



# Town of Carrboro

Town Hall  
301 W. Main St.  
Carrboro, NC 27510

## Meeting Agenda Town Council



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Tuesday, October 26, 2021

7:00 PM

Remote Meeting - View Livestream or Cable TV

18

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### 7:00-7:05

#### A. ROLL CALL

### 7:05-7:15

#### B. POETRY READING, RESOLUTIONS, PROCLAMATIONS, AND ACKNOWLEDGEMENTS

### 7:15-7:20

#### C. ANNOUNCEMENT OF UPCOMING MEETINGS

### 7:20-7:35

#### D. PUBLIC COMMENT

*Comments are limited to three minutes per speaker.*

### 7:35-7:45

#### E. CONSENT AGENDA

1. [21-355](#) Approval of Minutes from the September 28, 2021 Meeting
2. [21-354](#) Affordable Housing Advisory Commission Funding Recommendation

**PURPOSE:** The purpose of this item is for the Town Council to consider approving recommended funding for four nonprofit affordable housing applications to the Affordable Housing Special Revenue Fund.

**Attachments:** [Attachment A - Resolution for AHSRF Awards 10-20-21](#)  
[Attachment B - AHSRF FY22 Budget Summary](#)  
[Attachment C - AHAC Recommendation - AHSRF Oct 1, 2021](#)  
[Attachment D - Funding Request Summaries](#)

**F. OTHER MATTERS****7:45-8:45**

1. [21-344](#) 203 South Greensboro Project Update -Costs, Utilities and Construction Status

**PURPOSE:** The purpose of this item is to provide the Council with an update on the project status including the utility plan and current estimated project costs

**Attachments:** [Attachment A - Public Hearing Comments and responses](#)

[Attachment B - Antenna Update](#)

[Attachment C - Utilites Update](#)

[Attachment D - List of Additional Project Costs](#)

**G. MATTERS BY COUNCIL MEMBERS**



# Town of Carrboro

Town Hall  
301 W. Main St.  
Carrboro, NC 27510

## Agenda Item Abstract

**File Number:**21-355

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**Agenda Date:** 10/26/2021

**File Type:**Agendas

**In Control:** Board of Aldermen

**Version:** 1

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Approval of Minutes from the September 28, 2021 Meeting



# Town of Carrboro

Town Hall  
301 W. Main St.  
Carrboro, NC 27510

## Agenda Item Abstract

**File Number:**21-354

**Agenda Date:** 10/26/2021

**File Type:**Agendas

**In Control:** Board of Aldermen

**Version:** 1

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### TITLE:

Affordable Housing Advisory Commission Funding Recommendation

**PURPOSE:** The purpose of this item is for the Town Council to consider approving recommended funding for four nonprofit affordable housing applications to the Affordable Housing Special Revenue Fund.

**DEPARTMENT:** Housing and Community Services

**CONTACT INFORMATION:** Anne-Marie Vanaman, Housing and Community Services Management Specialist, [amvanaman@townofcarrboro.org](mailto:amvanaman@townofcarrboro.org) <<mailto:amvanaman@townofcarrboro.org>>; Rebecca Buzzard, Housing and Community Services Director, [rbuzzard@townofcarrboro.org](mailto:rbuzzard@townofcarrboro.org) <<mailto:rbuzzard@townofcarrboro.org>>

**INFORMATION:** In the October 1, 2021 application cycle, four (4) requests were received and forwarded to the Affordable Housing Advisory Commission (AHAC) for review. The funding application summaries can be found in Attachment D. The FY21-22 Affordable Housing Special Revenue Fund (AHSRF) budget has a current balance of \$216,106. However, the four requests totaled \$288,140, \$72,034 over the current available budget. Two more application cycles (January 1 and April 1) remain in the fiscal year. The AHSRF budget, reflecting the year-to-date balance and the following recommendation, is provided in Attachment B.

On October 20, 2021, the AHAC heard from the applicants and discussed the requests. They voted to make the following funding recommendations which total **\$159,312**.

**1. Alliance of Aids Services - Recommendation: Fully Fund - \$20,000**

Requested \$20,000 in additional funding for the rehabilitation of 1700 N. Greensboro Street for seven units of permanently supportive housing.

**2. Pee Wee Homes - Recommendation: Partially Fund - \$60,000**

Requested \$100,000 for pre-development and construction costs - three small home units of rental housing for 30% AMI and below.

**3. Rebuilding Together of the Triangle - Recommendation: Fully Fund - \$19,312**

Requested \$19,312 for critical repairs, ADA upgrades, and weatherization for two homes owned by long-time, elderly, and disabled homeowners. These repairs will support homeownership retention and the ability to age in place.

**4. Weaver Community Housing Association (WCHA) - Recommendation: Partially Fund - \$60,000**

Requested \$148,828 for asbestos remediation, flooring replacement, and housing for temporarily



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**Agenda Date:** 10/26/2021

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**Version:** 1

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displaced residents in ten units of the Bolin Creek Co-op. These units are affordable to residents 60% AMI or less.

The full AHAC recommendation is included as Attachment C. Their recommendation includes comments restricting the use of the recommended \$60,000 for Weaver Community Housing Association for asbestos remediation, requesting that the applicant provide additional financial information if they return with a future request, and asking whether the Energy Efficiency Revolving Loan Fund (EERLF) can be used toward the remediation portion of the request.

Housing staff followed up with WCHA to determine if the asbestos remediation work also includes energy efficiency measures, such as improved insulation, and if so, would those measures yield at least 15% energy savings as is required by the EERLF. The applicant stated that the project would not meet EERLF guidelines or address its goals. He added that the \$60,000 would be cost of asbestos removal with no additional work outside the remediation scope.

**FISCAL & STAFF IMPACT:** This recommended funding allocation will be drawn from the Town's Affordable Housing Special Revenue Fund. The recommended funding allocation would leave \$138,820 (\$56,794 AHSRF budget balance, plus \$82,026 payment in lieu) in uncommitted housing funds, with two application cycles remaining.

**RECOMMENDATION:** Staff recommends the Town Council consider the AHAC's funding recommendation. A resolution for approval is provided in Attachment A.

**A RESOLUTION APPROVING GRANT FUNDING FROM THE  
AFFORDABLE HOUSING SPECIAL REVENUE FUND**

October 26, 2021

WHEREAS, the Town Council on, June 27, 2007, by the adoption of resolution no. 244/2006-07 created the Affordable Housing Special Revenue Fund; and

WHEREAS, the creation of the fund is another way in which the Council can advance its goal of increasing and maintaining the stock of affordable housing within the Town and its planning jurisdiction; and

WHEREAS, the Affordable Housing Advisory Commission (AHAC) reviewed four funding applications for the Affordable Housing Special Revenue Fund on October 20, 2021; and

WHEREAS, the AHAC determined that the requests met the criteria set forth in the Affordable Housing Special Revenue Fund; and

WHEREAS, the AHAC made the following funding recommendations:

<b>Alliance of Aids Services - Carolina</b>	<b>\$20,000</b>
<b>Pee Wee Homes</b>	<b>\$60,000</b>
<b>Rebuilding Together of the Triangle</b>	<b>\$19,312</b>
<b>Weaver Community Housing Association</b>	<b>\$60,000</b>

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF CARRBORO:

Section 1. Approves the recommended grant funding activity from the Affordable Housing Special Revenue Fund in FY2020-2021.

Section 2. Authorizes the Town Manager to develop and execute agreements as necessary to carry out the Council's action.

Section 3. This resolution shall become effective upon adoption.

## Current FY22 Affordable Housing Special Revenue Fund Summary

Expense Description	FY 21-22 Budget	FY 21-22 Commitments To Date	Notes
Community Home Trust (CHT) Interlocal Agreement	\$70,582	\$70,582	Interlocal agreement
Home Consortium	\$12,488	\$12,488	Interlocal agreement
OC Partnership to End Homelessness	\$35,202	\$35,202	Interlocal agreement
Affordable Housing Advisory Board	\$500		
Deferred Loan Expense	\$10,000		
Land banking, Acquisition, New Construction	\$100,000	\$1,395	Pee Wee Homes Fee waiver
Critical Home Repair	\$65,000	\$2,752	Hope Renovations
Rental and Utility Deposit Assistance	\$33,258		
Unexpended Reserves	\$11,495		
<b>Total</b>	<b>\$338,525</b>	<b>\$122,419</b>	

*Current AHSRF Balance* \$216,106

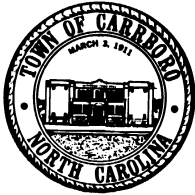
**Plus Payment in Lieu (\$82,026)** **\$298,132**

## October AHSRF Cycle AHAC Recommendation

Recommended Grants	Amount
Alliance of Aids Services	\$20,000
Pee Wee Homes	\$60,000
Rebuilding Together of the Triangle	\$19,312
Weaver Community Housing Association	\$60,000
<b>Total</b>	<b>\$159,312</b>

*If Approved, Balance Remaining* \$56,794

**Balance Remaining Plus Payment in Lieu** **\$138,820**



## TOWN OF CARRBORO

### Affordable Housing Advisory Commission

*301 West Main Street, Carrboro, North Carolina 27510*

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# R E C O M M E N D A T I O N

October 20, 2021

### Affordable Housing Special Revenue Fund Funding Recommendations

Motion was made by Bobby Funk, and seconded by Heather Nash, that the AHAC recommends that the Town Council consider the following funding recommendation:

The AHAC received four applications for funding in the October 1, 2021 funding cycle. With \$216,106 available in the Affordable Housing Special Revenue Fund budget for the current fiscal year (FY 21-22), the AHAC recommends to:

Partially fund the request from Weaver Community Housing for \$ 60,000  
Fully fund the request from Rebuilding Together of the Triangle for \$ 19,312  
Partially fund the request from Pee Wee Homes for \$ 60,000  
Fully fund the request from AIDS Alliance Services-Carolina for \$ 20,000

#### Comments:

1. Pee Wee Homes is encouraged to return in a future cycle for the remaining \$40,000 of their request, if needed.
2. Weaver Community Housing Association: The recommended \$60,000 is restricted for the use of asbestos remediation. The applicant should provide financial analysis of the impact of anticipated refinancing on the project budget, if they return with a future request.
3. Weaver Community Housing Association: Request the Council consider if the Energy Efficiency Revolving Loan Fund can be used toward the remediation portion of the request to offset the recommended \$60,000 of AHSRF funds.

#### VOTE:

YES: (Quinton Harper, Heather Nash, Brandon Tubby, Amy Singleton, Bobby Funk, Lindsay Griffin)

ABSENT/EXCUSED: (Betty Curry)

3. Weaver Community Housing Association: Request the Council consider if the Energy Efficiency Revolving Loan Fund can be used toward the remediation portion of the request to offset the recommended \$60,000 of AHSRF funds.

**VOTE:**

YES: (Quinton Harper, Heather Nash, Brandon Tubby, Amy Singleton, Bobby Funk, Lindsay Griffin)

ABSENT/EXCUSED: (Betty Curry)

NOES: (0)

ABSTENTIONS: (0)

By a unanimous show of hands, the AHAC membership also indicated that no members have any financial interests that would pose a conflict of interest to the adoption of this amendment.



October 22, 2021

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(Chair)

(Date)

## TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

APPLICANT: ALLIANCE OF AIDS SERVICES - CAROLINA

PROJECT TYPE: Rehab

AMOUNT REQUESTED: \$20,000 In January 2021 applicant was awarded \$40,500 and was advised to request additional funds in FY22 if needed.

TOWN AH GOALS ADDRESSED: Goal 2.1 of the Town of Carrboro's affordable housing goals by increasing the number of rental units that are permanently affordable to individuals earning less than 60% of AMI.

PROJECT ADDRESS: 1700 North Greensboro Street, Carrboro

PROJECT SUMMARY:

Alliance of AIDS Services-Carolina (AASC) will rehabilitate the Orange Community Residence (OCR) house, which has been vacant since 2016 and is located at 1700 N Greensboro St., to provide 7 single-resident units of permanent supportive housing, an intervention which provides housing with case management and supportive services for people with disabilities and who may experience chronic homelessness. The rehabilitation project will cost \$250,000.

The house was constructed in 1994 with the help of the community and the Department of Housing and Urban Development. The residence will include 3 offices for case management staff. The units will be supported by Section 8 and HOPWA/Ryan White for people living with HIV funds. The agreement with HUD requires that the residence be used for affordable housing until 2035 and the Alliance intends to keep the affordable housing designation after 2035.

POPULATION SERVED:

TOTAL NUMBER: 7 HOUSEHOLDS

AMI 3 <30% 4 31%-60% \_\_\_\_\_ 61-80% \_\_\_\_\_ 81-100% \_\_\_\_\_ 101-115%

RACE/ETHNICITY \_\_\_\_\_ Asian \_\_\_\_\_ Black \_\_\_\_\_ Hispanic /Latino \_\_\_\_\_ Mixed Race \_\_\_\_\_ Other  
\_\_\_\_\_ White

# OF SENIORS PRESENT/ESTIMATED \_\_\_\_\_

# OF CHILDREN PRESENT/ESTIMATED \_\_\_\_\_

# WITH DISABILITY PRESENT 7

## TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

### ENVIRONMENTAL IMPACT:

Rehabilitating this home, and updating it with energy efficient features and weatherization, will make use of an existing property that has been vacant for six years.

Energy efficiency measures include:

- LED lighting and occupancy sensors in each room.
- Replace windows with low-E windows.
- Update insulation from R-30 to R-38.
- Energy star appliances in the kitchen and laundry room.
- Low flow plumbing fixtures.

ADA/universal designs include:

- ADA compliant countertops in the kitchen, bathrooms, and the laundry room.
- ADA compliant parking and access to the main entrance.
- ADA compliant door hardware, appliances, and plumbing fixtures.
- ADA compliant reach ranges (15" - 48") for all light switches and thermostats.
- ADA compliant turning space in all individual living units.
- ADA compliant turning space in all bathrooms, the kitchen, and the laundry room.
- ADA compliant reach-depths in the kitchen, pantry, and all closets

### FUNDING RECOMMENDATION:

- ☒ FULLY FUND  
☐ PARTIALLY FUND (Can include suggested amount or %) \_\_\_\_\_  
☐ DO NOT FUND

## TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

**APPLICANT:** PEE WEE HOMES

**PROJECT TYPE:** Pre-development costs and new construction of 3 tiny homes for individuals earning 30% or less. The homes will be rental units.

**AMOUNT REQUESTED:** \$100,000 for 3 tiny homes.

**TOWN AH GOALS ADDRESSED:** 2.1 Increase number of rental units that are permanently affordable to individuals and families earning less than 60% AMI.

**PROJECT ADDRESS:** 106 Hill Street – Carrboro, currently a Town-owned lot, to be donated to Pee Wee Homes

**PROJECT SUMMARY:** This project will serve individuals who are either currently experiencing homelessness or who have a history of chronic homelessness with incomes below 30% AMI. The needs of these individuals will be served through the development of rental housing that is available at rates affordable to extremely low-income households. Pee Wee Homes also commits to offering community support for the tenants. While residents for these homes have not yet been selected, we have indicated the demographics of our current homes in the second table below.

**POPULATION SERVED:**

TOTAL NUMBER:

AMI X<30% \_\_\_ 31%-60% \_\_\_ 61-80% \_\_\_ 81-100% \_\_\_ 101-115%

RACE/ETHNICITY \_\_\_ Asian 5 Black \_\_\_ Hispanic/Latino \_\_\_ Mixed Race \_\_\_ Other \_\_\_ White

# OF SENIORS PRESENT/ESTIMATED 2

# OF CHILDREN PRESENT/ESTIMATED \_\_\_

# WITH DISABILITY PRESENT 4

**ENVIRONMENTAL IMPACT:**

**Planned list of energy efficient measures:**

- Lighting Fixtures – all LED fixtures
- Envelope Improvements
  - Air seal attics, crawlspace, sill/top plate; all windows, doors, etc.
  - Insulation: attic (R-40);
  - Crawlspace sealed with conditioned air provided- for applicable split-level unit



## TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

- Appliances – Energy Star Qualified Units
- Windows, Doors – Energy Star Qualified
- HVAC
  - Programmable Thermostat
  - Ductwork Improvements (with applicable unit)– sealing, use of high-efficiency mini-split for remaining units.
  - Energy Star Qualified Unit, 14 SEER
- Plumbing
  - Water Sense toilets
  - Energy Star water heater

\*\*\***Renewable Energy Potential**- the south facing roofs in this project would be perfect for solar panels. Pee Wee Homes will actively solicit donated solar panels to install for energy efficiency, and cost-effectiveness for our tenants.

### FUNDING RECOMMENDATION:

- ☐ FULLY FUND
- ☒ PARTIALLY FUND (Can include suggested amount or %) \$60,000
- ☐ DO NOT FUND

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

APPLICANT: REBUILDING TOGETHER OF THE TRIANLGE

PROJECT TYPE: Rehab/Repair, Age in Place conversions, Weatherization

AMOUNT REQUESTED: \$19,312 for two homes.

TOWN AH GOALS ADDRESSED: 1.3 A2. Grants for critical home repairs, energy efficiency, up fits to accommodate changing mobility, etc. +opportunities to decrease utility payments.

PROJECT ADDRESS: Roberts Street and King Street – Carrboro

PROJECT SUMMARY: Robert St. - Roof and gutter replacement, ADA conversion in bathroom, repairs and weatherization. King St. - Gutter replacement, electrical, ADA improvements, weatherization. These repairs and modifications will allow two elder and longtime homeowners remain in their home.

POPULATION SERVED:

TOTAL NUMBER: **2**

AMI \_\_\_<30% **X** 31%-60% \_\_\_ 61-80% \_\_\_ 81-100% \_\_\_ 101-115%

RACE/ETHNICITY \_\_\_ Asian **2** Black \_\_\_ Hispanic/Latino \_\_\_ Mixed Race \_\_\_ Other \_\_\_ White

# OF SENIORS PRESENT/ESTIMATED **2**

# OF CHILDREN PRESENT/ESTIMATED \_\_\_

# WITH DISABILITY PRESENT **2**

ENVIRONMENTAL IMPACT:

Both homes will be weatherized in the crawl space and attic.

FUNDING RECOMMENDATION:

- ☒ FULLY FUND  
☐ PARTIALLY FUND (Can include suggested amount or %) \_\_\_\_\_  
☐ DO NOT FUND

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

APPLICANT: WEAVER COMMUNITY HOUSING

PROJECT TYPE: Rehab/Repair

AMOUNT REQUESTED: \$148,828 – full cost of the project.

TOWN AH GOALS ADDRESSED: 1.3 A2. Grants for critical home repairs, energy efficiency, up fits to accommodate changing mobility, etc. +opportunities to decrease utility payments.

PROJECT ADDRESS: 100 and 102 Crest St. – Carrboro

PROJECT SUMMARY: In order to refinance their mortgage to fund needed repairs and upgrades to both Bolin Creek Cooperative and Cedar Rock Cooperative, Weaver Community Housing must remediate asbestos found in the popcorn ceilings at the Bolin Creek Coop before the bank will refinance.

Additional expenses include: ceiling repair and painting, replace bamboo flooring in all units, temporary housing for residents while work is performed, POD storage units for their belongings, and a project manager to oversee the project.

POPULATION SERVED:

TOTAL NUMBER: 19

AMI 12 <30% 7 31%-60% \_\_\_\_ 61-80% \_\_\_\_ 81-100% \_\_\_\_ 101-115%

RACE/ETHNICITY \_\_\_\_ Asian 2 Black 3 Hispanic/Latino 2 Mixed Race 1 Other 13 White

# OF SENIORS PRESENT/ESTIMATED \_\_\_\_

# OF CHILDREN PRESENT/ESTIMATED 7

# WITH DISABILITY PRESENT 2

ENVIRONMENTAL IMPACT:

Asbestos will be removed from 10 units.

FUNDING RECOMMENDATION:

☐ FULLY FUND

☒ PARTIALLY FUND (Can include suggested amount or %) \$60,000

☐ DO NOT FUND

***Town of Carrboro  
Affordable Housing Revenue Fund***

***Funding Application Submitted By:***

The Alliance of AIDS Services - Carolina  
A 501(c)(3) Non-profit Organization  
TIN: 56-2158082

***September 26, 2021***

**Town of Carrboro**  
**Affordable Housing Revenue Fund**

The Alliance of AIDS Services – Carolina

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  - Supportive Services
  - Performance Measures
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- Attachment 4. Site Details
- Attachment 5. Marketing and Renter Identification
- Attachment 6. Project Budget
- Attachment 7. Organizational Overview
- Attachment 8. Organization Track Record and Community Support

**III. Required Documents**

- Board of Directors List
- Current Bylaws
- Articles of Incorporation
- IRS tax determination letter [501(c)(3)]
- Most recent independent audit (2020)

# FUNDING APPLICATION

DATE:

## Section 1: APPLICANT AND PROJECT OVERVIEW

### A. Applicant Information

Applicant/Organization's Legal Name: \_\_\_\_\_

Primary Contact Person and Title: \_\_\_\_\_

Applicant/Organization's Physical Address: \_\_\_\_\_

Applicant/Organization's Mailing Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

### B. Project Information

Project Name: \_\_\_\_\_

Total Project Cost: \_\_\_\_\_

Total Amount of Funds Requested: \_\_\_\_\_

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.):

**To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.**

Signature: Melissa Hawthorne-Derus \_\_\_\_\_

Executive Director or other Authorized Signatory

Date

## Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the "who," "what," "when," and "where" questions about your project). **Do not assume the reader knows anything about the project.**

### A. "Who"

1. Who is the target population to be served and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

2. Please indicate the income of the beneficiaries (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI		
31%-60% of AMI		
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
TOTAL		

Income Group	Seniors (age 62+)	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI									
31%-60% of AMI									
61-80% of AMI									
81-100% of AMI									
101-115% of AMI									
TOTAL									

3. **Project Staff.** Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

## **B. "What"**

**1. Type of Activity.** Please check the category under which your project falls.

- ☐ Acquisition
- ☐ Pre-development costs
- ☐ Rental subsidy
- ☐ Ownership subsidy
- ☐ New construction for homeownership
- ☐ New construction for rental
- ☐ Rehabilitation for owner-occupied or rental (including urgent repairs - see \*)
- ☐ Land banking
- ☐ Grant to land trust
- ☐ Foreclosure assistance
- ☐ Other (specify): \_\_\_\_\_

*\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.*

**2. Project Description.** Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

SEE ATTACHMENT 1. PROJECT DESCRIPTION

## **C. "Where"**

**1. Project Location.** Please be as specific as possible.

**2. Project Size (if applicable).** Please provide the size of development site: \_\_\_\_\_ acres

Please attach the following: SEE ATTACHMENT 2. SITE MAPS

- ☐ Site map showing lot boundaries, locations of structure(s), and other site features
- ☐ General location map (at least ½ mile radius)

## **D. "When"**

☐ Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.) SEE ATTACHMENT 3. TIMELINE

## **E. Project Details**

If the questions below are not applicable or the requested information is not currently available, please insert N/A. N/A

**1. Property Acquisition.**

- a. Has your agency acquired real property in order to carry out the project, or is property acquisition planned? \_\_\_\_\_



- b. Is the property currently occupied? If so, attach a description of your plan to relocate.
- c. Please attach an appraisal of the property. N/A

## 2. Construction/Rehabilitation Detail.

- a. How many units will be newly constructed?
- b. How many units will be rehabilitated?
- c. What is the square footage of each unit?
- d. What is the number of bedrooms in each unit?
- e. What is the number of bathrooms in each unit?
- f. How many units will have full ADA accessibility?
- g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?
- h. Please attach the following: SEE ATTACHMENT 4. SITE DETAILS
  - ☐ Floor plan(s)
  - ☐ Elevation(s)
  - ☐ List of Energy Efficiency measures included in the project (if applicable)
  - ☐ List of Universal Design principles included in the project (if applicable)

## 3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:
- b. What are the proposed rents (including utility costs) or sales prices for completed units?
- c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:
- d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.
- e. What supportive services, if any, will be provided through this project?

### Section 3: PERFORMANCE MEASUREMENTS

#### A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI.</i>

#### B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

### Section 4: PROJECT BUDGET AND PRO-FORMA

#### A. Project Budget

☐ Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted. SEE ATTACHEMENT 6: PROJECT BUDGET

☐ Has an appraisal been conducted? If so, please attach.

*No, an appraisal hasn't been conducted.*

#### B. Terms of Project Funding

Please specify the type of funding request for which you are applying:

☐ Grant      ☐ Loan

#### C. Pro-forma (for rental property only)    N/A

☐ If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

## Section 5: ORGANIZATION DESCRIPTION

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

### **A. Organization**

What is your organization's . . .

1. Mission statement?
2. Incorporation date (Month and Year)?
3. Estimated Total Agency Budget for this fiscal year? \$
4. Total number of agency staff (full time equivalents):

### **B. Organization Track Record and Community Support**

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project
2. Involvement of intended beneficiaries of the project in the planning process
3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables
4. Collaborative relationships with other agencies
5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive
6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).

## Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES ☐ NO ☐

b) Members of or closely related to members of the governing bodies of Carrboro?

YES ☐ NO ☐

c) Current beneficiaries of the project/program for which funds are requested?

YES ☐ NO ☐

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES ☐ NO ☐

If you have answered YES to any question, please explain below. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an undisclosed conflict may result in the termination of any grant awarded.

## **SUPPORT DOCUMENTATION**

## ATTACHMENT ONE: PROJECT DESCRIPTION

### *Property Overview:*

**WHO/WHAT:** Vj g'Cmkepeg'qh'CKF U'Ugtxkegu'Ectqrkpc'\*CCU/E+'r tqr qugu'yj g'tgf gxgrqr o gpv' qh'yj g'Qtcpi g'Ego o wplv' 'Tgukf gpeg'cu'c'r gto cpgpv'uw r qt'v'xg'j qwulpi 'uksg'hqt'kpf kxkf wenu'y kj " f kucdkkxgu0Tgqr gplpi 'QET'crki pu'y kj 'yj g'Vqy p'qh'Ecttdqtq'u'Chhqtfcdr'J qwulpi 'I qcn'vq' kpetgcug'yj g'pwo dgt'qh'j qwulpi 'wplku'hqt'hqy 'cpf 'gzv'tgo gr' 'h'y /kpego g'r gtuqpu0Vj g'j qo g'y km' cf f 'ugxgp'wplku'qh'r gto cpgpv'uw r qt'v'xg'j qwulpi 'vq'yj g'Vqy p'u'lpxgpvqt { . 'cpf 'o qtg'ko r qtcv'p'v' . " k'y km'r tqxkf g'uchg. 'f gegpv'cpf 'chhqtfcdr'j qwulpi 'cpf 'uw r qt'v'ugtxkegu'vq'r gqr ng'yj cv'pggf 'k'yj g" o quv0

**WHERE:** The Orange Community Residence (OCR), located at 1700 N Greensboro St., Carrboro, NC, was constructed in 1994 with the help of the community and the Department of Housing and Urban Development. Strategically located in Carrboro NC, the Orange Community Residence is approximately 3,200 sq ft., which encompasses 7-single resident units, three shared bathrooms, and several common spaces, including an eat-in kitchen, living room, and a shared laundry room. There are 3 offices, two are larger staff offices and the other is a smaller space that could be used for for client services such as case management, counseling, or skills-building sessions. There is a large, shaded backyard that is well-suited for outdoor recreation, gardening, and social gatherings. (See SITE MAPS)

### **PROJECT STAFF**

#### **Melissa Haithcox-Dennis, Executive Director and OCR Project Director**

More than 20 years of effective non-profit fundraising, program development, and project management experience. Prior TA provider for developing affordable housing for HOPWA and McKinney Vento funding recipients. Experienced property manager and

#### **Stephanie Bryant, Associate Director of Care and Support**

More than 20 years of supportive housing operations management, housing case management, and support programming provider. Experienced with Section 8, Ryan White, STRUM, Housing Choice Vouchers, income eligibility verification, and HUD's regulations.

#### **Linwood Johnson, Linwood Bookkeeping, Bookkeeper for The Alliance**

#### **Marques Moore, Principal Architect**

Extensive architectural experience (<https://www.linkedin.com/in/marques-m-6b409023>)

#### **Tyrone Harmon, Construction Project Director**

Extensive experience with housing construction and rehabilitation project management ([https://www.linkedin.com/in/tyrone-harmon-4b85b236?trk=people-guest\\_people\\_search-card](https://www.linkedin.com/in/tyrone-harmon-4b85b236?trk=people-guest_people_search-card))

### ***Service Delivery***

The Orange Community Residence will provide a safe, affordable home for individuals that are living with a disability and who have very low incomes. Residents of the Orange Community Residence will live in a community with full access to services and programs that will meet their specific needs, while encouraging independence and growth. The project will offer different levels of support, depending on the service needs of the individual. Residents will have the time and space to re-group and revive and move onto thrive in a supportive and engaging environment. OCR offers several conveniences such as full-service, on-site cooking and laundry facilities, easy access to public transportation, as well as recreation and social activities. Services will be a coordinated effort that fosters trust, a sense of belonging and a high-level of care and dignity. The sponsor, property management staff, on-site service staff, and residents themselves will work collaboratively to promote a healthy, safe, and up-lifting living environment.

### ***Role and Responsibilities***

The Alliance of AIDS Services – Carolina will be responsible for the design and implementation of OCR's supportive services program. The **Associate Director of Housing** will identify and case management partners and create the structure for the on-site social service team. The Associate Director will ensure that OCR is a supportive environment where support staff work collaboratively with help them to sustain their independence and housing. The Alliance will also ensure that all services are culturally appropriate and sensitive to the special needs of all residents. The Associate Director will also be responsible for oversight of all OCR programs, providing guidance for service delivery, and supervising the on-site ***Resident Service Coordinator***.

The Alliance will hire a full-time **Resident Services Coordinator** who will provide direct (but generalized) services to residents, including:

- Resident tours and orientation, move-in processing, brief assessment of resident interest in upcoming programming.
- Scheduling for the resident to meet with a case manager for the initial resident intake and assessment
- Providing **general** information and general referrals to resources (bus stops, local grocery stores...)
- Coordinating on-site recreational, social and community-building activities; support groups; and educational opportunities such as computer classes, speakers, etc.
- Actively engaging residents and encouraging their active participation in social and educational opportunities.
- Managing routine maintenance, site-specific repairs and resident room repairs.

### ***Partnering Service Providers***

OCR will operate under The Alliance's philosophy of nonjudgmental, culturally appropriate compassionate care for everyone so that residents can focus on attaining their full potential and maximizing their ability to live independently. Of equal importance, are the philosophies of our partners which align with ours to provide culturally competent individualized services designed to help residents meet their own goals for self-sufficiency and self-determination. The Alliance will partner with two medical/healthcare providers and two supportive service providers.

**Health Care Providers:** [UNC-Chapel Hill](#) and [Duke University's](#) along with an array of private and public health care clinics and providers the primary sources of medical care and other healthcare services.

**Case Management Provider:** The Alliance hasn't identified our case management partners at this time; however, we anticipate our partner will provide the following services and staff.

#### One Support Services Manager

This position will develop the resident services program, in conjunction with The Alliance's Associate Director of Housing and Resident Services Coordinator. The position will supervise two on-site case managers; communicate and coordinate additional services with other partner organizations; stay abreast of current programs and resources; carry out goals and direction as approved by The Alliance. Also responsible for, under the direction of The Alliance and the supervision of US Housing Incorporation (third-party agent) collect and track client data as needed to satisfy HUD requirements and to generate outcome data for the purpose of program evaluation.

#### Two Case Managers

Responsible for providing case management services to residents. Duties include outreach and engagement; needs assessment; case management; developing and implementing client goal plans; coordinating services; problem solving and making service referrals. Duties will also include some needs assessment; case management, developing and implementing client goal plans, coordinating services, problem solving and making service referrals. Both positions will be on-site, however, one will be full-time and the other part-time. on-site position.

Specific Services will include:

- Developing self-directed goal plans to help resident address any present issues and to maximize their independence and self-sufficiency.
- Assisting residents in applying for entitlement programs general assistance, supplemental security income, and employment opportunities.
- Supporting the development of life skills, such as housekeeping, budgeting and shopping, etc.
- Coordinating vocational, mental health and access to external therapeutic support groups such as Alcoholics Anonymous and groups dedicated to emotional, physical, and spiritual wellbeing.
- Providing advocacy and serve as a liaison for residents with service agencies and providers.



## SUPPORTIVE SERVICES

The Alliance’s staff possesses a high-level of expertise in determining and meeting the needs with disabilities. We reviewed multiple resources that identified projects that served similar populations for the Orange Community Residence. We also consulted with experts in the field of supportive housing to develop the following “menu” of expected service needs for our project.

POPULATION	SERVICES
All residents	Intake and assessment, local information and referrals, site and local community activities (recreational, social activities, transportation...) on-site hobby groups, educational or other enriching opportunities Crisis intervention and emergency procedures.
All residents	<b>Medical</b> Development of individualized service planning and goal setting for health/medical needs. Skills and knowledge to support healthy eating, medication management. Coordination of transportation for medical care. Assistance with accessing other low-cost or free medical services (dentist...)
All residents	<b>Independent Living</b> Development of individualized service planning and goal setting, 1-1 education on finances, stress management, conflict resolution, counseling and support, coordination of services and assistance with accessing community-based resources to build self-efficacy and independence. <i>*We will emphasize HUD’s “<a href="#">Moving On</a>” services to, “support the long-term growth, recovery, and independence of program participants, especially those demonstrating promise or show interest in moving on from supportive housing.”</i>
All residents (as needed)	<b>Social Support</b> Case management and referrals to counseling and other community support as appropriate. Case management includes individualized service planning and goal setting, counseling and support, coordination of services to reduce isolation and stigma.
All residents	<b>Vocational/Educational/Employment</b> Service coordination on employment/vocation training services/education and job-finding resources. Help with resume writing, interviewing and developing “soft-skills” for employment success. Service coordination includes information and referral, with some follow through to help residents access needed services.

## PERFORMANCE MEASUREMENTS

### A. Goals and Objectives

<i>Goal/Objective</i>	<i>Measurement</i>
To provide housing for low-income households.	By 3/31/2022, rehabilitate seven units that are affordable to households earning between 30%- 60% AMI.

### B. Alignment with Town Goals and Adopted Affordable Housing Strategies

The proposed project aligns with the Town of Carrboro's Affordable Housing Goal 2 to ***“increase the number of rental units that are permanently affordable to individuals and families earning less than 60% or less of AMI.”*** More specifically, the project will add **seven** (7) rental units *“that are permanently affordable to individuals earning less than 60% or less of AMI.”*

To achieve this goal, The Alliance will implement several ***affordable housing strategies***, including, but not limited to, the following:

- Work with the Town of Carrboro and Orange County and the University to reserve and rehabilitate one HUD-restricted rental community.
- Strengthen existing and build new community partnerships.
- Cultivate relationships with key gatekeepers and community stakeholders.
- Participate in community and governmental workgroups and community coalitions.
- Collaborate with affordable rental housing owners and developers.

## ATTACHMENT TWO: WHERE: SITE MAPS

**ORANGE COUNTY | NORTH CAROLINA**

**ARIES**

**1700 N GREENSBORO ST  
CARRBORO, 27510**

Enter your Street Address

**Property**

**Zoom to Parcel**

**Ownership Information**

Owner: ORANGE COMMUNITY RESIDENCE INC  
 Owner:  
 Mailing Address: 1637 OLD LOUISBURG RD RALEIGH NC 27604

**Community Information**

Township: CHAPEL HILL  
 Subdivision: QUARTERPATH TRACE  
 School System: Chapel Hill/Carrboro Schools

**Legal Records**

PIN: 9779408292  
 Legal Desc: #2 ANNIE LEE MOORE P33/129  
 Size: 0.64  
 Deed Ref: 1254/146  
 Ratecode: 21

**Appraisal Information**

Valuation: \$404,100.00  
 Land Value: \$106,600.00  
 Bldg Value: \$297,500.00

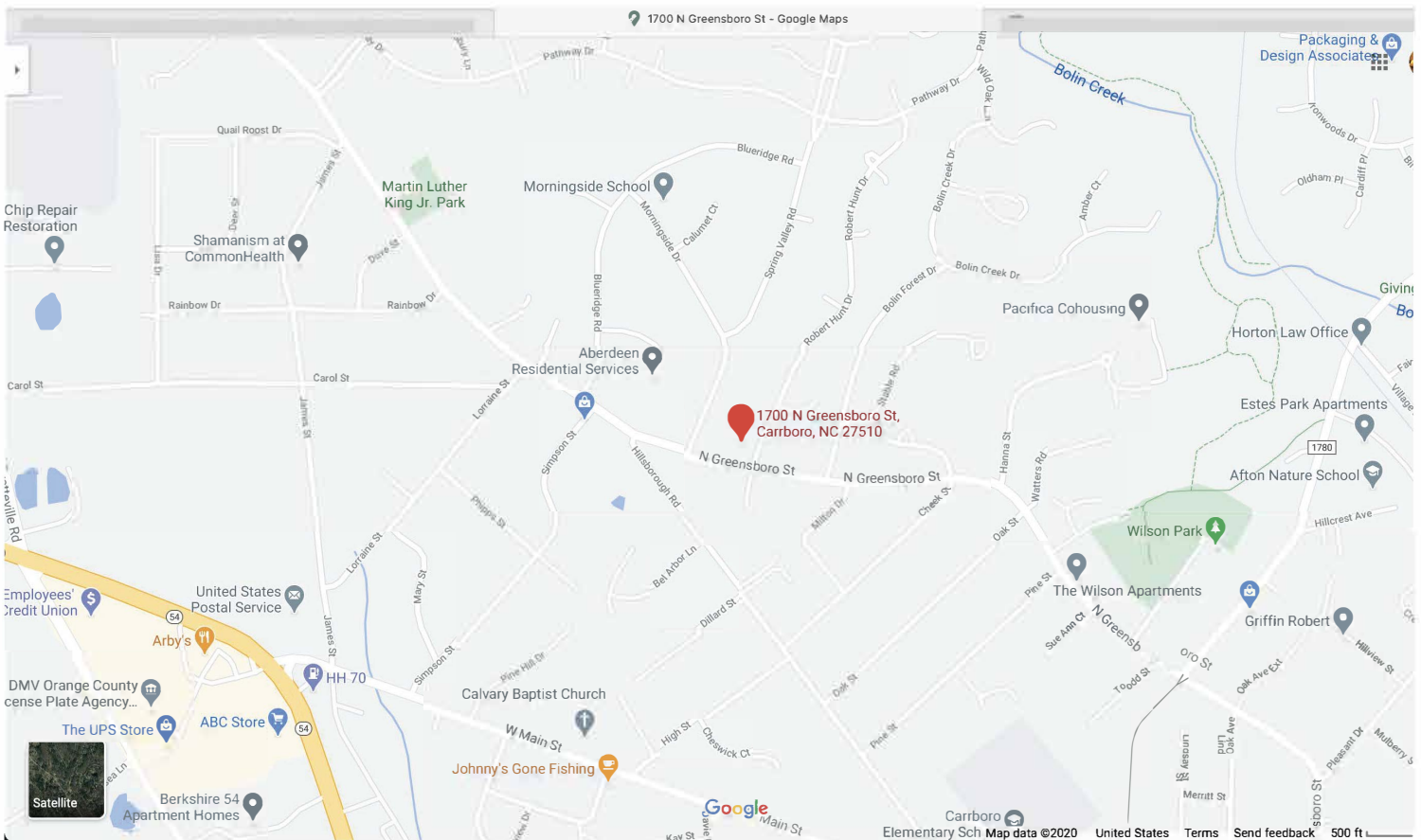
**Latest Sale Information**

Date Sold: 6/3/1994  
 Sale Price: \$40,008.00

**Building Information**

Year Built: 1994

[Orange County Homepage](#)
[Aries Home Page](#)



### ATTACHMENT THREE: PROJECT TIMELINE

#### Construction

MAJOR ACTIVITIES	12-Month Timeline (4-1-21 to 3-31-2022)											
	4/21	5/21	6/21	7/21	8/21	9/21	10/21	11/21	12/21	1/22	2/22	3/22
Required OCR document revisions for HUD	X	X	X									
Orange County stakeholder meetings/grant applications/vetting of contractors	X	X	X									
Revised architecture drawings (6/2021)			X									
Revised construction contract (7/2021)				X								
Demolition/site preparation (8/2021)					X	X						
Fire Marshall inspection (9/2021)							X					
Rehabilitation (painting, drywall, flooring, lighting, cabinets, fixtures, windows...)					X	X	X	X				
Required construction permitting					X	X	X	X				
Construction/mechanical work								X	X			
Required construction/mechanical inspections								X	X	X		
ADA parking and ramp install								X	X	X		
Appliance and furniture install										X	X	
Final cleaning and walkthrough										X	X	
Lease up- minimum of 80% occupancy											X	X

Completed

## **ATTACHMENT FOUR: CONSTRUCTION/REHABILITATION DETAIL**

### **SEE CONSTRUCTION/REHABILITATION DETAIL:**

- **Floor plan(s)**
- **Elevation(s)**

### **Energy Efficiency Principles**

LED lighting, occupancy sensors in rooms – LED lighting included  
Replace windows with new low-E windows - included  
Update insulation if needed in attic from R-30 to R-38  
Energy star appliances  
Updating of mechanical equipment  
Low flow plumbing fixtures - included

### **Universal Design – included scopes of work based on design drawings ADA**

height countertops  
ADA compliant parking and access to main entrance  
ADA compliant door hardware  
ADA compliant appliances  
ADA compliant plumbing fixtures  
Lighting and thermostats installed at reach range of 15” – 48”  
Pantry and closets meeting turn around or reach depth requirements

### **Extended life Materials**

Tile in bathrooms - included  
Solid surface countertops - included  
Commercial style doors and hardware - included

### **Long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:**

HUD requires that the house be used for affordable housing for the next 15 years, and The Alliance is committed to retaining the home for affordable housing indefinitely.



