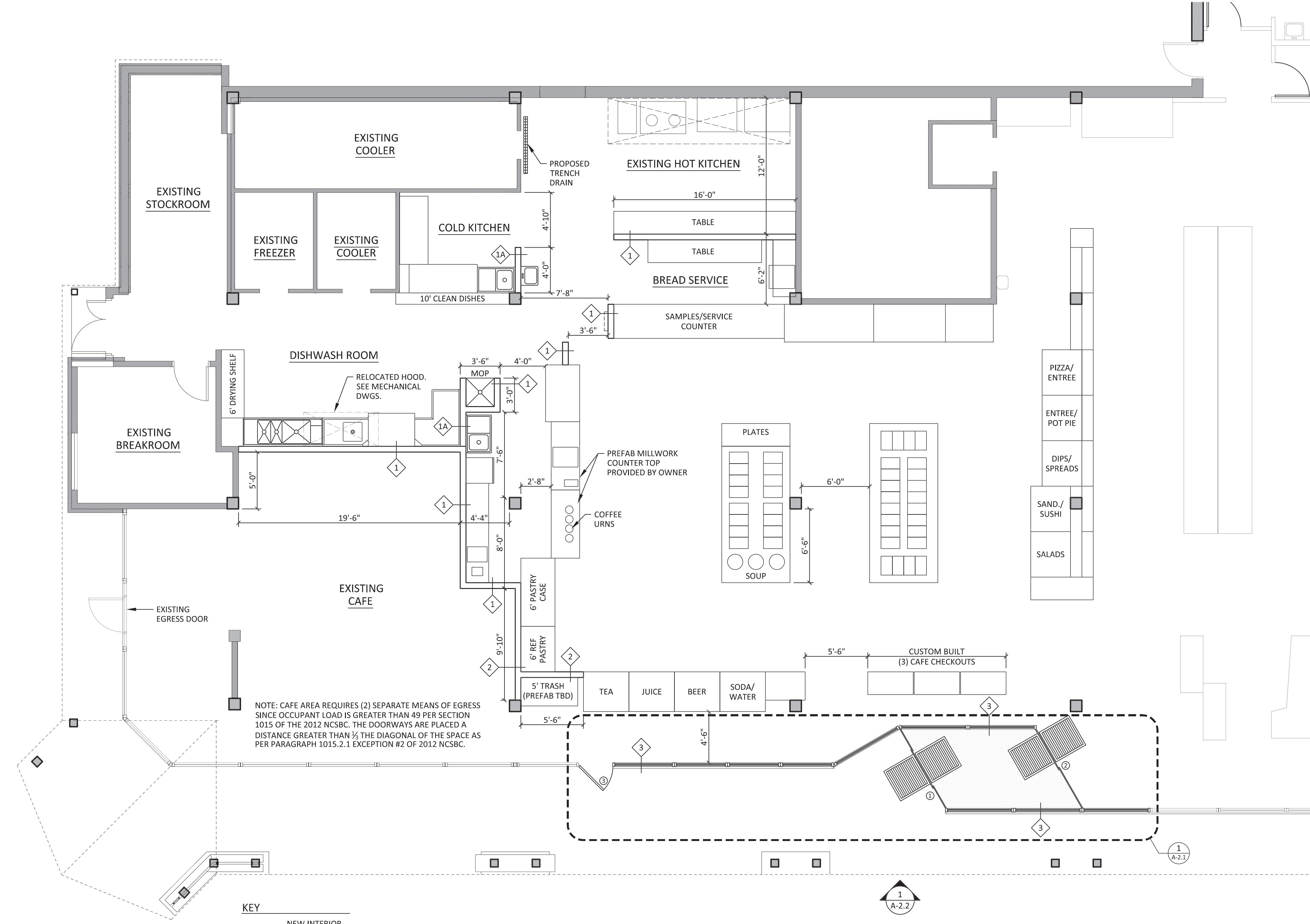
NOTE:  
SEE ELEVATIONS FOR EXTENT OF TEMPERED  
GLASS. USE TEMPERED, LAMINATED, OR OTHER  
SAFETY GLASS APPROVED FOR HAZARDOUS  
LOCATIONS IN ACCORDANCE TO N.C.S.B.C. 2012  
SECTION 2406

