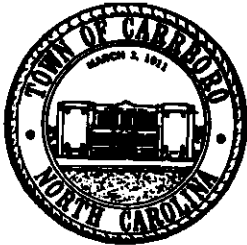


TOWN OF CARRBORO

LAND USE PERMIT APPLICATION



DATE: 09/04/2014 FEE: \$300.00

APPLICANT: WEAVER STREET MARKET		OWNER: CARR MILL MALL LIMITED PARTNERSHIP	
ADDRESS 101 EAST WEAVER STREET		ADDRESS: P.O. BOX 673	
CITY/STATE/ZIP CARRBORO, NC 27510		CITY/STATE/ZIP CARRBORO, NC 27510	
TELEPHONE/EMAIL: 919-241-1766 keith.a@weaverstreetmarket.coop		TELEPHONE/EMAIL: 919-942-8669 nrmilian@aol.com	
PHONE: EMAIL:		PHONE: EMAIL:	
LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER: TENANT		PIN: 9778868789	
PROPERTY ADDRESS: 101 EAST WEAVER STREET		PROPOSED LAND USE & USE CLASSIFICATION: RETAIL/OFFICE SPACE	
PRESENT LAND USE & USE CLASSIFICATION: RETAIL/OFFICE SPACE		LOT AREA: Acres Square Feet	
ZONING DISTRICT(S) AND AREA WITHIN EACH (including Overlay Districts):			
# OF BUILDINGS TO REMAIN 1		# OF BUILDINGS PROPOSED NA	
EXISTING GROSS FLOOR AREA OF BUILDING(S) 14000 square feet	GROSS FLOOR AREA (of proposed BUILDING / proposed ADDITION) 100 square feet	AMOUNT OF IMPERVIOUS SURFACE / proposed NA square feet	

NAME OF PROJECT/DEVELOPMENT: WEAVER STREET MARKET MINOR ALTERATIONS/VESTIBULE

TYPE OF REQUEST	**INFORMATION REQUESTED (Refer to Attached Key)
SUBDIV. FINAL PLAT / EXEMPT PLAT	1, 18, 19, 21, 23, 31, 33, 34, 38
CONDITIONAL USE PERMIT (CUP)	1, 2, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 20, 21, 22, 23, 24, 25, 26, 27 28, 29, 30, 32, 34, 35, 36, 37, 38
CUP MODIFICATION	SAME AS CONDITIONAL USE PERMIT (CUP)
SPECIAL USE PERMIT (SUP)	1, 3, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 20, 21, 22, 23, 24, 25, 26, 27 28, 29, 30, 32, 34, 35, 36, 37, 38
SUP MODIFICATION	SAME AS SPECIAL USE PERMIT (SUP)
ZONING PERMIT (Project)	1, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 22, 23, 24, 25, 26, 27, 29, 30, 32, 34, 35, 36, 37, 38
ZONING PERMIT (Building) Residential Infill & Additions	9, 10, 22, 24, 34, 37 (also see "Building Permit Review – Residences Only" checklist)
SIGN PERMIT	1, 10, 13, 14, 17, 20, 38
VARIANCE	4, 5, 10, 20, 29, 34, 38, Attachment A
APPEAL	4, 5, 38, Attachment B
SPECIAL EXCEPTION	1, 4, 5, 8, 10, 20, 35, Attachment C

APPLICANT: Keith Anderson, Weaver Street Market DATE: 09/04/14

OWNER: DATE: 9/4/14



September 4, 2014

Town of Carrboro Planning Department
301 West Main Street
Carrboro, NC 27510

To whom it may concern:

I am writing on behalf of Weaver Street Market in regards to the renovation/addition of a vestibule for Weaver Street Market located at 101 East Weaver Street in Carrboro, NC. The proposed improvements are necessary to replace the current aged door system and to facilitate the ingress and egress of market customers, whose number is expected to increase after the recent renovations. The changes will also allow for the installation of an additional checkout lane to better serve our patrons. Further, the new vestibule will create an airlock which will greatly improve the energy efficiency of the retail space.

Thank you for your time and consideration of this project. Feel free to contact me with any questions or if additional information is required.