# AIA<sup>®</sup> Document A105<sup>™</sup> – 2017

## Standard Short Form of Agreement Between Owner and Contractor

**AGREEMENT** made as of the Twenty-third day of July in the year Two Thousand Twenty-one  
(In words, indicate day, month and year.)

**BETWEEN** the Owner:  
(Name, legal status, address and other information)

Orange Community Residence, Inc.,  
C/O Alliance of AIDS Services – Carolina  
1700 North Greensboro Street  
Carrboro, NC 27510

and the Contractor:  
(Name, legal status, address and other information)

Harmon Construction Services, LLC  
10926 Quality Drive  
P.O. Box 38750  
Charlotte, NC 28278

for the following Project:  
(Name, location and detailed description)

Orange Community Residence, Inc.,  
C/O Alliance of AIDS Services – Carolina  
Carrboro, NC  
Office Renovation

The Architect:  
(Name, legal status, address and other information)

Moore Architecture  
7725 Rathlin Court  
Charlotte, NC 28270

The Owner and Contractor agree as follows.

### ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Init.

/

## ***Certification of Document's Authenticity***

### ***AIA® Document D401™ – 2003***

I, Tyrone Harmon, hereby certify, to the best of my knowledge, information and belief, that I created the attached final document simultaneously with its associated Additions and Deletions Report and this certification at 04:25:56 ET on 08/03/2021 under Order No. 9222362248 from AIA Contract Documents software and that in preparing the attached final document I made no changes to the original text of AIA® Document A105™ – 2017, Standard Short Form of Agreement Between Owner and Contractor, as published by the AIA in its software, other than those additions and deletions shown in the associated Additions and Deletions Report.

DocuSigned by:

*Tyrone Harmon*  
1DF8C8FEF23446F...  
(Signed)

\_\_\_\_\_  
President

(Title)

\_\_\_\_\_  
8/3/2021

(Dated)



Alliance of AIDS Services  
1700 North Greensboro Street, Carrboro, NC

REVISED 7-7-21

MELISSA HAITHCOX-DENNIS | CARRBORO, NC

General Information

Architect:  
Existing Square Footage7,200  
Added Square Footage  
Site Acres

Estimate Summary					Cost / SF: \$36	
DIVISION COST CODE	DIVISION # CSI CODE	DESCRIPTION	L M S	P E	BASE BID	NOTES
DIVISION	1	GENERAL REQUIREMENTS				
		GENERAL CONDITIONS			\$ 9,720	INCLUDES PERMIT COST
		JOBSITE EQUIPMENT			\$ 5,450	
		SITE PERSONNEL			\$ 18,384	
DIVISION	2	DEMOLITION/SITE				
		TREE REMOVAL			\$ 2,500	
		GRADING FOR PARKING & ADA SIDEWALK			\$ 4,200	
		ADA SIGNAGE			\$ 800	
		SAW CUT FLOOR IN LAUNDRY ROOM & BATHROOMS			\$ 2,000	
		INTERIOR DEMOLITION			\$ 10,340	
DIVISION	3	CONCRETE				
		POUR BACK SLAB AT BATHROOMS & LAUNDRY ROOM			\$ 2,600	
		ADA PARKING SPACE AND SIDEWALK			\$ 3,444	
DIVISION	4	MASONRY				
DIVISION	5	STEEL				
DIVISION	6	FRAMING				
		REFRAME BD#1 & BD#2. PANTRY, BLOCKING			\$ 3,200	
		CABINET ALLOWANCE			\$ 12,600	\$8,600 MATERIAL ALLOWANCE
		COUNTERTOP ALLOWANCE - QUARTZ			\$ 4,995	
		INTERIOR TRIM			\$ 1,621	
		EXTERIOR POST WRAP			\$ 1,576	
DIVISION	7	THERMAL PROTECTION				
		ROOF REPLACEMENT			\$ 15,800	
DIVISION	8	DOORS & WINDOWS				
		DOOR HARDWARE			INCL.	
		EXTERIOR WINDOW REPLACEMENT			\$ 11,100	
		NEW DOORS (KITCHEN, LAUNDRY ROOM, BATHROOM #2, BR #1 & 2 CLOSETS)			\$ 10,175	
DIVISION	9	FINISHES				
		DRYWALL			\$ 5,879	
		PAINT			\$ 21,600	
		TILE FLOOR IN SHOWERS, COMMON BATHROOMS, LAUNDRY ROOM, KITCHEN WORK STATIONS			\$ 9,964	
DIVISION	10	ACCESSORIES				
		MIRRORS			\$ 6,678	
		GRAB BARS			INCL.	
		TOILET ACCESSORIES			INCL.	
		ADA SIGNAGE			INCL.	
DIVISION	11	SPECIALTIES				
		APPLIANCES			\$ 7,772	
DIVISION	15	PLUMBING & HVAC				
		PLUMBING			\$ 13,500	
		PLUMBING FIXTURE ALLOWANCE			\$ 8,600	
		HVAC REPAIR ALLOWANCE			\$ 20,500	
		TANKLESS WATERHEATER			\$ 4,200	
DIVISION	16	ELECTRICAL				
		ELECTRICAL ALLOWANCE			\$ 10,599	
		LIGHTING ALLOWANCE			\$ 3,000	
COST OF WORK					\$ 232,797	
BUILDERS RISK INSURANCE					0.40% \$ 931	
GENERAL LIABILITY INSURANCE					0.82% \$ 1,909	
SUBTOTAL					\$ 235,637	
BASE BID OVERHEAD & PROFIT					8.00% \$ 18,851	
CONTINGENCY					\$ 5,000	
TOTAL COST					\$ 259,488	



July 7, 2021 REVISED

**CLARIFICATIONS & EXCLUSIONS**  
**Alliance of AIDS Services**  
**1700 North Greensboro Street, Carrboro, NC 27510**  
**Pricing**

**Division 1**

1. Building permit fees included.
2. Owner to provide power and water needed to complete project.
3. Estimated time to complete project is 2.5 months.
4. Proposal based on drawings by Moore Architecture dated 6-23-21.
5. Dumpsters throughout construction.

**Division 2**

1. Interior demolition per plans.
  - a. Existing flooring to remain except in laundry room and common bathrooms.
  - b. Demo hallway closet, pantry closet at kitchen and enclose for larger closets in bedrooms. Replace flooring in closets with transition strip. New flooring will not match existing flooring, HCS will review with owner and find closest option to match.  
Scope to be applied to contingency.
2. Tree removal at top of hill for new ADA parking space.
3. Grading at hill for sidewalk and ADA parking space.
4. ADA parking sign.
5. Saw cut floor in laundry room.

**Division 3**

1. Concrete pour back plumbing drain relocation.
2. Concrete for ADA parking space and ADA compliant sidewalk. If sidewalk exceeds 5%, will require handrails. Not included in price.

**Division 4****Division 5****Division 6**

1. Reframe bedroom #1 & #2 closets to enlarge size per discussion with owner.
2. Reframe pantry to increase size per request of owner.
3. Wall blocking for wall hung sinks and ADA grab bars.
4. ADA cabinet material allowance for kitchen and bathrooms \$8,600.
5. Quartz countertop allowance (3 cm in kitchen, and 2 cm in bathrooms) \$4,995.
6. Interior trim includes new trim at windows.
7. New cedar wrap around (2) columns at front entrance.

**Division 7**

1. Roof replacement with architectural shingles.

**Division 8**

1. New ADA compliance door hardware where specified.

2. Includes hollow metal door frames, birch doors, with hardware at laundry room and common bathroom #2.
3. New birch doors and hardware at all bedrooms.
4. New residential style doors at pantry and closets for bedrooms #1 & #2.
5. New kitchen door and hardware, frame to stay in place.
6. Exterior window replacement with vinyl single-hung replacement windows.

## Division 9

1. New moisture resistant drywall at bathrooms behind shower.
2. Drywall point-up throughout facility.
3. Paint all walls and ceiling.
4. Sand and paint existing doors and frames.
5. Paint all interior trim.
6. New tile flooring in laundry room, common bathrooms, shower floors, and ADA workstations in kitchen.

## Division 10

1. Bathroom mirrors.
2. ADA grab bars.
3. Liquid soap dispenser.
4. Paper towel dispenser and waste receptacle.
5. Toilet paper holder (single roll).
6. ADA bathroom signage.

## Division 11

1. Appliance allowance of \$7,772 for the following (assumed black):
  - a. (1) Electric stove.
  - b. (2) Refrigerators – bottom load freezer.
  - c. (1) Dishwasher.
  - d. (1) Garbage disposal.
  - e. (1) Microwave.
  - f. (6) Micro-fridges in each bedroom.

## Division 15

1. Includes plumbing slab at new showers and laundry room, wall rough-ins, and trim-out.
2. New plumbing for stack washer/dryer and new ADA washer and dryer.
3. Plumbing allowance of \$8,600 for fixtures, (1) prefabricated ADA showers, ADA sinks, and fixtures.
4. HVAC allowance of \$20,500, to cover new bathroom fans, new registers, new dryer vents, fire wrap vents if required, review existing HVAC equipment, replace (7) P-TAC units, and make necessary repairs up-to budget balance.
5. Tankless water heater.

## Division 16

1. Electrical allowance of \$10,599 for wiring at kitchen, new lights throughout facility, new stack washer/dryer, ADA washer and dryer, and new ceiling fans.

2. Electrical panel verification needed once stacked and ADA washer and dryers have been specified.
3. Electrical light fixture allowance of \$3,000.

## Exclusions

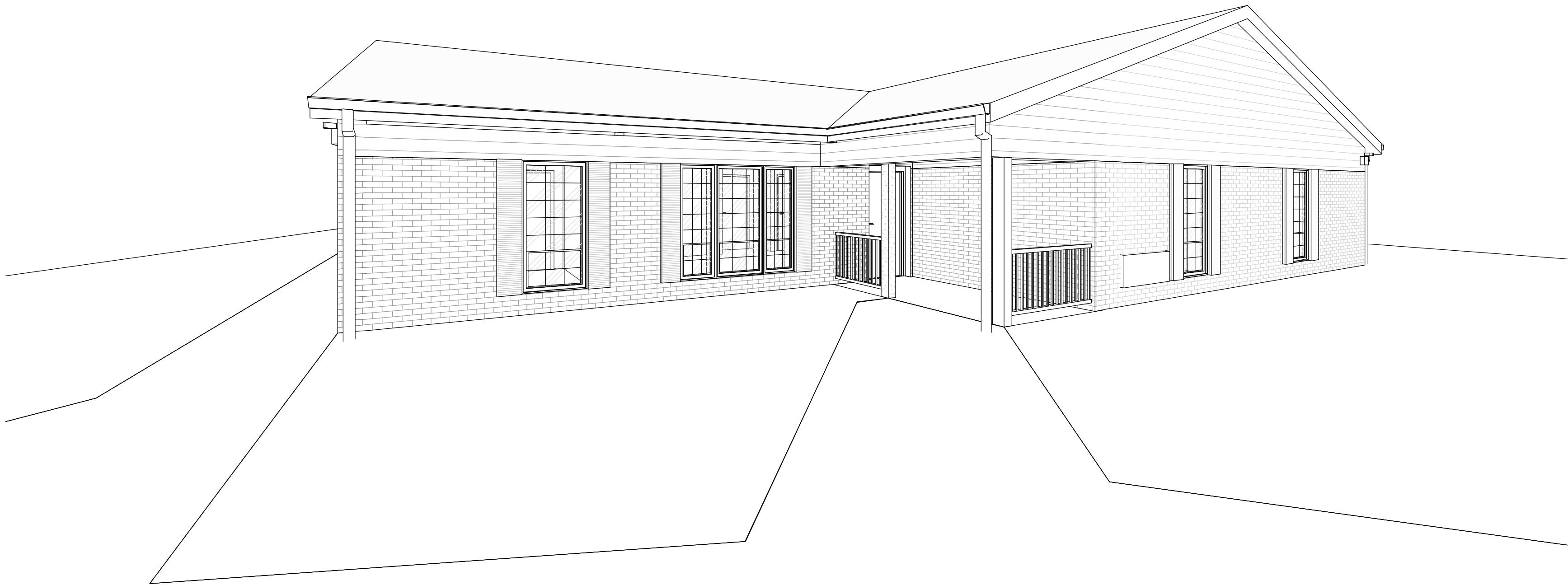
1. Any unknown Orange County/City of Carrboro review comments.
2. Unknowns not visibly seen during walk thru above ceiling, slab, in wall (mechanical, electrical, and plumbing).
3. Existing fire alarm system.

# Repairs & Alterations

for

## Alliance of AIDS Services

1700 North Greensboro Street Carrborro, NC 27510



NORTH ARROW

GRID BUBBLE

SIM

DETAIL CALLOUT

SECTION CALLOUT

ELEVATION CALLOUT

SHEET NAME

NAME ELEVATION

LEVEL LABEL

FLOOR ELEVATION DATUM

Room name

ROOM TAG

DOOR TAG

WINDOW TAG

STRUCTURAL TAG

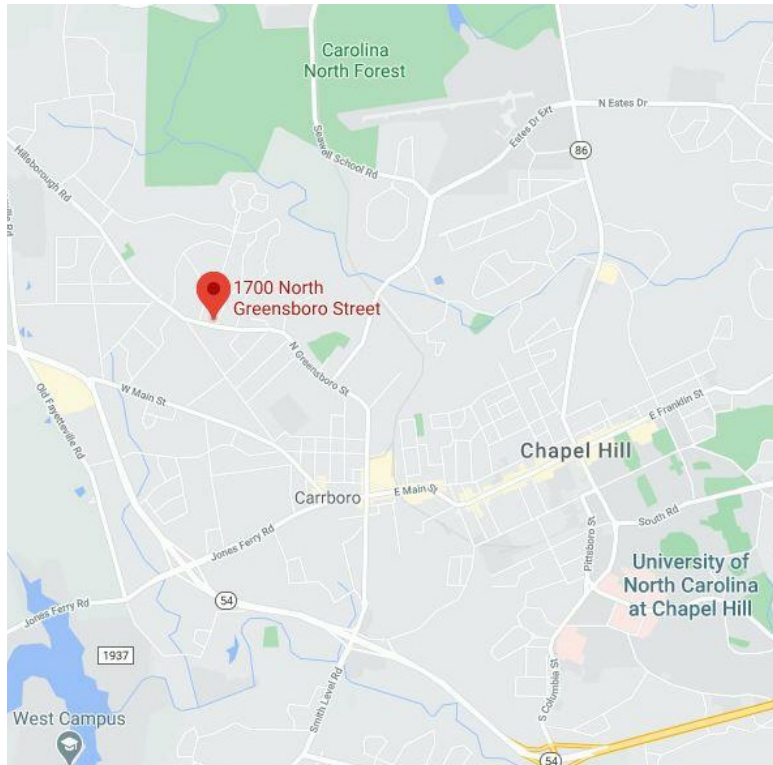
FACE OF MASONRY

FACE OF STEEL

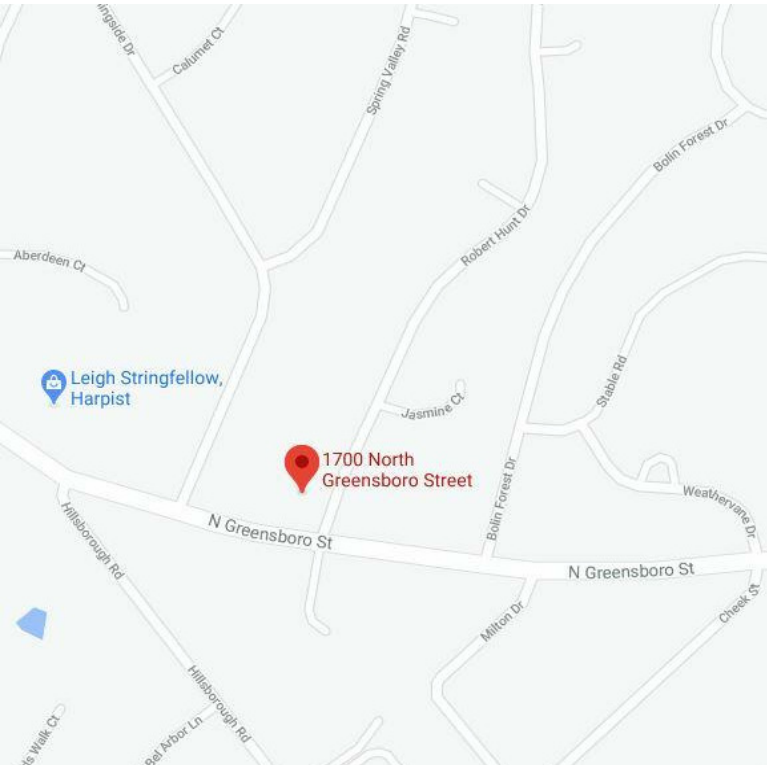
CENTERLINE

PROPERTY LINE

WALL TAG



AREA MAP



VICINITY MAP

DRAWING LIST				
SHEET			REVISION	
NO.	NAME	DATE	NO.	DESCRIPTION
A0.01	COVER PAGE	06-10-2021		
A0.02	APPENDIX B CODE SUMMARY	06-10-2021		
A0.03	APPENDIX B CODE SUMMARY	06-10-2021		
A0.04	LIFE SAFETY PLAN	06-10-2021		
A1.00	DIAGRAMMATIC SITE / ROOF PLAN	06-10-2021		
A1.01	DEMOLITION FLOOR PLAN	06-10-2021		
A1.02	NEW FLOOR PLAN	06-10-2021		
A1.03	ENLARGED PLANS	06-10-2021		
A1.20	DEMOLITION REFLECTED CEILING PLAN	06-10-2021		
A1.21	REFLECTED CEILING PLAN	06-10-2021		
A2.00	EXTERIOR ELEVATIONS	06-10-2021		

GENERAL NOTES	
1.	THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL COORDINATE THE WORK OF ALL TRADES. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT IF THE ARCHITECT IS HIRED AND RETAINED FOR CONSTRUCTION ADMINISTRATION.
2.	IN THE EVENT OF INCONSISTENCIES IN THE DOCUMENTS, THE CONTRACTOR MUST REQUEST AND RECEIVE A WRITTEN INTERPRETATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE PORTION OF WORK IN QUESTION.
3.	UNLESS HIRED FOR CONSTRUCTION ADMINISTRATION, THE ARCHITECT IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THESE DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; NOR IS THE ARCHITECT LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE BY OTHERS.
4.	EXTERIOR DIMENSIONS ARE DRAWN TO THE FACE OF MASONRY U.N.O.
5.	INTERIOR DIMENSIONS ARE DRAWN TO THE FINISHED FACE OF WALL U.N.O.
6.	DRAWINGS ARE NOT TO BE SCALED.



2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)  
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: ALLIANCE OF AIDS SERVICES - REPAIRS & ALTERATIONS  
Address: 1700 NORTH GREENSBORO STREET CARRBORRO Zip Code: 27510  
Owner/Authorized Agent: Melissa Hathcock-Dennis Phone # ( 919 ) 834 - 2437 ext. 1002 E-Mail: M.hathcockdennis@aaa-c.org  
Owned By: ☐ City/County ☒ Private ☐ State  
Code Enforcement Jurisdiction: ☐ City ☒ County ORANGE ☐ State

CONTACT:  
DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL  
Architectural MOORE ARCHITECTURE JASON HITE 13791 (314) 799-8482 JASON@MOOREARCH.NET  
Civil \_\_\_\_\_  
Electrical \_\_\_\_\_  
Fire Alarm \_\_\_\_\_  
Plumbing \_\_\_\_\_  
Mechanical \_\_\_\_\_  
Sprinkler-Standpipe \_\_\_\_\_  
Structural \_\_\_\_\_  
Retaining Walls >5' High \_\_\_\_\_  
Other \_\_\_\_\_  
("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: ☐ New Building ☐ Addition ☒ Renovation  
☐ 1st-Time Interior Completion  
☐ Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
☐ Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: ☐ Prescriptive ☒ Repair ☐ Chapter 14  
Alteration: ☐ Level I ☐ Level II ☐ Level III  
☐ Historic Property ☐ Change of Use

CONSTRUCTED: (date) 1994 CURRENT OCCUPANCY(S) (Ch. 3): RESIDENTIAL  
RENOVATED: (date) 2021 PROPOSED OCCUPANCY(S) (Ch. 3): RESIDENTIAL

RISK CATEGORY (Table 1604.5): Current: ☐ I ☒ II ☐ III ☐ IV  
Proposed: ☐ I ☒ II ☐ III ☐ IV

BASIC BUILDING DATA  
Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A  
(check all that apply) ☐ I-B ☐ II-B ☐ III-B ☒ V-B  
Sprinklers: ☒ No ☐ Partial ☐ Yes ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D  
Standpipes: ☒ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry  
Fire District: ☒ No ☐ Yes Flood Hazard Area: ☒ No ☐ Yes  
Special Inspections Required: ☒ No ☐ Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

2018 NC Administrative Code and Policies

Gross Building Area Table			
FLOOR	EXISTING (SQ.FT)	NEW (SQ.FT)	SUB-TOTAL
3 <sup>rd</sup> Floor			
2 <sup>nd</sup> Floor			
Mezzanine			
1 <sup>st</sup> Floor	3,012	0	3,012
Basement			
TOTAL	3,012	0	3,012

ALLOWABLE AREA  
Primary Occupancy Classification(s): Select one Select one Select one Select one Select one Select one  
Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5  
Business ☐  
Educational ☐  
Factory ☐ F-1 Moderate ☐ F-2 Low  
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM  
Institutional ☐ I-1 Condition ☐ 1 ☐ 2  
☐ I-2 Condition ☐ 1 ☐ 2  
☐ I-3 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5  
☐ I-4  
Mercantile ☐  
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☒ R-4  
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled  
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage  
Utility and Miscellaneous ☐

Accessory Occupancy Classification(s): BUSINESS  
Incidental Uses (Table 509):  
Special Uses (Chapter 4 – List Code Sections): 410.4  
Special Provisions: (Chapter 5 – List Code Sections):  
Mixed Occupancy: ☐ No ☒ Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_  
☒ Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
☐ Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

\_\_\_\_\_ + \_\_\_\_\_ + ... = \_\_\_\_\_ ≤ 1.00

2018 NC Administrative Code and Policies

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 <sup>1</sup> AREA	(C) AREA FOR FRONTAGE INCREASE <sup>1,2</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>
1	A-3 ASSEMBLY	7,200	6,000	3,000	9,000

<sup>1</sup> Frontage area increases from Section 506.3 are computed thus:  
a. Perimeter which fronts a public way or open space having 20 feet minimum width = 360 (F)  
b. Total Building Perimeter = 360 (P)  
c. Ratio (F/P) = 1 (F/P)  
d. W = Minimum width of public way = 20 (W)  
e. Percent of frontage increase  $I_f = 100[(F/P - 0.25) \times W/30] = 50$  (%)  
<sup>2</sup> Unlimited area applicable under conditions of Section 507.  
<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).  
<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4.  
<sup>5</sup> Frontage increase is based on the unspinklered area value in Table 506.2.

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE <sup>1</sup>
Building Height in Feet (Table 504.3) <sup>2</sup>	40	20	
Building Height in Stories (Table 504.4) <sup>3</sup>	1	1	

<sup>1</sup> Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.  
<sup>2</sup> The maximum height of air traffic control towers must comply with Table 412.3.1.  
<sup>3</sup> The maximum height of open parking garages must comply with Table 406.5.4.

2018 NC Administrative Code and Policies

FIRE PROTECTION REQUIREMENTS							
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/ REDUCTION) <sup>4</sup>	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		0	0	A0.01			
Bearing Walls		0	0				
Exterior	10 < X	0	0				
North							
East							
West							
South							
Interior		0	0				
Nonbearing Walls and Partitions							
Exterior walls	10 < X	0	0				
North							
East							
West							
South							
Interior walls and partitions		0	0				
Floor Construction							
Including supporting beams and joints		0	0				
Floor Ceiling Assembly		0	0				
Columns Supporting Floors		0	0				
Roof Construction, including supporting beams and joints		0	0				
Roof Ceiling Assembly		0	0				
Columns Supporting Roof		0	0				
Shaft Enclosures - Exit		N/A					
Shaft Enclosures - Other		N/A					
Corridor Separation		N/A					
Occupancy/Fire Barrier Separation		N/A					
Party/Fire Wall Separation		N/A					
Smoke Barrier Separation		N/A					
Smoke Partition		N/A					
Tenant Dwelling Unit Sleeping Unit Separation		N/A					
Incidental Use Separation		N/A					

\* Indicate section number permitting reduction

2018 NC Administrative Code and Policies

2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
STRUCTURAL DESIGN  
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow (I<sub>s</sub>) \_\_\_\_\_  
Seismic (I<sub>e</sub>) \_\_\_\_\_  
Live Loads: Roof \_\_\_\_\_ psf  
Mezzanine \_\_\_\_\_ psf  
Floor \_\_\_\_\_ psf  
Ground Snow Load: \_\_\_\_\_ psf  
Wind Load: Ultimate Wind Speed \_\_\_\_\_ mph (ASCE-7)  
Exposure Category \_\_\_\_\_

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☐ D  
Provide the following Seismic Design Parameters:  
Risk Category (Table 1604.5) ☐ I ☐ II ☐ III ☐ IV  
Spectral Response Acceleration S<sub>s</sub> \_\_\_\_\_ %g S<sub>1</sub> \_\_\_\_\_ %g  
Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F  
Data Source: ☐ Field Test ☐ Presumptive ☐ Historical Data  
Basic structural system ☐ Bearing Wall ☐ Dual w/Special Moment Frame  
☐ Building Frame ☐ Dual w/Intermediate R/C or Special Steel  
☐ Moment Frame ☐ Inverted Pendulum  
Analysis Procedure: ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic  
Architectural, Mechanical, Components anchored? ☐ Yes ☐ No  
LATERAL DESIGN CONTROL: Earthquake ☐ Wind ☐  
SOIL BEARING CAPACITIES:  
Field Test (provide copy of test report) \_\_\_\_\_ psf  
Presumptive Bearing capacity \_\_\_\_\_ psf  
Pile size, type, and capacity \_\_\_\_\_

2018 NC Administrative Code and Policies

Repairs & Alterations  
for  
Alliance of AIDS Services

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833 Bankston Woods Way  
Raleigh, NC 27609  
314.799.8482  
moorearch.net

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Construction Documents ☒

Revisions

Sheet Name  
APPENDIX B CODE SUMMARY

Sheet Number

A0.02



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Construction Documents	X
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2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
MECHANICAL DESIGN  
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)  
MECHANICAL SUMMARY  
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone  
winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_

Interior design conditions  
winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_  
relative humidity: \_\_\_\_\_

Building heating load: \_\_\_\_\_

Building cooling load: \_\_\_\_\_

Mechanical Spacing Conditioning System  
Unitary  
description of unit: \_\_\_\_\_  
heating efficiency: \_\_\_\_\_  
cooling efficiency: \_\_\_\_\_  
size category of unit: \_\_\_\_\_  
Boiler  
Size category: If oversized, state reason.: \_\_\_\_\_  
Chiller  
Size category: If oversized, state reason.: \_\_\_\_\_

List equipment efficiencies: \_\_\_\_\_

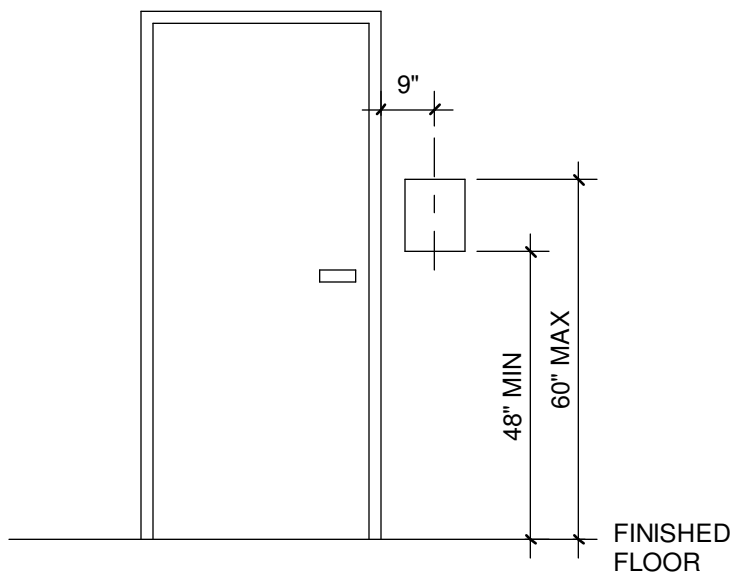
2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
ELECTRICAL DESIGN  
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)  
ELECTRICAL SUMMARY  
ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code ☐ Performance ☐ Prescriptive  
ASHRAE 90.1 ☐ Performance ☐ Prescriptive

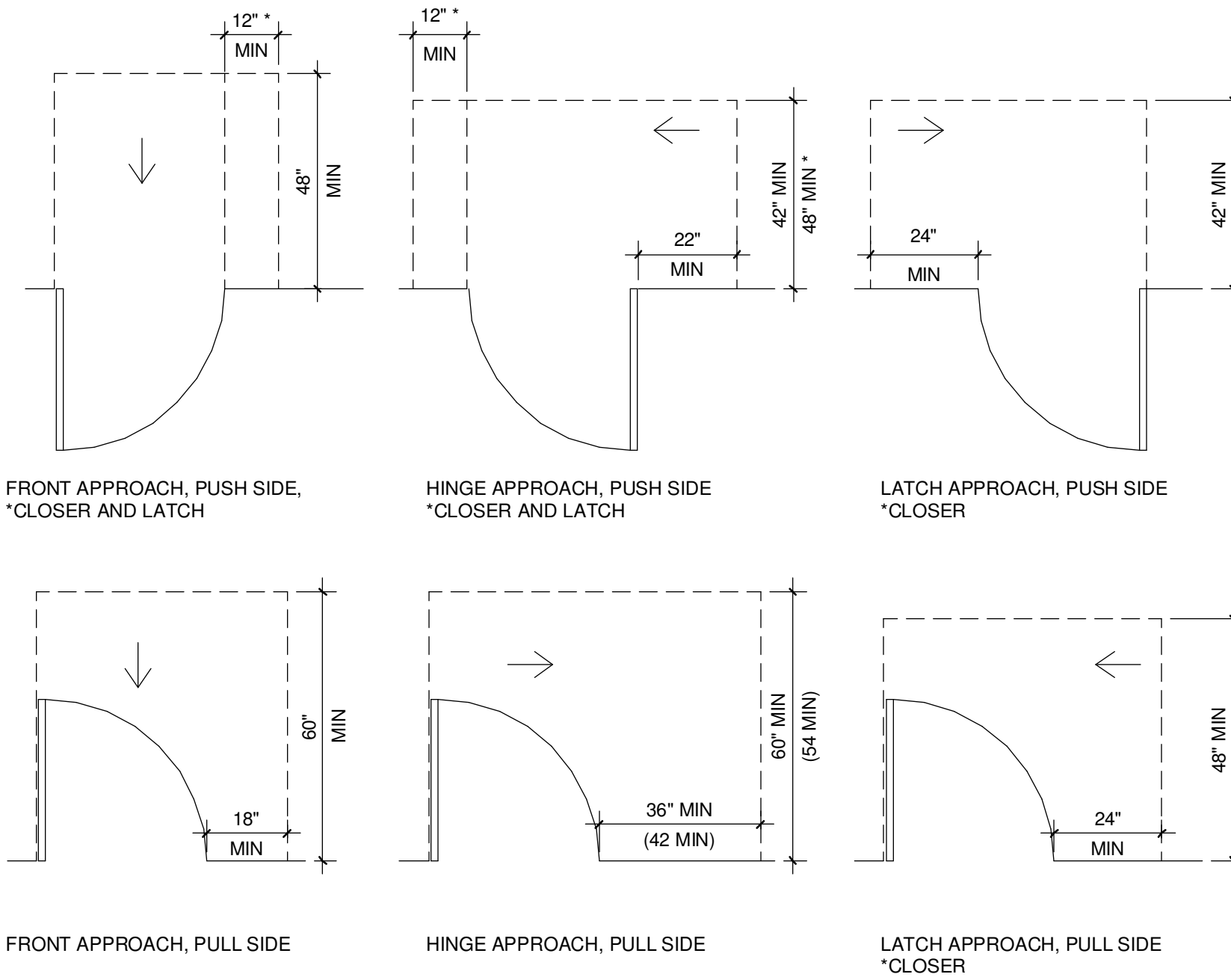
Lighting schedule (each fixture type)  
lamp type required in fixture  
number of lamps in fixture  
ballast type used in the fixture  
number of ballasts in fixture  
total wattage per fixture  
total interior wattage specified vs. allowed (whole building or space by space)  
total exterior wattage specified vs. allowed

Additional Efficiency Package Options  
(When using the 2018 NCECC; not required for ASHRAE 90.1)  
☐ C406.2 More Efficient HVAC Equipment Performance  
☐ C406.3 Reduced Lighting Power Density  
☐ C406.4 Enhanced Digital Lighting Controls  
☐ C406.5 On-Site Renewable Energy  
☐ C406.6 Dedicated Outdoor Air System  
☐ C406.7 Reduced Energy Use in Service Water Heating

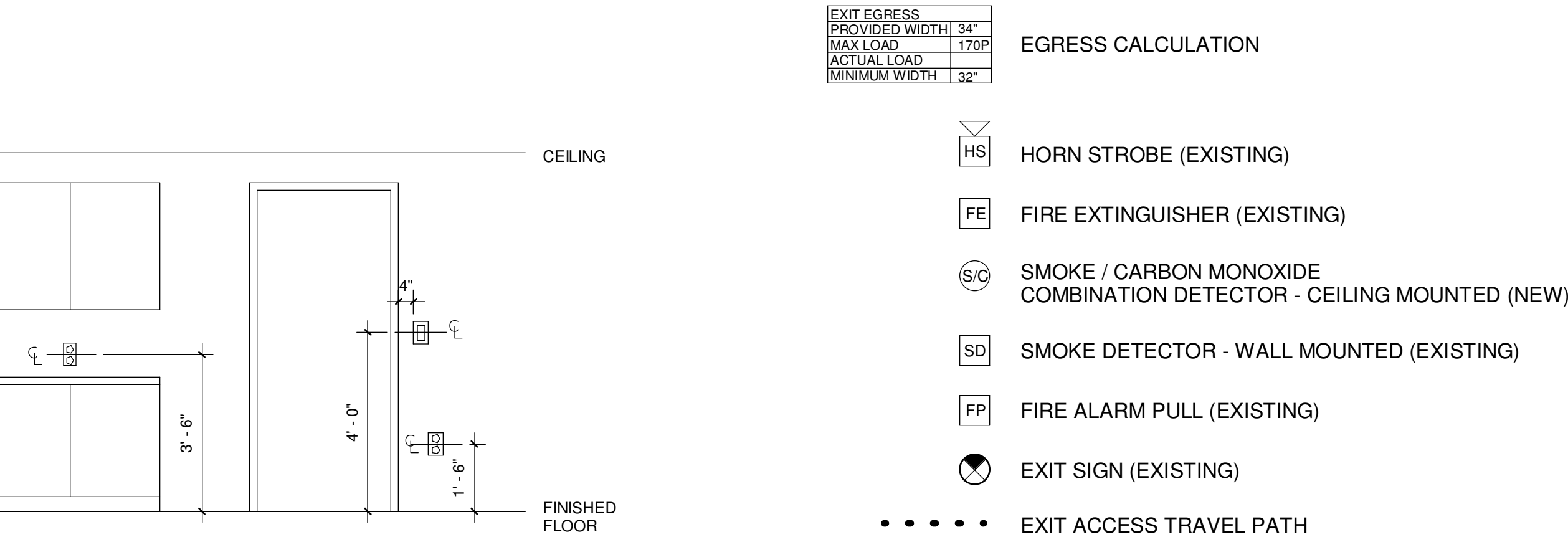
1. CENTERLINE OF SIGN SHALL BE PLACED 9" FROM DOOR.
2. BASELINE OF LOWEST LETTER MUST BE AT LEAST 48" ABOVE FLOOR AND HIGHEST LETTER NO MORE THAN 60" ABOVE FLOOR.
3. SIGNAGE SHALL BE INSTALLED ON LATCH SIDE OF DOOR, IF WALL SPACE IS NOT AVAILABLE, SIGNAGE SHALL BE INSTALLED ON DOOR.
4. TACTILE SIGNS SHALL USE GRADE 2 BRAILLE.
5. PERMANENT ROOMS SUCH AS RESTROOMS, KITCHENS, ELECTRICAL ROOMS, ELEVATORS SHALL REQUIRE ADA SIGNAGE.