WALL NO.	PLAN	NOTES
1	 <p>1/2" GYPSUM WALL BD.</p> <p>1/8" (FRP) FIBER-REINFORCED WALL PANELS ON WALLS (KITCHEN &amp; WET SIDE)</p> <p>1/2" PLYWOOD SHEATHING</p> <p>ACOUSTICAL BATT INSULATION, FULL EXTENT OF STUD CAVITY</p> <p>6" COLD FORM METAL STUDS @ 16"OC</p>	<p>1 6" COLD FORM METAL STUD @ 16"O.C. NON-RATED NON-LOAD BEARING INTERIOR WALL ASSEMBLY</p> <p>1A 6" COLD FORM METAL STUD @ 16"O.C. INSTALL FRP PANEL ON BOTH SIDES WHEN PARTITION SURFACE IS IN KITCHEN OR WET AREA</p>
2	 <p>ACOUSTICAL BATT INSULATION FULL EXTENT OF STUD CAVITY</p> <p>6" COLD FORM METAL STUDS @ 16"OC</p> <p>1/2" GYPSUM WALL BOARD</p>	<p>2 NON-RATED NON-LOAD BEARING INTERIOR WALL ASSEMBLY</p> <p>*WALL ASSEMBLY TO BE TIGHT TO UNDERSIDE OF BOTTOM ROOF TRUSS SYSTEM TO TOP OF CONCRETE FLOOR.</p> <p>*USE GREEN-BOARD IN WET LOCATIONS</p>
3	 <p>KYNAN ALUMINUM COATED FRAME TO MATCH EXISTING</p>	<p>3 NON-RATED NON-LOAD BEARING EXTERIOR WALL ASSEMBLY</p>

## FINISH SCHEDULE

FLOOR FINISHES		ROOM	FLOOR	WALLS	CEILING
F-1	FLOOR- TO MATCH EXISTING SALES FLOOR- EXPOSED CONCRETE	DISHWASH ROOM	F-1	W-2	C-2
F-2	EPOXY FLOOR: MANUFACTURER- STYLE- ; COLOR-	COFFEE BAR	F-1	W-2	C-2
F-3	EXTERIOR CARPET - TO MATCH EXISTING VESTIBULE	COLD KITCHEN	F-1	W-2	C-2
W-1	GYPSUM BOARD WITH PAINT FINISH TO MATCH EXISTING	HOT KITCHEN	F-1	W-2	C-2
W-2	FRP - FIBER-REINFORCED WALL PANELS ON WALLS (KITCHEN & WET SIDES) - STYLE: ICE TEXTURED FINISH	BREAD SERVICE	F-1	W-2	C-2
C-1	SUSPENDED WEATHERPROOF CEILING TILES	SALES FLOOR	F-1	W-1	NONE
C-2	GASKET SUSPENDED CEILING TILES (SEE NOTE #1)	VESTIBULE	F-3	W-1	C-1
		CAFE SEATING	F-1	W-1	NONE

NOTE #1:  
2"x2" LAY-IN ACOUSTICAL TILE  
MANF: ARMSTRONG  
STYLE: SMOOTH  
COLOR: WHITE  
NOTES: ANTI-MICROBIAL, WITH HIGH SAG  
RESISTANCE, WATER -REPELLENT,  
WASHABLE TO MEET USDA/FSIS GUIDELINE  
FOR FOOD PROCESSING AREAS