Sincerely,

Keith Anderson
Facilities Manager
Weaver Street Market
919-241-1766
Keith.a@weaverstreetmarket.coop



ADMINISTRATIVE OFFICES

Hillsborough Business Center
437 Dimmocks Mill Road, Suite 10
Hillsborough, NC 27278
919 241-1760
FAX: 919 241-1799



CARRBORO

101 East Weaver Street
Carrboro, NC 27510
919 929-0010
FAX: 919 942-4889



SOUTHERN VILLAGE

716 Market Street
Chapel Hill, NC 27516
919 929-2009
FAX: 919 932-1477



HILLSBOROUGH

228 S. Churton Street, Suite 100
Hillsborough, NC 27278
919 245-5050
FAX: 919 245-5069



panzanella

200 North Greensboro Street
Carrboro, NC 27510
919 929-6626
FAX: 919 942-4889

ALL CONTRACTORS ARE REQUIRED TO VISIT THE PROJECT SITE IN ORDER TO BECOME FAMILIAR WITH DEMOLITION & JOB REQUIREMENTS. ITEMS IDENTIFIED DURING JOB SITE VISIT WILL BE INCORPORATED INTO THE CONTRACT DOCUMENTS BY ADDENDUM.

THE AREA(S) AFFECTED BY DEMOLITION & NEW CONSTRUCTION SHALL BE FREE OF ANY AND ALL OBSTACLES TO ENSURE A SAFE WORKING ENVIRONMENT. PRIOR TO THE BEGINNING OF WORK, THE OWNER SHALL EITHER REMOVE THESE OBSTACLES OR DIRECT THE CONTRACTOR TO MOVE AND STAGE IN OTHER LOCATION.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF ALL EXISTING CONSTRUCTION NECESSARY TO PERMIT THE INSTALLATION OF NEW CONSTRUCTION, INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL DEMOLITION, UNLESS NOTED OTHERWISE & WHETHER OR NOT SUCH DEMOLITION IS SPECIFICALLY NOTED ON THIS PLAN. CATALOG ITS EXTENT & COMPOSITION IN WRITING & REPORT TO ARCHITECT PRIOR TO REMOVAL.

THE CONTRACTOR SHALL FIRST OFFER ALL REMOVED ITEMS SUCH AS, BUT NOT LIMITED TO DOORS, CASEWORK, EQUIPMENT, ETC. TO THE OWNER. IF THE OWNER DOES NOT ACCEPT THE DEMOLISHED ITEMS, THEN THEY SHALL BECOME THE PROPERTY OF CONTRACTOR & SHALL BE COMPLETELY REMOVED FROM THE SITE.

FINISHES IN ANY RENOVATED AREAS, WHICH ARE DAMAGED IN THE COURSE OF DEMOLITION AND/OR CONSTRUCTION SHALL BE PATCHED, REPAIRED AND RETURNED TO ORIGINAL STATE (INCLUDING MATERIALS REQUIRED TO OBTAIN FIRE RATING), IN ORDER TO PROVIDE A COMPLETE INSTALLATION.

THE GENERAL CONTRACTOR SHALL TAKE CARE TO MAINTAIN THE STRUCTURAL INTEGRITY, APPEARANCE, & WEATHER-TIGHTNESS, OF EXISTING CONSTRUCTION TO BE RETAINED, PRIOR TO THE INSTALLATION OF NEW CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS WHERE DEMOLITION & NEW CONSTRUCTION ARE TO OCCUR & NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.

ALL EXISTING DEVICES, CONTROLS & WIRING RELATED TO THE WORK SHALL BE MARKED BOTH IN PLAN & IN THE FIELD FOR RECONNECTION, RECONFIGURATION AND/OR ABANDONMENT IF DISTURBED DURING DEMOLITION. IF NOT REQUIRED FOR FUTURE OPERATIONS, ABANDONED UTILITIES SHALL BE SEPARATED & CAPPED AS REQUIRED BY CODE OR AS NECESSARY FOR SAFETY. THE ARCHITECT SHALL BE NOTIFIED OF ALL INSTANCES WHERE EXISTING CONSTRUCTION IS ABANDONED.