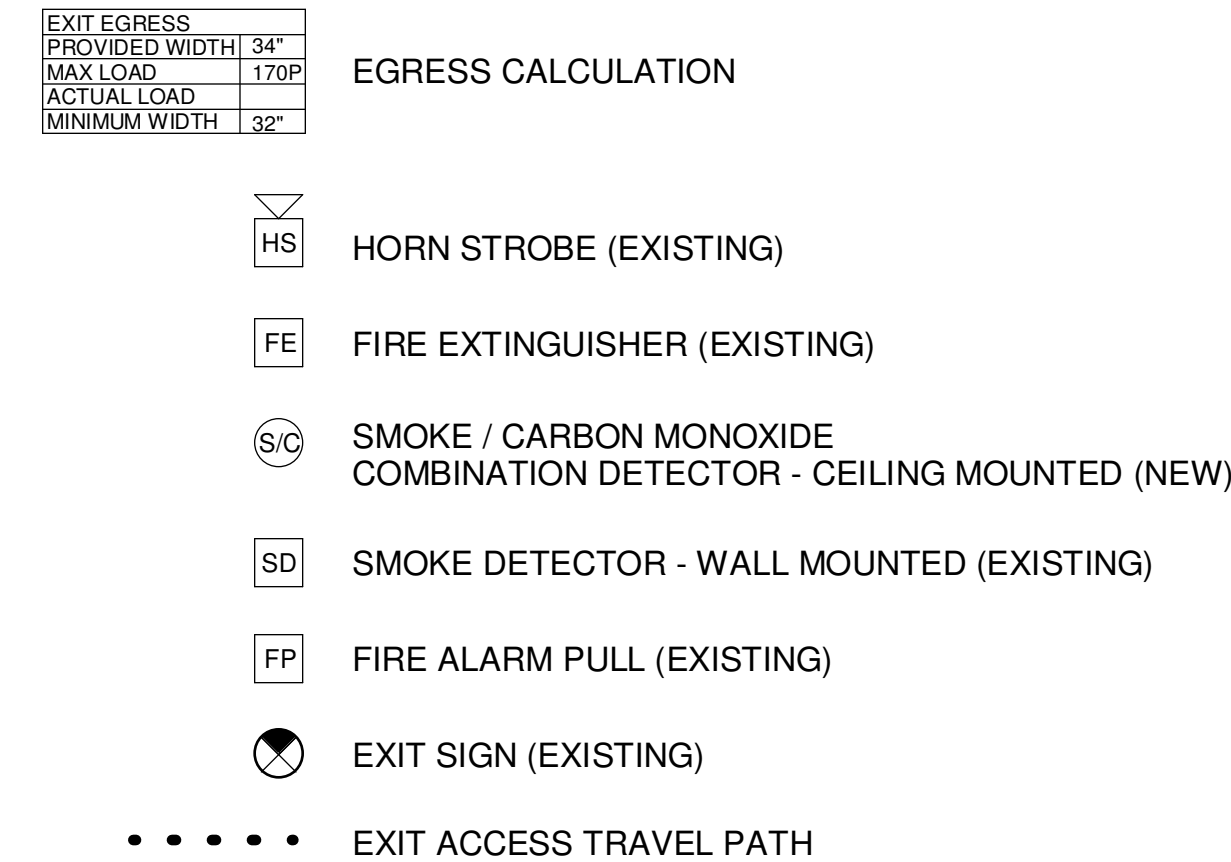
## TYPICAL ADA SIGNAGE



## TYPICAL ADA DOOR DIMENSIONS

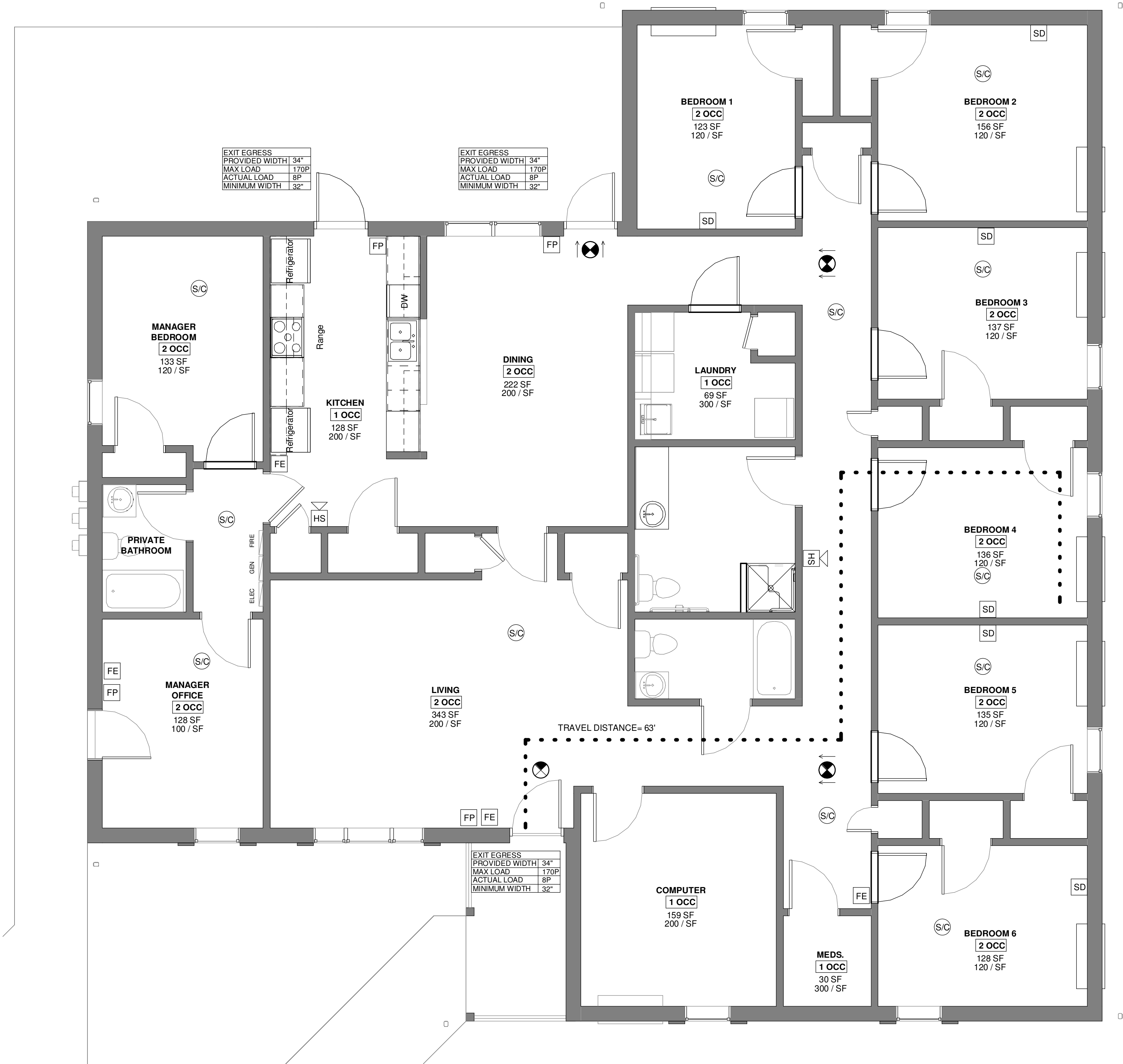


## TYPICAL OUTLET PLACEMENT



## LIFE SAFETY LEGEND

OCCUPANT LOAD			
ROOM NAME	AREA	OCCUPANT PER SF	LOAD
BEDROOM 1	123 SF	120	2
BEDROOM 2	156 SF	120	2
BEDROOM 3	137 SF	120	2
BEDROOM 4	136 SF	120	2
BEDROOM 5	135 SF	120	2
BEDROOM 6	128 SF	120	2
COMPUTER	159 SF	200	1
DINING	222 SF	200	2
KITCHEN	128 SF	200	1
LAUNDRY	69 SF	300	1
LIVING	343 SF	200	2
MANAGER BEDROOM	133 SF	120	2
MANAGER OFFICE	128 SF	100	2
MEDS.	30 SF	300	1



## LIFE SAFETY PLAN

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Jason Hite  
833 Bankston Woods Way  
Raleigh, NC 27609

314.799.8482  
moorearch.net

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Sheet Name	LIFE SAFETY PLAN
Sheet Number	A0.04



VAN  
ACCESSIBLE

12" x 6"

RESERVED  
PARKING



12" x 18"

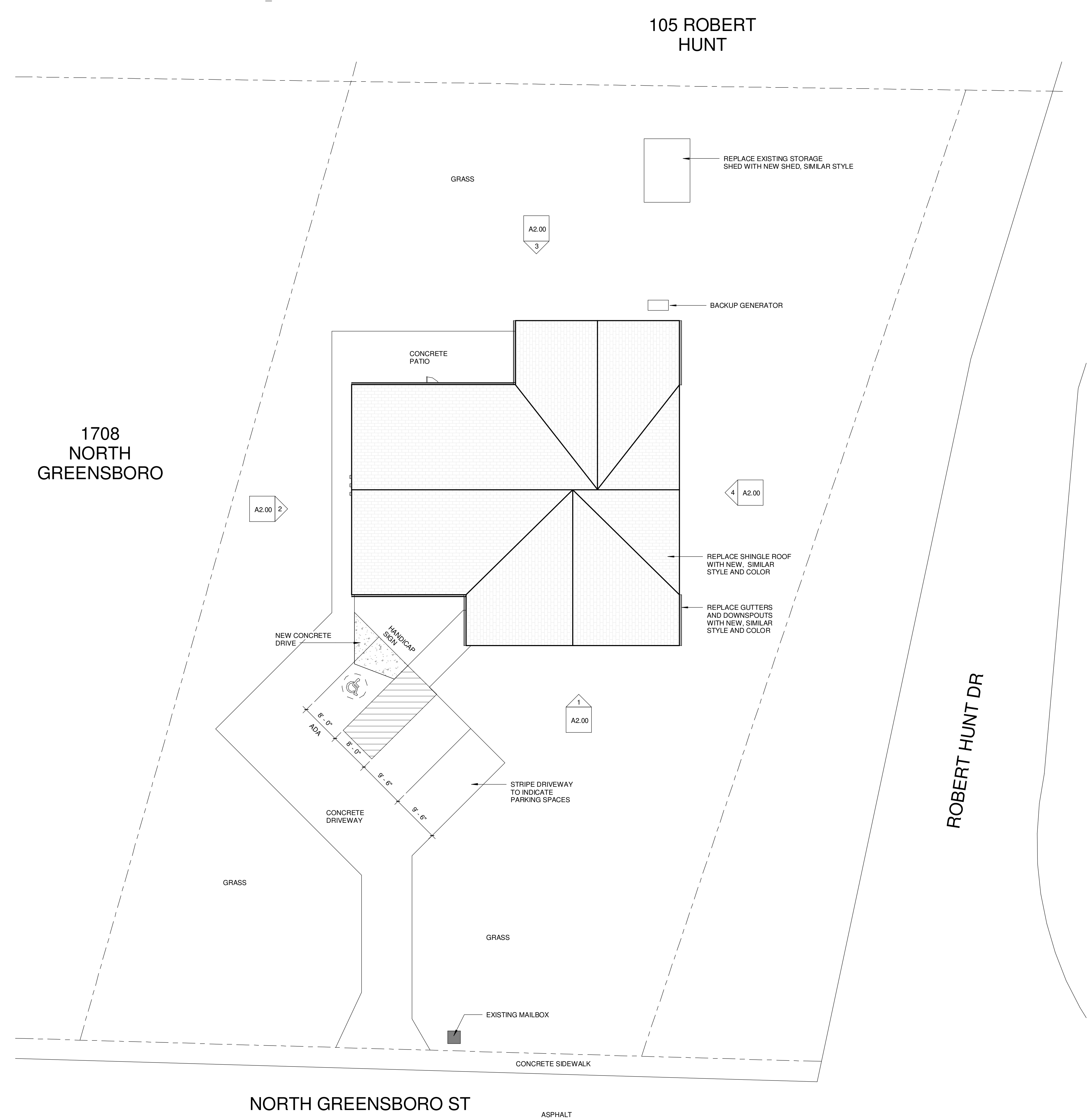
MAXIMUM  
PENALTY  
\$250

12" x 9"

1. ALL ACCESSIBLE SIGNS SHALL BE MOUNTED AT 7' FROM GRADE TO BOTTOM EDGE OF SIGN FACE. MOUNTING HEIGHT CAN BE REDUCED TO 5' IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
2. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA. MAINTAIN MIN. 4' WIDE CONTINUOUS PASSAGE.
3. VERTICAL CLEARANCE FOR VANS MUST BE GREATER THAN 98-INCHES.

HANDICAP PARKING SIGNAGE

1 DIAGRAMMATIC SITE / ROOF PLAN



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833 Bankston Woods Way  
Raleigh, NC 27609  
314.799.8482  
moorearch.net

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Sheet Name

DIAGRAMMATIC SITE / ROOF PLAN

Sheet Number

A1.00

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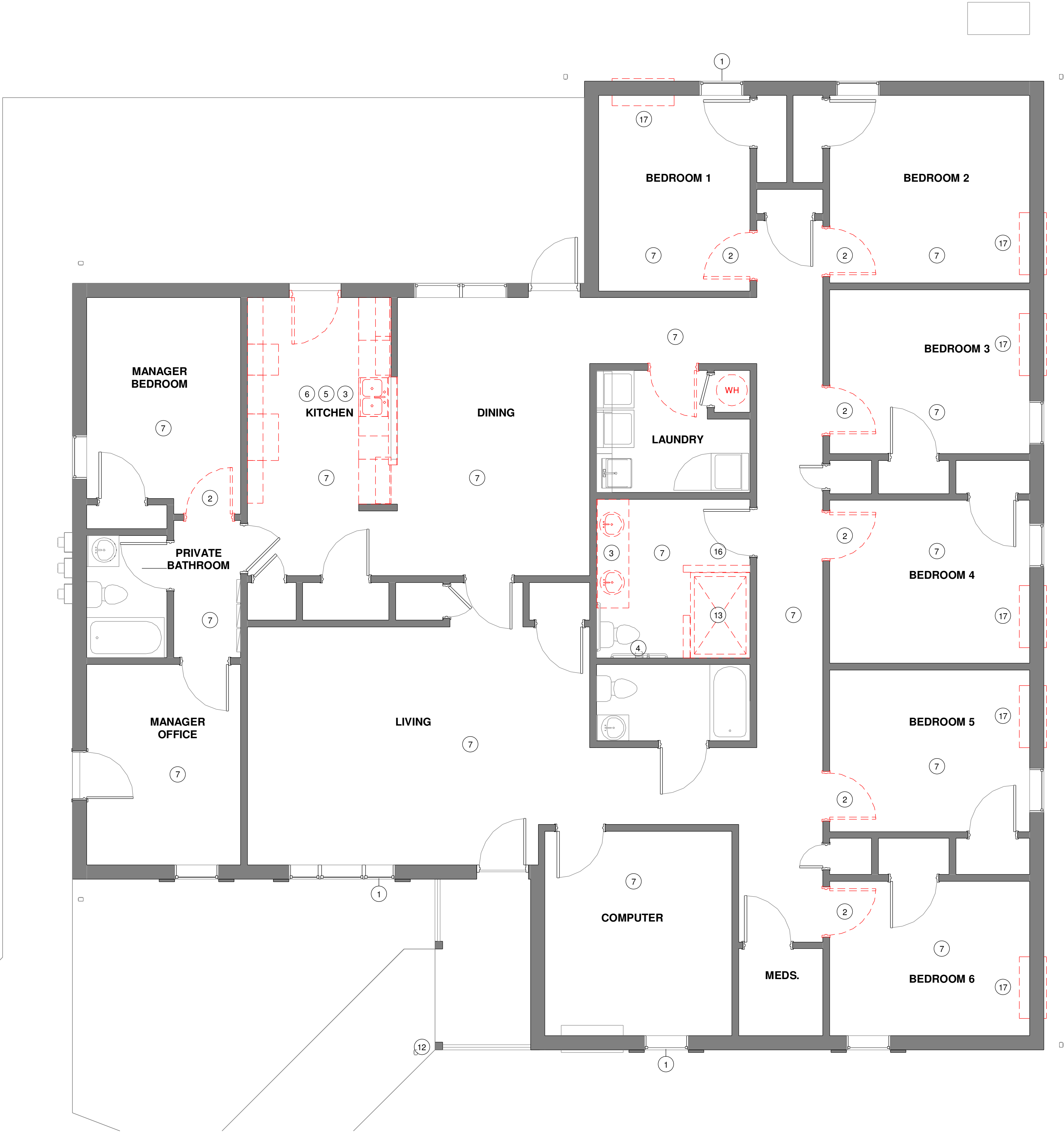
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DEMOLITION NOTES	
NUMBER	DESCRIPTION
1	REPAIR EXISTING WINDOW
2	DEMO EXISTING DOOR & HARDWARE
3	DEMO EXISTING SINK AND COUNTERTOP
4	DEMO EXISTING GRAB BARS
5	DEMO EXISTING BASE CABINETS AND COUNTERTOP
6	DEMO EXISTING UPPER CABINETS
7	DEMO EXISTING FLOORING FINISH
8	DEMO EXISTING EXHAUST FAN
9	DEMO EXISTING LIGHT FIXTURE
12	REPAIR EXTERIOR POST
13	DEMO EXISTING SHOWER / TUB
14	DEMO EXISTING TOILET FIXTURE
15	DEMO EXISTING DOOR
16	DEMO EXISTING WALL
17	DEMO EXISTING HVAC UNIT

1 DEMOLITION FLOOR PLAN

1/4" = 1'-0"



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833 Bankston Woods Way  
Raleigh, NC 27609  
314.799.8482  
moorearch.net

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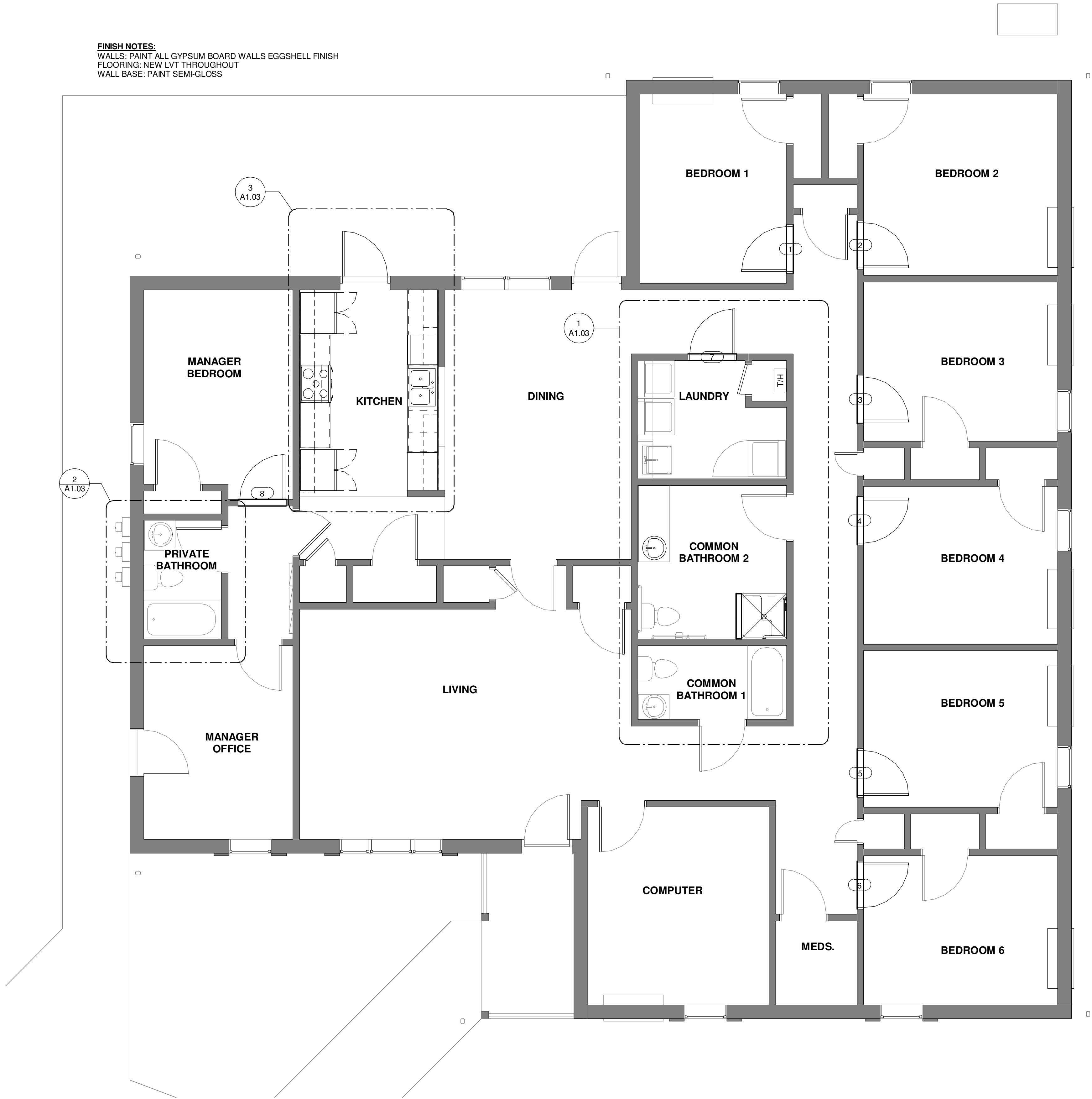
Sheet Name  
**DEMOLITION FLOOR PLAN**  
Sheet Number  
**A1.01**

ABBREVIATIONS	DESCRIPTIONS
PP	PUSH/PULL
LK	LOCKSET
PR	PRIVACY SET
PS	PASSAGE SET
CL	CLOSER
ED	PANIC/ EXIT DEVICE
TRK	TRACKS
RL	ROLLERS
KP	KICK PLATE

DOOR HARDWARE SETS

DOOR SCHEDULE								
MARK	ROOM NAME	TYPE	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	HARDWARE SET	COMMENTS
1	BEDROOM 1	33	3'-0"	6'-7"	WD	WD	PR	
2	BEDROOM 2	33	3'-0"	6'-7"	WD	WD	PR	
3	BEDROOM 3	33	3'-0"	6'-7"	WD	WD	PR	
4	BEDROOM 4	33	3'-0"	6'-7"	WD	WD	PR	
5	BEDROOM 5	33	3'-0"	6'-7"	WD	WD	PR	
6	BEDROOM 6	33	3'-0"	6'-7"	WD	WD	PR	
7	LAUNDRY	33	3'-0"	6'-7"	WD	WD	PS	
8	MANAGER BEDROOM	33	3'-0"	6'-7"	WD	WD	PR	

FINISH NOTES:  
WALLS: PAINT ALL GYPSUM BOARD WALLS EGGSHELL FINISH  
FLOORING: NEW LVT THROUGHOUT  
WALL BASE: PAINT SEMI-GLOSS



1 NEW FLOOR PLAN  
1/4" = 1'-0"

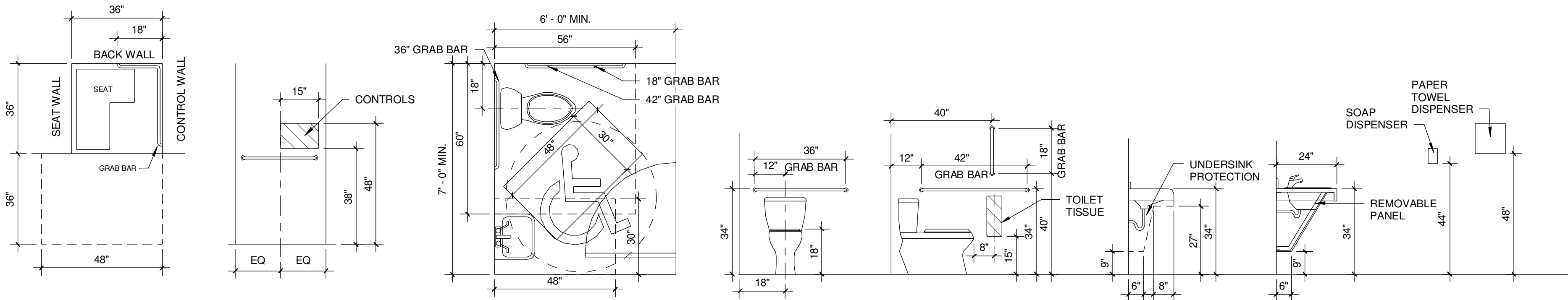
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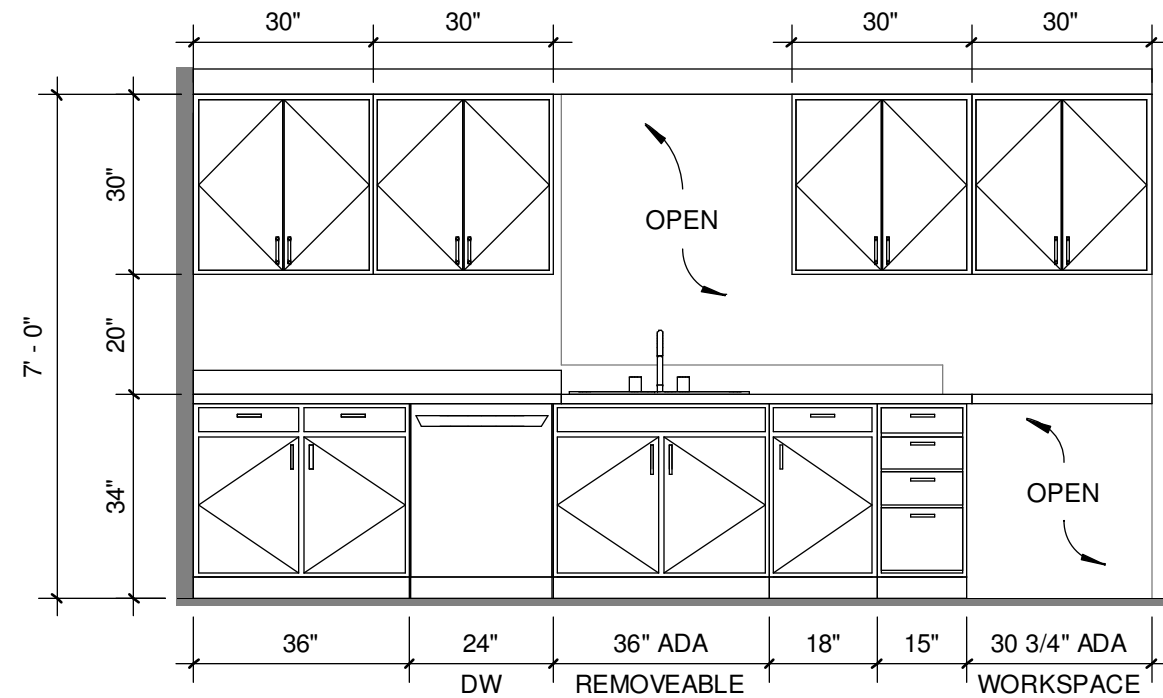
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Construction Documents	X
Revisions	

Sheet Name	NEW FLOOR PLAN
Sheet Number	A1.02



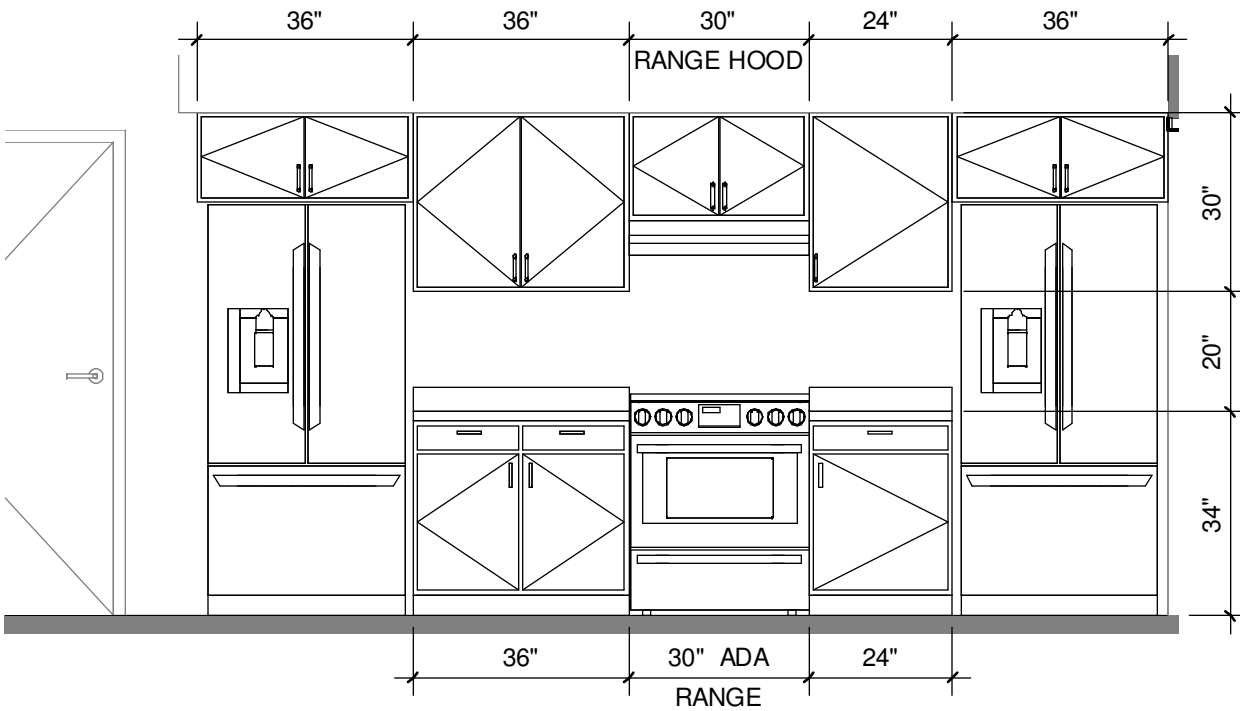
ADA TRANSFER SHOWER

TYPICAL ADA FIXTURE DIMENSIONS



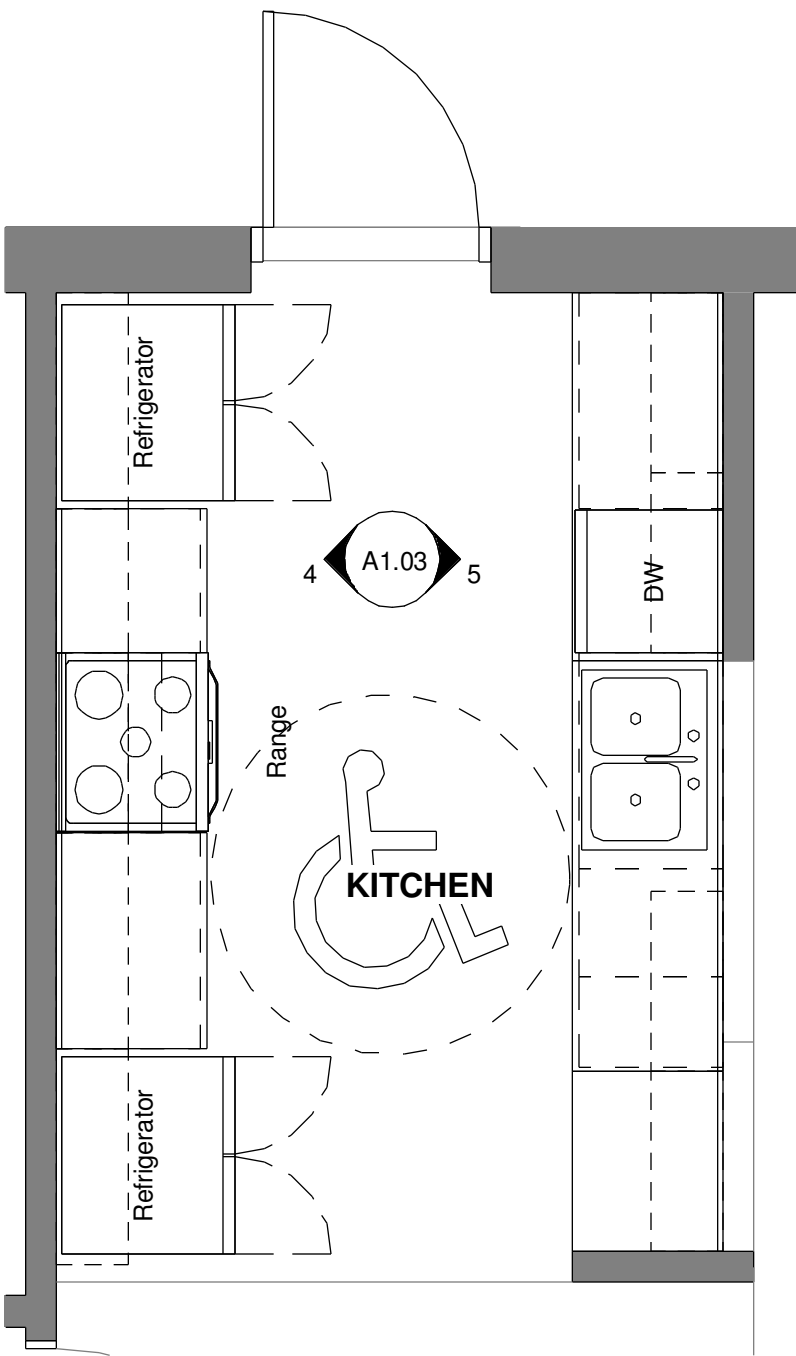
NOTES:  
ADA WORKSPACE SHALL MEET 804.3 OF THE ACCESSIBILITY CODE.  
ADA SINK SHALL HAVE REMOVEABLE PANEL.

5 KITCHEN ELEVATION 05  
3/8" = 1'-0" REF: 3 / A1.03

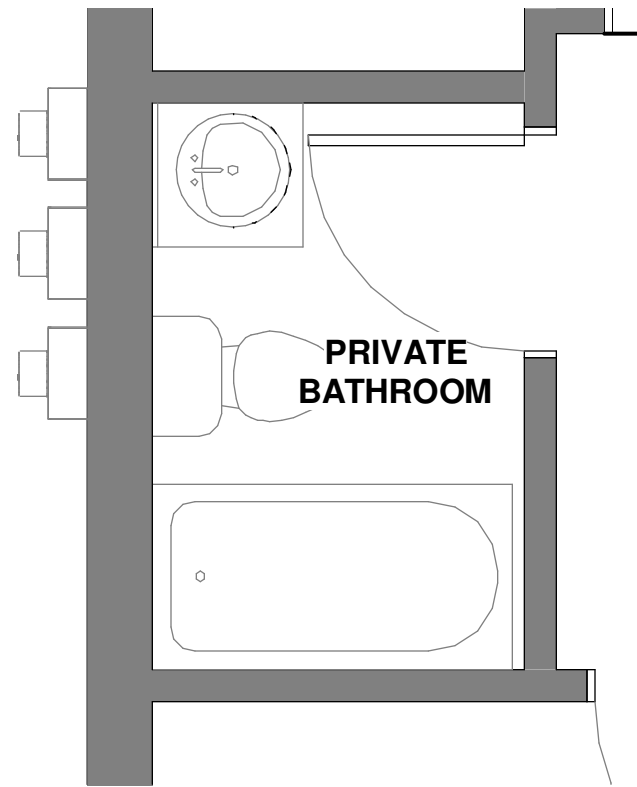


NOTES:  
CONTROLS FOR THE RANGE SHALL NOT REQUIRE REACHING OVER THE BURNERS TO OPERATE.  
CONTROLS AT THE VENT HOOD LIGHT AND FAN SHALL BE WITHIN THE REQUIRED REACH.

4 KITCHEN ELEVATION - 04  
3/8" = 1'-0" REF: 3 / A1.03

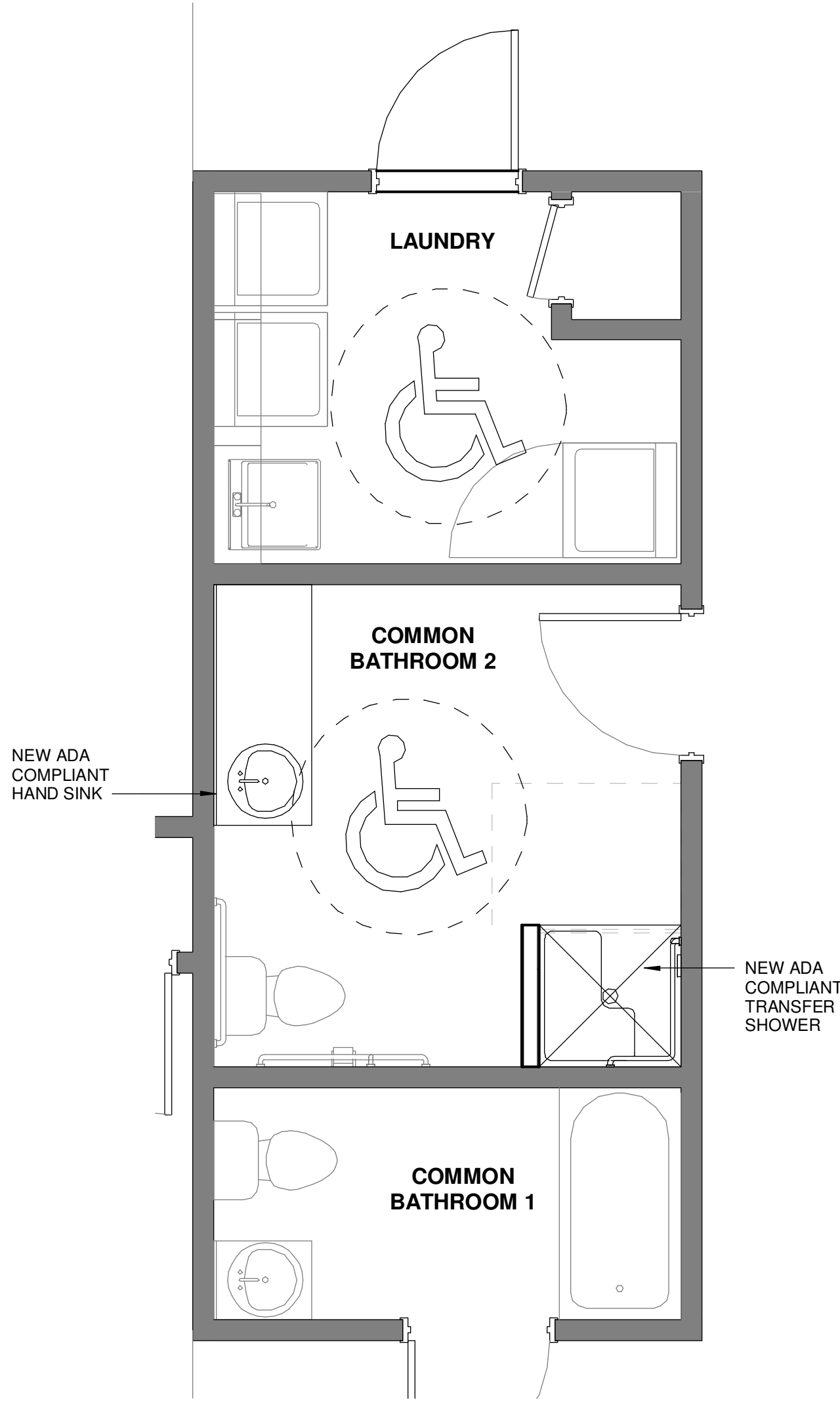


3 KITCHEN PLAN  
3/8" = 1'-0" REF: 1 / A1.02



NOTE:  
THE EXISTING PRIVATE BATHROOM DOES NOT MEET ADA COMPLIANCE. IT IS TECHNICALLY INFEASIBLE TO ALTER THE EXISTING BATHROOM TO BE ACCESSIBLE. ACCESSIBLE BATHROOMS ARE LOCATED ON THE SAME FLOOR.