## NEW WORK FLOOR PLAN

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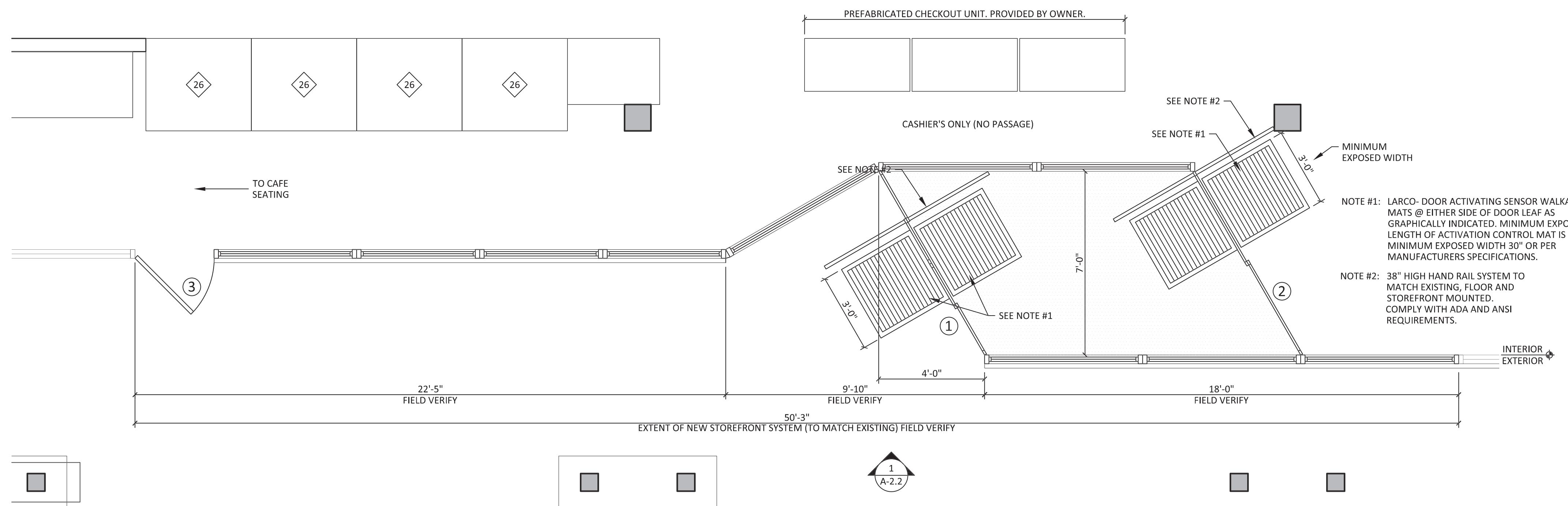
SCALE: 3/16" = 1'-0"

WEAVER SIREE MARKET  
MINOR ALTERATIONS  
101 EAST WEAVER STREET  
CARRBORO, NC 27510

PROJECT NO.

DRAWING NAME:

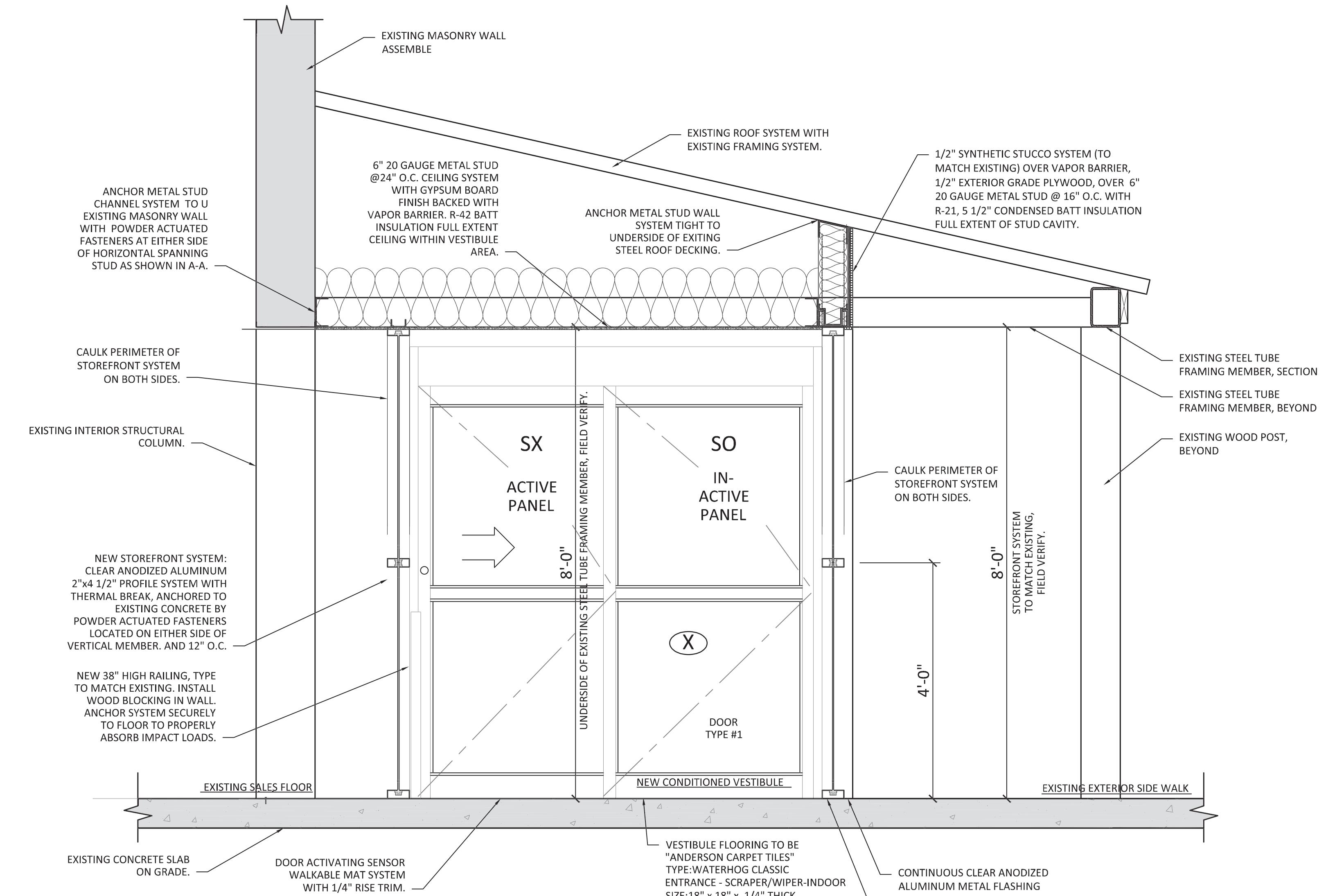
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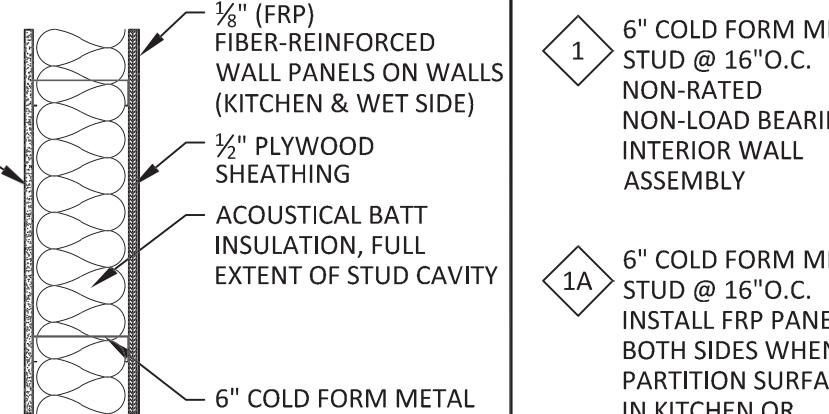
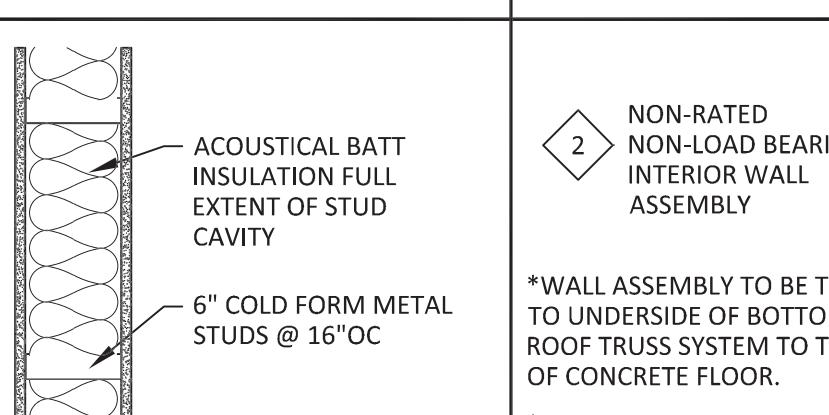
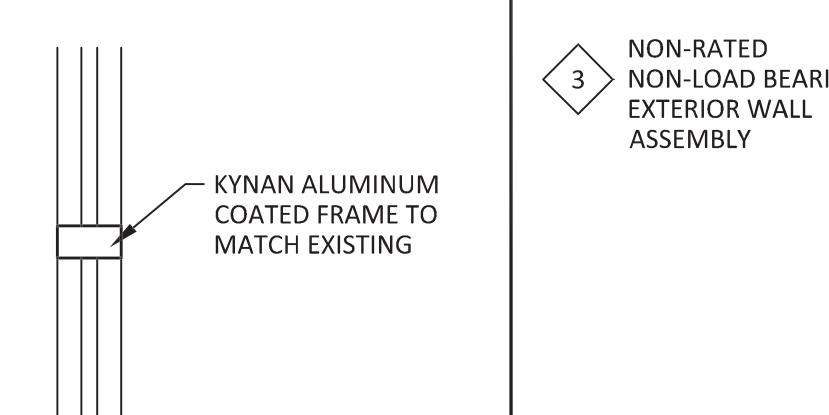