THE INTERIOR CONSTRUCTION ZONE AREA IS TO BE PROTECTED & CLOSED OFF TO THE PUBLIC BY MEANS SUITABLE BY THE OWNER & GENERAL CONTRACTOR AGREEMENT. ONE EXISTING BATHROOM TO BE DESIGNATED AS FIELD USE DURING CONSTRUCTION. HOWEVER, MUST BE MAINTAINED TO THE OWNER'S STANDARDS.

- 1 REMOVE EXISTING AUTOMATIC ENTRY GLAZED STOREFRONT DOOR SYSTEM WITH ALL IT'S COMPONENTS IN ENTIRETY.
- 2 REMOVE EXISTING NON-LOAD BEARING STOREFRONT SYSTEM TO THE EXTENT AS INDICATED ON THESE PLANS FROM TOP OF FINISH FLOOR TO UNDERSIDE OF FLOOR FRAMING SYSTEM. PREPARE AFFECTED AREA FOR NEW CONSTRUCTION.
- 3 REMOVE EXISTING ENTRY GLAZED AUTOMATIC STOREFRONT DOOR SYSTEM WITH ALL IT'S COMPONENTS IN ENTIRETY & PREPARE AREA FOR NEW CONSTRUCTION.
- 4 REMOVE & DISCARD EXISTING INTERIOR NON-LOAD BEARING PARTITIONS FROM TOP OF FINISH FLOOR TO UNDERSIDE OF 2nd FLOOR STRUCTURAL DECK TO EXTENT AS INDICATED ON THESE PLANS WITH ALL COMPONENTS.
- 5 REMOVE ALL MOVEABLE EQUIPMENT, FURNITURE, & ITEMS LOCATED ON FLOOR AREA OF EMPLOYEE/STORAGE ROOMS. REMOVE CEILING SYSTEM & LIGHTING FIXTURES.
- 6 REMOVE ALL MOVEABLE DISHWASH ROOM EQUIPMENT, FIXTURES & SINKS IN THEIR ENTIRETY INCLUDING ASSOCIATED PLUMBING, ELECTRICAL, & VENTED HOODS. REMOVE CEILING SYSTEM & LIGHT FIXTURES. REMOVE FLOOR TILE & ADHESIVE SYSTEM TO EXISTING CONCRETE SLAB. PREPARE & REPAIR FLOOR TO MATCH EXISTING SALES FLOOR AREA.
- 7 REMOVE ALL MOVEABLE FIXTURES, EQUIPMENT, & FURNISHINGS OF KITCHEN AREA IN THEIR ENTIRETY, INCLUDING ASSOCIATED PLUMBING, ELECTRICAL, & VENTED HOODS. REMOVE CEILING SYSTEM, BULKHEAD, SOFFITS, & LIGHT FIXTURES. REMOVE FLOOR TILE & ASSOCIATED ADHESIVES TO EXISTING CONCRETE SLAB. PREPARE & REPAIR SLAB TO MATCH EXISTING SALES FLOOR AREA.
- 8 COFFEE BAR & BAKERY COUNTER AREA - REMOVE ALL FIXTURES, EQUIPMENT, FURNISHINGS, & MILLWORK IN THEIR ENTIRETY, INCLUDING ASSOCIATED PLUMBING & ELECTRICAL COMPONENTS. REMOVE CEILING BULKHEAD & SOFFIT WITH ALL ASSOCIATED LIGHTING. PREPARE & REPAIR SLAB TO MATCH EXISTING SALES FLOOR AREA.
- 9 REMOVE COLD/HOT BAR FIXTURE INCLUDING OVERHEAD FLOATING CEILING COMPONENT WITH ALL ASSOCIATED ELECTRICAL & PLUMBING. REPAIR SLAB TO MATCH EXISTING SALES FLOOR AREA.
- 10 REMOVE COOLER UNITS IN THEIR ENTIRETY. REPAIR FLOOR TO MATCH EXISTING SALES FLOOR AREA OR AS DIRECTED BY OWNER.
- 11 REMOVE ALL EQUIPMENT, FURNITURE, & SINKS OF FOOD PREP KITCHEN IN THEIR ENTIRETY INCLUDING ASSOCIATED PLUMBING & ELECTRICAL COMPONENTS. REMOVE CEILING SYSTEM & LIGHT FIXTURES. EXTENT OF FLOOR SYSTEM TO BE REMOVED PER OWNER DIRECTION.
- 12 REMOVE ENTIRE CEILING SYSTEMS & ALL IT'S COMPONENTS & LIGHT FIXTURES OF EXISTING KITCHEN(S), FOOD PREP, WASHROOM, & STORAGE/EMPLOYEE ROOM AREAS. PREPARE FOR NEW CEILING & LIGHTING SYSTEM.
- 13 PLUMBING TRENCH - SEE PLUMBING DWG'S FOR EXTENT OF WORK AND DIRECTION.
- 14 TRENCH DRAIN - SEE PLUMBING DWG'S FOR EXTENT OF WORK AND DIRECTION.
- 15 JANITOR CLOSET/CAN WASH - TO BE REMOVED IN IT'S ENTIRETY, INCLUDING WALL PARTITIONING, CEILING, FIXTURES, & ASSOCIATED PLUMBING & ELECTRICAL COMPONENTS.
- 16 RELOCATE EXISTING ELECTRICAL PANEL AND ALL ASSOCIATED ELECTRICAL DEVICES & FEEDS TO NEW LOCATION GRAPHICALLY REPRESENTED ON A-1.3 & E-1.
- 17 RELOCATE EXISTING ELECTRICAL PANEL AND ALL ASSOCIATED ELECTRICAL DEVICES & FEEDS TO NEW LOCATION GRAPHICALLY