2 PRIVATE RESTROOM  
3/8" = 1'-0" REF: 1 / A1.02



1 COMMON BATHROOM  
3/8" = 1'-0" REF: 1 / A1.02

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Sheet Name	ENLARGED PLANS
Sheet Number	A1.03

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833 Bankston Woods Way  
Raleigh, NC 27609  
314.799.8482  
moorearch.net

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PRELIMINARY  
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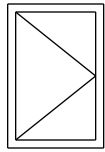
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Marques Moore  
7725 Rathlin Court  
Charlotte, NC  
434.665.7780  
[moorearch.net](http://moorearch.net)


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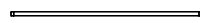
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**DEMOLITION  
REFLECTED CEILING  
PLAN**  
Sheet Number  
**A1.20**

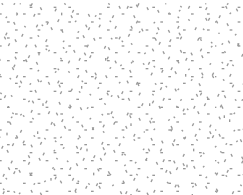
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
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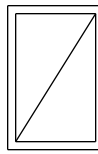
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
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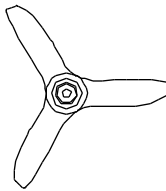
EXISTING FACE MOUNTED CEILING LIGHT
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48' DIFFUSER STRIP LIGHT
- 

GYPSUM BOARD CEILING
- 

SUPPLY DIFFUSER
- 

RETURN REGISTER
- 

EXHAUST FAN  
VENTED THROUGH ROOF
- 

CEILING FAN

CEILING PLAN LEGEND

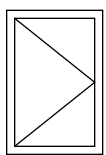



EXISTING EXTERIOR  
FLOOD LIGHTS

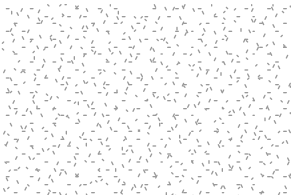
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LIGHTS


**1** DEMO REFLECTED CEILING PLAN  
1/4" = 1'-0"

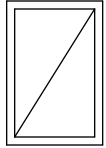





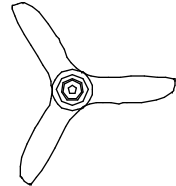












ATTIC ACCESS PANEL

12" x 36" LIGHT FIXTURE

12" x 12" LIGHT FIXTURE

EXISTING FACE MOUNTED CEILING LIGHT

48" DIFFUSER STRIP LIGHT

GYPSUM BOARD CEILING

SUPPLY DIFFUSER

RETURN REGISTER

EXHAUST FAN  
VENTED THROUGH ROOF

CEILING FAN



CEILING PLAN LEGEND

1 NEW REFLECTED CEILING PLAN  
1/4" = 1'-0"

**\*\*WARNING\*\***  
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moore architecture

creative • design • solutions

Jason Hite

833 Bankston Woods Way

Raleigh, NC 27609

314.799.8482

moorearch.net

Repairs & Alterations

for

Alliance of AIDS Services

1700 North Greensboro Street Carboro, NC 27510

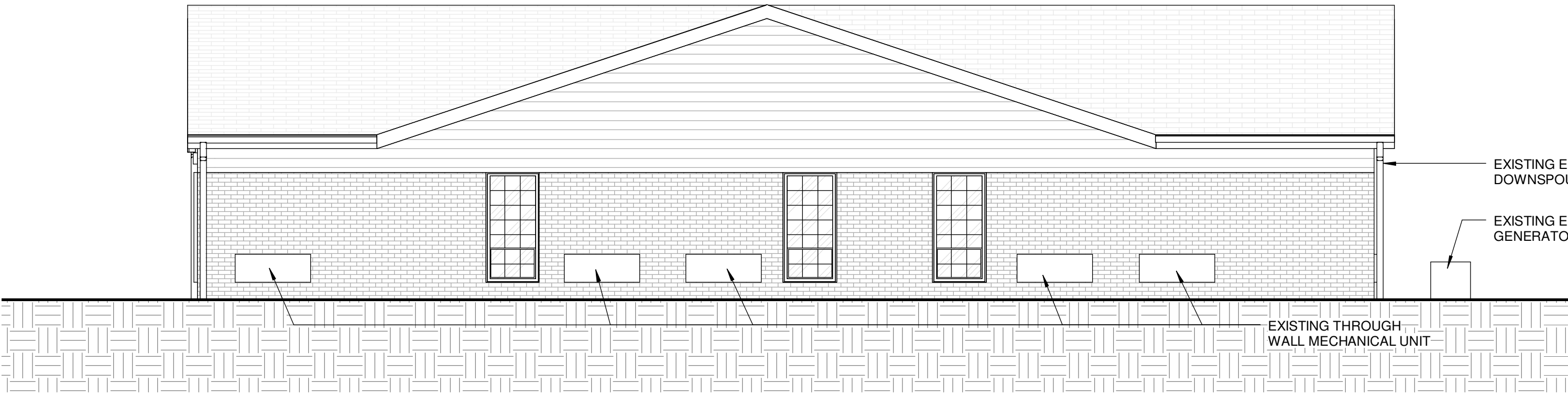
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Construction Documents	X
Revisions	

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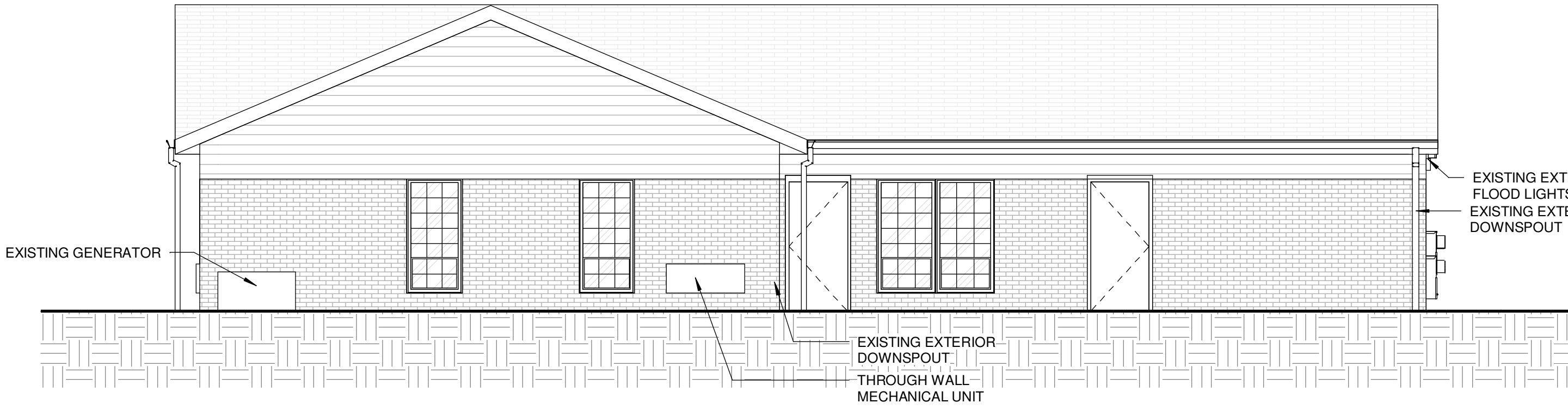
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Sheet Number

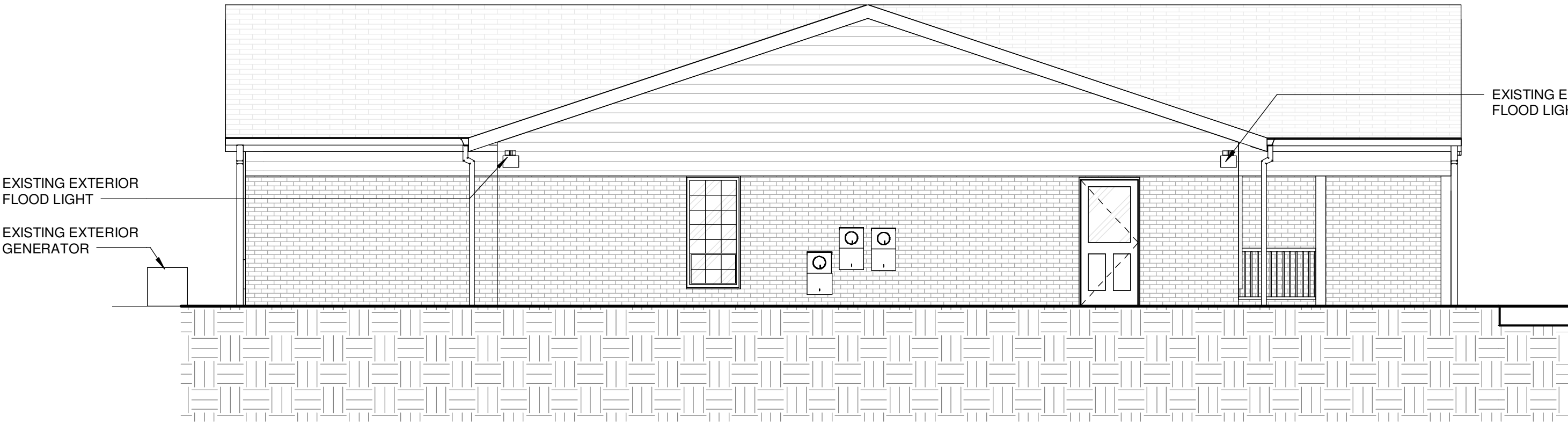
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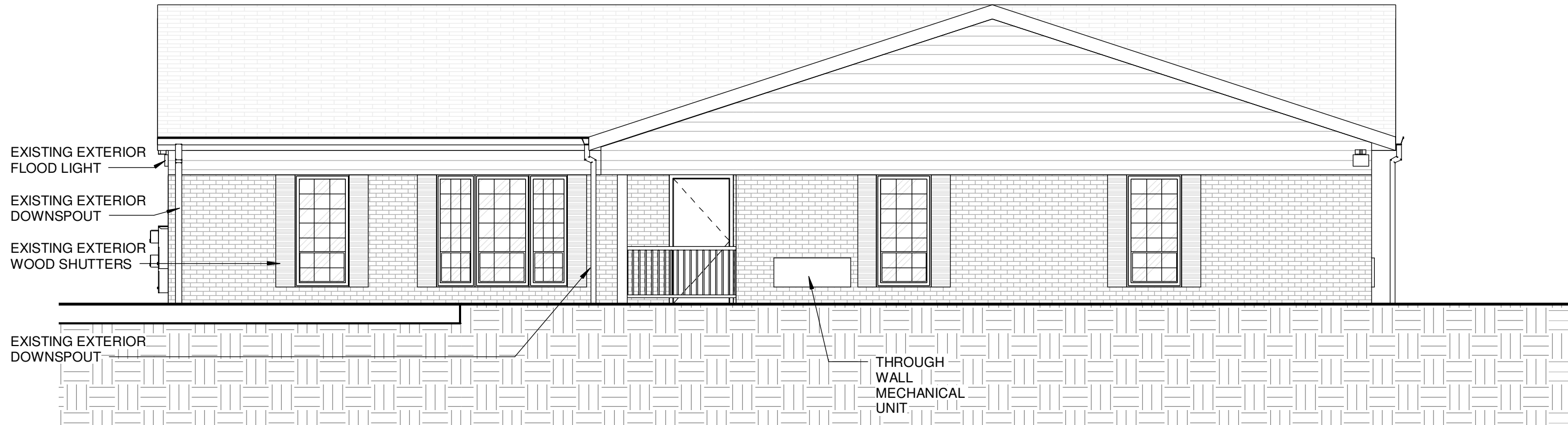
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3/16" = 1'-0" REF: 1 / A1.00



3 REAR ELEVATION  
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2 LEFT ELEVATION  
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1 FRONT ELEVATION  
3/16" = 1'-0" REF: 1 / A1.00

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**moore architecture**  
creative • design • solutions  
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833 Bankston Woods Way  
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**Repairs & Alterations**  
for  
**Alliance of AIDS Services**  
1700 North Greensboro Street Carboro, NC 27510

Date: 06-10-2021	
Not for Construction	
Design Development	X
Construction Documents	X
Revisions	

Sheet Name	EXTERIOR ELEVATIONS
Sheet Number	A2.00

## **ATTACHMENT FIVE: MARKETING AND RENTER IDENTIFICATION**

The Alliance will utilize our existing partners to market and ensure an adequate pool of income-eligible renters are identified and housed. Specific strategies will include sharing (bi-lingual) print and digital marketing items in public settings and on social media, making announcements at community/housing meetings and events, and direct contact with case managers. To broaden our reach, will continue to build and network with faith and other community-based organizations.

### **Current partners**

- Interfaith Council
- Orange County Partnership to End Homelessness
- Orange County Rape Crisis Center
- Orange County Health Department
- Orange County Housing Authority/Social Services
- The University of North Carolina, Chapel Hill (Various medical and research departments),
- Orange Correctional Center
- Hillsborough Recovery
- Durham Housing Authority/County Social Services (HOPWA team)
- Region Six HIV Care and Prevention Network (covers Orange County)



## ATTACHMENT SIX: PROJECT BUDGET

The Alliance of AIDS Services - Carolina Orange Community Residence Rehabilitation Budget	
INCOME	
Source	Amount
Agency Fundraising (includes \$25,000 contribution, to date, to cover utilities, insurance, and 10K of architecture)	\$50,000
Private/ Corporate Donations (estimated)	\$34,000
Grants (estimated)	\$163,000
In-Kind Support (estimated)	\$39,884
<b>TOTAL INCOME</b>	<b>\$286,884</b>
EXPENSES	
Category and Description	Amount
<b>Personnel</b>	
M. Haithcox-Dennis, AAS-C ED/Project Director, \$72,000 Salary/Fringe= \$8,000/mo. @ 6mos. @.25 FTE= \$12,000	\$12,000
Sub-Total Personnel	\$12,000
<b>Contracted Services</b>	
*Architecture Services (Design development, construction drawings, permit review...) *Rehabilitation/Construction Services (Materials, Fixtures, labor, appliances, insurance, permits, inspections) *Roofing (Labor and Materials) Electrician/lighting	
Sub-Total Contracted Services	\$254,488
<b>Insurance</b>	
*Property Insurance (prorated)	\$1,976
Professional Liability -OCR Staff (prorated)	\$1,040
Sub-Total Insurance	\$3,016
<b>Utilities</b>	
Estimated Water/Sewer (6 months @ \$150/mo.)	\$750
Estimated Gas (6 months @ \$150/mo.)	\$750
Estimated Electricity (6 months @ \$300/mo.)	\$1,800
Sub-Total Utilities	\$3,300
<b>SUB-TOTAL EXPENSES</b>	<b>\$260,804</b>
<b>Contingency</b>	
10% of expenses (includes \$5,000 from Rehab. Expenses)	\$26,080
<b>TOTAL EXPENSES</b>	<b>\$286,884</b>
<b>Profit/Loss</b>	<b>\$0</b>

\*Detailed estimates are attached



## ATTACHMENT SEVEN: ORGANIZATIONAL OVERVIEW

The Alliance of AIDS Services - Carolina, "The Alliance," is a mission-driven, 501 (c)(3), nonprofit organization located in Raleigh, NC. The Alliance was founded in 1999 as a strategic partnership between the AIDS Service Agency of North Carolina (ASANC), AIDS Service Agency of Orange County (ASAOC), and Triangle AIDS Interfaith Network (TRAIN). This collaboration combined their unique talents, expertise, and resources to form a stronger, more-effective, community-based organization that served People Living With HIV/AIDS (PLWHAs). Now, more than 25 years later, ***The Alliance remains committed to their mission to serve the community through education, prevention, and connection to compassionate and non-judgmental care, prioritizing PLWHAs*** and individuals experiencing homelessness, interpersonal violence, disabilities, poverty, or other debilitating conditions that increase the risk for contracting HIV/AIDS.

The Alliance provides three core services (***Prevention, Care and Support***) throughout their service deliver area, including six NC Counties: Chatham, Durham, Johnston, Lee, Orange, and Wake. ***Prevention Services*** include HIV/STI testing, community outreach, and health education workshops. We distribute safer-sex supplies throughout the community and partner with key organizations such as the Raleigh LGBT Center, to host large testing and outreach events. ***Care Services*** include case-management (CM) that connect our HIV+ clients to medical, mental health and other healthcare providers. CM also work to reduce barriers to care such as transportation, navigating healthcare systems and building self-advocacy skills. ***Support Services*** include our well-established food pantry, educational workshops, and leadership development for PLWHAs. We also provide referrals to community resources such as food, housing, job-training, and social programming.

The resume for the Executive Director, Melissa Haithcox-Dennis is attached.

## ATTACHMENT EIGHT: ORGANIZATION TRACK RECORD AND COMMUNITY SUPPORT

### **1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project:**

The Alliance has coordinated this effort with the Town of Carrboro, the Affordable Community Residence Association ([www.acra.org](http://www.acra.org)), Habitat for Humanity, Orange County, US Housing Consultants and the Department of Housing and Urban Development.

### **2. Involvement of intended beneficiaries of the project in the planning process.**

The Alliance maintains a group of peer educators, who are living with HIV *and* who have experienced homelessness, that offer their input on all our projects, including this one. We conduct focus groups and interviews to garner insight and support on a continual basis.

### **3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables.**

The Alliance has a 30-year track record of successful project development, implementation and meeting proposed budgets and timetables. Moreover, we have successfully met and exceeded our deliverables for our current funding, and have been tapped by several governmental agencies, including the CDC and local health departments to assist with community-level projects and interventions. The Alliance also successfully managed OCR for more than 12 years and the management staff have individually created and successfully sustained similar projects at prior organizations.

### **4. Collaborative relationships with other agencies**

The Alliance maintains more than 50 active Memorandums of Agreement across 6 Counties, including Orange. Some of our Orange County partners include IFC, the Orange County Rape Crisis Center, the Orange County Health Department, The University of North Carolina, Chapel Hill (Various medical and research departments), the Orange Correctional Center, and Hillsborough Recovery.

### **5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive.**

The Alliance is committed to creating holistic and comprehensive solutions for the community. We welcome the opportunity to partner with others and we will actively seek to collaborate with an array of providers throughout the region.

### **6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).**



## Town of Carrboro

Affordable Housing Special Revenue Fund Application

## OVERVIEW

The Town of Carrboro established an Affordable Housing Special Revenue Fund in 2007. The goal of the Affordable Housing Special Revenue Fund is to advance the Town's goal of increasing and improving the stock of affordable housing within Carrboro and its planning jurisdiction.

The Affordable Housing Task Force was established in 2012 for the purpose of creating recommendations for an affordable housing strategy. In June of 2014, this goal was accomplished when the then Board of Aldermen approved the Town's Affordable Housing Goals and Strategies document. From this work, an Affordable Housing Advisory Commission

(AHAC) was formed in 2017. This Commission's responsibilities related to the fund include:

- Reviewing and making recommendations to the Town Council for new or revised policies regarding the operation of the Affordable Housing Fund;
- Reviewing and making recommendations to the Town Council on affordable housing funding applications.

With this in mind, requests for funding (as explained below) will be reviewed by the AHAC who will then make a recommendation to the Town Council regarding the request.

## FUNDING

Source of Funds. The Affordable Housing Special Revenue Fund may be funded by payments made by developers in lieu of providing affordable housing units under the applicable provisions of the Land Use Ordinance. Other revenue sources for the fund may include grants, donations, loans, interest payments, or other contributions or assignments.

The principal and interest earned on funds received from developers, grants, donations, loans, interest payments, or other revenues that may become available also accrue to this fund. As the Affordable Housing Special Revenue Fund develops over time, it is anticipated

that funding will be available for time-sensitive acquisition requests that arise outside the established funding cycles.

Since June 2018, the Town Council has passed two half cent property tax increases, creating a dedicated revenue source for affordable housing. For Fiscal Year 21-22 the Council has approved an amount equal to 1.5¢, which is an allocation of \$337,500.

## APPROVAL

In 2018 the Town Council voted to allow the Town Manager to approve or deny funding applications for no more than \$5,000 or 15% of the existing fund, whichever is lower. These applications do not have to provide performance measures and can apply outside of the funding cycles.

Any requests over this threshold that are not appropriated by the Town Council during the budget cycle or by resolution will complete the following application. The application will be reviewed by the AHAC and their recommendation to approve or deny funding will go to the Town Council.

## ELIGIBILITY

Nonprofits and nonprofits applying on behalf of individuals may request funds to be used to address projects that meet the Town's affordable housing goals. Please see our website for a list of local housing providers: <http://www.townofcarrboro.org/982/Affordable-Housing>

In order to qualify for participation in the Affordable Housing Special Revenue Fund process, the following criteria must be met by the beneficiaries (individuals), if applicable, and substantiated by the applicant (nonprofit organizations):

- a. Beneficiaries must be a resident of Carrboro or the Carrboro planning jurisdiction, or purchasing a home in Carrboro or the Carrboro planning jurisdiction;
- b. Beneficiaries must have a gross household income of 115% the Area Median Income or less, with priority given to households at 80% of AMI and below for homeowners, and 60% of AMI and below for renters, unless otherwise described (Please see Attachment A for current income limits.);
- c. Beneficiaries must be unable to obtain a loan, either subsidized or unsubsidized, on comparable terms and conditions;
- d. Beneficiaries or applicants must be the owner of the property in fee simple or leasehold estate and have paid or have appropriate arrangements with the county tax assessor to pay the tax bill, if the property is to be rehabilitated, or have clear title if the property is to be purchased or constructed;
- e. Beneficiaries must be residing in the property to be rehabilitated, or if purchased or constructed, occupy the property when the acquisition is completed. The building or affordable unit that is subject to program funding must have an anticipated life of at least 20 years after rehabilitation, or 30 years, if constructed or acquired;
- f. Beneficiaries must also have an intact homeowner's insurance policy, if applicable.

## PROJECT REPORTING AND MONITORING

Recipients of funds for development are required to submit written progress reports to the Town by the end of the fiscal year (June 30) to monitor progress and performance, financial and administrative management, and compliance with the terms of the performance agreements. Reporting information may include: progress toward achieving performance

goals, description of activities/challenges, and revisions of proposed project timelines/budgets. Please submit annual reports electronically by June 30 to: [amvanaman@townofcarrboro.org](mailto:amvanaman@townofcarrboro.org)

Recipients of funds for home repairs/rehab are to submit details of work completed when submitting invoices for reimbursement of funds.

## PERMITTED USES OF FUNDING

### Development & Acquisition

Loans: 1. To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of acquiring affordable housing.

2. To provide direct deferred payment loans to beneficiaries to supplement loans made by financial institutions for the purpose of acquiring affordable housing.

Land Banking: To assist in the purchase of land for conveyance to nonprofit affordable housing agencies.

Construction: To pay some or all of the expenses associated with the construction of affordable housing.

Acquisition: To acquire developed properties suitable for resale to individuals or families.

Pre-development Costs: To pay some or all of the pre-development costs (such as feasibility studies, appraisals, land options and preparation of an application) for projects to be developed for the purpose of providing rental or owner-occupied affordable housing.

Land Trust: To provide grants to organizations for land trust projects that guarantee long-term affordability of a property through a 99-year renewable ground leases or for maintenance of land trust housing stock.

Subsidy: To provide permanent subsidies to reduce the sale price of new or existing housing units so as to make them more affordable.

### Repair, Rehabilitation, Weatherization & Preservation

- To provide for emergency home repairs of properties in the affordable housing stock. \*
- To provide for the weatherization of properties in the affordable housing stock. \*
- To provide for the maintenance of properties in the affordable housing stock that are falling into disrepair. \*
- To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of rehabilitating affordable housing.
- To provide grants or loans to nonprofits to avoid losing homes in the permanent affordable housing stock as a result of foreclosure.

## Housing Stabilization

Town of Carrboro Housing Stabilization Assistance funds are administered by Orange County through the [Emergency Housing Assistance](#) program.

- To provide rental and/or utility deposit grants for Housing Choice Voucher, Permanent Supportive Housing (PSH), Rapid Re-housing, HUD-VASH and Housing Opportunities for Persons w/ AIDS (HOPWA) recipients relocating to rental units in Carrboro as a result of their current rental units no longer accepting a housing subsidy listed above. \*
- To provide rental and/or utility deposit grants for those who have been assessed by the Coordinated Entry process as it relates to homelessness and have identified safe, decent, and affordable housing. \*
- Assistance may be used for payment of security deposits, utility connections/arears, mortgage assistance and/or rental payments given extenuating circumstances. \*

\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

## FUNDING PRIORITIES

The fund is dedicated to the development and preservation of affordable housing. Priority goals include **increasing the supply of affordable housing units, increasing the quality of housing stock while maintaining affordability, and helping people stay in the homes they have (both owners and renters).**

Priority project areas include:

- Rental projects that serve households with incomes 60% and below the Area Median Income (AMI), with greater priority to those serving households with extremely low incomes.
- Homeownership projects that serve households with incomes 80% and below the AMI.

## GENERAL APPLICATION INFORMATION AND PROCEDURES

**Funding applications are accepted three times a year: October 1, January 1, and April 1.** Funding is based on the availability of funds. Only as many funding cycles will be completed as necessary to use the available funds. All application documents should be submitted electronically to [Anne-Marie Vanaman](#). Applications are reviewed by the Affordable Housing Advisory Commission. The AHAC's recommendations for funding are then forwarded to the Town Council for final approval.

## CHECKLIST OF REQUIRED DOCUMENTATION

Application:

- ✓ Section 1: Applicant and Project Overview
- ✓ Section 2: Project Description
- ✓ Section 3: Performance Measurements\*
- ✓ Section 4: Project Budget and Pro-forma
- ✓ Section 5: Agency Description

**Other Required Attachments:**

Please provide **one copy** of each of the following documents (once per year):

- ✓ Current list of Board of Directors, including addresses, phone numbers, terms, and relevant affiliations
- ✓ Current Bylaws and Articles of Incorporation
- ✓ IRS tax determination letter [501(c)(3)] (if applicable)
- ☐ Most recent independent audit (if applicable)

Applications may not be considered for the following reasons:

1. Project does not align with the eligibility criteria for these funding sources
2. Applicant has demonstrated poor past performance in carrying out projects or complying with funding guidelines
3. Applicant fails to provide required information
4. Incomplete or late applications

\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

PLEASE CALL OR EMAIL ANNE-MARIE VANAMAN OR REBECCA BUZZARD WITH FUNDING QUESTIONS:

919-918-7321 OR [amvanaman@townofcarrboro.org](mailto:amvanaman@townofcarrboro.org) 919-918-7438 OR [rbuzzard@townofcarrboro.org](mailto:rbuzzard@townofcarrboro.org)



# FUNDING APPLICATION

DATE: 9/24/2021

## Section 1: APPLICANT AND PROJECT OVERVIEW

### A. Applicant Information

Applicant/Organization's Legal Name: Pee Wee Homes

Primary Contact Person and Title: Erika Walker, Program Director

Applicant/Organization's Physical Address: 8410 Merin Rd, Chapel Hill, NC 27516

Applicant/Organization's Mailing Address: 8410 Merin Rd, Chapel Hill, NC 27516

Telephone Number: (919)590-9023

Email Address: peeweehomes@gmail.com

### B. Project Information

Project Name: Pee Wee Homes at 106 Hill Street

Total Project Cost: \$266,425

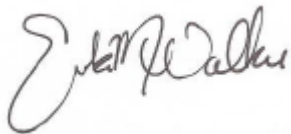
Total Amount of Funds Requested: \$100,000

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.):

Pre-development costs and construction

To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.

Signature:



9/24/2021

Executive Director or other Authorized Signatory

Date

## Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the "who," "what," "when," and "where" questions about your project). **Do not assume the reader knows anything about the project.**

### A. "Who"

1. Who is the target population to be served and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

This project will serve individuals who are either currently experiencing homelessness or who have a history of chronic homelessness with incomes below 30% AMI. The needs of these individuals will be served through the development of rental housing that is available at rates affordable to extremely low-income households. Pee Wee Homes also commits to offering community support for the tenants. While residents for these homes have not yet been selected, we have indicated the demographics of our current homes in the second table below.

2. Please indicate the income of the beneficiaries (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI	3	100
31%-60% of AMI		
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
TOTAL		

Income Group	Seniors age 62+	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI	2		4		5				
31%-60% of AMI									
61-80% of AMI									
81-100% of AMI									

101-11 5% of AMI									
TOTAL									

**3. Project Staff.** Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

The construction will be managed by Pee Wee Homes Site Development and Construction Committee. The primary leaders for this project include:

**Greg Rockett:** Residential Construction Manager at Self-Help Development Corporation with decades of construction experience and Founding Board of Directors member of Pee Wee Homes. Greg has overseen the construction of hundreds of quality affordable housing units across the country and has helped oversee the previous 5 units of Pee Wee Homes and our current duplex project underway on Mitchell Street.

**Sarah Howell:** Architect, AIA LEED AP, lead architect designing and constructing efficient, beautiful, customized homes for reconstruction in the Make It Right Foundation effort post-Hurricane Katrina. Sarah's design plans and specifications were used to build the first five Pee Wee Homes, our in-process duplex, and are being used for this project as well. Sarah is also a founding board member of Pee Wee Homes.

**Hudson Vaughan:** Founding board member, Hudson has gained significant experience in affordable housing projects through his role at the Northside-based Marian Cheek Jackson Center.

**Lisa Fischbeck:** Board Chair and Priest at the Church of the Advocate (COA), Lisa coordinated the development of the COA site and restoration of buildings in 2010 – 2018. She also was involved in the construction and management of the three Pee Wee Homes on the COA property.

**Erika Walker:** Pee Wee Homes Program Director, she will be coordinating the partners on the project and ensuring continued community involvement as the project moves forward.

**Cherie Rosemond:** Director of UNC's Partnerships in Aging Program and facilitator of Orange County's Master Aging Plan, Cherie will assist with final design planning.

**Pee Wee Homes Tenancy Committee:** made up of professional social workers and several homeless programs service providers, will be responsible for identifying tenants, managing leasing and other property management, as well as connecting with service providers to support tenants.

**General Contractor:** Nicole Goolsby of Red Ladder Residential Inc. is an award-winning builder, committed to finding ways to reduce our costs while keeping the quality of construction high.

## **B. "What"**

**1. Type of Activity.** Please check the category under which your project falls.

- ☐ Acquisition
- ☒ Pre-development costs
- ☐ Rental subsidy
- ☐ Ownership subsidy

- ☐ New construction for homeownership
- ☒ New construction for rental
- ☐ Rehabilitation for owner-occupied or rental (including urgent repairs - see \*)
- ☐ Land banking
- ☐ Grant to land trust
- ☐ Foreclosure assistance
- ☐ Other (specify):

*\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.*

**2. Project Description.** Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

### **C. "Where"**

**1. Project Location.** Please be as specific as possible.

This project will occur at 106 Hill St, on the corner of Hill and Broad streets in the Lloyd/Broad section of the Northside Neighborhood of Carrboro. This location is across the street from a park and community garden, two blocks from grocery stores, shops, and restaurants in downtown Carrboro as well as the many bus lines that run down Main Street. It is also one block from a health clinic and half a mile from Northside Elementary School.

**2. Project Size (if applicable).** Please provide the size of development site: 0.172 acres

Please attach the following:

- ✓ Site map showing lot boundaries, locations of structure(s), and other site features
- ✓ General location map (at least ½ mile radius)

### **D. "When"**

Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.)

### **E. Project Details**

If the questions below are not applicable or the requested information is not currently available, please insert N/A.

**1. Property Acquisition.**

**a.** Has your agency acquired real property in order to carry out the project, or is property acquisition planned?

The Carrboro Affordable Housing Advisory Commission has officially recommended that the Town of Carrboro donate the land to Pee Wee Homes. As soon as we submit and get the development permit approved, the town will transfer the land to Pee Wee Homes.

**b.** Is the property currently occupied? If so, attach a description of your plan to relocate.

The property is vacant.

**c.** Please attach an appraisal of the property.

N/A

## 2. Construction/Rehabilitation Detail.

- a. How many units will be newly constructed? 3 units
- b. How many units will be rehabilitated? N/A
- c. What is the square footage of each unit? 320, 350, and 400 SF
- d. What is the number of bedrooms in each unit? 1
- e. What is the number of bathrooms in each unit? 1
- f. How many units will have full ADA accessibility? 1 (hope for 2 depending on variances granted)
- g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?

Within Carrboro town limits at 106 Hill St.

- h. Please attach the following:

- ✓ Floor plan(s)
- ✓ Elevation(s)
- ✓ List of Energy Efficiency measures included in the project (if applicable)
- ✓ List of Universal Design principles included in the project (if applicable)

## 3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:

Tenants will pay a monthly rent amount no more than 30% of their income, generally in the range of \$200-\$300 per month, calculated based on income and estimated utility expenses. Additionally, 10% of each tenant's on-time rental payment is held in escrow for the tenant – assisting tenants in building equity during their residency. The tenant will be able to use these escrow deposits as a cushion in emergencies or to transition to their next home. In addition to building equity for the tenant, rental payments will help to perpetuate the model and provide for maintenance costs to ensure that dwellings remain high-quality, safe places to call home. The property will have a legal agreement for permanent affordability serving individuals making less than 30% AMI.

- b. What are the proposed rents (including utility costs) or sales prices for completed units?

Tenants will be charged no more than 30% of their income for the rent, with a target population of individuals with approximately \$650 - \$1,000 in monthly income, monthly rents will be between \$200-\$350.

- c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:

We will partner with the Community Empowerment Fund (CEF), Inter-Faith Council (IFC), and Orange County to reach homeless and formerly homeless individuals. CEF provides support to 600 homeless and near-homeless individuals in Orange County and has been a partner on previous projects. Orange County leads coordinated entry and assessment systems for homeless individuals in Orange County which enables the agency to prioritize the needs of potential tenants based on their

circumstances and needs. We will also market these rentals through the Street Outreach, Harm Reduction and Deflection Program (SOHRAD) and the Durham VA Health Care System.

- d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.

**Planned list of energy efficient measures:**

- Lighting Fixtures – all LED fixtures
- Envelope Improvements
  - o Air seal attics, crawlspace, sill/top plate; all windows, doors, etc.
  - o Insulation: attic (R-40);
  - o Crawlspace sealed with conditioned air provided- for applicable split-level unit
- Appliances – Energy Star Qualified Units
- Windows, Doors – Energy Star Qualified
- HVAC
  - o Programmable Thermostat
  - o Ductwork Improvements (with applicable unit)– sealing, use of high-efficiency mini-split for remaining units.
  - o Energy Star Qualified Unit, 14 SEER
- Plumbing
  - o Water Sense toilets
  - o Energy Star water heater

\*\*\***Renewable Energy Potential**- the south facing roofs in this project would be perfect for solar panels. Pee Wee Homes will actively solicit donated solar panels to install for energy efficiency, and cost-effectiveness for our tenants. We currently have a private donor interested in contributing to this effort.

**Planned list of universal design features:**

- Clear door opening widths for all entrance doorways and interior doorways
- 1:20 max ramps- for split level unit where applicable
- Slab on grade construction- where applicable
- Zero threshold showers
- ADA compliant bathroom in applicable unit
- Natural light and cross ventilation
- Adjustable height shelves in wall cabinets
- Single-lever water controls on plumbing fixtures
- Electrical outlets 18" minimum height

\*\*\***Livable Design**- Pee Wee Homes is committed to building homes with livable design. Having now received variances to build into the stream buffer, we will build two of these units to have livable design for residents to age in place (as of now we are committed to having one unit be ADA compliant, but have a soft goal of two ADA compliant units). We have considered options like a wall without wiring in it so it can be removed if needed to make space for the bathrooms to accommodate accessibility.

- e. What supportive services, if any, will be provided through this project?

The PWH Tenancy Committee, made up of professional social workers and several homeless program service providers, will connect our tenants to supportive services and established community groups to support our tenants' various needs. We are committed to providing our residents with the support and grace they require to transition out of homelessness. Our highly skilled and energized board is ready to jump in and help our tenants with tasks such as furnishing their homes and applying for services like housing vouchers, rent assistance, among others. Additionally, our equity building escrow account program helps provide our tenants with a small safety net for future expenses.

### **Section 3: PERFORMANCE MEASUREMENTS**

## **A. Goals and Objectives**

Please complete the following chart with information about the project's goals and objectives.

<b>Goal/Objective</b>	<b>Measurement</b>
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI.</i>
Building homes: Construct affordable, dignified, comfortable, and accessible homes that incorporate green energy up-fitting and creative design to convert small spaces into efficient, happy living spaces.	Build as many units as we can fit on 106 Hill that are affordable to <30% AMI individuals
Building equity: Neighbors living in Pee-Wee homes will pay a monthly rent amount of \$200-\$300 per month, which includes an equity-building deposit held in escrow for the renter – to eventually use as a cushion in emergencies or to transition to their next home.	Assist 3 tenants in building equity through rental payments
Building Community: we plan to support our tenants' various needs by connecting our tenants with service providers, and community groups. We are committed to providing our residents with the support and grace they require to transition out of homelessness.	Implement prioritized recommendations from UNC occupational therapy students for each of our residents in 2021-2022 period

## **B. Alignment with Town Goals and adopted affordable housing strategies.**

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

The PWH 106 Hill St project aligns with many of the local goals and affordable housing strategies as outlined in the Town of Carrboro Affordable Housing Goals and Strategies document and the 2020-2025 Orange County Five Year Consolidated Plan. The project specifically addresses the following Town of Carrboro goals:

- 2.1 Increase number of rental units that are permanently affordable to individuals and families earning less than 60% AMI.
- 2.4 Reduce erosion of rental housing quality and affordability.

The most relevant niche that Pee Wee Homes and this project in particular fall into, is providing housing to those with <30% AMI. Though our project may only house a few individuals, only 5% of housing in Orange County is currently available to those of extremely low income, so we believe any step in the right direction will significantly help this population, especially as our organization continues to pick up momentum and grow. We also prioritize our housing for individuals who are experiencing homelessness or have a history of chronic homelessness, which aligns with the Orange County strategic plan priorities. It is our goal to be able to provide housing for people who are aging or who have service needs, and we have taken steps in that direction. But as the situation of homelessness in our county is so dire, at this time we prioritize building units with as much livable design incorporated as possible and are still working on our capacity to support those with service needs.

## **Section 4: PROJECT BUDGET AND PRO-FORMA**

### **A. Project Budget**

✓ Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.

Has an appraisal been conducted? If so, please attach.

N/A. No appraisal

### **B. Terms of Project Funding**

Please specify the type of funding request for which you are applying:

✓ Grant

☐ Loan

### **C. Pro-forma (for rental property only)**

✓ If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

## **Section 5: ORGANIZATION DESCRIPTION**

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

### **A. Organization**

What is your organization's . . .

1. Mission statement?

The mission of Pee Wee Homes is to create dignified, affordable tiny homes in a caring community for, and with, people transitioning out of homelessness.

2. Incorporation date (Month and Year)?

August 2017, 501c3 status: 9/9/2019

3. Estimated Total Agency Budget for this fiscal year?

\$245,581 - 2021 organizational budget attached

4. Total number of agency staff (full time equivalents):

0.5 FTE

### **B. Organization Track Record and Community Support**

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project

Pee Wee Homes collaborates closely with many organizations and community groups to make our builds happen and house our neighbors as can be seen by the answer to question 4 below. Self-Help and the Jackson Center, leaders of the Northside Neighborhood Initiative, initiated the conversation for Carrboro to



donate this lot for affordable housing. Regarding support, Self-Help (via the Oak Foundation) has matched all the affordable housing projects connected to the NNI by at least \$20,000 per unit. We plan to apply for their support once we secure government funding and are confident in our conservative matching request. The Northside Compass Group, consisting of leaders throughout Northside, is supportive of Pee Wee Homes as an organization, and has a track record of helping provide community support and friendship to our residents once they move in, by providing them services offered to those in need in the neighborhood. We currently are working closely with Town of Carrboro staff who will donate this lot for the use of affordable housing for those making <30% AMI.

2. Involvement of intended beneficiaries of the project in the planning process

The current residents of the Pee Wee Homes have provided feedback on their experiences in their Pee Wee Homes to provide guidance on design adaptations and livability of the units. The Pee Wee Homes Board includes two folks with lived experience with homelessness, one of whom is a current PWH tenant and one who lives in a home managed by the Northside Neighborhood Initiative and has provided ongoing support for tenants. Both have been involved in the planning and visioning of these units.

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables

Pee Wee Homes has completed five beautiful, quality tiny houses of permanently affordable rental housing over the last three years. Two of these homes are located in Northside and three at the Church of the Advocate in Chapel Hill. Both projects have been incredibly successful communities so far, with five residents who have all made transitions out of homelessness (four over the age of 55!) and are receiving site-based support from neighbors, Pee Wee Homes board members, and church members. The model has been working: tenants are paying between \$200-\$333 depending on their income, gaining equity, and sustaining their transitions into permanent housing (our tenants at Northside are now in year 3).

4. Collaborative relationships with other agencies

Pee Wee Homes has close collaborative relationships with the Jackson Center, the Community Empowerment Fund, Self-Help Credit Union, the Interfaith Council, UNC-Chapel Hill, and the Towns of Chapel Hill and Carrboro. Many of these collaborations are sustained by nature of our board wearing multiple hats and bringing their connections with the above agencies and institutions with them to their work with Pee Wee Homes. There are other groups we connect with as well for specific projects, such as Carol Woods, SOHRAD, Partnerships in Aging, Church of the Advocate, and local social workers. We believe firmly that collaboration is, and has been, the key to our success.

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive

We plan to link with the Jackson Center and the Community Empowerment Fund to coordinate and provide community to those transitioning out of homelessness. As an organization, it is part of our mission to allow individuals to be supported in community. The programs the Jackson Center and CEF offer will support our residents with ongoing resources, community connections, and advocacy. As an organization, we too will provide training to ensure residents are empowered and confident in utilizing house amenities and managing their needs. As an organization, we have partnered with UNC occupational therapy students to conduct a capacity analysis evaluating how we as an organization can best assist our residents to transition out of homelessness and age in community.

6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).

We accept housing choice vouchers. Having been through the process of funding, constructing, selecting tenants, and managing properties twice, we are fine-tuning the program on our third build currently, and will have that additional experience when beginning this hopeful fourth project!

## **Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST**

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES

✓ NO

b) Members of or closely related to members of the governing bodies of Carrboro?

YES

✓ NO

c) Current beneficiaries of the project/program for which funds are requested?

YES

✓ NO

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES

✓ NO

If you have answered YES to any question, **please explain below**. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an **undisclosed** conflict may result in the termination of any grant awarded.

**PeeWee Homes at 106 Hill St**

**Project Budget**

Sources

Town of Carrboro AHSRF (proposed)	\$100,000
HOME Funding (proposed)	\$100,000
Self-Help NNI Grant matching funds (proposed)	\$40,000
Private/Foundation Funding (committed)	\$26,425
<b>Total Sources</b>	<b>\$266,425</b>

Expenses

Pre-development, lot clearing, etc.	\$4,750
Construction (including utility connections & infrastructure)	\$241,000
Soft costs (design, etc.)	\$2,575
Contingency	\$18,100
<b>Total Expenses</b>	<b>\$266,425</b>





ENERGY EFFICENCY MEASURES  
106 Hill St

**Planned list of energy efficient measures:**

- Lighting Fixtures – all LED fixtures
- Envelope Improvements
  - Air seal attics, crawlspace, sill/top plate; all windows, doors, etc.
  - Insulation: attic (R-40);
  - Crawlspace sealed with conditioned air provided- for applicable split-level unit
- Appliances – Energy Star Qualified Units
- Windows, Doors – Energy Star Qualified
- HVAC
  - Programmable Thermostat
  - Ductwork Improvements (with applicable unit)– sealing, use of high-efficiency mini-split for remaining units.
  - Energy Star Qualified Unit, 14 SEER
- Plumbing
  - Water Sense toilets
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\*\*\***Renewable Energy Potential**- the south facing roofs in this project would be perfect for solar panels. Pee Wee Homes will actively solicit donated solar panels to install for energy efficiency, and cost-effectiveness for our tenants.



Universal Design Features  
106 Hill St

**Planned list of universal design features:**

- Clear door opening widths for all entrance doorways and interior doorways
- 1:20 max ramps- for split level unit where applicable
- Slab on grade construction- where applicable
- Zero threshold showers
- ADA compliant bathroom in applicable unit
- Natural light and cross ventilation
- Adjustable height shelves in wall cabinets
- Single-lever water controls on plumbing fixtures
- Electrical outlets 18" minimum height

\*\*\***Livable Design**- Pee Wee Homes is committed to building homes with livable design. If we receive the proper variances needed from Town Council to build into the stream buffer, we will build two of these units to have livable design for residents to age in place (as of now we are committed to having one unit be ADA compliant, but have a soft goal of two ADA compliant units). We have considered options like a wall without wiring in it so it can be removed if needed to make space for the bathrooms to accommodate accessibility.



West End Fellowship



Northside Elementary School



106 Hill St,  
Carrboro, NC 27510



Harris Teeter



Weaver Street Market



Jade Palace

Hampton Inn &  
Suites Chapel Hill...