NOTE:  
SEE ELEVATIONS FOR EXTENT OF TEMPERED  
GLASS. USE TEMPERED, LAMINATED, OR OTHER  
SAFETY GLASS APPROVED FOR HAZARDOUS  
LOCATIONS IN ACCORDANCE TO N.C.S.B.C. 2012  
SECTION 2406

### ENLARGED VESTIBULE PLAN

SCALE: 3/8" = 1'-0"



WALL LEGEND		
WALL NO.	PLAN	NOTES
1		<p>1/8" (FRP) FIBER-REINFORCED WALL PANELS ON WALLS (KITCHEN &amp; WET SIDE)</p> <p>1/2" PLYWOOD SHEATHING</p> <p>ACOUSTICAL BATT INSULATION, FULL EXTENT OF STUD CAVITY</p> <p>6" COLD FORM METAL STUDS @ 16" O'C</p> <p>1A 6" COLD FORM METAL STUD @ 16" O.C. NON-RATED NON-LOAD BEARING INTERIOR WALL ASSEMBLY</p> <p>1A 6" COLD FORM METAL STUD @ 16" O.C. INSTALL FRP PANEL ON BOTH SIDES WHEN PARTITION SURFACE IS IN KITCHEN OR WET AREA</p>
2		<p>ACOUSTICAL BATT INSULATION FULL EXTENT OF STUD CAVITY</p> <p>6" COLD FORM METAL STUDS @ 16" O'C</p> <p>1/2" GYPSUM WALL BOARD</p> <p>*WALL ASSEMBLY TO BE TIGHT TO UNDERSIDE OF BOTTOM ROOF TRUSS SYSTEM TO TOP OF CONCRETE FLOOR.</p> <p>*USE GREEN-BOARD IN WET LOCATIONS</p>
3		<p>NON-RATED NON-LOAD BEARING EXTERIOR WALL ASSEMBLY</p> <p>KYAN ALUMINUM COATED FRAME TO MATCH EXISTING</p>

VESTIBULE SECTION  
SCALE: 3/4" = 1'-0"

WEAVER STREET MARKET  
MINOR ALTERATIONS  
101 EAST WEAVER STREET  
CARRBORO, NC 27510

ENLARGED VESTIBULE SECTION  
VESTIBULE SECTION

PROJECT NO.  
14-0010.020  
DRAWING NAME:  
A-2.1  
SHEET NO.

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7  
PROJECT ENGINEER/ARCHITECT  
BRIAN SHEPARD, AIA, NCARB, LEED GA  
PROJECT ARCHITECT / DESIGNER  
BRIAN SHEPARD, AIA, NCARB, LEED GA  
DRAWN BY  
JCC  
SCALE  
AS SHOWN  
FIRST ISSUE DATE  
3/21/2014  
REVISIONS  
1  
INCREASED SCOPE  
DATE  
3/20/2014 BY  
3/20/2014 BY