7			
6			
5			
4			
3			
2	PERMIT SET	3/20/2014	BTS
1	INCREASED SCOPE	3/1/2014	BTS
	REVISIONS	DATE	BY

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PROJECT ARCHITECT / DESIGNER BRIAN SHEPARD, AIA, NCARB, LEED GA		
DRAWN BY JCC		

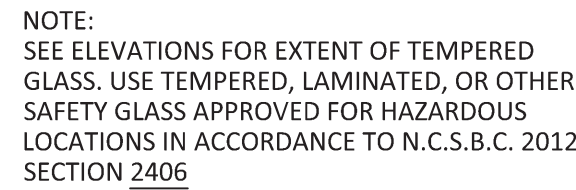
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**WEAVER STREET MARKET
MINOR ALTERATIONS**
101 EAST WEAVER STREET
CARRBORO, NC 27510

DEMOLITION PLAN

PROJECT NO.
14-0010.020
DRAWING NAME:
SHEET NO.
A-1.2



FINISH SCHEDULE					
		ROOM	FLOOR	WALLS	CEILING
F-1	FLOOR- TO MATCH EXISTING SALES FLOOR- EXPOSED CONCRETE	DISHWASH ROOM	F-1	W-2	C-2
F-2	EPOXY FLOOR: MANUFACTURER-STYLE- ; COLOR-				
F-3	EXTERIOR CARPET - TO MATCH EXISTING VESTIBULE	COLD KITCHEN	F-1	W-2	C-2
W-1	GYPSUM BOARD WITH PAINT FINISH TO MATCH EXISTING	HOT KITCHEN	F-1	W-2	C-2
W-2	FRP - FIBER-REINFORCED WALL PANELS ON WALLS (KITCHEN & WET SIDES) - STYLE: ICE TEXTURED FINISH	BREAD SERVICE	F-1	W-2	C-2
		SALES FLOOR	F-1	W-1	NONE
C-1	SUSPENDED WEATHERPROOF CEILING TILES	VESTIBULE	F-3	W-1	C-1
C-2	GASKET SUSPENDED CEILING TILES (SEE NOTE #1)	CAFE SEATING	F-1	W-1	NONE
*BASE MATERIAL & COLOR STYLE TO MATCH EXISTING					

NOTE #1:
2"x2" LAY-IN ACOUSTICAL TILE
MANF: ARMSTRONG
STYLE: SMOOTH
COLOR: WHITE
NOTES: ANTI-MICROBIAL, WITH HIGH SAG
RESISTANCE, WATER -REPELLENT,
WASHABLE TO MEET USDA/FSIS GUIDELINES
FOR FOOD PROCESSING AREAS