Carrburritos

McDonald's



Cha House



Tin Cup Joe

75



Road Map

Terrain

Photography



106 HILL ST, CA, NC, 27510



Self Help Ventures Fund

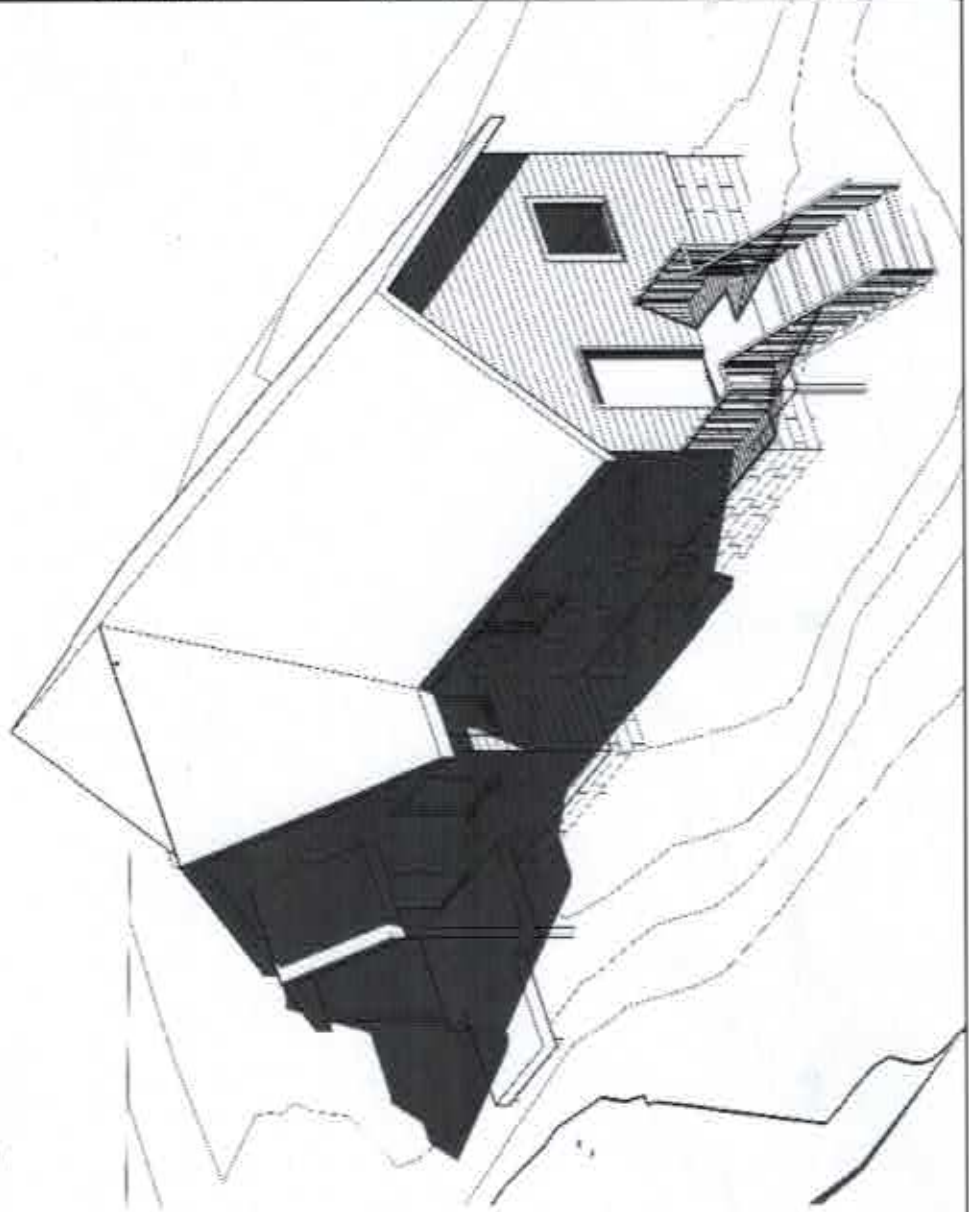
# Craig Street Duplex

Schematic Design

12.20.2016

DMSH Project No. 002-00

- A000 Cover
- A001A Site Plan
- A101 First Floor Plan
- A301 North Elevation
- A302 East Elevation
- A303 South Elevation
- A304 West Elevation



DICKSON-MILLS  
STEHU HOWELL  
ARCHITECTS

MICHAEL DICKSON-MILLS, AIA  
SARAH STEHU HOWELL, LEED AP

REVISIONS

© 2016  
Michael Dickson-Mills  
Sarah Stehu Howell

Client Name  
Self Help Ventures Fund

Job Name  
Craig Street Duplex

Location  
Dunlap Hill, NC

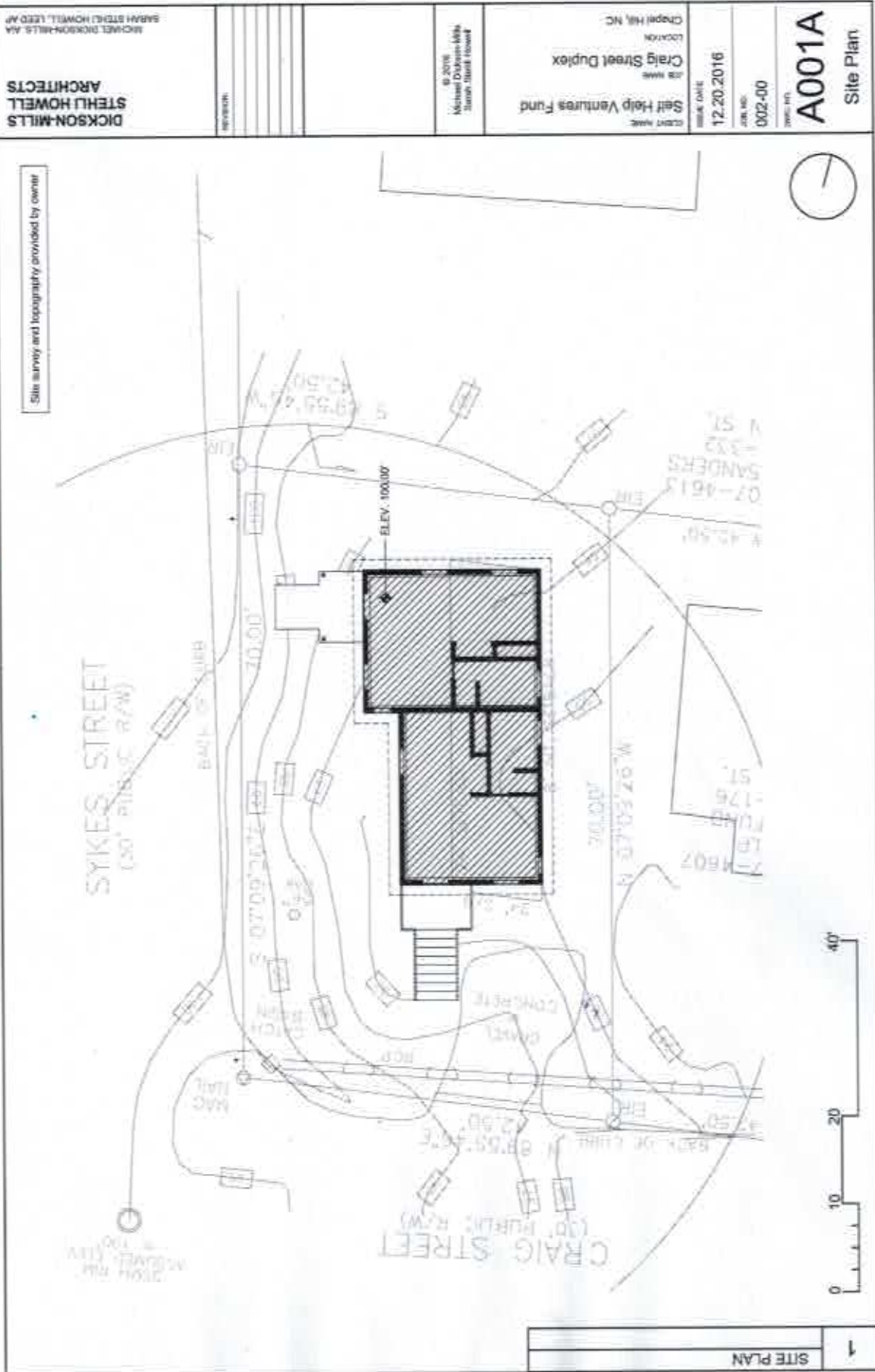
Issue Date  
12.20.2016

Job No.  
002-00

Drawn By  
A000

Cover

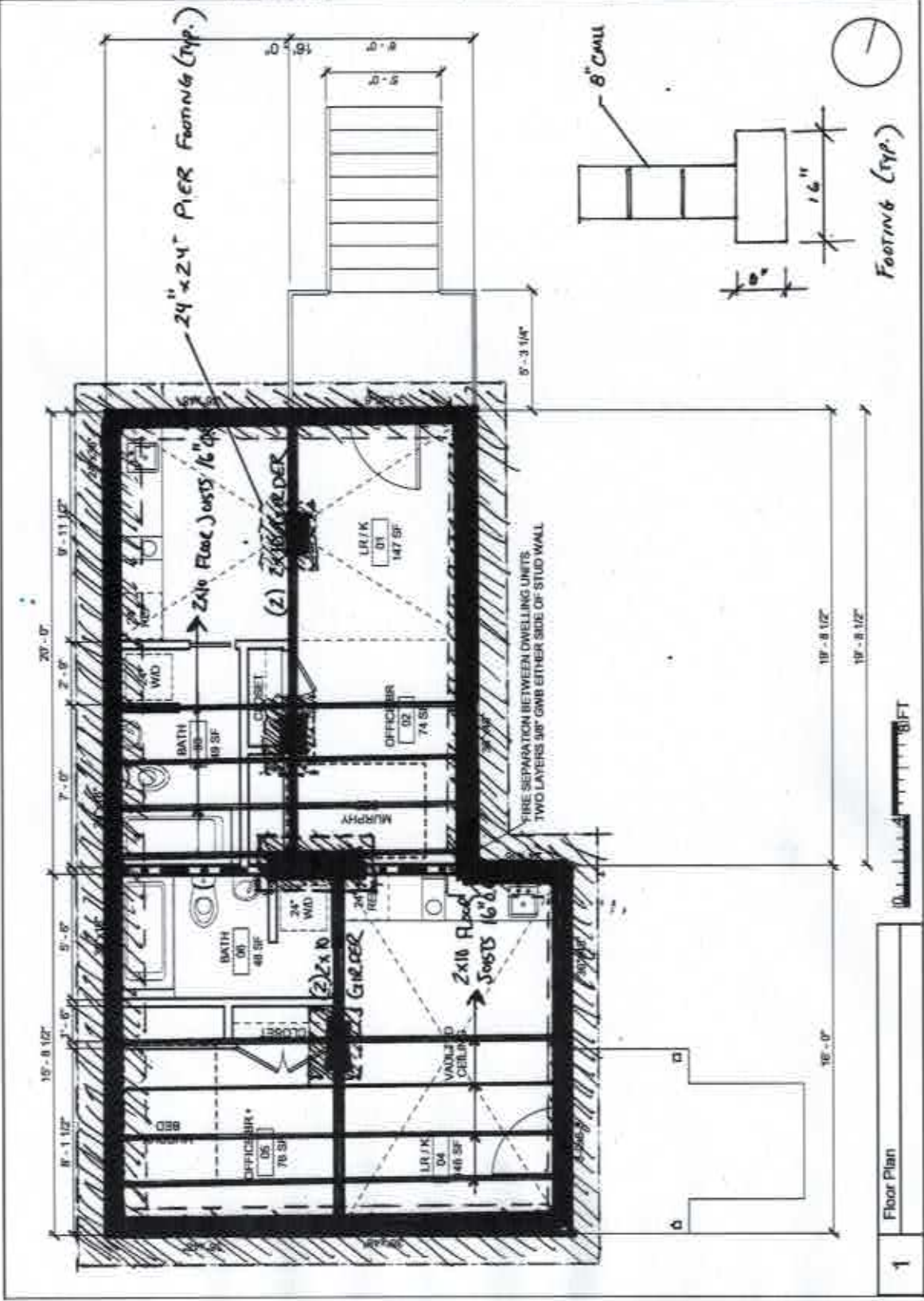
NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

<b>DICKSON-MILLS ARCHITECTS</b> MICHAEL DICKSON-MILLS, AIA SARAH STEHLI HOWELL, LEED AP	© 2016 Michael Dickson-Mills Sarah Stehli Howell	Client Name Self Help Ventures Fund	Location Craig Street Duplex Orange Hill, NC	Project Name A101 First Floor Plan	Project No. 002-00	Issue No. 12.20.2016	Issue Date 12.20.2016
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# Footings FRAMING







NOT FOR CONSTRUCTION

DICKSON-MILLS  
STEEHL HOWELL  
ARCHITECTS  
MICHAEL DICKSON-MILLS, AIA  
SARAH STEHL HOWELL, LEED AP

© 2018  
Michael Dickson-Mills  
Sarah Stehl Howell

CLIENT NAME  
Self Help Ventures Fund

JOB NAME  
Craig Street Duplex

LOCATION  
Chapel Hill, NC

DATE  
12.20.2018

JOB NO.  
0002-00

DWG NO.  
A101

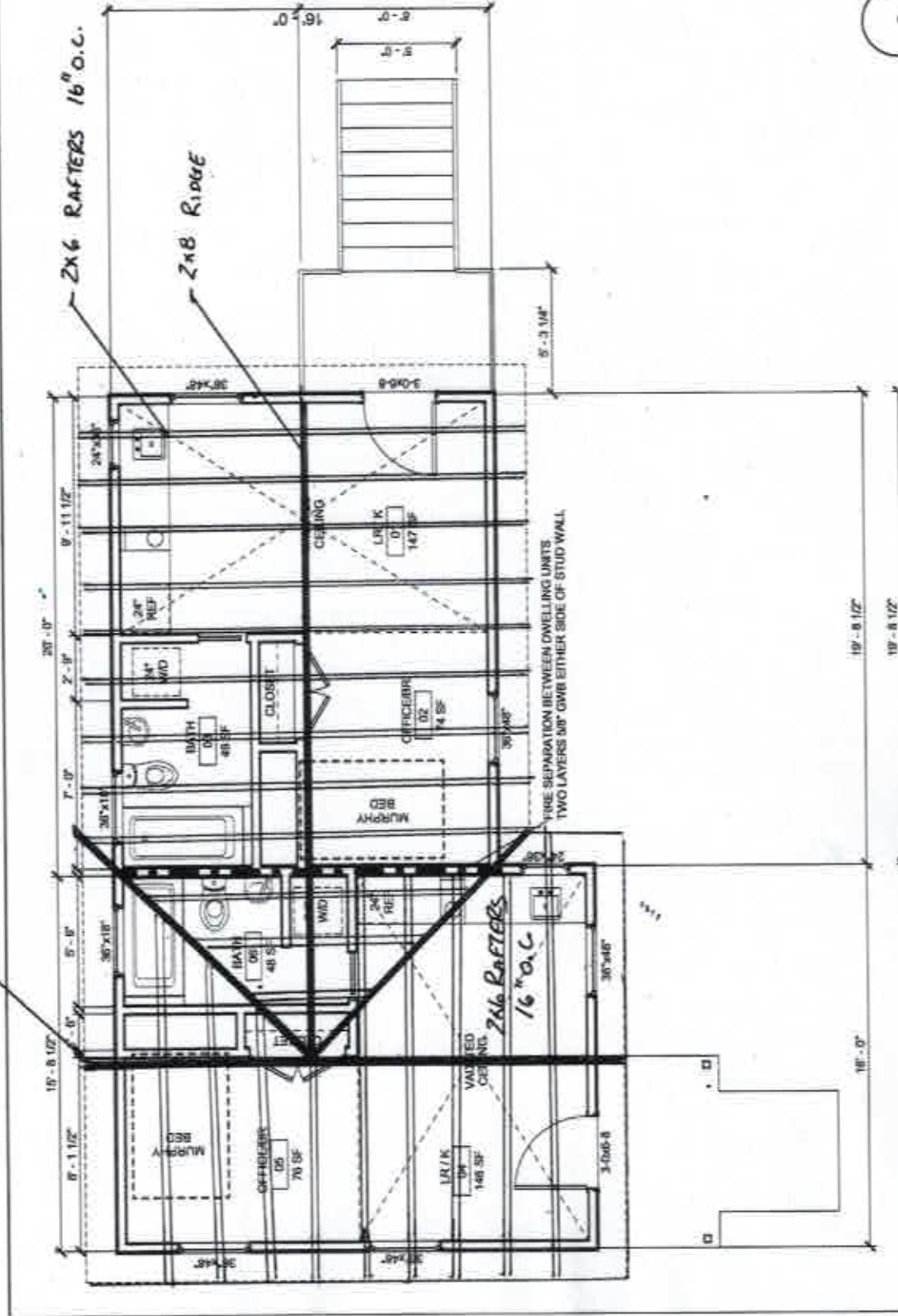
First Floor  
Plan

Roof Framing

2x8 RIDGE

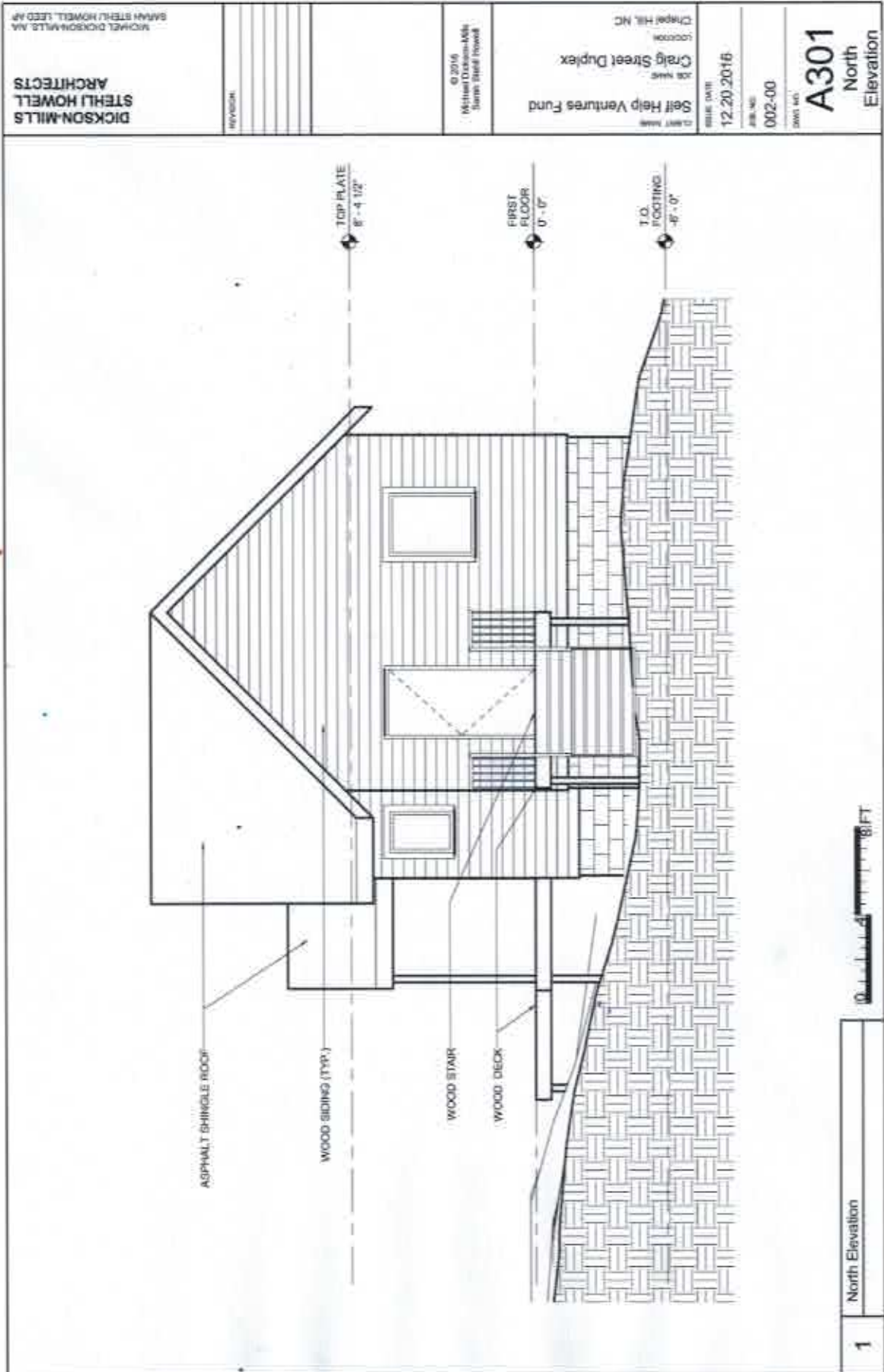
2x6 RAFTERS 16" O.C.

2x8 RIDGE

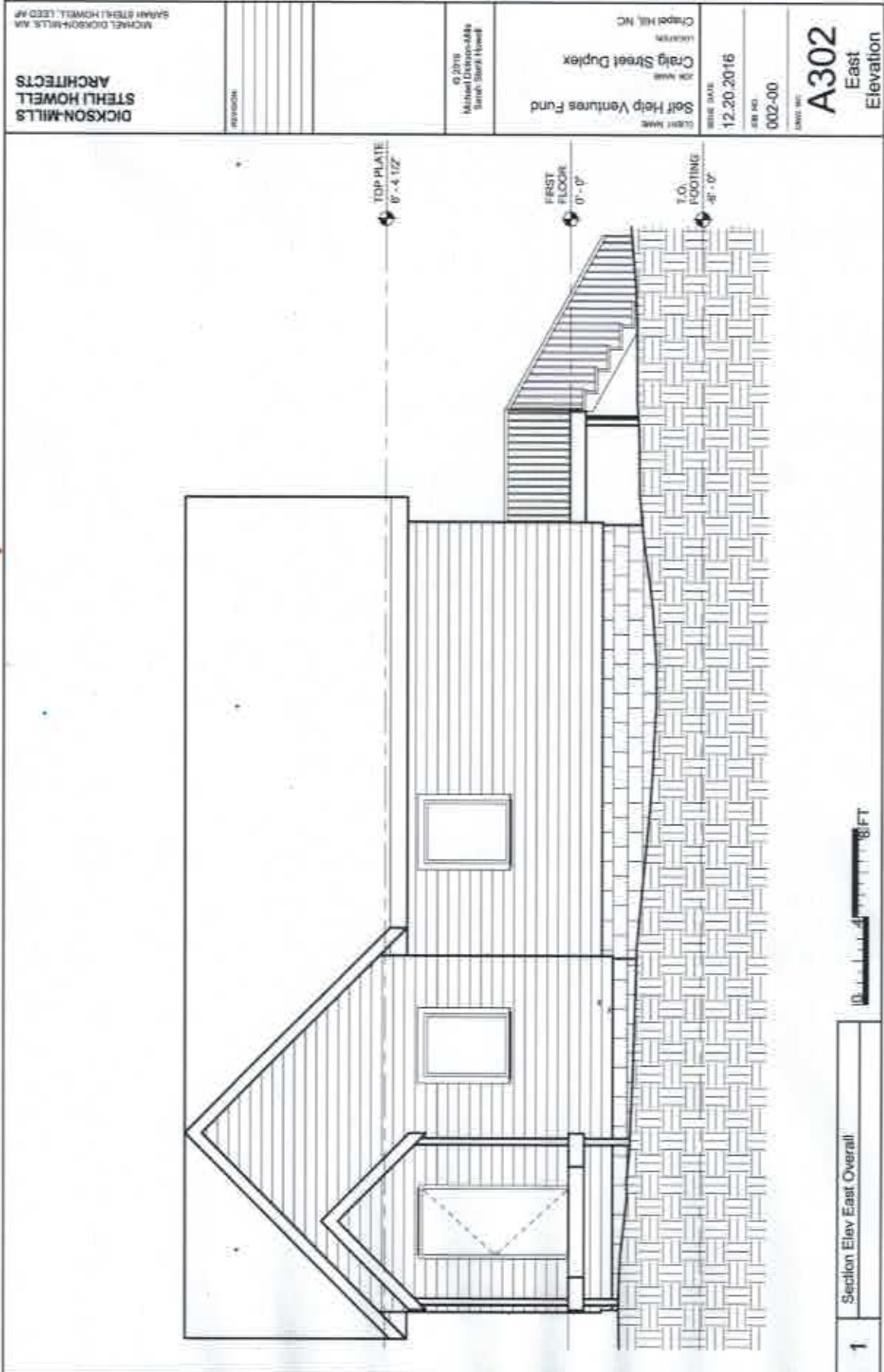


1 Floor Plan

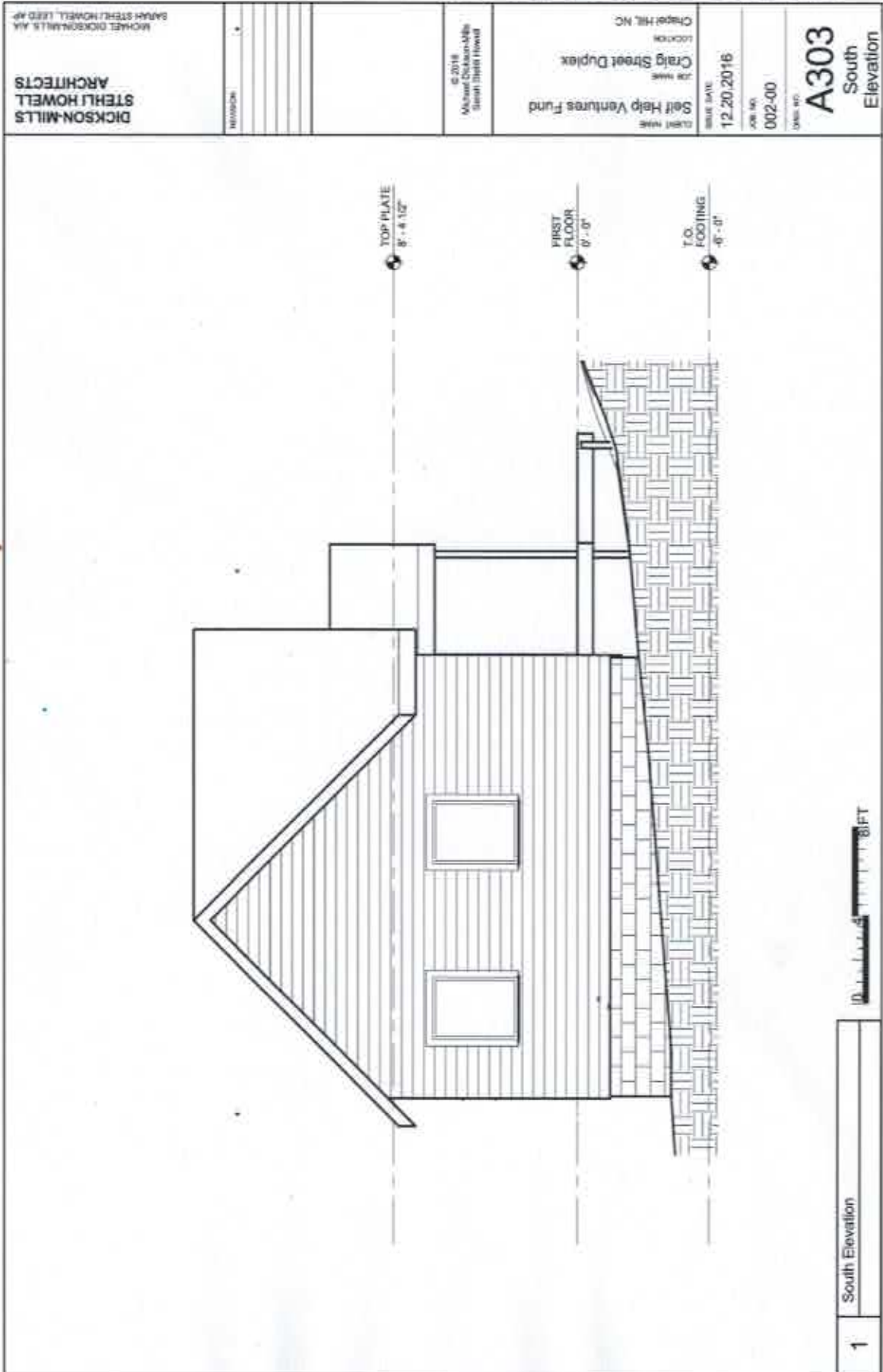
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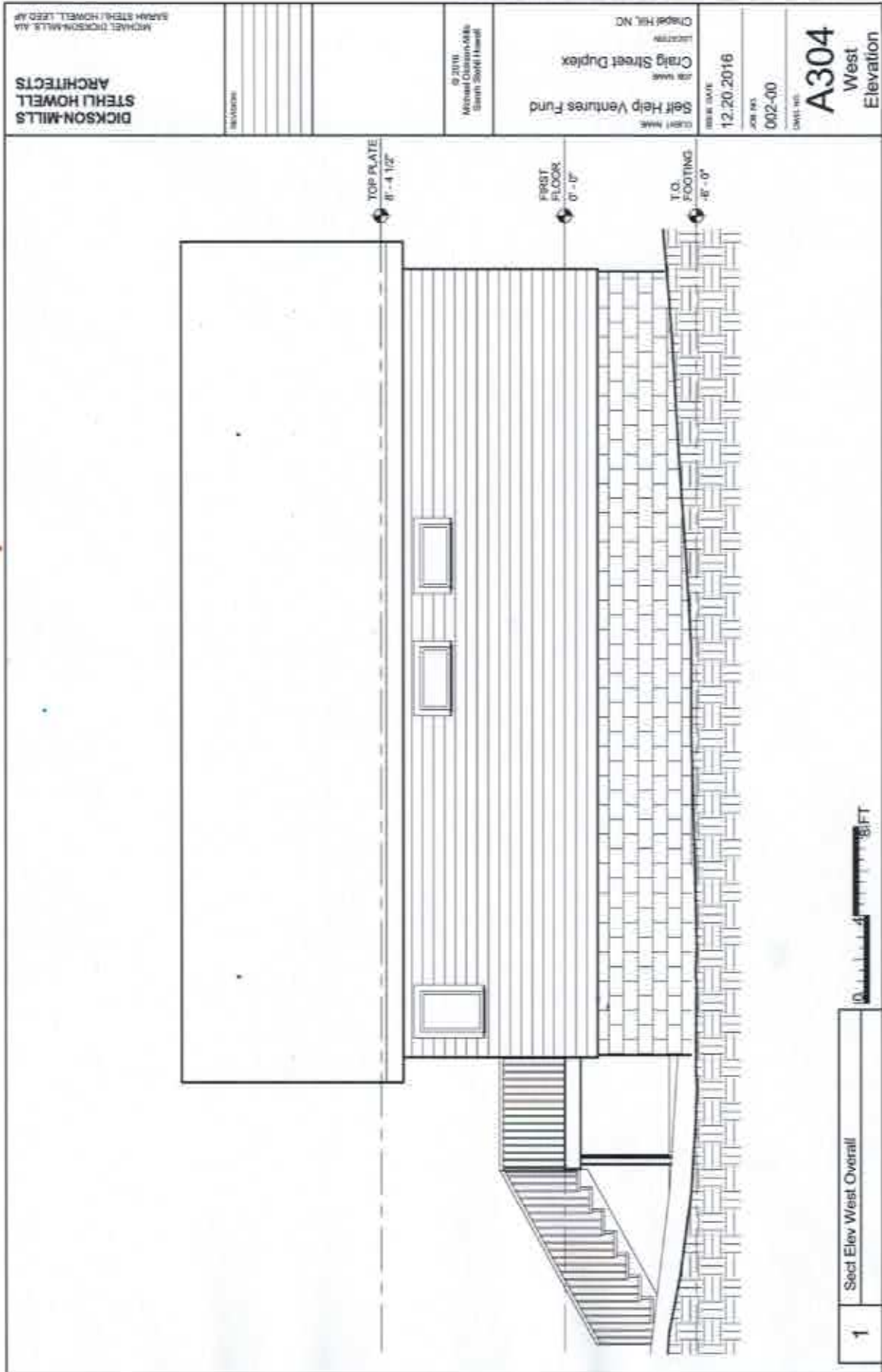


NOT FOR CONSTRUCTION





NOT FOR CONSTRUCTION



# PEE WEE HOMES PROTOTYPE 1

CONSTRUCTION DOCUMENTS - FOR PERMIT - 12 OCTOBER 2017

TOWN: CHAPEL HILL

COUNTY: ORANGE

GOVERNING CODE: NC BUILDING CODES AS  
DESCRIBED IN CHAPTER 5, SECTION 15 OF THE  
TOWN OF CHAPEL HILL CODE OF ORDINANCES  
OCTOBER 6, 2017

1<sup>86</sup>



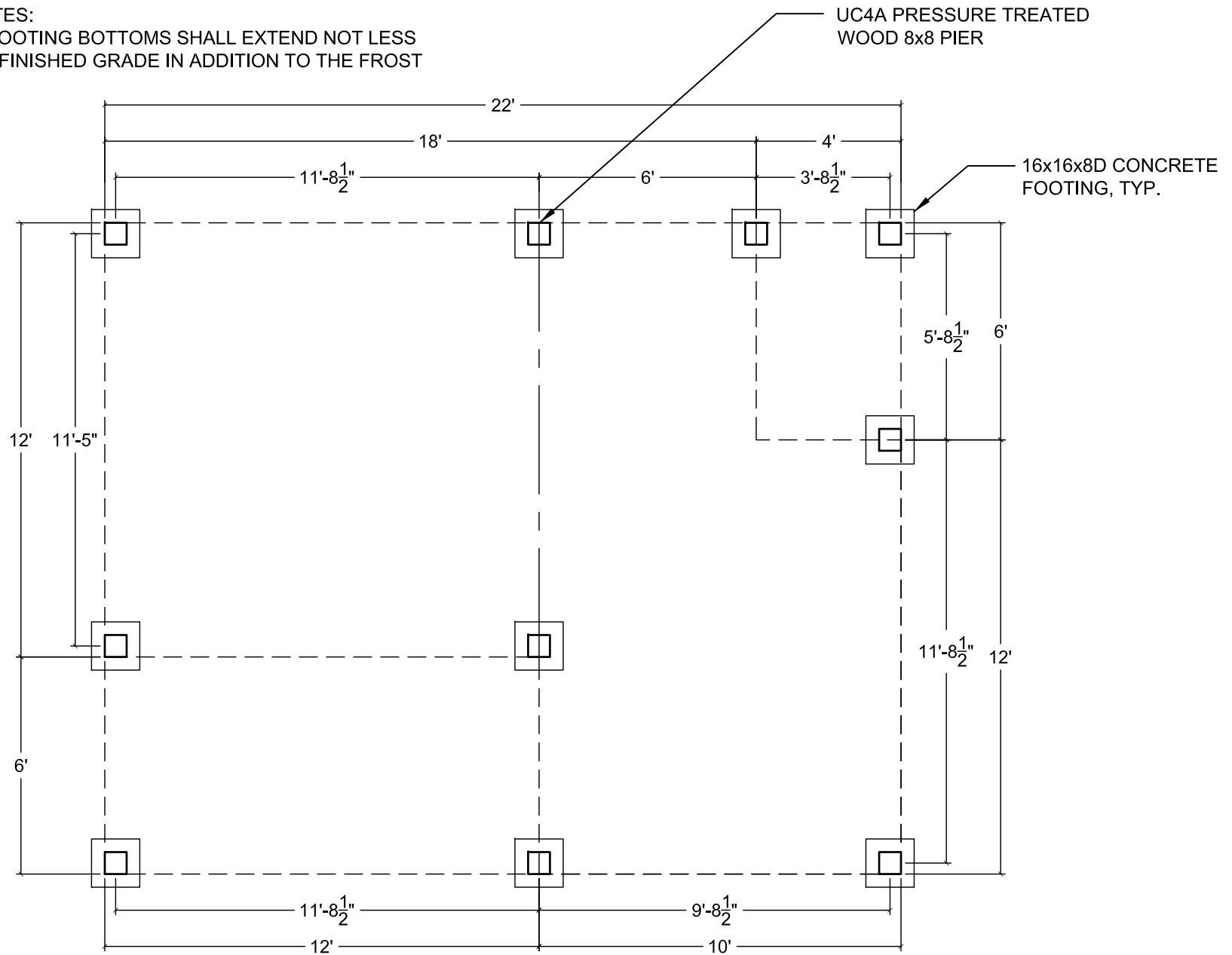
## DRAWING INDEX

1	COVER
1A	FOUNDATION PLAN
1B	FLOOR FRAMING PLAN
1C	FLOOR PLAN
1D	ROOF PLAN
1E	ELEVATIONS
1F	SECTIONS
1G	SECTIONS
1H	TYPICAL WALL SECTION
1J	INTERIOR ELEVATIONS
1K	SPRINKLER PLAN
1 SCHED	SCHEDULES
SPEC	SPECIFICATIONS



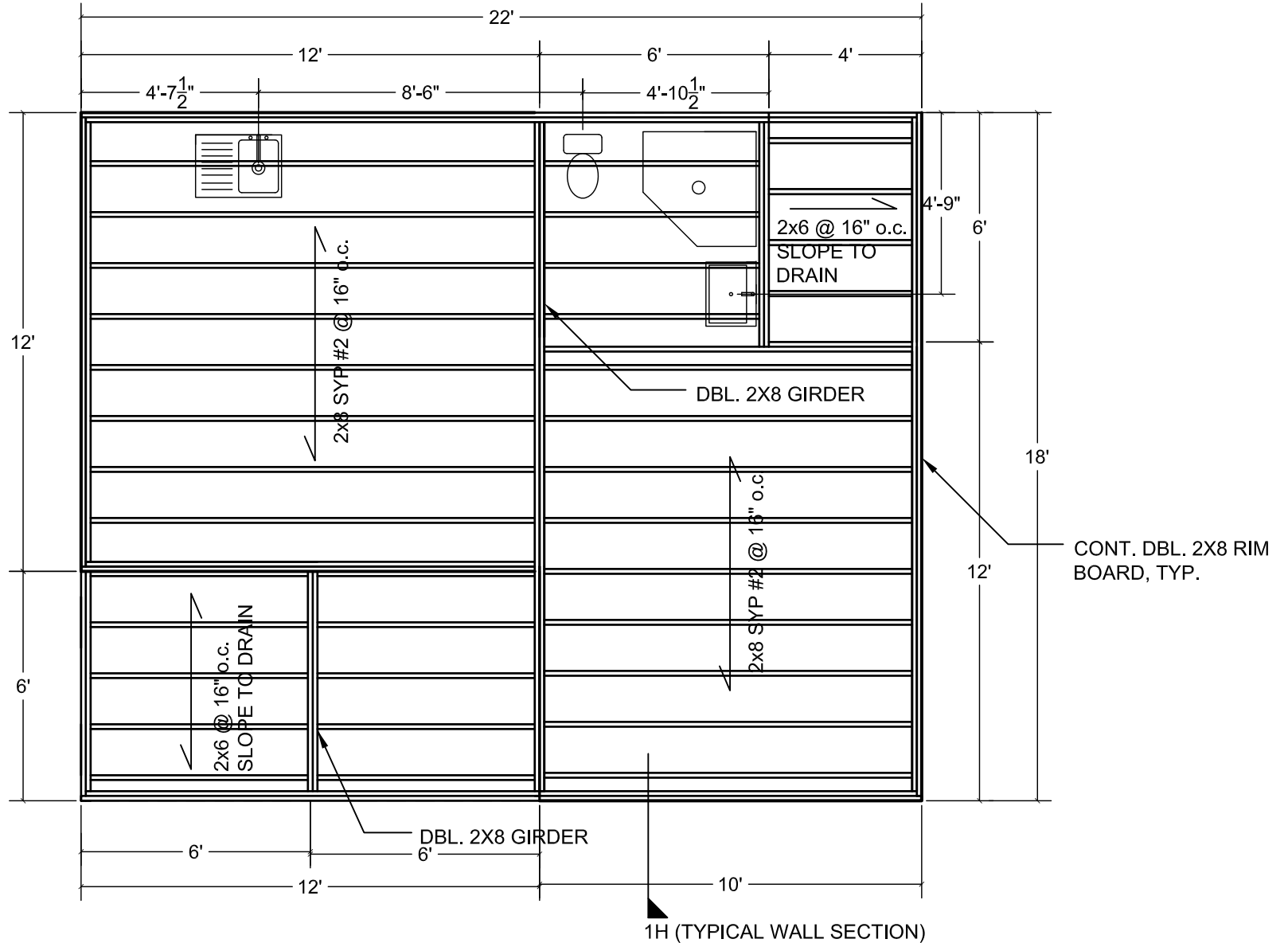
## FOUNDATION NOTES:

1. PER R403.1.4, FOOTING BOTTOMS SHALL EXTEND NOT LESS THAN 12" BELOW FINISHED GRADE IN ADDITION TO THE FROST LINE



## FLOOR FRAMING NOTES:

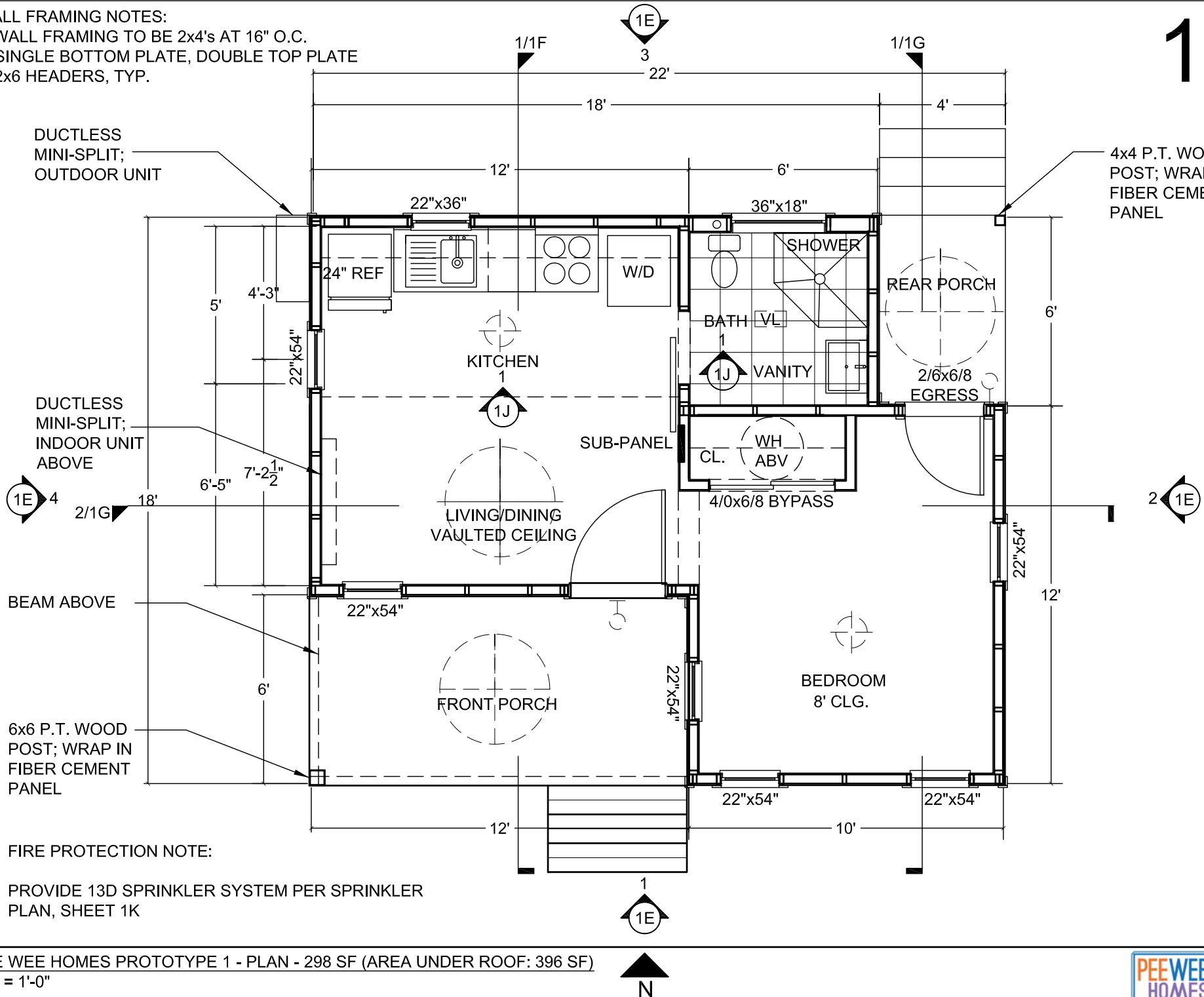
1. ALL FLOOR SYSTEM LUMBER TO BE PRESSURE TREATED.
2. ATTACH JOISTS TO GIRDERS WITH JOIST HANGARS (SIMPSON STRONGTIE LUS28Z, LUS26Z), TYP.
3. PLUMBING FIXTURES SHOWN FOR DRAIN LOCATIONS



# WALL FRAMING NOTES:

1. WALL FRAMING TO BE 2x4's AT 16" O.C.
2. SINGLE BOTTOM PLATE, DOUBLE TOP PLATE
3. 2x6 HEADERS, TYP.

1C<sup>89</sup>



PEE WEE HOMES PROTOTYPE 1 - PLAN - 298 SF (AREA UNDER ROOF: 396 SF)

1/4" = 1'-0"



ARCHITECTURAL SHINGLES, TYP.

TYPICAL ROOF FRAMING:  
RAFTERS 2x8's AT 16" O.C.,  
RIPPED TO 2x6 AT TAILS

RIDGE VENT

MATCH CHURCH +/- 2'

DOUBLE 2x8 TO  
SPAN PORCH

2x12 RIDGE

12:12

12:12

3:12

DOUBLE 2x8  
TO SPAN  
PORCH

MATCH CHURCH +/- 2'

DOUBLE 2x12 TO  
SPAN PORCH



ARCHITECTURAL SHINGLES  
MATCH COLOR OF CHURCH

BLDG. HT. 15'-6"

EXTERIOR LED SCONCE;  
INSTALL CENTERED  
ABOVE DOOR

FIBER-CEMENT BOARD AND BATTEN  
SIDING; PAINT WHITE TO MATCH  
CHURCH

DRIP-CAP AT ALL  
OPENINGS

CLG. 8'

6x6 P.T. WOOD POST,  
WRAP IN F. C. PANEL

1x SILL WITH 1x2 APRON  
AT ALL WINDOWS

FFE 0'-0"

GRADE  
VARIES

PROVIDE RAILING AT  
PORCH IF GREATER  
THAN 30"

6x6 P.T. WOOD POST,  
WRAP IN F. C. PANEL

SLOPE PORCH TO  
DRAIN

1 - FRONT - SOUTH

SOLID WOOD DOOR; PAINT TO  
MATCH CHURCH DOOR RED

PRESSURE TREATED WOOD  
LATTICE (ADD ALTERNATE)

2- SIDE - EAST

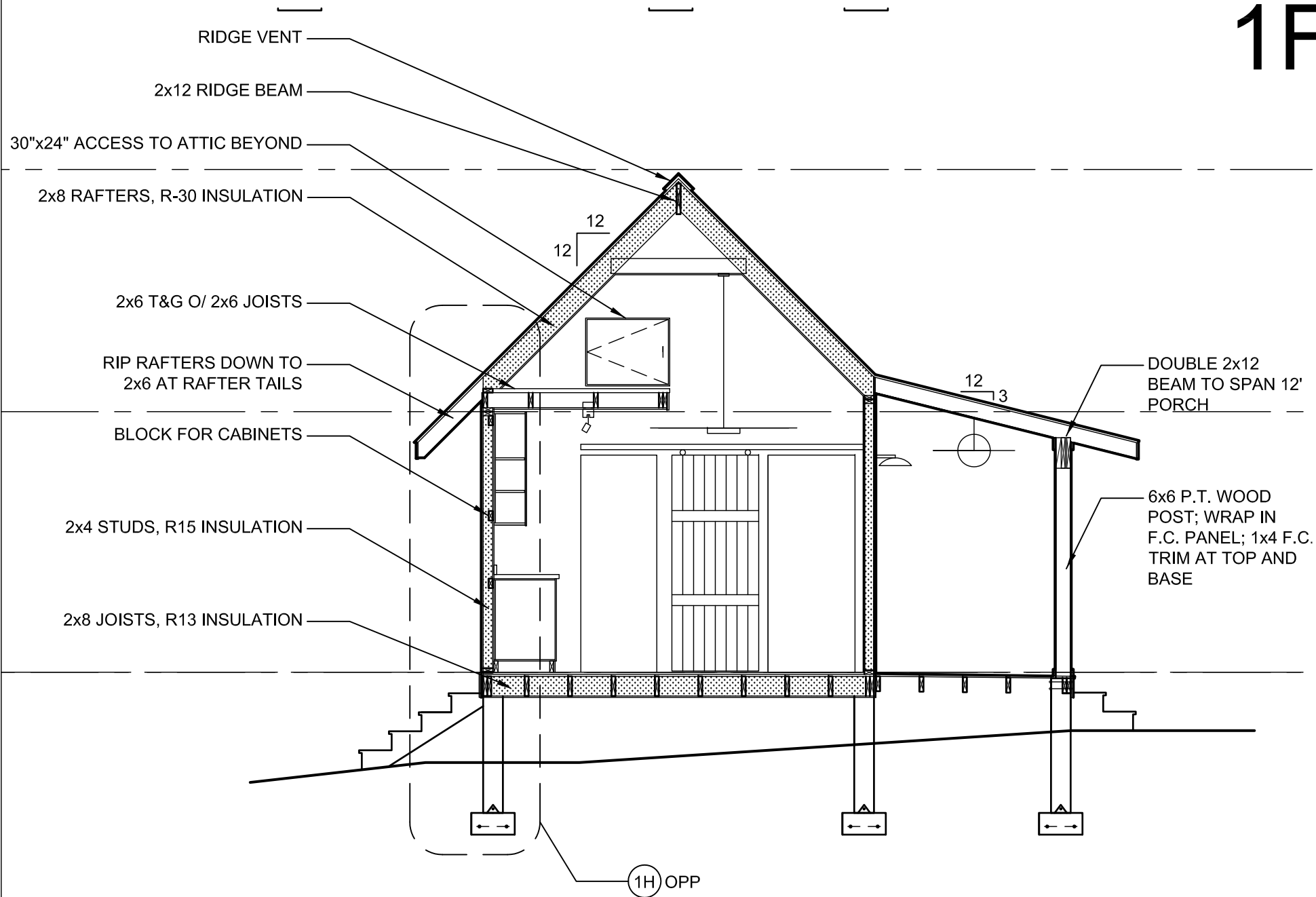
CLAD ENERGY STAR  
WINDOWS; WHITE  
SASHES,  
WHITE TRIM, TYP.

PAINTED, P.T. WOOD  
HANDRAIL; 30" HT.; 4" MAX.  
SPACING BETWEEN  
SPINDLES

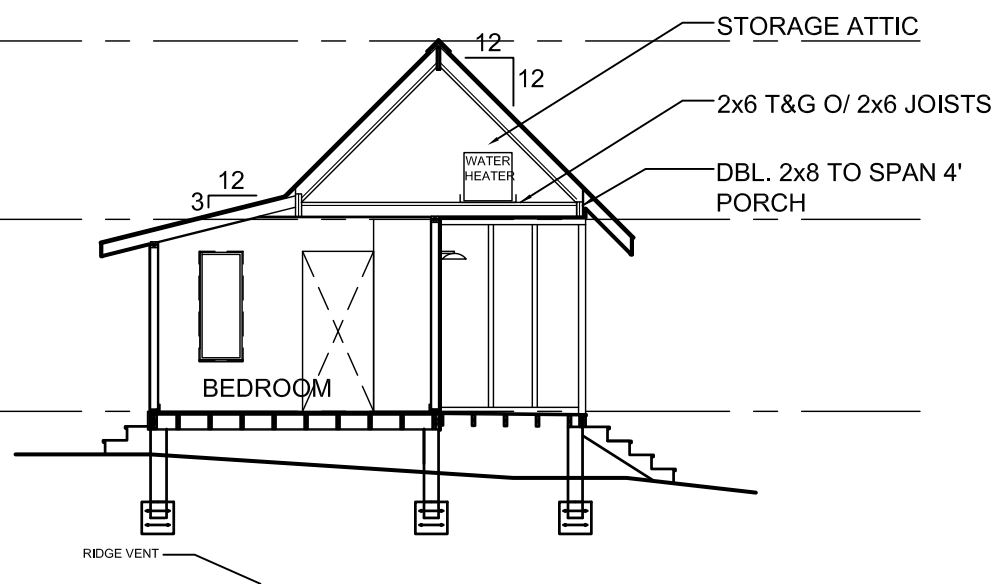
3 - REAR - NORTH

3' ACCESS PANEL  
(ADD ALTERNATE W/ LATTICE)

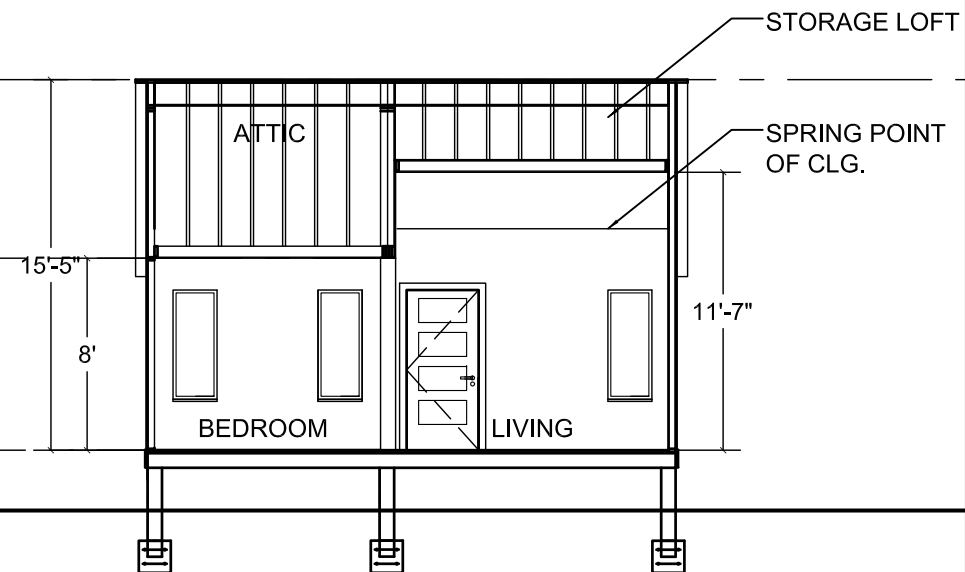
4- SIDE - WEST







1 - CROSS SECTION AT BEDROOM



2 - LONGITUDINAL SECTION

2x12 RIDGE BEAM,  
BEYOND

R-30 INSULATION, TYP.  
ROOFING FELT O/ SHEATHING  
2x8 RAFTER'S @ 16" O.C.

1H<sup>94</sup>

MATCH CHURCH

2x6 T&G FLOOR BOARDS  
2x6 CEILING JOISTS @ 16" O.C.

CARDBOARD BAFFLE

1/2" PLYWOOD

SIMPSON H25A

FLASHING

1x8 PTD. WOOD FASCIA

FIBER CEMENT VENTED SOFFIT BOARD

FIBER CEMENT BOARD

MOISTURE BARRIER)

SHEATHING

2x4 STUDS, R-15 INSULATION

PLYWOOD

BASEBOARD

1x10 FIBER CEMENT SKIRT BOARD

RUN SHEATHING AND F.C. PANEL  
TO BASE OF JOISTS

INSTALL CONTINUOUS FLASHING BETWEEN  
SHEATHING AND F.C. PANEL

CONT. DBL. RIM BOARD; FASTEN TO PIER W/ (2) 5/8" THREADED RODS  
W/ HOT-DIPPED GALV. BOLTS & WASHERS

1/2" P.T. PLYWD.

R403.1.4 THE FOOTING BOTTOM  
SHALL EXTEND NOT LESS THAN  
12" BELOW GRADE IN ADDITION  
TO THE FROSTLINE

8x8 UC4A PRESSURE TREATED WOOD PIER  
CONNECTED W/ STEEL PLATE TO FOOTING

16x16x8 REINFORCED CONC. FOOTING

PEE WEE HOMES PROTOTYPE 1 - TYPICAL WALL SECTION  
1/2" = 1'-0"

8'-0"  
CLG. HEIGHT  
U.O.N.

12" MIN.

CABINETRY  
BASES

(1) 36"W SINK CABINET  
(1) 18"W DRAWERS  
LAMINATED PLYWOOD

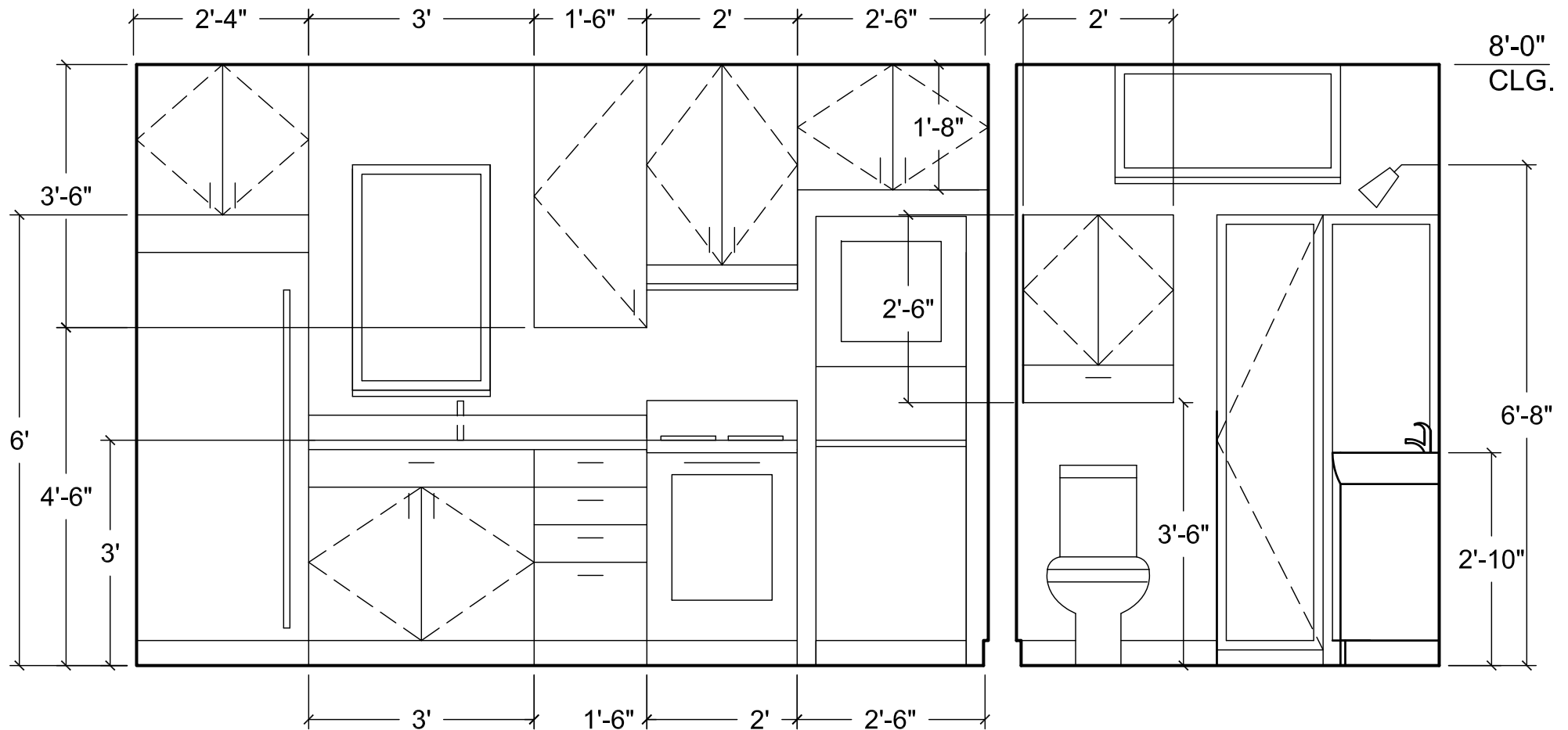
UPPERS

(1) 28"W x 24"HT. (ABV REF.)  
(1) 18"W x 42"HT.  
(1) 24"W x 32" HT. (RANGE HOOD CAB.)  
(1) 30"W x 20"HT. (ABV. W/D)  
LAMINATED PLYWOOD

BATHROOM

(1) 15" VANITY BASE (IKEA PRODUCT, SEE SPEC.)  
(1) 24"x30"x6"D CABINET ABOVE COMMODE

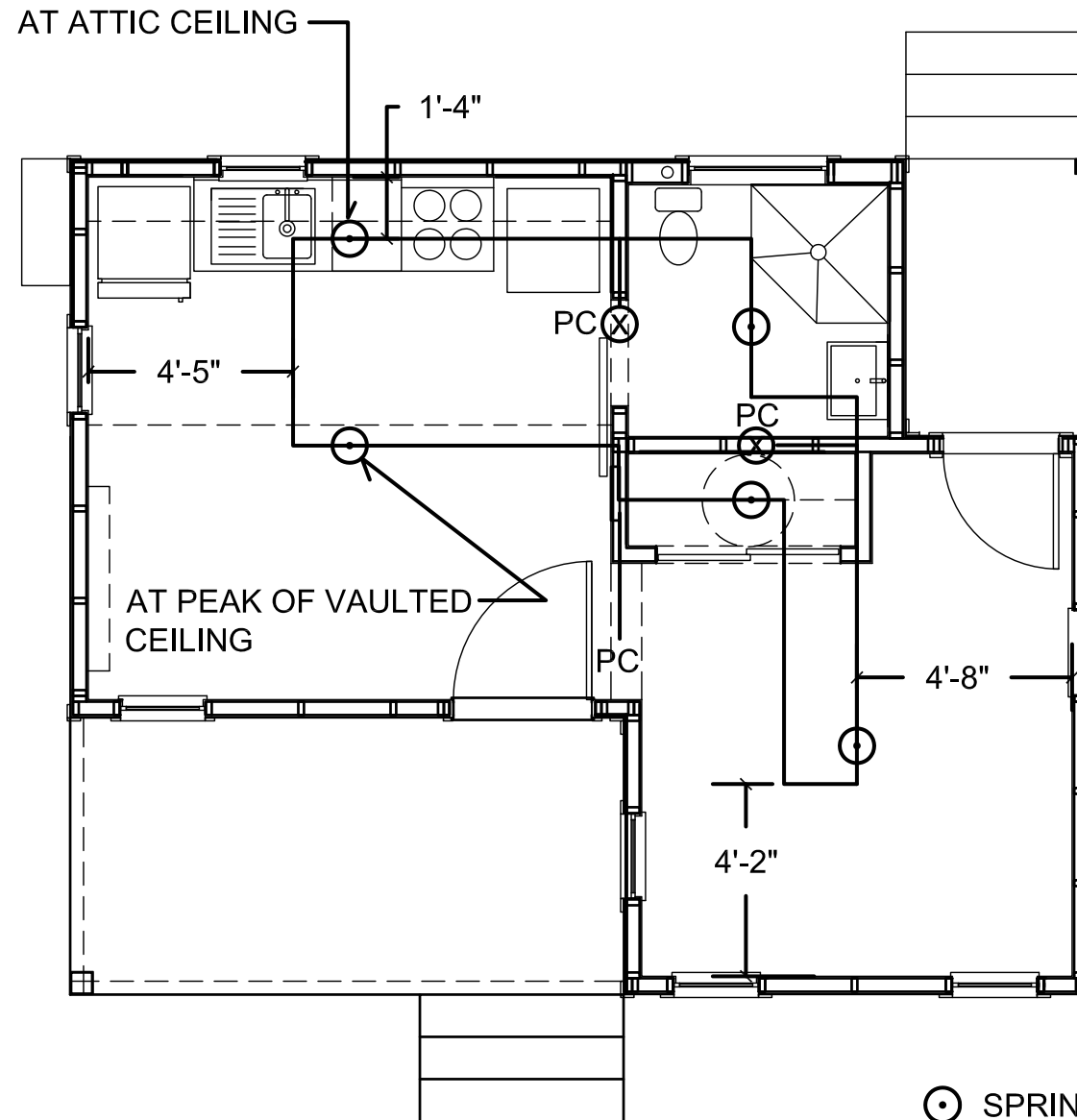
1J<sup>95</sup>



PEE WEE HOMES PROTOTYPE 1 - INTERIOR ELEVATIONS

1/2" = 1'-0"





## WINDOW / DOOR SCHEDULE

SIZE (INCHES)	QUANTITY	DESCRIPTION	MATERIAL
22x54	6	CASEMENT	CLAD WOOD (ALT. PVC)
22x36	1	CASEMENT	CLAD WOOD (ALT. PVC)
36x18	1	FIXED	CLAD WOOD (ALT. PVC)

TOTAL WINDOWS 7

\* ADD ALTERNATE: MUNTINS IN 2 OVER 2 PATTERN

36x80	2	EXTERIOR DOOR	SOLID WOOD
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TOTAL EXT. DOORS 2

36x80	1	BARN DOOR	PAINTED WOOD
48x80	1	BYPASS CLOSET DOOR	PAINTED WOOD

TOTAL INT. DOORS 2

## FINISH SCHEDULE

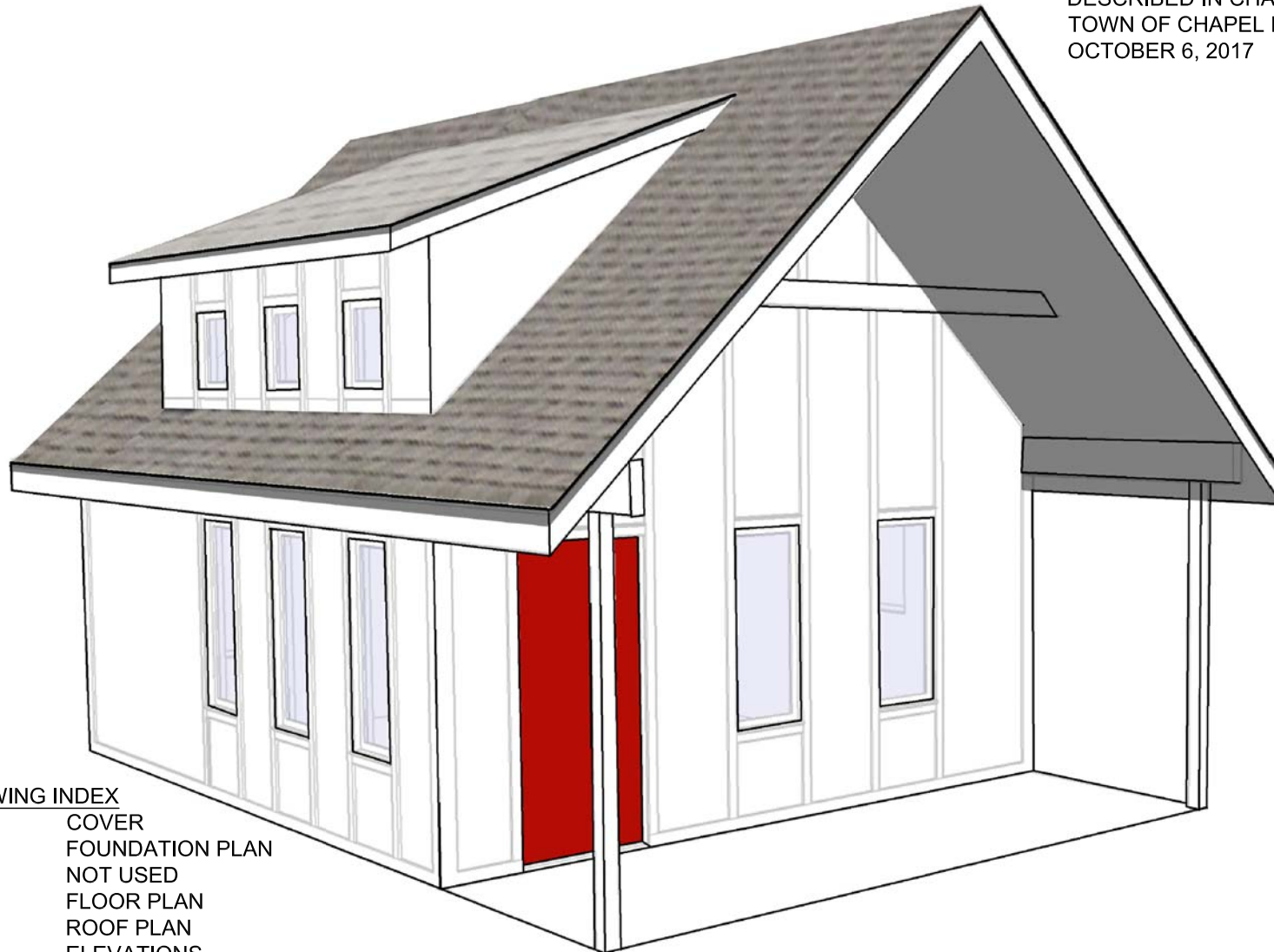
LOCATION	QUANTITY	DESCRIPTION
EXTERIOR WALLS	700 SF	FIBER CEMENT BOARD & BATTEN
INTERIOR WALLS	800 SF	PLYWOOD
SKIRT BOARD	80 LF	1x10 FIBER CEMENT TRIM
ROOF	7 SQUARES	ARCHITECTURAL SHINGLES
FASCIA (GABLE ENDS)	56 LF	1x6 FIBER CEMENT TRIM
FASCIA (FRONT/REAR)	46 LF	1x8 FIBER CEMENT TRIM
LIVING / DINING / KITCHEN	130 SF	HARDWOOD
BEDROOM	108 SF	HARDWOOD
BATHROOM	32 SF	TILE
COUNTERTOPS	5 LF (2 LF + 3 LF)	STONE OR SOLID SURFACE
FRONT PORCH	72 SF	1x4 PAINTED, PRESSURE TREATED T&G
REAR PORCH	24 SF	1x4 PAINTED, PRESSURE TREATED T&G
INTERIOR TRIM		
THROUGHOUT	86 LF	1x4 PAINTED WOOD BASEBOARD

# PEE WEE HOMES PROTOTYPE 2

CONSTRUCTION DOCUMENTS - FOR PERMIT - 12 OCTOBER 2017

TOWN: CHAPEL HILL  
COUNTY: ORANGE  
GOVERNING CODE: NC BUILDING CODES AS  
DESCRIBED IN CHAPTER 5, SECTION 15 OF THE  
TOWN OF CHAPEL HILL CODE OF ORDINANCES  
OCTOBER 6, 2017

2<sup>98</sup>

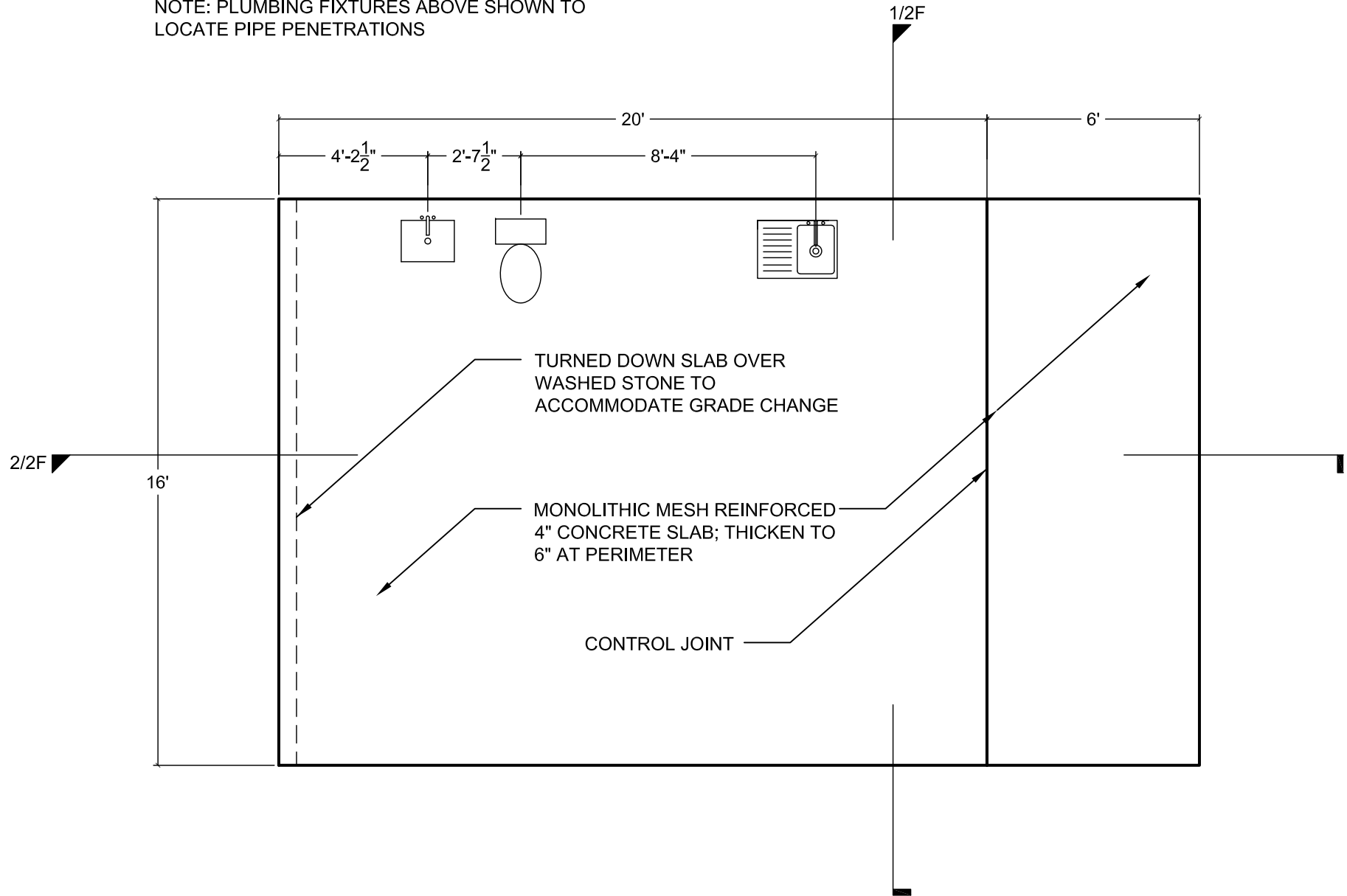


## DRAWING INDEX

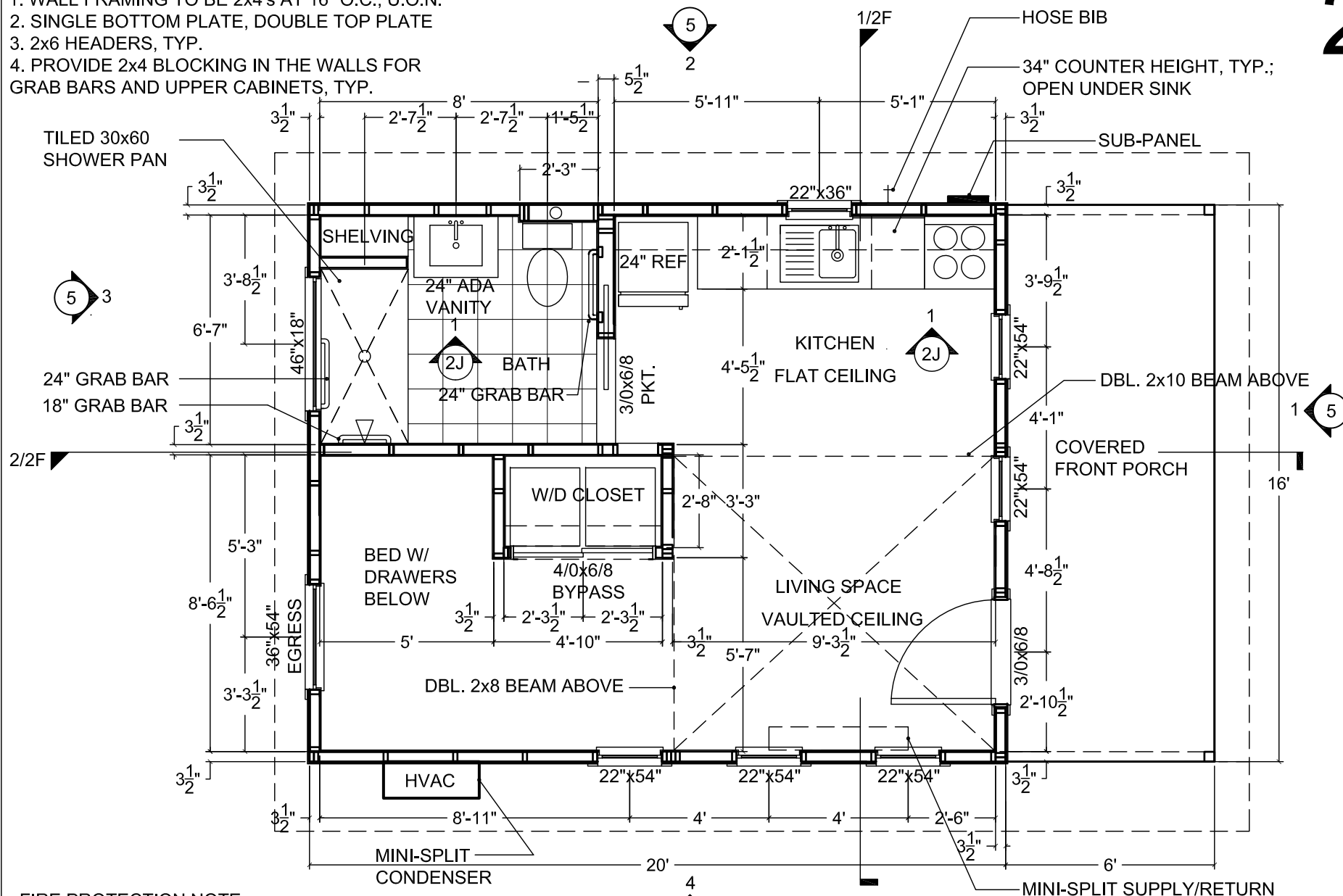
2	COVER
2A	FOUNDATION PLAN
2B	NOT USED
2C	FLOOR PLAN
2D	ROOF PLAN
2E	ELEVATIONS
2F	SECTIONS
2G	NOT USED
2H	TYPICAL WALL SECTION
2J	INTERIOR ELEVATIONS
2K	SPRINKLER PLAN
2 SCHED	SCHEDULES
SPEC	ABBREVIATED SPECIFICATIONS



NOTE: PLUMBING FIXTURES ABOVE SHOWN TO  
LOCATE PIPE PENETRATIONS



1. WALL FRAMING TO BE 2x4's AT 16" O.C., U.O.N.
2. SINGLE BOTTOM PLATE, DOUBLE TOP PLATE
3. 2x6 HEADERS, TYP.
4. PROVIDE 2x4 BLOCKING IN THE WALLS FOR GRAB BARS AND UPPER CABINETS. TYP.



FIRE PROTECTION NOTE:

PROVIDE 13D SPRINKLER SYSTEM PER SPRINKLER  
PLAN, SHEET 2K





EAVE OVERHANG TO MATCH CHURCH  
+/- 2'-0", TYP.

ARCHITECTURAL SHINGLES, TYP.

2x12 RIDGE BEAM

RIDGE VENT

1'-0" RAKE  
OVERHANG,  
TYP.