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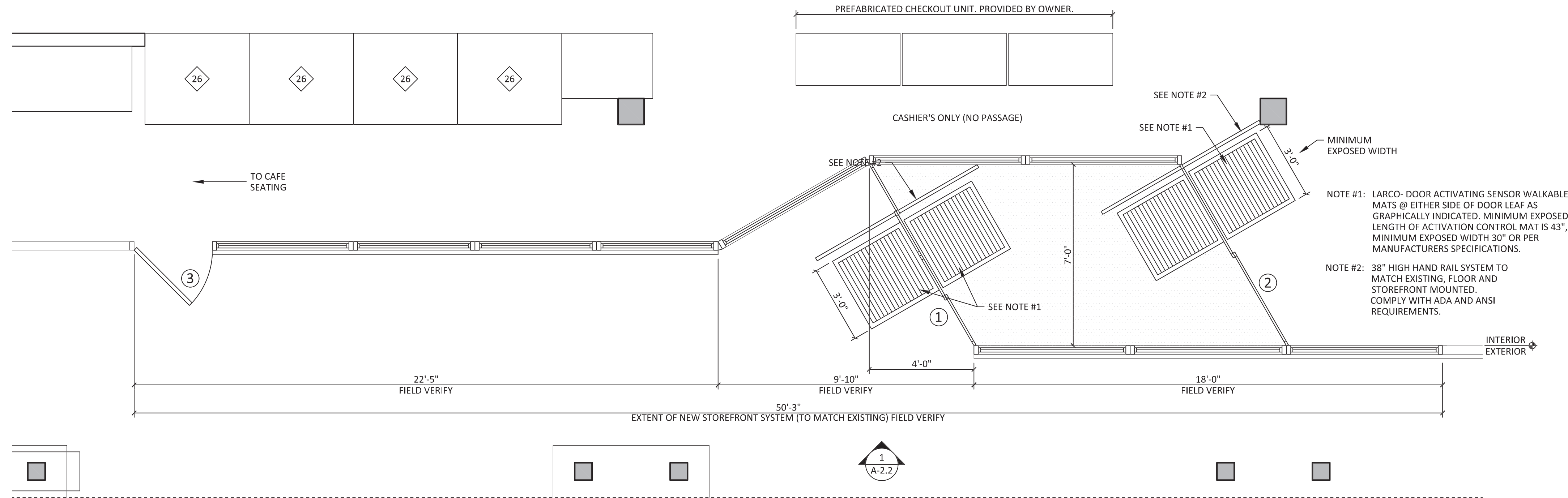
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**WEAVER STREET MARKET
MINOR ALTERATIONS**
101 EAST WEAVER STREET
CARRBORO, NC 27510