12:12

12:12

5:12

ROOF FRAMING AT PORCH TO BE  
2x8 RAFTERS @ 16" O.C. W/ DBL 2x6  
COLLAR TIES @ MID-SPAN OF EACH RAFTER

6x6 P.T. WOOD POST

DBL 2x8 BEAM

DBL 2x8 BEAM

6x6 P.T. WOOD POST

1'-0" EAVE OVERHANG @ DORMER

TYPICAL ROOF FRAMING:  
RAFTERS 2x8's AT 16" O.C.,  
RIPPED TO 2x6 AT TAILS

SHED DORMER  
12" OVERHANG  
BLDG. HT. 17'-3"

FIBER-CEMENT BOARD AND BATTEN SIDING;  
PAINT WHITE TO MATCH CHURCH

DRIP-CAP AT ALL  
OPENINGS  
CLG. 8'

EXTERIOR LED SCNCE  
6x6 P.T. WOOD POST,  
WRAP IN F. C. PANEL

FFE 0'-0"

ARCHITECTURAL SHINGLES  
MATCH COLOR OF CHURCH

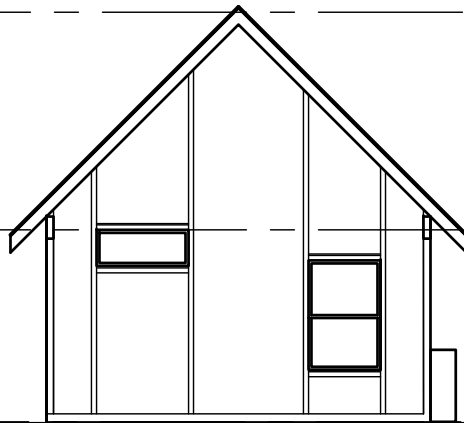
6x6 P.T.  
WOOD POST,  
WRAP IN  
F. C. PANEL

GRADE  
VARIES

1 - FRONT - SOUTH

SOLID WOOD DOOR; PAINT TO  
MATCH CHURCH DOOR RED

2- SIDE - EAST



3 - REAR - NORTH

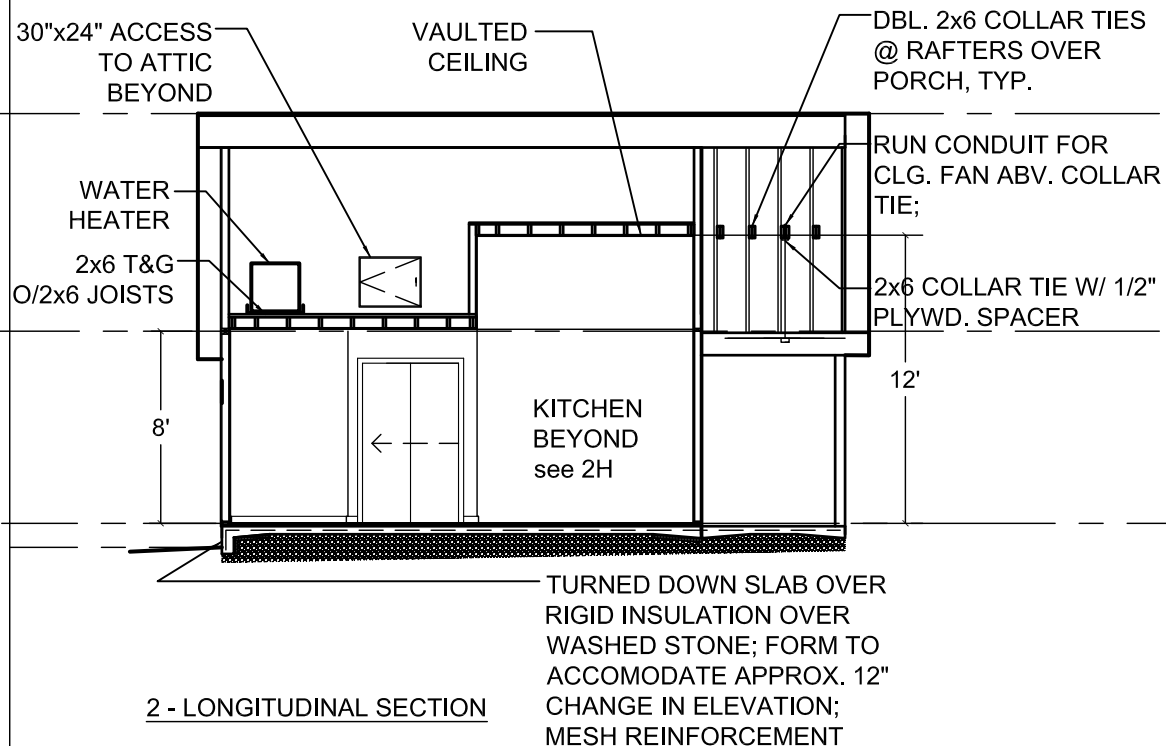
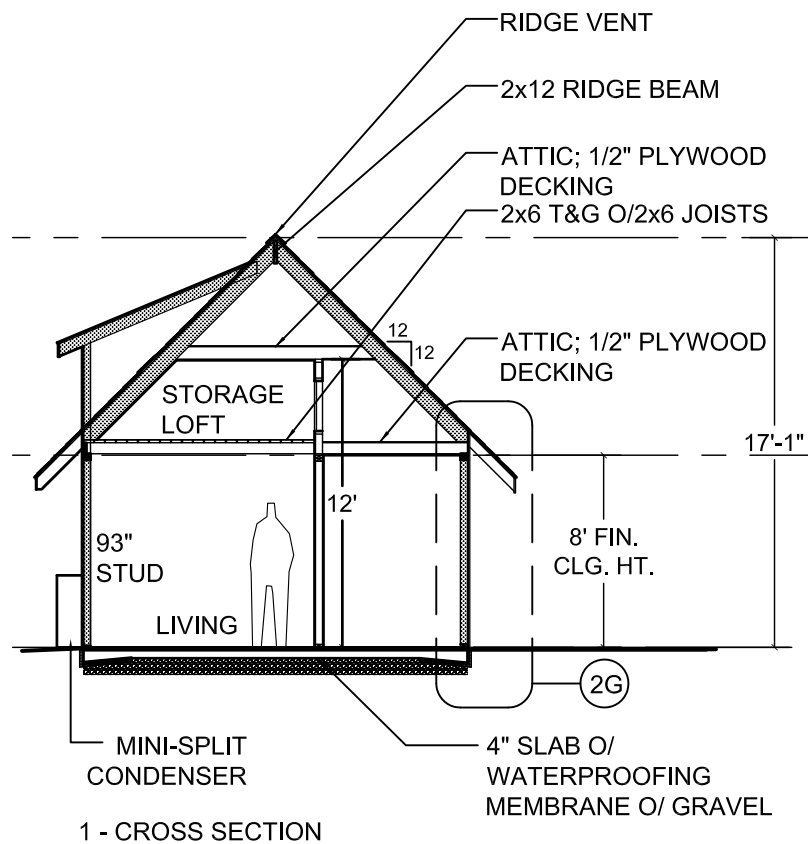
6" RAKE @  
DORMER  
12" RAKE @  
REAR GABLE  
HVAC  
CONDENSER;  
CONCEAL W/  
LANDSCAPING

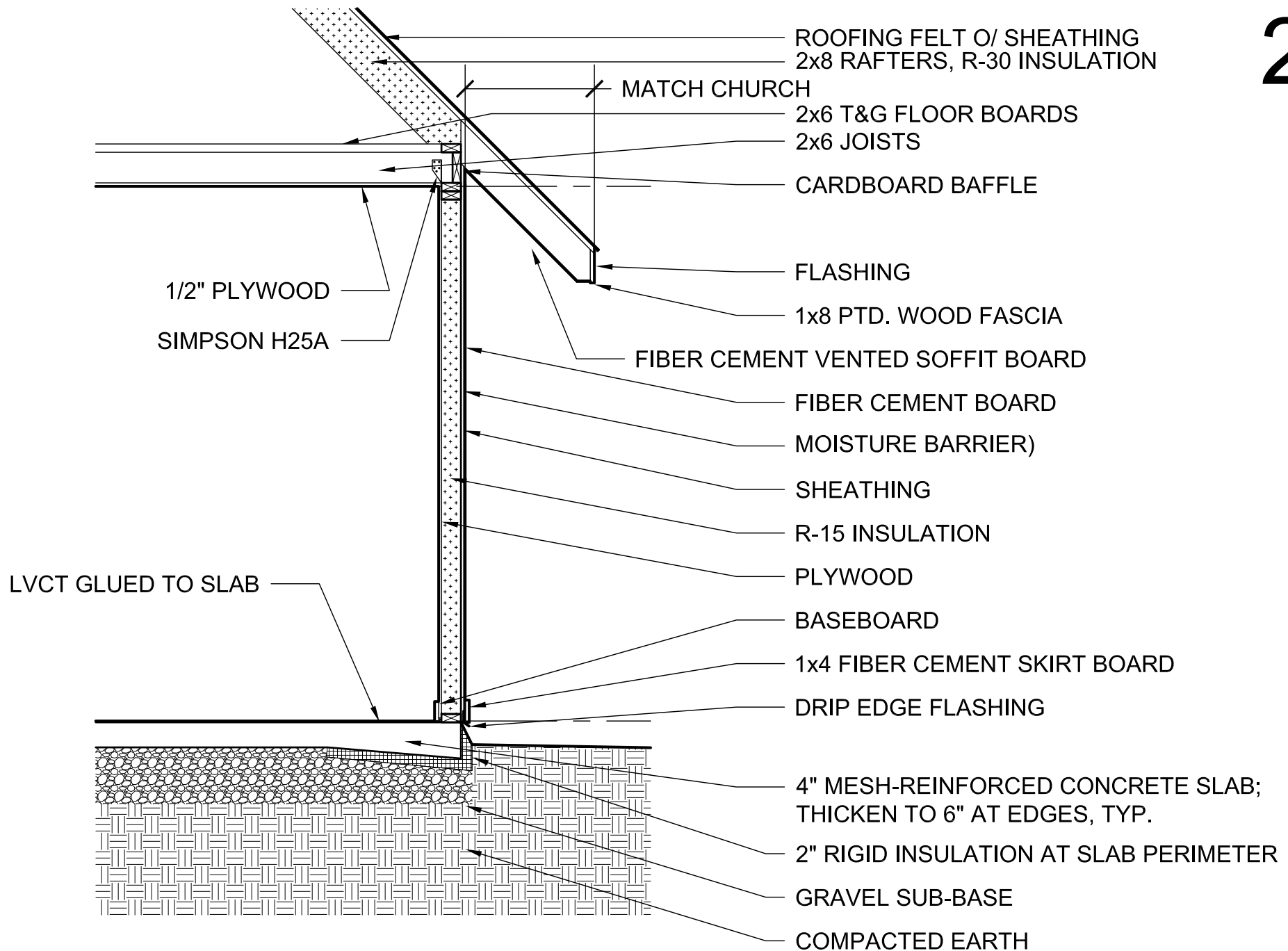


4- SIDE - WEST

CLAD ENERGY STAR  
WINDOWS; WHITE SASHES,  
WHITE TRIM, TYP.

12" RAKE BEYOND  
COLUMN @ FRONT  
GABLE (7'-0" TOTAL  
RAKE)





## CABINETRY

BASES (ADA HT.: 34")

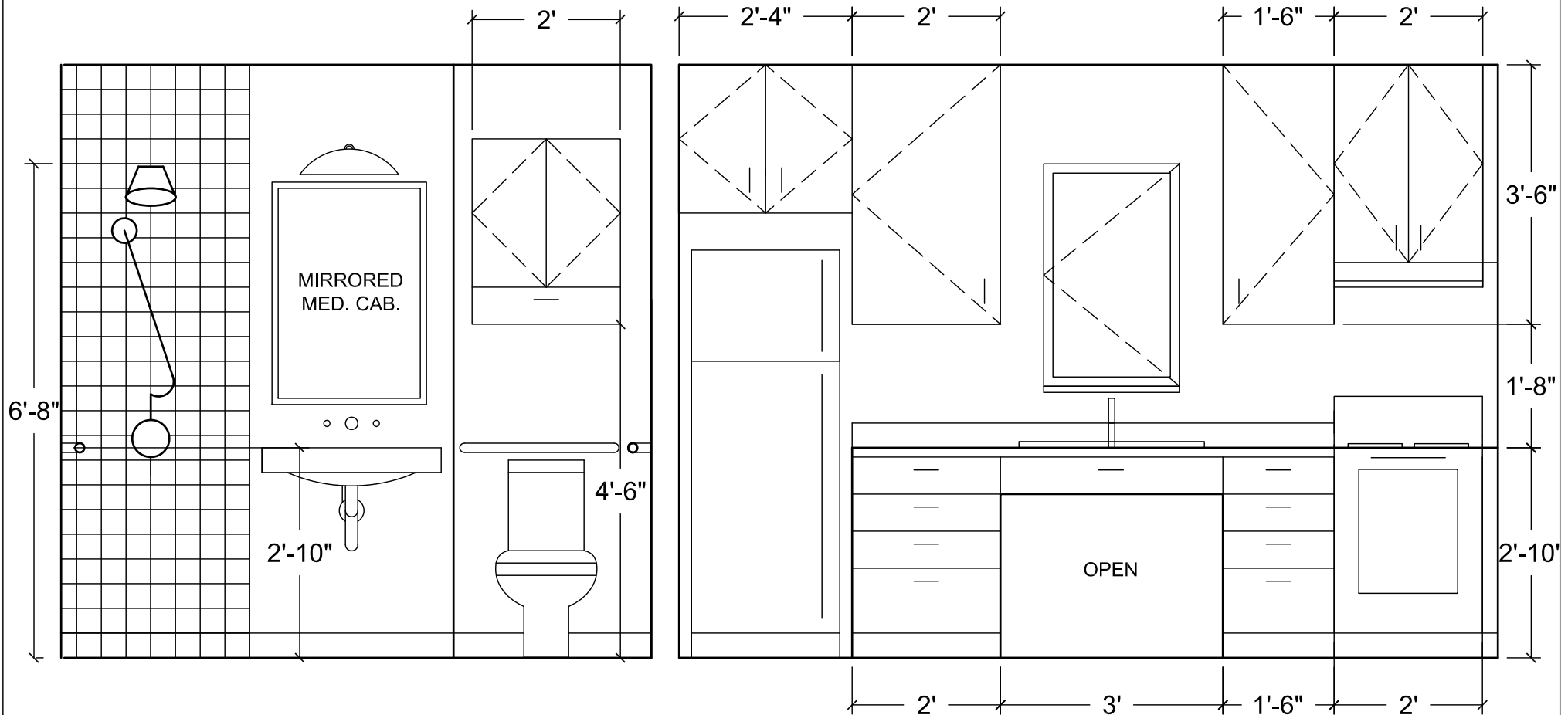
- (1) 36" ADA SINK CABINET - TOP PANEL ONLY, NO CABINET DOORS
- (1) 24" STACKED DRAWER
- (1) 18" STACKED DRAWERS
- LAMINATED PLYWOOD

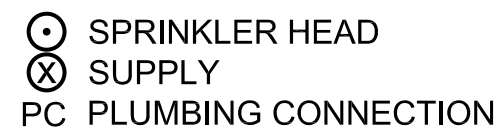
## UPPERS

- (1) 26"Wx24"HT. (ABV REF.)
- (1) 24"Wx42"HT.
- (1) 18"Wx42"HT.
- (1) 24"Wx32" HT. (RANGE HOOD CAB.)
- LAMINATED PLYWOOD

## BATHROOM

24"x30"x6"D TOILETRY CABINET ABOVE COMMODE





## WINDOW / DOOR SCHEDULE

SIZE (INCHES)	QUANTITY	DESCRIPTION	MATERIAL
22x54	5	CASEMENT *	CLAD WOOD (ALT. PVC)
36x54	1	SINGLE HUNG (EGRESS 5.7SF OPNG. MIN.)	CLAD WOOD (ALT. PVC)
22x36	1	CASEMENT	CLAD WOOD (ALT. PVC)
46x18	1	FIXED	CLAD WOOD (ALT. PVC)
22x22	3	FIXED	CLAD WOOD (ALT. PVC)

TOTAL WINDOWS 11

\* ADD ALTERNATE: MUNTINS IN 2 OVER 2 PATTERN

36x80	1	EXTERIOR DOOR	SOLID WOOD
TOTAL EXT. DOORS	1		

36x80	1	POCKET DOOR	PAINTED WOOD
48x80	1	BYPASS CLOSET DOOR	PAINTED WOOD
TOTAL INT. DOORS	2		

## FINISH SCHEDULE

LOCATION	QUANTITY	DESCRIPTION
EXTERIOR WALLS	848 SF	FIBER CEMENT BOARD & BATTEN
INTERIOR WALLS	800 SF	PLYWOOD
SKIRT BOARD	68 LF	1x10 FIBER CEMENT TRIM
ROOF	7.8 SQUARES	ARCHITECTURAL SHINGLES
FASCIA (GABLE ENDS)	56 LF	1x6 FIBER CEMENT TRIM
FASCIA (EAVES)	56 LF	1x8 FIBER CEMENT TRIM
LIVING SPACE / KITCH	227 SF	LVCT
BATHROOM	50 SF	TILE
COUNTERTOPS	6 LF (2 LF + 4 LF)	STONE OR SOLID SURFACE
FRONT PORCH	96 SF	1x4 PAINTED, PRESSURE TREATED T&G
REAR PORCH	96 SF	1x4 PAINTED, PRESSURE TREATED T&G

### INTERIOR TRIM

BASE BOARD	56 LF	PAINTED WOOD
TILE BASE	25 LF	4x4 TILE BASE W/ BULL NOSE EDGE
WALL TILE	124 SF	4x4 WALL TILE
BULLNOSE WALL TILE	22 LF	4x2 BULL NOSE WALL TILE

## ABBREVIATED SPECIFICATIONS:

### FOUNDATION:

PROTOTYPE 1: UC4A PRESSURE TREATED WOOD 8x8 PIERS  
PROTOTYPE 2: MESH-REINFORCED CONCRETE SLAB PER FOUNDATION PLAN

**INSULATION:** UN-FACED BATTS AT FLOOR, WALLS & ROOF (R-13 FLOOR, R-15 WALLS, R-30 ROOF)

**ROOFING:** ARCHITECTURAL SHINGLES; RIDGE VENT PER PLAN

**SIDING:** FIBER-CEMENT BOARD AND BATTEN

### FLOORING:

PROTOTYPE 1: T&G 3" HARDWOOD LIVING / KITCHEN / BR (OAK OR SIM.); 12X12 TILE @ BATHROOM

PROTOTYPE 2: LVCT GLUED TO SLAB WHOLE HOUSE

**WINDOWS/EXTERIOR DOORS:** ENERGY STAR

**FRONT DOOR:** SOLID WOOD

**INTERIOR WALLS & CEILINGS:** 1/2" PLYWOOD, CLEAR-COAT FINISH; ALTERNATE: 1x6 T&G WHITE PINE

**INTERIOR DOORS:** HOLLOW CORE WOOD FOR CLOSET DOORS, SOLID WOOD FOR BARN DOOR (MASONITE OR SIMILAR)

**CABINETS:** LAMINATE (IKEA OR SIMILAR)

**COUNTERS:** SOLID SURFACE (CORIAN) OR COMPOSITE STONE OR GRANITE

**HARDWARE:** KWIKSET BUILDER'S GRADE

**TRIM:** PAINTED WOOD 1X4 BASE, 1X3 DOORS/WINDOWS

**BARNDOOR HARDWARE:** YESCOM ARROW (\$75)

**TILE:** CERAMIC 12x12 DALTILE

**APPLIANCES:** (GE OR SIMILAR)

24" 4-BURNER RANGE/OVEN W/ VENT HOOD

24" REFRIGERATOR: Haier 10.1-cu ft Top-Freezer Refrigerator

24"W (COMPACT) WASHER-DRYER - P1 STACKED,  
P2 SIDE-BY-SIDE

### FIXTURES / FITTINGS:

(1) SHOWER ENCLOSURE:

PROTOTYPE 1: DELTA 35-7/8 in. x 35-7/8 in. x 71-7/8 in.

Semi-Frameless Neo-Angle Shower Enclosure

PROTOTYPE 2: 30x60 pan w/ custom 4x4 tiled walls to 72";  
bull-nose edge;

(1) SHOWER HEAD, VALVE & CONTROLS

(1) SHOWER DRAIN; (1) TOILET - LOW FLOW

(1) VANITY - IKEA TYNGEN 20-1/8"x15-3/4"x34"HT. P1

(1) ADA WALL-MOUNTED SINK P2

(1) TOILET ACCESSORIES - 1 TOWEL BAR, 1 TP HOLDER

(1) MIRRORED MEDICINE CABINET

(1) CABINET ABOVE COMMODE; (1) BATHROOM FAUCET

(1) KITCHEN FAUCET; (1) 30" KITCHEN SINK

(1) HOSE BIB - LOCATION PER PLANS

### GRAB BARS (Prototype 2 only):

(2) 24" GRAB BARS

(1) 18" GRAB BAR

### HVAC: DUCTLESS MINI-SPLIT: Mitsubishi 3/4 Ton 21 SEER 10

HSPF Mini-split Heat Pump

### WATER HEATER: ELECTRIC LOW BOY 20/28 GALLON

### LIGHTING:

(1) TRACK LIGHT: Pro Track® Brushed Steel 150 Watt  
Low Voltage Track Kit - Style # 11007

(1) SURFACE MOUNTED FIXTURE ( BEDROOM)

(1) CEILING FAN W/ LIGHT KIT (LIVING/  
DINING)

(1) VENT-LIGHT COMBO (BATH)

(1) SCONCE (BATH)

(2) EXTERIOR SCONCES (PORCHES)

(2) 42" EXT. CEILING FANS

### POWER:

(3) DEDICATED CIRCUITS

(8) 110V OUTLETS

(3) 110V GFI OUTLETS

(4) 220V DEDICATED CIRCUITS

### FASTENERS:

5/8" THREADED RODS W/ HOT-DIPPED GALV. BOLTS  
& WASHERS; SIMPSON STRONGTIE ABU88 @  
PIER-TO-FOOTER

SIMPSON STRONGTIE LU28Z @ JOISTS

SIMPSON STRONGTIE H25A @ RAFTER-TO-TOP  
PLATE

NAILS (GC ALLOWANCE)

### FRAMING:

2x4 93" PC STUDS @ 16"O.C., 2x8 Floor Joists per  
Framing Plans, 2x8 Ceiling Joists and Collar Ties @  
16"O.C., 2x8 Rafters @ 16"O.C., 3/4" T&G Plywood  
subfloor; 5/8" cdx plywood decking at roof; All floor framing  
and base plates over concrete slab to be PressureTreated.

### SHEATHING/AIR AND MOISTURE BARRIER:

ZIP-R Panel System.

Alternate 1: House Wrap over 7/16 OSB

Alternate 2: Smart Side Integral System



TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

APPLICANT: REBUILDING TOGETHER OF THE TRIANLGE

PROJECT TYPE: Rehab/Repair, Age in Place conversions, Weatherization

AMOUNT REQUESTED: \$19,312 for two homes.

TOWN AH GOALS ADDRESSED: 1.3 A2. Grants for critical home repairs, energy efficiency, up fits to accommodate changing mobility, etc. +opportunities to decrease utility payments.

PROJECT ADDRESS: Roberts Street and King Street – Carrboro

PROJECT SUMMARY: Robert St. - Roof and gutter replacement, ADA conversion in bathroom, repairs and weatherization. King St. - Gutter replacement, electrical, ADA improvements, weatherization. These repairs and modifications will allow two elder and longtime homeowners remain in their home.

POPULATION SERVED:

TOTAL NUMBER: **2**

AMI \_\_\_<30% **X** 31%-60% \_\_\_ 61-80% \_\_\_ 81-100% \_\_\_ 101-115%

RACE/ETHNICITY \_\_\_ Asian **2** Black \_\_\_ Hispanic/Latino \_\_\_ Mixed Race \_\_\_ Other \_\_\_ White

# OF SENIORS PRESENT/ESTIMATED **2**

# OF CHILDREN PRESENT/ESTIMATED \_\_\_

# WITH DISABILITY PRESENT **2**

ENVIRONMENTAL IMPACT:

Both homes will be weatherized in the crawl space and attic.

FUNDING RECOMMENDATION:

- ☐ FULLY FUND
- ☐ PARTIALLY FUND (Can include suggested amount or %) \_\_\_\_\_
- ☐ DO NOT FUND

## RTT Work Write Up

### King St.

#### Area: Electrical

Title	Trade	Description	Notes	Cost Per Unit	Quantity	Unit	Total Cost
CO/Smoke Detector - Battery	General	Install a combo carbon monoxide and smoke alarm with voice alarm announcing the hazard type, a large test/hush button, LED indicator and a 10 year Lithium Ion battery. Smoke alarm shall have a Photoelectric Sensor. Alarms must be installed at least 36" from the supply registers of a forced air HVAC system, no closer than 36" from Bathroom doors, at least 20' from permanent cooking appliances. If installed on a sloped ceiling the Alarm must be located between 4" and 36" from the peak. Wall mounted Alarms must be located between 4" and 12" from the ceiling. There must be a Alarm on every level, one inside every bedroom and one in the hallway outside bedrooms (in sleeping areas). If there is an attached garage, an Alarm must be placed near the garage entry. Alarms will not be installed near combustion appliances.		\$ 60.00	3	Each	\$ 180.00
Electrical - Certify Distribution	Electrical	Electrician shall inspect all exposed wiring, motors, fixtures and devices for malfunction, shorts and housing code compliance. Non-functioning and dangerous equipment and wiring shall be replaced with Romex wire, ivory devices and fixtures, with \$20 per fixture allowance. The service panel shall conform to the BOCA Existing Structures code.	Confirm safe operation of electrical system	\$ 450.00	1	Each	\$ 450.00

#### Area: Exterior

Title	Trade	Description	Notes	Cost Per Unit	Quantity	Unit	Total Cost
Gutter - Replace, Aluminum 5"	Carpentry	Remove existing gutter. Install seamless, 5" K' style .027 aluminum gutter, in white or brown, owner's choice. Install to fascia with 5 in. hidden gutter hangers fastened with screws, such as the Amerimax model 21812, spaced per manufacturer's recommendations.		\$ 11.00	110	Linear Feet	\$ 1,210.00
Gutter Guards	Site Work	Install gutter guards		\$ 4.00	110	Linear Feet	\$ 440.00

Yard Maintenance and Trimming	Site Work	Trim all dead, decaying, damaged and overgrown plants and trees to provide safety and an attractive appearance. Remove all debris and rake clean.		\$	75.00	24	Hour	\$	1,800.00
<b>Area: Kitchen</b>									
Title	Trade	Decription	Notes	Cost Per Unit	Quantity	Unit	Total Cost		
Range Hood - Vented	Electrical	Install an exterior ducted enameled range hood with integral controls and light capable of 100 cfm at 2.5 sones. Attach hood to cabinet with screws. Include metal vent and roof or wall cap/damper assembly, using #14 copper Romex. Owner's choice of color.		\$	550.00	1	Each	\$	550.00
<b>Area: Plumbing</b>									
Title	Trade	Decription	Notes	Cost Per Unit	Quantity	Unit	Total Cost		
Toilet - Replace ADA	Plumbing	Install an ADA compliant, maximum 1.28 GPF vitreous china commode, with a seat height between 17 and 19 inches. Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal. Use the rough-in dimension necessary to minimize the clearance between the tank and the wall.	Replace both toilets	\$	500.00	2	Each	\$	1,000.00
<b>Area: Weatherization</b>									
Title	Trade	Decription	Notes	Cost Per Unit	Quantity	Unit	Total Cost		
Crawlspace Weatherization	Thermal & Moisture	Install a minimum 6 mil poly vapor barrier on ground in crawl space. Overlap seams in the plastic by 2 feet and seal the seams with fiberglass mesh tape and mastic. All penetrations including but not limited to those created by plumbing, electrical and HVAC equipment will be sealed tight. Install a minimum of R-19 faced batt insulation between joists at floor level with hangers every 24".		\$	1.00	1,442	Square Feet	\$	2,090.90
Attic Weatherization	Thermal & Moisture	After air sealing install blown in borate treated cellulose insulation loose filled to at least R-38 u-value. Maintain ventilation routes from soffit and other vents with baffles. Replace all material removed or cut to gain access to match existing materials. Insulate fold down stair with an airtight 2" thick reflective foil faced polyisocyanurate foam box with seams and seal the edges with a compatible foil tape.		\$	1.00	1,442	Square Feet	\$	1,658.30

TOTAL ESTIMATED PROJECT COST	\$10,279.20
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## RTT Work Scope - 10/01/2021

### Roberts St.

#### Area: Exterior

Title	Trade	Description	Notes	Cost Per Unit	Quantity	Unit	Total Cost
Roof - Replace Fiberglass Shingles	Roofing	Remove and dispose of all roofing & defective sheathing. Cut a 1" wide vent at ridge board. Replace up to 5 sf of sheathing per 100 sf of roof using pine board or CDX plywood of matching thickness. Install 15 lb felt underlayment over the entire roof with manufacturer approved fasteners. Install preformed white aluminum, drip edge, and vent pipe boots. Install ENERGY STAR labeled self-sealing, laminated fiberglass asphalt shingles with a limited lifetime warranty. Replace all flashing, including valleys, with 0.19" aluminum sheet metal. Install step flashing and counter flashing at all wall junctures. Install flashing and roofing shingle style, not relying on sealants for waterproofing. Install shingle-over ridge vent. Color choice by owner.		\$ 425.00	19	Squares	\$ 8,075.00
Gutter - Replace, Aluminum 5"	Carpentry	Remove existing gutter. Install seamless, 5" K' style .027 aluminum gutter, in white or brown, owner's choice. Install to fascia with 5 in. hidden gutter hangers fastened with screws, such as the Amerimax model 21812, spaced per manufacturer's recommendations.		\$ 11.00	100	Linear Feet	\$ 1,100.00
Gutter Guards	Site Work	Install gutter guards		\$ 4.00	100	Linear Feet	\$ 400.00

#### Area: Hall Bathroom

Title	Trade	Description	Notes	Cost Per Unit	Quantity	Unit	Total Cost
Bath Fan - Install	Electrical	Install an Energy Star ceiling or through-the-wall, exterior ducted, vent fan with damper, and chrome faceplate capable of 60CFM at 2,5 sones. Include power and switch wiring using #14 copper Romex. Repair any tear out.		\$ 450.00	1	Each	\$ 450.00

Shower Conversion	Plumbing	Remove existing tub. Install a 5', 4 piece, fiberglass low curb shower unit. Include a seat and ADA compliant grab bars; drain and overflow; PVC waste; single lever shower diverter; shower rod; shower faucet and a hand-held shower head with a maximum 2.0 GPM flow rate. Install faucet controls toward the outside of the tub for easier access. Exterior wall sections behind the tub shower unit and any plumbing penetrations must be completely air-sealed prior to installation.		\$	5,000.00	1	Each	\$	5,000.00
Toilet - Replace ADA	Plumbing	Install an ADA compliant, maximum 1.28 GPF vitreous china commode, with a seat height between 17 and 19 inches. Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal. Use the rough-in dimension necessary to minimize the clearance between the tank and the wall.		\$	500.00	1	Each	\$	500.00
Vanity	Plumbing	Install a vanity; including top with backsplash, wash bowl and single lever brass bodied chrome faucet with a maximum 1.5 GPM flow rate. Include PVC drain attached to a code legal plumbing vent, use type L copper or PEX supply piping with brass bodied stops on all supply lines. Seal all penetration through the floor, walls and cabinet for plumbing connections using expanding foam or caulk and cover with chrome escutcheon plates.		\$	600.00	1	Each	\$	600.00

#### Area: Interior

Title	Trade	Description	Notes	Cost Per Unit	Quantity	Unit	Total Cost
Drywall - Patch, Large	Drywall	Cut back defective gypsum to expose half of the studs on each side of the hole. Cut and tightly fit drywall patch. Glue and nail or screw patch. Apply tape and 3 coats of compound feathered out at least 8". Sand ready for paint.	Repair minor ceiling damage throughout home	\$	21.00	32	Square Feet \$ 672.00

#### Area: Kitchen

Title	Trade	Description	Notes	Cost Per Unit	Quantity	Unit	Total Cost
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Range Hood - Vented	Electrical	Install an vented-through-the-wall enameled range hood with integral controls and light capable of 100 cfm at 2.5 sones. Attach hood to cabinet with screws. Include metal vent and wall cap/damper assembly, using #14 copper Romex. Owner's choice of color.		\$	475.00	1	Each	\$	475.00
Cabinets - Repair	Carpentry	Repair base and hanging cabinets by securing them to the wall framing, plumb and level and replacing missing hardware, doors and drawers. Securely refasten loose hardware. Insure smooth operation of all doors and drawers.	Add breadboards and stool in kitchen to assist with accessibility, per OT request.	\$	950.00	1	Each	\$	950.00

#### Area: Weatherization

Title	Trade	Decription	Notes	Cost Per Unit	Quantity	Unit	Total Cost		
Crawlspace Weatherization	Thermal & Moisture	Install a minimum 6 mil poly vapor barrier on ground in crawl space. Overlap seams in the plastic by 2 feet and seal the seams with fiberglass mesh tape and mastic. All penetrations including but not limited to those created by plumbing, electrical and HVAC equipment will be sealed tight. Install a minimum of R-19 faced batt insulation between joists at floor level with hangers every 24".		\$	1.45	936	Square Feet	\$	1,357.20
Attic Weatherization	Thermal & Moisture	After air sealing install blown in borate treated cellulose insulation loose filled to at least R-38 u-value. Maintain ventilation routes from soffit and other vents with baffles. Replace all material removed or cut to gain access to match existing materials. Insulate fold down stair with an airtight 2" thick reflective foil faced polyisocyanurate foam box with seams and seal the edges with a compatible foil tape.		\$	1.15	936	Square Feet	\$	1,076.40

TOTAL ESTIMATED PROJECT COST

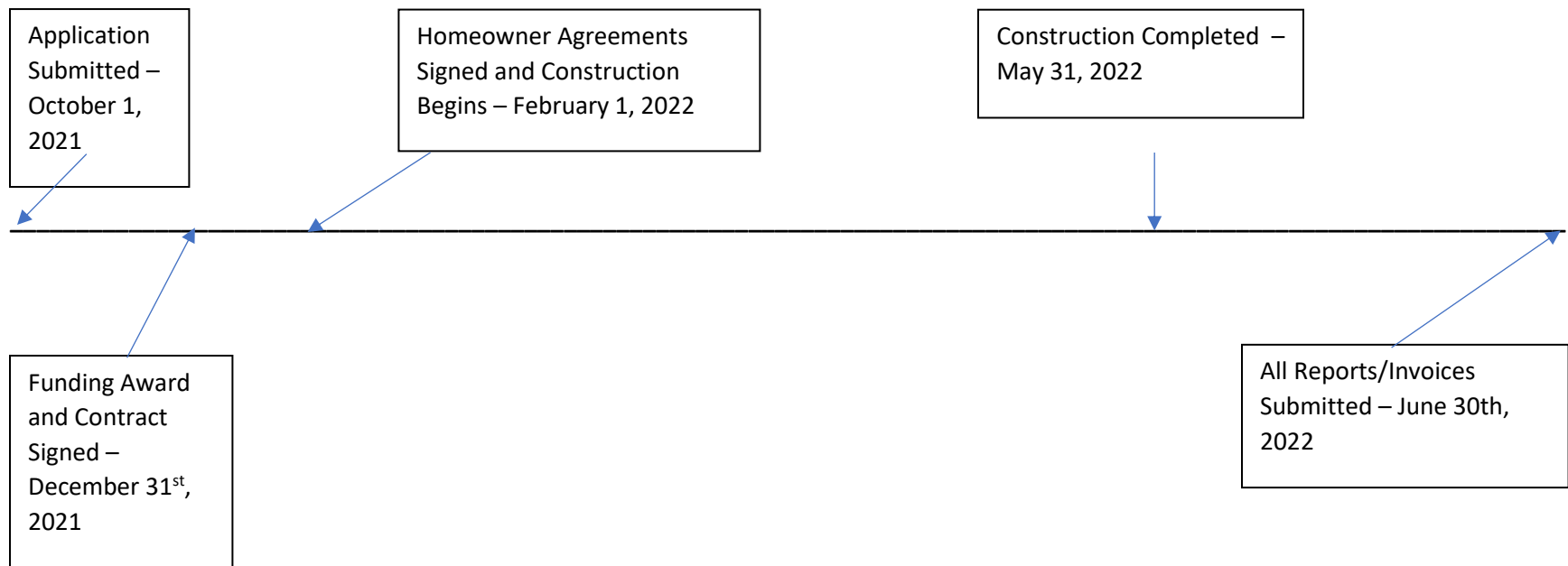
\$20,655.60

## Town of Carrboro Grant Request - Budget and Funding Matrix

Homeowner	Service Address	Project Budget	Town of Carrboro Request	CPCA Weatherization	Other RTT Match
	Roberts Street	\$ 20,665.60	\$ 15,232.00	\$ 2,433.60	\$ 3,000.00
	King Street	\$ 9,379.20	\$ 4,080.00	\$ 3,749.20	\$ 1,550.00
<b>TOTALS</b>		<b>\$ 30,044.80</b>	<b>\$ 19,312.00</b>	<b>\$ 6,182.80</b>	<b>\$ 4,550.00</b>



## Town of Carrboro 2021-2022 AHF Rehab Project Timeline





## Town of Carrboro

Affordable Housing Special Revenue Fund Application

## OVERVIEW

The Town of Carrboro established an Affordable Housing Special Revenue Fund in 2007. The goal of the Affordable Housing Special Revenue Fund is to advance the Town's goal of increasing and improving the stock of affordable housing within Carrboro and its planning jurisdiction.

The Affordable Housing Task Force was established in 2012 for the purpose of creating recommendations for an affordable housing strategy. In June of 2014, this goal was accomplished when the then Board of Aldermen approved the Town's Affordable Housing Goals and Strategies document. From this work, an Affordable Housing Advisory Commission (AHAC) was formed in 2017. This Commission's responsibilities related to the fund include:

- Reviewing and making recommendations to the Town Council for new or revised policies regarding the operation of the Affordable Housing Fund;
- Reviewing and making recommendations to the Town Council on affordable housing funding applications.

With this in mind, requests for funding (as explained below) will be reviewed by the AHAC who will then make a recommendation to the Town Council regarding the request.

## FUNDING

Source of Funds. The Affordable Housing Special Revenue Fund may be funded by payments made by developers in lieu of providing affordable housing units under the applicable provisions of the Land Use Ordinance. Other revenue sources for the fund may include grants, donations, loans, interest payments, or other contributions or assignments.

The principal and interest earned on funds received from developers, grants, donations, loans, interest payments, or other revenues that may become available also accrue to this fund. As the Affordable Housing Special Revenue Fund develops over time, it is anticipated that funding will be available for time-sensitive acquisition requests that arise outside the established funding cycles.

Since June 2018, the Town Council has passed two half cent property tax increases, creating a dedicated revenue source for affordable housing. For Fiscal Year 21-22 the Council has approved an amount equal to 1.5¢, which is an allocation of \$337,500.

## APPROVAL

In 2018 the Town Council voted to allow the Town Manager to approve or deny funding applications for no more than \$5,000 or 15% of the existing fund, whichever is lower. These applications do not have to provide performance measures and can apply outside of the funding cycles.

Any requests over this threshold that are not appropriated by the Town Council during the budget cycle or by resolution will complete the following application. The application will be reviewed by the AHAC and their recommendation to approve or deny funding will go to the Town Council.

## ELIGIBILITY

Nonprofits and nonprofits applying on behalf of individuals may request funds to be used to address projects that meet the Town's affordable housing goals. Please see our website for a list of local housing providers: <http://www.townofcarrboro.org/982/Affordable-Housing>

In order to qualify for participation in the Affordable Housing Special Revenue Fund process, the following criteria must be met by the beneficiaries (individuals), if applicable, and substantiated by the applicant (nonprofit organizations):

- a. Beneficiaries must be a resident of Carrboro or the Carrboro planning jurisdiction, or purchasing a home in Carrboro or the Carrboro planning jurisdiction;
- b. Beneficiaries must have a gross household income of 115% the Area Median Income or less, with priority given to households at 80% of AMI and below for homeowners, and 60% of AMI and below for renters, unless otherwise described (Please see Attachment A for current income limits.);
- c. Beneficiaries must be unable to obtain a loan, either subsidized or unsubsidized, on comparable terms and conditions;
- d. Beneficiaries or applicants must be the owner of the property in fee simple or leasehold estate and have paid or have appropriate arrangements with the county tax assessor to pay the tax bill, if the property is to be rehabilitated, or have clear title if the property is to be purchased or constructed;
- e. Beneficiaries must be residing in the property to be rehabilitated, or if purchased or constructed, occupy the property when the acquisition is completed. The building or affordable unit that is subject to program funding must have an

anticipated life of at least 20 years after rehabilitation, or 30 years, if constructed or acquired;

f. Beneficiaries must also have an intact homeowner's insurance policy, if applicable.

## PROJECT REPORTING AND MONITORING

Recipients of funds for development are required to submit written progress reports to the Town by the end of the fiscal year (June 30) to monitor progress and performance, financial and administrative management, and compliance with the terms of the performance agreements. Reporting information may include: progress toward achieving performance goals, description of activities/challenges, and revisions of proposed project timelines/budgets. Please submit annual reports electronically by June 30 to: [amvanaman@townofcarrboro.org](mailto:amvanaman@townofcarrboro.org)

Recipients of funds for home repairs/rehab are to submit details of work completed when submitting invoices for reimbursement of funds.

## PERMITTED USES OF FUNDING

### Development & Acquisition

Loans: 1. To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of acquiring affordable housing.

2. To provide direct deferred payment loans to beneficiaries to supplement loans made by financial institutions for the purpose of acquiring affordable housing.

Land Banking: To assist in the purchase of land for conveyance to nonprofit affordable housing agencies.

Construction: To pay some or all of the expenses associated with the construction of affordable housing.

Acquisition: To acquire developed properties suitable for resale to individuals or families.

Pre-development Costs: To pay some or all of the pre-development costs (such as feasibility studies, appraisals, land options and preparation of an application) for projects to be developed for the purpose of providing rental or owner-occupied affordable housing.

Land Trust: To provide grants to organizations for land trust projects that guarantee long-term affordability of a property through a 99-year renewable ground leases or for maintenance of land trust housing stock.

Subsidy: To provide permanent subsidies to reduce the sale price of new or existing housing units so as to make them more affordable.

## Repair, Rehabilitation, Weatherization & Preservation

- To provide for emergency home repairs of properties in the affordable housing stock. \*
- To provide for the weatherization of properties in the affordable housing stock. \*
- To provide for the maintenance of properties in the affordable housing stock that are falling into disrepair. \*
- To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of rehabilitating affordable housing.
- To provide grants or loans to nonprofits to avoid losing homes in the permanent affordable housing stock as a result of foreclosure.

## Housing Stabilization

Town of Carrboro Housing Stabilization Assistance funds are administered by Orange County through the [Emergency Housing Assistance](#) program.

- To provide rental and/or utility deposit grants for Housing Choice Voucher, Permanent Supportive Housing (PSH), Rapid Re-housing, HUD-VASH and Housing Opportunities for Persons w/ AIDS (HOPWA) recipients relocating to rental units in Carrboro as a result of their current rental units no longer accepting a housing subsidy listed above. \*
- To provide rental and/or utility deposit grants for those who have been assessed by the Coordinated Entry process as it relates to homelessness and have identified safe, decent, and affordable housing. \*
- Assistance may be used for payment of security deposits, utility connections/arears, mortgage assistance and/or rental payments given extenuating circumstances. \*

\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

## FUNDING PRIORITIES

The fund is dedicated to the development and preservation of affordable housing. Priority goals include **increasing the supply of affordable housing units, increasing the quality of housing stock while maintaining affordability, and helping people stay in the homes they have (both owners and renters).**

Priority project areas include:

- Rental projects that serve households with incomes 60% and below the Area Median Income (AMI), with greater priority to those serving households with extremely low incomes.

- Homeownership projects that serve households with incomes 80% and below the AMI.

## GENERAL APPLICATION INFORMATION AND PROCEDURES

**Funding applications are accepted three times a year: October 1, January 1, and April 1.** Funding is based on the availability of funds. Only as many funding cycles will be completed as necessary to use the available funds. All application documents should be submitted electronically to [Anne-Marie Vanaman](#). Applications are reviewed by the Affordable Housing Advisory Commission. The AHAC's recommendations for funding are then forwarded to the Town Council for final approval.

## CHECKLIST OF REQUIRED DOCUMENTATION

### Application:

<input type="checkbox"/>	Section 1:	Applicant and Project Overview
<input type="checkbox"/>	Section 2:	Project Description
<input type="checkbox"/>	Section 3:	Performance Measurements*
<input type="checkbox"/>	Section 4:	Project Budget and Pro-forma
<input type="checkbox"/>	Section 5:	Agency Description
<input type="checkbox"/>	Section 6:	Disclosure of Potential Conflicts of Interest

### Other Required Attachments:

Please provide **one copy** of each of the following documents (once per year):

<input type="checkbox"/>	Current list of Board of Directors, including addresses, phone numbers, terms, and relevant affiliations
<input type="checkbox"/>	Current Bylaws and Articles of Incorporation
<input type="checkbox"/>	IRS tax determination letter [501(c)(3)] (if applicable)
<input type="checkbox"/>	Most recent independent audit (if applicable)

Applications may not be considered for the following reasons:

1. Project does not align with the eligibility criteria for these funding sources
2. Applicant has demonstrated poor past performance in carrying out projects or complying with funding guidelines
3. Applicant fails to provide required information
4. Incomplete or late applications

\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

**PLEASE CALL OR EMAIL ANNE-MARIE VANAMAN OR REBECCA BUZZARD WITH FUNDING QUESTIONS:**

919-918-7321 OR [amvanaman@townofcarrboro.org](mailto:amvanaman@townofcarrboro.org)      919-918-7438 OR [rbuzzard@townofcarrboro.org](mailto:rbuzzard@townofcarrboro.org)

# FUNDING APPLICATION

DATE: 9/28/2021

## Section 1: APPLICANT AND PROJECT OVERVIEW

### A. Applicant Information

Applicant/Organization's Legal Name: Weaver Community Housing Association (Bolin Creek Cooperative)

Primary Contact Person and Title: Melissa Taylor, WCHA Treasurer

Applicant/Organization's Physical Address: 100 and 102 Crest St. Carrboro, NC 27510

Applicant/Organization's Mailing Address: PO Box 215 Carrboro, NC 27510

Telephone Number: (919) 357-0392 Melissa Taylor (Treasurer)

Email Address: finance@wcha.coop

### B. Project Information

Project Name: Asbestos Remediation

Total Project Cost: \$148,828.00

Total Amount of Funds Requested: The WCHA will cover the remainder of cost that the grant does not with a loan from the bank. We are seeking to reduce the amount we have to borrow.

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.):

Rehabilitation and repair of existing low-income housing units.

To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.

Signature:

Melissa Taylor, WCHA Treasurer

BC481FE0561E42E...

10/1/2021

Executive Director or other Authorized Signatory

Date



## Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the "who," "what," "when," and "where" questions about your project). **Do not assume the reader knows anything about the project.**

### A. "Who"

1. Who is the target population to be served and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

All residents of the Bolin Creek Cooperative fall below the 60% HUD AMI for our area as verified every year by submitting information to the Orange County HOME recertification program. Gaining funding for this project will allow us to eliminate health hazards in the units and allow us to maintain the affordability of our cooperatives.

2. Please indicate the income of the beneficiaries (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI	12	63.16
31%-60% of AMI	7	36.84
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
<b>TOTAL</b>	19	100

Income Group	Seniors age62+	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI		6	1			1	1	1	10
31%-60% of AMI		1	1			2	1		3
61-80% of AMI									
81-100% of AMI									
101-115% of AMI									
<b>TOTAL</b>									

3. **Project Staff.** Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

Project Manager- Will be hired by the WCHA to facilitate the project

RemTech Environmental- Will perform the asbestos remediation, including 3rd party air testing

Zarazua Painting- Will perform the ceiling repair, priming and painting of ceilings post remediation

Burch Brothers Flooring- - Will replace all bamboo flooring in the units with vinyl planks

**B. "What"**

**1. Type of Activity.** Please check the category under which your project falls.

- ☐ Acquisition
- ☐ Pre-development costs
- ☐ Rental subsidy
- ☐ Ownership subsidy
- ☐ New construction for homeownership
- ☐ New construction for rental
- ☒ Rehabilitation for owner-occupied or rental (including urgent repairs - see \*)
- ☐ Land banking
- ☐ Grant to land trust
- ☐ Foreclosure assistance
- ☐ Other (specify): \_\_\_\_\_

*\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.*

**2. Project Description.** Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

**C. "Where"**

**1. Project Location.** Please be as specific as possible.

100 and 102 Crest Street Carrboro, NC 27510

**2. Project Size (if applicable).** Please provide the size of development site: \_\_\_\_\_ acres

Please attach the following:

- ☐ Site map showing lot boundaries, locations of structure(s), and other site features
- ☐ General location map (at least ½ mile radius)

**D. "When"**

☐ Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.)

**E. Project Details**

If the questions below are not applicable or the requested information is not currently available, please insert N/A.

**1. Property Acquisition.**

- a. Has your agency acquired real property in order to carry out the project, or is property acquisition planned? N

- b. Is the property currently occupied? If so, attach a description of your plan to relocate.
- c. Please attach an appraisal of the property.

## 2. Construction/Rehabilitation Detail.

- a. How many units will be newly constructed? N/A
- b. How many units will be rehabilitated? 10
- c. What is the square footage of each unit? 800 sq ft
- d. What is the number of bedrooms in each unit? 2
- e. What is the number of bathrooms in each unit? 1
- f. How many units will have full ADA accessibility? 0
- g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?  
100 and 102 Crest Street Carrboro, NC 27510
- h. Please attach the following:
  - ☐ Floor plan(s)
  - ☐ Elevation(s)
  - ☐ List of Energy Efficiency measures included in the project (if applicable)
  - ☐ List of Universal Design principles included in the project (if applicable)

## 3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:

The WCHA relies heavily on volunteer efforts from community members to work on minor repairs and upkeep on the residencies. In addition to filling management positions in each community such as the WCHA treasurer, cooperative financial coordinators and cooperative maintenance coordinators. All residents participate in community workdays which work on various community projects and the upkeep of the grounds. The WCHA bylaws also state rent will not be more than 30 AMI for our area.

- b. What are the proposed rents (including utility costs) or sales prices for completed units?  
\$660/Month although will go up slightly to fund the refinancing effort
- c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:  
The WCHA uses craigslist and postings at local community center and high traffic areas. Income is verified to ensure that candidates fall at or below the HUD 60% AMI for our area.
- d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.  
The vinyl planking used for the new flooring and the all paint/primer used will be low VOC content.
- e. What supportive services, if any, will be provided through this project?  
The WCHA will be hiring a project manager to facilitate this project.

### Section 3: PERFORMANCE MEASUREMENTS

#### A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI.</i>
Provide a healthy living space for residents	Remediation of Abestos in ceilings of units and replacement of old flooring
Complete requirements to refinance mortgage	Remediation of asbesots in ceilings

#### B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

The proposed project would fund necessary emergency repairs and help secure a refinancing of the WCHA mortgage to then fun additional repairs to avoid having the Bolin Creek and Cedar Rock Cooperative from falling into a state of disrepair.

### Section 4: PROJECT BUDGET AND PRO-FORMA

#### A. Project Budget

☐ Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.

☐ Has an appraisal been conducted? If so, please attach.

#### B. Terms of Project Funding

Please specify the type of funding request for which you are applying:

☒ Grant      ☐ Loan

#### C. Pro-forma (for rental property only)

☐ If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

## Section 5: ORGANIZATION DESCRIPTION

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

### A. Organization

What is your organization's . . .

1. Mission statement?

Mission statement? The WCHA's mission is to create living structures to accomplish two main goals: 1) Provide permanently affordable and sustainable housing for lower income families and individuals and; 2) Empower residents to make decisions and cooperatively control and maintain their homes and communities. This mission originated from alarm at the rapidly depleting availability of local, affordable housing and absentee landlords who too often were subjecting residents to poor and unsafe living conditions. We believe that the egalitarian, democratic values of the cooperative model address those two main goals and offer the best opportunity for healthy, sustainable communities.

2. Incorporation date (Month and Year)? Sept 2002

3. Estimated Total Agency Budget for this fiscal year? \$ 166,000.00

4. Total number of agency staff (full time equivalents): 1

### B. Organization Track Record and Community Support

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project

The WCHA is also seeking donations of materials from Fitch Lumber and other local companies for materials such as flooring and paint.

2. Involvement of intended beneficiaries of the project in the planning process

Residents of the both cooperatives have been involved in the planning, gathering estimates and working with the banks on refinancing. They will be working with the project coordinator during the project as well.

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables

The WCHA has received town funding in the past for a siding project at Cedar Rock and a sewer line project and the former Hillsborough Rd, Cooperative. Both projects were carried out successfully and with the time frame and on budget.

4. Collaborative relationships with other agencies

Board Member Liz Evans is the WCHA representation to the Carrboro Affordable Housing Coalition currently.

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive

6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).

**Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST**

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES ☐ NO ☒

b) Members of or closely related to members of the governing bodies of Carrboro?

YES ☐ NO ☒

c) Current beneficiaries of the project/program for which funds are requested?

YES ☒ NO ☐

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES ☐ NO ☒

If you have answered YES to any question, please explain below. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an undisclosed conflict may result in the termination of any grant awarded.

Several residents of the Bolin Creek Cooperative are also on the Board of Directors. The Board also included residents of the Cedar Rock Cooperative and Community Members.

## **Project Description**

About one year ago, the WCHA began working with the bank on refinancing our mortgage to fund much needed repairs and upgrades to both the Bolin Creek Cooperative and the Cedar Rock Cooperative. In the process of gathering estimates for the upgrades and repairs, it was discovered that the popcorn ceilings in all 10 apartments at the Bolin Creek Cooperative Contained asbestos. The bank is requiring that a plan to fund and carry out the remediation of the asbestos be in place before they will refinance the mortgage.

Following the remediation, the ceilings will also need to be repaired, seal-coated and painted/primed. The third step of the project is the replacement of the bamboo flooring in all the units, which is damaged, bubbling and has water damage in many places. This total project will require that residents vacate their apartments for 10 days to furnished apartments that WCHA will pay for. Belonging will also need to be moved out and stored in PODS which the WCHA has rented.

In order to facilitate the complexities of this project and ensure that things run smoothly and timely, the WCHA will hire a project manager to help organize and carry the project out.



# Orange County



September 30, 2021 This map contains parcels prepared for the inventory of real property within Orange County, and is compiled from recorded deed, plats, and other public records and data. Users of this map are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map.

The county and its mapping companies assume no legal responsibility for the information on this map.

**PIN: 9778992264**

**OWNER 1: WEAVER COMMUNITY HOUSING ASSOCIATION**

**OWNER 2:**

**ADDRESS 1: PO BOX 215**

**ADDRESS 2:**

**CITY: CARRBORO**

**STATE, ZIP: NC 27510**

**LEGAL DESC: 3-6 P/O 2 BL A HENRY LLOYD**

**ASSC 1.26 A**

**DEED REF: 3535/279**

**RATECODE: 21**

**TOWNSHIP: CHAPEL HILL**

**BLDG SQFT: 7850**

**YEAR BUILT: 1973**

**BUILDING COUNT: 2**

**LAND VALUE:**

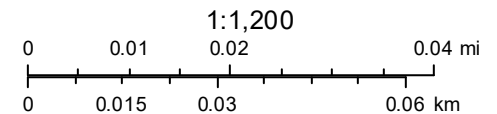
**BLDG\_VALUE:**

**USE\_VALUE:**

**TOTAL VALUE:**

**DATE SOLD: 08/18/2004**

**TAX STAMPS: 880**



**ORANGE COUNTY**  
NORTH CAROLINA

**132**



## **Timetable**

**Month 1** - In the first month, the tasks will be finding a program manager that would be willing to work with us. And also finalizing the refinancing of the WCHA mortgage to ensure that we have funding to complete the entire project.

**Months 2-3** - During this period the WCHA will work with the project manager and contractors for the project to create a reasonable timeline and process for completing the project. The storage pods and alternative housing for residents would be put in place as well. In addition, the 2 month period would serve to give residents of the Bolin Creek notice and time to plan and arrange the moving of their belongings and plan to stay in alternative housing for the duration of the time that their specific unit is being completed.

**Months 3-4** - This is the projected time period when the actual work would be completed. Each resident would be out of their unit for approximately 10 days while the contractors are working on their unit. Volunteers and residents of both cooperatives would assist in moving belongings in and out of the storage pods to facilitate moving the project along as quickly as possible. The WCHA would work very closely with the project manager and contractors to keep up to date on the process of the work and any additional issues that come up.

**Month 5** - All work should be completed and residents moved back into their units.

**Project Budget****Asbestos Remediation**

Estimate #1 Remtech Environmental	\$73,950.00
Estimate #2 DH Griffin Companies	\$60,000-\$65,000

**Ceiling Repair/Priming/Painting**

Estimate #1 Hansell Painting	\$45,000
Estimate #2 Zarazua Painting	\$9,485

**Flooring Replacement**

Estimate #1 Burch Brothers Flooring	\$35,343
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**Pod Storage**

4 pods for 2 months	4,000
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**Housing Residents**

Furnished Cooperate Apartments	
3 apartments for 2 months	\$10,000

**Project Manager**

2 months- Not more than 20% total project cost	\$25,000
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<b>Total Project Cost</b>	<b>\$148,828</b>
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# Town of Carrboro

Town Hall  
301 W. Main St.  
Carrboro, NC 27510

## Agenda Item Abstract

**File Number:**21-344

**Agenda Date:** 10/26/2021

**File Type:**Agendas

**In Control:** Board of Aldermen

**Version:** 1

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### TITLE:

203 South Greensboro Project Update -Costs, Utilities and Construction Status

**PURPOSE:** The purpose of this item is to provide the Council with an update on the project status including the utility plan and current estimated project costs

**DEPARTMENT:** Town Manager, Planning, Finance, Public Works

**CONTACT INFORMATION:** Ben Schmadeke, Capital Projects Manager, 919-918-7424, [bschmadeke@townofcarrboro.org](mailto:bschmadeke@townofcarrboro.org) <<mailto:bschmadeke@townofcarrboro.org>>; Richard White, Town Manager, 919-918-7315, [rwhite@townofcarrboro.org](mailto:rwhite@townofcarrboro.org) <<mailto:rwhite@townofcarrboro.org>>; Patricia McGuire, Planning Director, 919-918-7327, [pmcguire@townofcarrboro.org](mailto:pmcguire@townofcarrboro.org) <<mailto:pmcguire@townofcarrboro.org>>; Arche McAdoo, Finance Director, 919-918-7439, [amcadoo@townofcarrboro.org](mailto:amcadoo@townofcarrboro.org) <<mailto:amcadoo@townofcarrboro.org>>;

**INFORMATION:** The 203 Project is a collaborative effort of the Town of Carrboro and Orange County to develop a new public building and associated parking on Town property at 203 S. Greensboro Street. The new building will house the Orange County Southern Branch Library, the Town of Carrboro Recreation, Parks, and Cultural Resources programs, WCOM Radio, the Orange County Skills Development Center, and more. See <http://www.townofcarrboro.org/1151/The-203-Project> for more details.

The project status is as follows:

- 1) A Public Hearing on the 203 Project design and cost estimate was held on June 15<sup>th</sup> and on June 22<sup>nd</sup> a resolution was passed approving the 203 Project design. Comments received from the council and public and corresponding responses are presented in Attachment A; and
- 2) The site plan has been found in compliance with applicable Land Use Ordinance provisions; and
- 3) The antenna location and height has been identified (Attachment B); and
- 4) The utility relocation plan is being finalized by Duke Energy and includes overhead transmission lines on S. Greensboro St. (Attachment C); and
- 5) Capital project cost estimates for Furniture Fixtures & Equipment (FFE) and Information Technology infrastructure have been updated and utility relocation costs have been added to the total cost to open and occupy the building (Attachment D); and
- 6) Bid documents have been prepared and 100% Construction Drawings have been submitted to the Town and NC Department of Insurance for permitting; and

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**Agenda Date:** 10/26/2021

**File Type:**Agendas

**In Control:** Board of Aldermen

**Version:** 1

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- 7) The project team has structured the bid documents so that items can be removed or added to the project scope by use of additive and deductive bid alternates; and
- 8) The Construction Manager at Risk is updating the construction cost estimate based on the 100% Construction Documents. This cost estimate will establish the Pre-Guaranteed Maximum Price (PGMP) used to seek financing and is scheduled to be prepared by November 11<sup>th</sup>.

Next Steps:

1. Update the project ordinance based on the PGMP cost estimate; 11/16/2021 (Staff, Council)
2. Approve and pay for the final utility design and begin utility relocation; 11/16/2021 (Staff, Council, Duke Energy)
3. Initiate steps to obtain project financing; 11/16/2021 (Town Staff, Council)
4. Approve and pay for the final utility design and begin utility relocation; 11/16/2021 (Staff, Council, Duke Energy)
5. Initiate steps to obtain project financing; 11/16/2021 (Town Staff, Council)
6. Formalize the construction management plan; 12/17/2021 (Town Manager, Staff, Public & Construction Manager)
7. Bid project to establish Guaranteed Maximum Price (GMP); 02/02/2022 (Barnhill)
8. LGC approval; 03/01/2022 (Town Staff)
9. Groundbreaking; TBD
10. Establish a process for naming of building; 03/15/2022 (Council)

**FISCAL & STAFF IMPACT:** The DD plan set cost estimate (May 21') for the Town's project share exceeds the project budget by approximately \$450,000 and additional project costs to open and occupy the building including furnishings, IT infrastructure and utility relocation work have been identified amounting to approximately \$1.9M.

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**Agenda Date:** 10/26/2021

**File Type:**Agendas

**In Control:** Board of Aldermen

**Version:** 1

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**RECOMMENDATION:** Staff recommends that the Town Council accept this report and approve current costs so that an updated project ordinance can be presented for adoption at a subsequent meeting.

The Town of Carrboro

The 203 Project

June 15<sup>th</sup> Public Hearing Comments and responses (responses in bold and italics):

1. Should the Town set a maximum project cost, above which a decision to adjust scope or schedule would be made? ***More accurate project costs are currently in the works, the bid package will be structured so that bid items can be added or removed as budgeting allows. Many of the alternates can be added in with future CIP scheduling.***
2. What are ways for the Town to be prepared to deal with cost overruns, such as adjustments to CIP scheduling of other items, use of ARPA funding, increase in debt period, seeking climate action and other funding? ***See response to number one above.***
3. Solar arrays should be included in the project, not identified as additional/alternate items. ***It may be less costly and advantageous to install the solar arrays with a separate contract. The solar arrays are listed as an alternate to give the Town flexibility with procurement. All rough-in work to install the solar arrays is included in the base bid.***
4. See if the bike lane along the S. Greensboro Street frontage can be retained, rather than a lane with sharrow. ***This has been studied by Town Staff and it has been determined that a bike lane is not recommended for this location due to the short distance and lack of other bike lanes. It is a safety concern for bike lanes to start and stop in short spans as this forces the cyclist into and out of vehicular traffic.***
5. Make sure there is enough parking in the downtown for businesses. ***Arrangements are ongoing to provide for additional parking for public use in the downtown.***
6. Minimize/mitigate construction impacts so they are least detrimental to business operations. ***Staff and the Construction Manager are currently working on a construction management plan and will soon be scheduling a public meeting with affected residents and businesses.***
7. Be sure it is safe for bikes to travel on the ramps in the parking deck. ***Staff and the engineers are currently working on ways to improve bike safety in the parking deck. Bikes can access upper levels of the parking deck through the elevator.***
8. Check distance between inverted 'U' bike racks and try to get to Association of Pedestrian and Bicyclist Professionals (APBP) recommended spacing of 3.5 to 4 feet between each rack. ***Bike rack spacing will be 3.5 feet.***

# THE 203

## Project Updates

10/26/2021



# **SITE BUILDING UPDATES:**

## **COMMUNICATIONS ANTENNA**



# COMMUNICATIONS ANTENNA

Approximately 60ft lattice type antenna tower

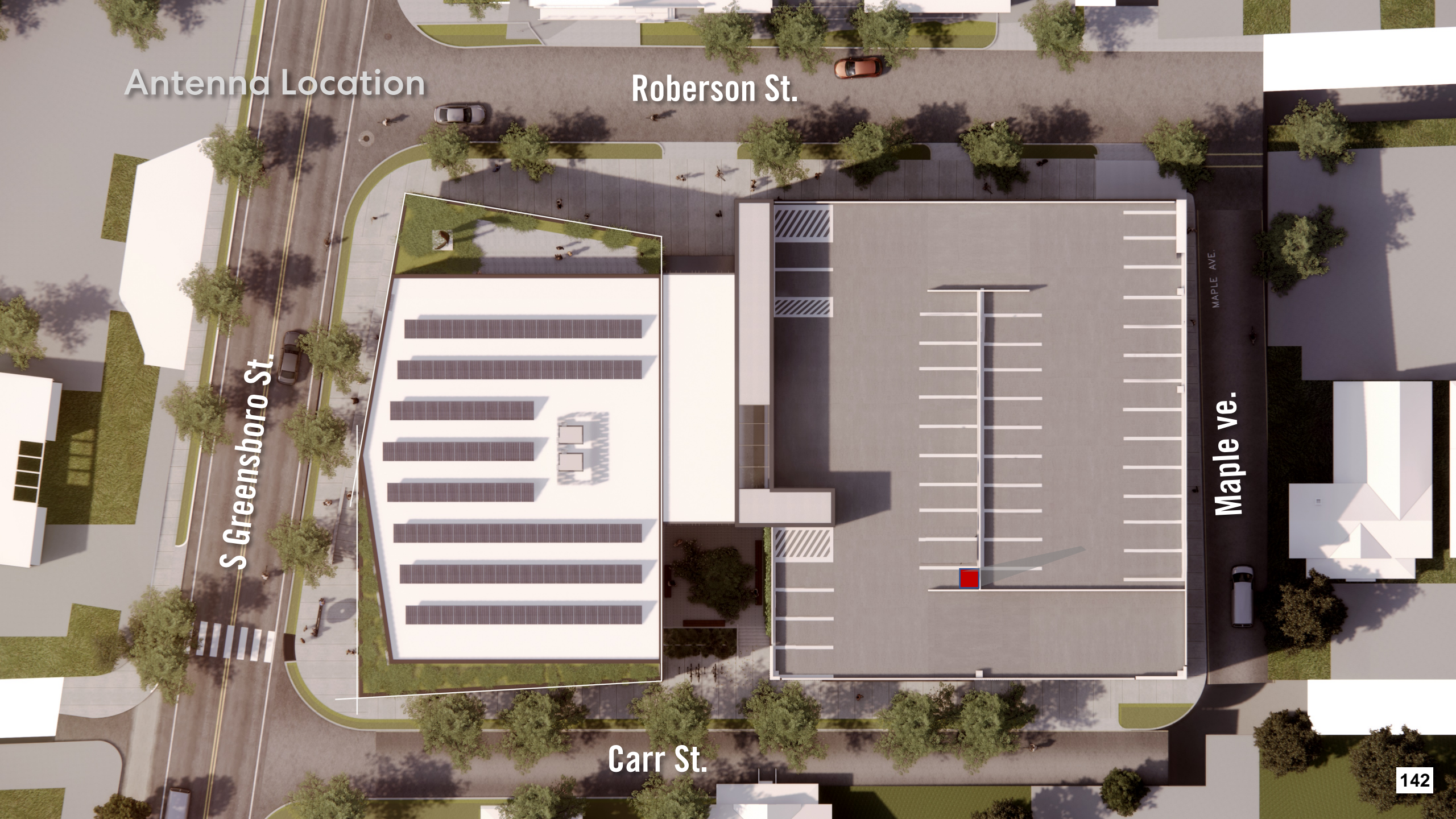
Antenna Location

Roberson St.

S Greensboro St.

Maple ve.

Carr St.















# THE 203

## Project Updates

10/26/2021



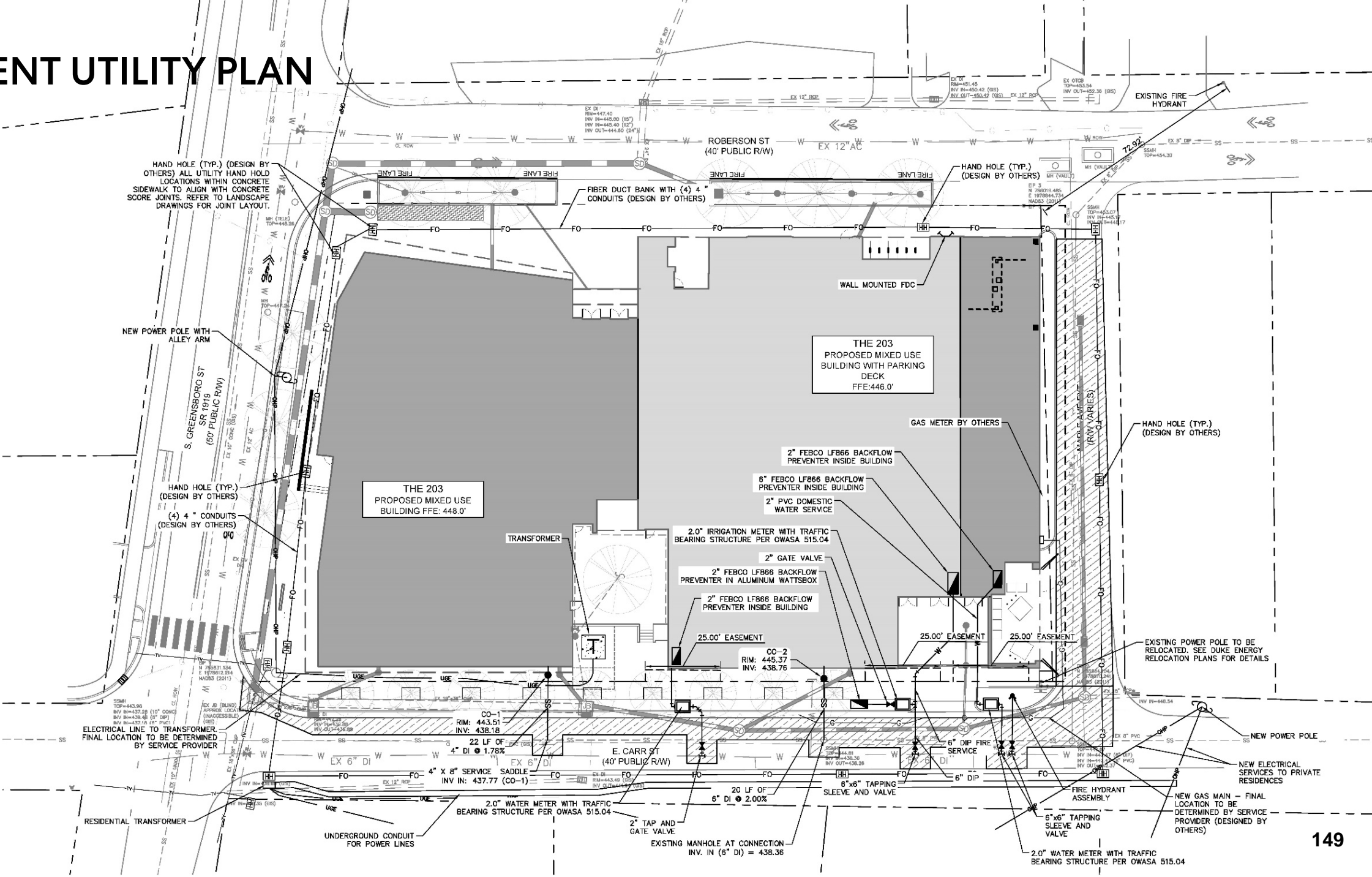
# **SITE BUILDING UPDATES:**

## **SITE UTILITIES**

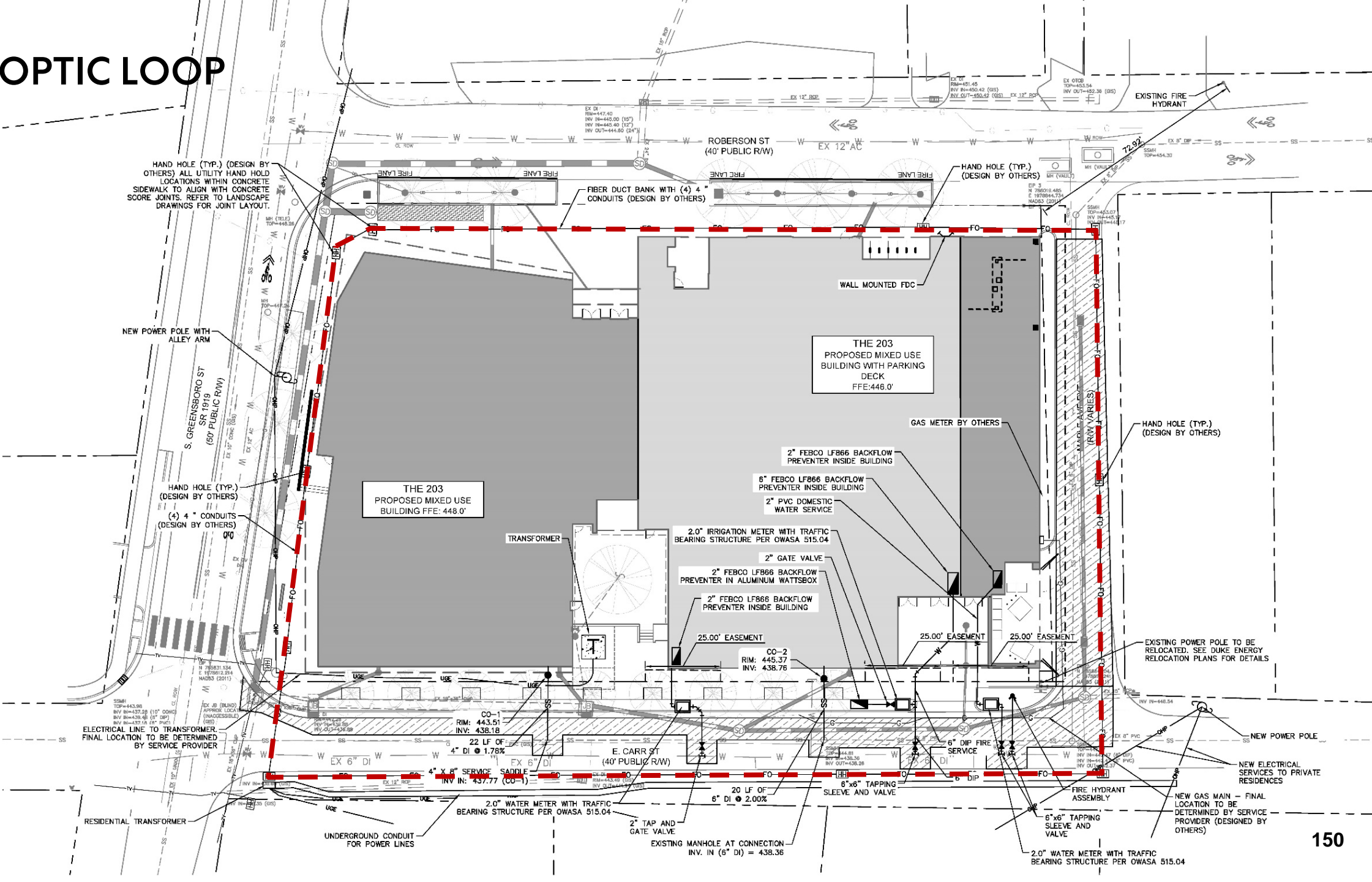
# SITE UTILITIES



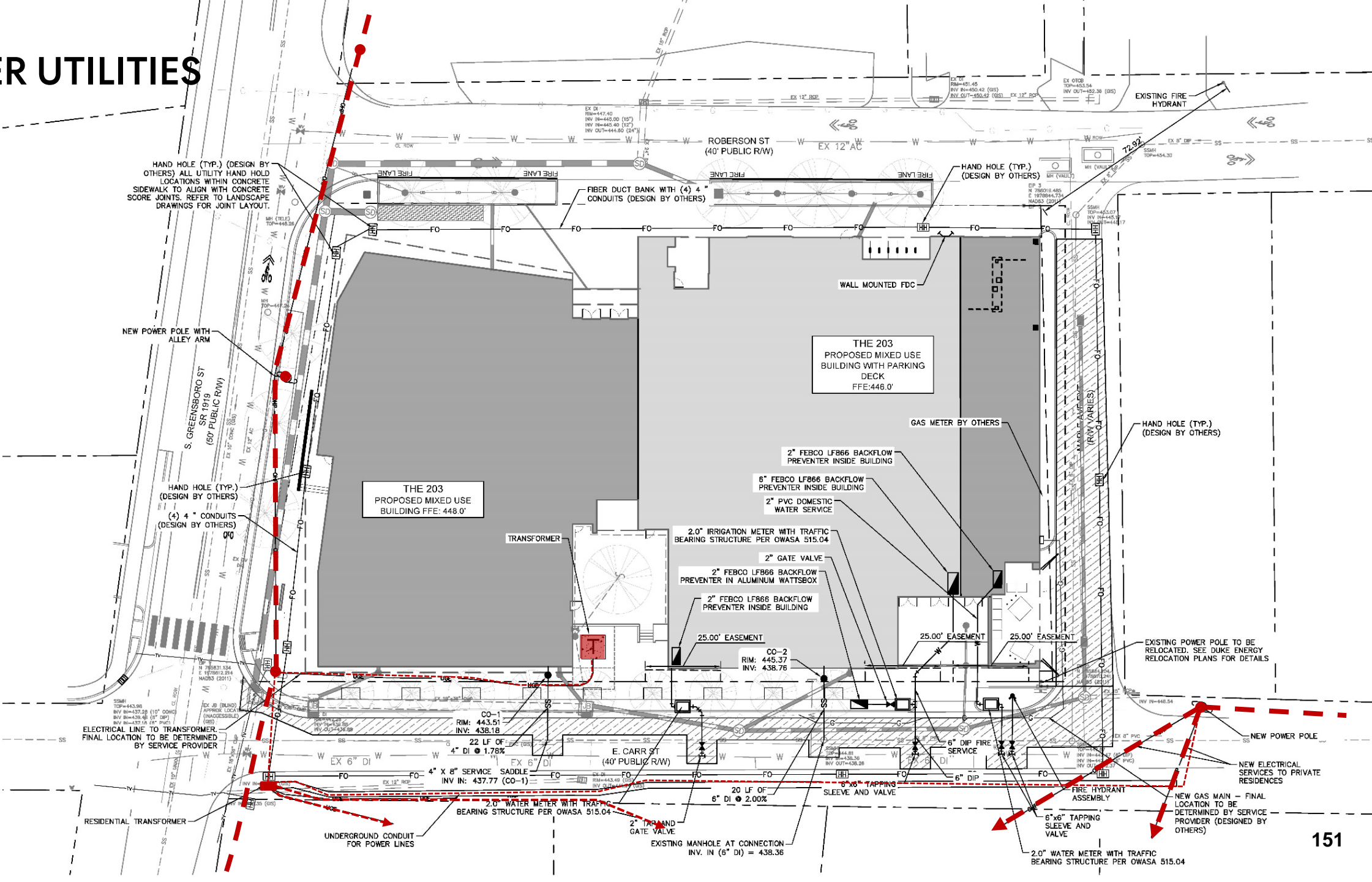
# CURRENT UTILITY PLAN



# FIBER OPTIC LOOP

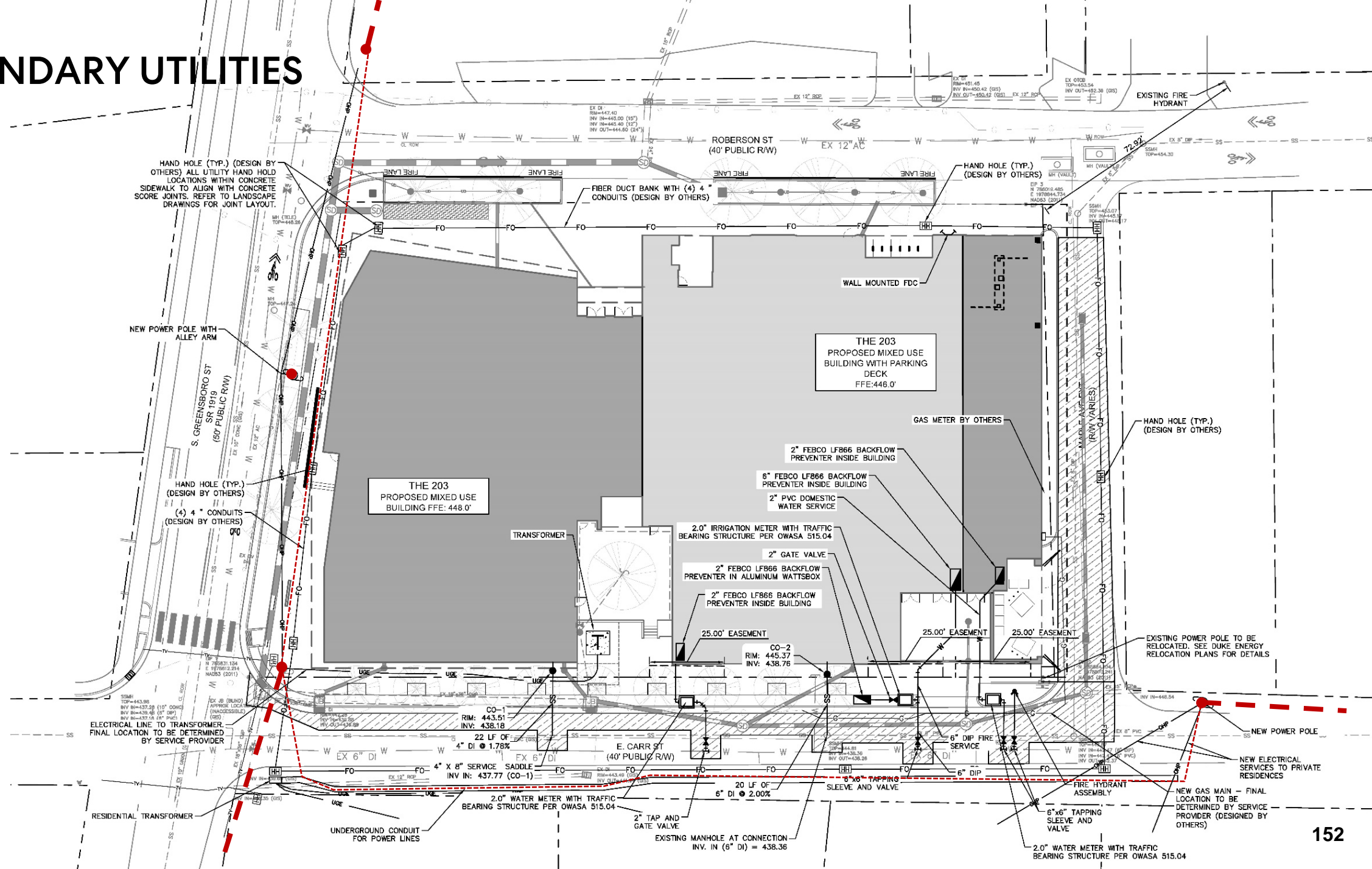


# POWER UTILITIES

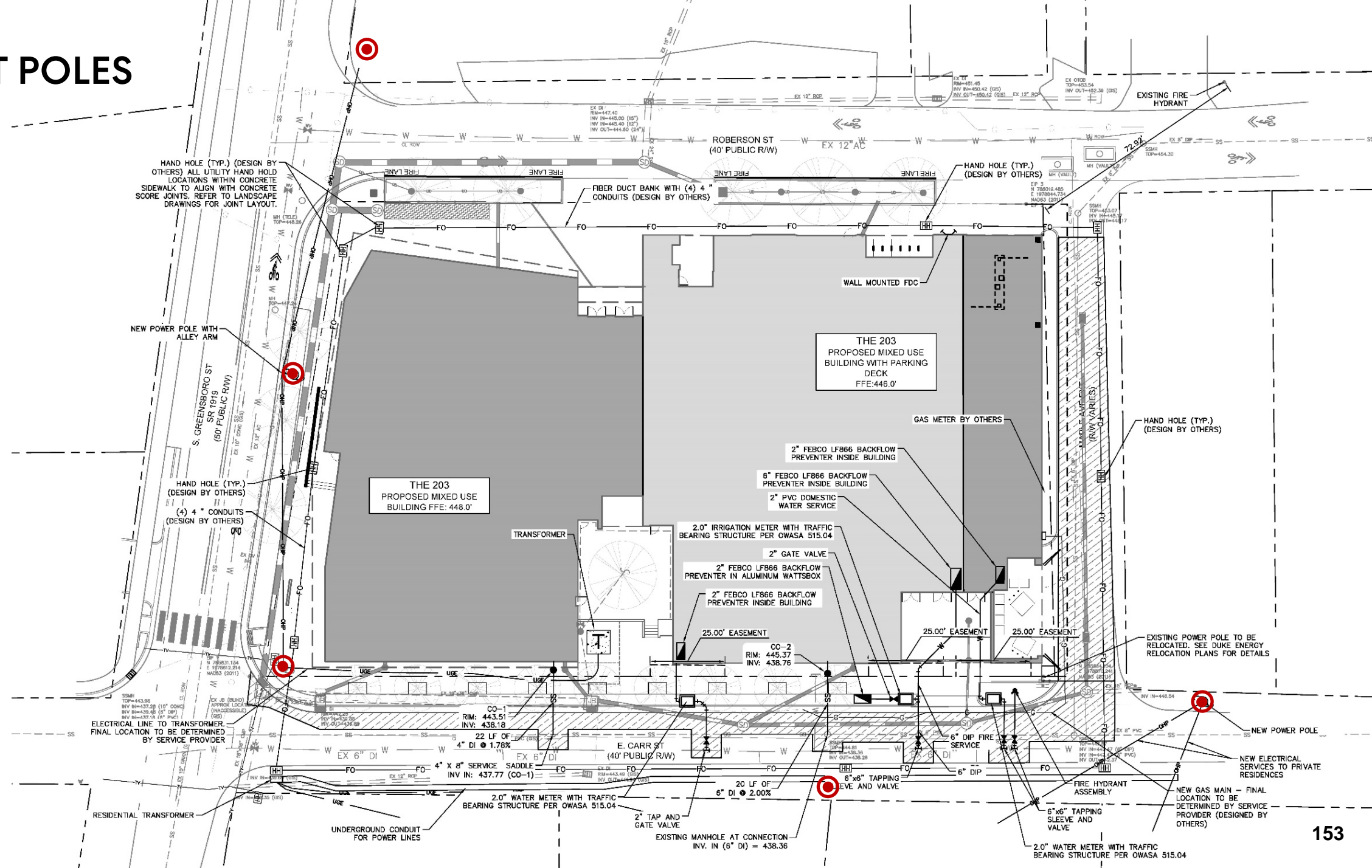




## SECONDARY UTILITIES



# LIGHT POLES



**Attachment D - Total Project Costs to Open and Occupy Building**

Description	Current Project Budget	Increase / (Decrease)	Total Project Cost Estimate
Construction	\$ 24,089,160.00	\$ 1,946,140.00	\$ 26,035,300.00
Design	\$ 3,549,095.00	\$ (1,042,936.46)	\$ 2,506,158.54
FF&E / IT	\$ -	\$ 1,350,000.00	\$ 1,350,000.00
Utility Relocation	\$ -	\$ 500,000.00	\$ 500,000.00
<b>Total</b>	\$ 27,638,255.00	\$ 2,753,203.54	\$ 30,391,458.54