NEW WORK FLOOR PLAN

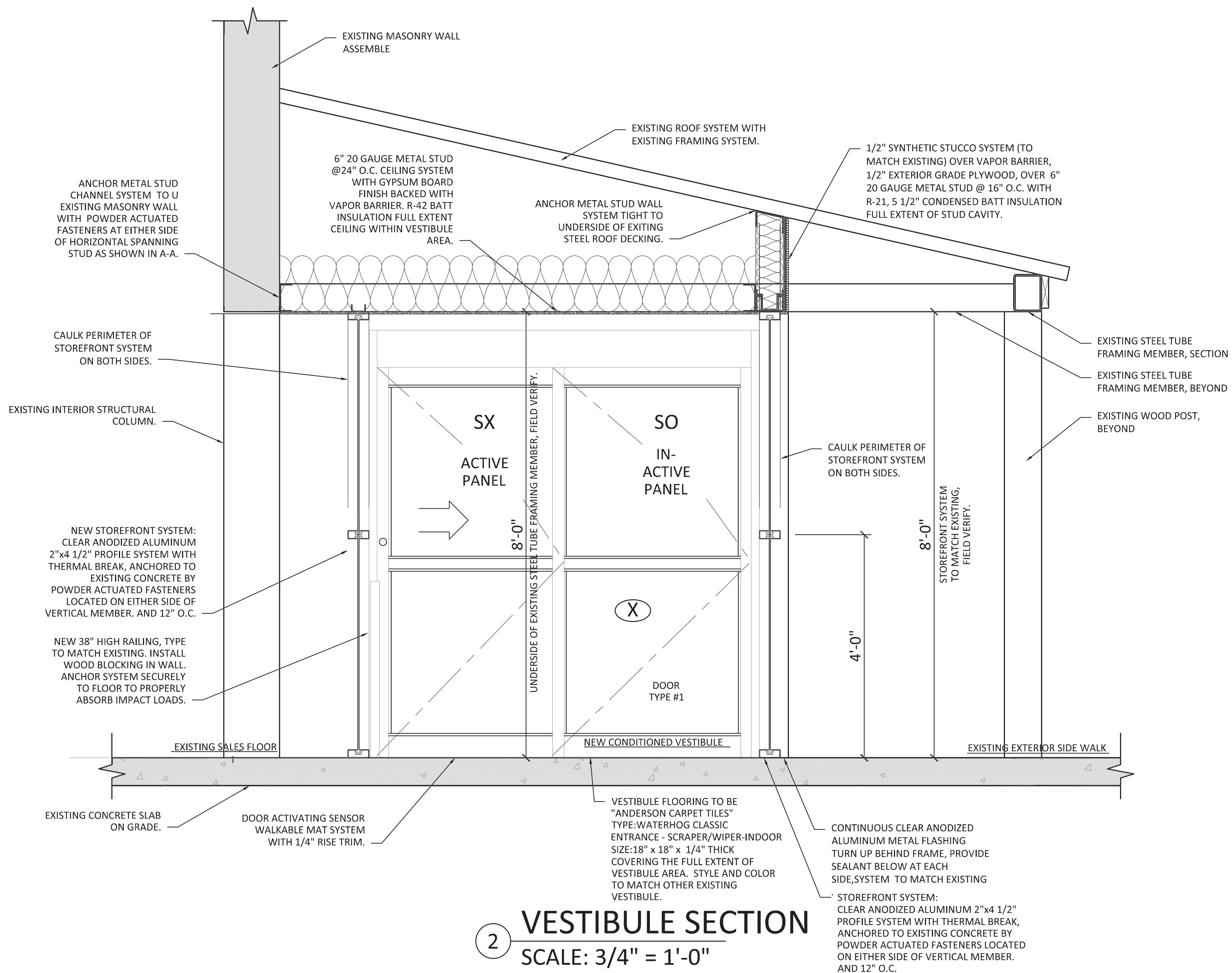
PROJECT NO.
14-0010.020
DRAWING NAME:
SHEET NO.
A-1.3



NOTE:
SEE ELEVATIONS FOR EXTENT OF TEMPERED
GLASS. USE TEMPERED, LAMINATED, OR OTHER
SAFETY GLASS APPROVED FOR HAZARDOUS
LOCATIONS IN ACCORDANCE TO N.C.S.B.C. 2012
SECTION 2406

ENLARGED VESTIBULE PLAN
SCALE: 3/8" = 1'-0"

WALL LEGEND		
WALL NO.	PLAN	NOTES
1		<p>1 6" COLD FORM METAL STUD @ 16" O.C. NON-RATED NON-LOAD BEARING INTERIOR WALL ASSEMBLY</p> <p>1A 6" COLD FORM METAL STUD @ 16" O.C. INSTALL FRP PANEL ON BOTH SIDES WHEN PARTITION SURFACE IS IN KITCHEN OR WET AREA</p>
2		<p>2 NON-RATED NON-LOAD BEARING INTERIOR WALL ASSEMBLY</p> <p>*WALL ASSEMBLY TO BE TIGHT TO UNDERSIDE OF BOTTOM ROOF TRUSS SYSTEM TO TOP OF CONCRETE FLOOR.</p> <p>*USE GREEN-BOARD IN WET LOCATIONS</p>
3		<p>3 NON-RATED NON-LOAD BEARING EXTERIOR WALL ASSEMBLY</p>



2 VESTIBULE SECTION
SCALE: 3/4" = 1'-0"

7	6	5	4	3	2	1
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PERMIT SET						3/20/2014 BJS
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WEAVER STREET MARKET
MINOR ALTERATIONS
101 EAST WEAVER STREET
CARRBORO, NC 27510

ENLARGED VESTIBULE PLAN &
VESTIBULE SECTION

PROJECT NO.
14-0010.020

DRAWING NAME:

SHEET NO.
A-2.1

