

Town Hall 301 W. Main St. Carrboro, NC 27510

Meeting Agenda Board of Aldermen



Tuesday, June 27, 2017	7:30 PM	Board Chambers - Room 110

A PUBLIC HEARING MEETING OF THE CARRBORO BOARD OF ALDERMEN

7:30-7:40

A. POETRY READING, RESOLUTIONS, PROCLAMATIONS, AND ACKNOWLEDGEMENTS

1. <u>17-235</u> Resolution Concerning Gerrymandering

7:40-7:42

B. ANNOUNCEMENT OF UPCOMING MEETINGS

<u>7:42-7:50</u>

C. CONSENT AGENDA

1. <u>17-233</u> Approval of Previous Meeting Minutes of June 20, 2017

2. <u>17-226</u> Request to Approve a Resolution Authorizing the Town Manager to Execute a Memorandum of Agreement to Continue Participation in the Transportation Demand Management Program.
 PURPOSE: The purpose of this item is for the Board of Aldermen to consider authorizing the Town Manager to execute a Memorandum of Agreement with the Town of Chapel Hill for its participation in the Transportation Demand Management Program for Fiscal Year 2017-2018.
 <u>Attachments:</u> Attachment A - Resolution TDM

17-232 Approval of the Amended 2017-18 HOME Investment Partnership Program Plan
 PURPOSE: The purpose of this item is for the Board to consider approving the HOME Investment Partnership Program's amended plan for FY 2017-18 based on HUD's decrease in HOME funding.
 <u>Attachments:</u> Attachment A - Resolution

Board of Aldermen	Meeting Agenda	June 27, 2017
4 . <u>17-219</u>	Completion of the Affordable Housing Task Force PURPOSE: The purpose of this item is for the Board of Aldermen consider approving the completion of the Affordable Housing Task Fo <u>Attachments:</u> Resolution Approving the Completion of the Affordable House <u>Force</u>	rce.
5. <u>17-223</u>	Request to Authorize the Town Manager to Approve Bids an Award a Contract for the installation of Bicycle Loop Detect to Execute a Supplemental Agreement with NCDOT. PURPOSE: The purpose of this item is for the Board of Alderment consider authorizing the Town Manager to approve bids and award a c the selected contractor to install bicycle detectors downtown, and to ex updated Supplemental Agreement with NCDOT <u>Attachments:</u> Attachment A - Resolution Bike Loops	tors and to ontract to
6. <u>17-224</u>	Request to Authorize the Town Manager to Award a Contract Preliminary Engineering Services for the Jones Creek Green PURPOSE: The purpose of this item is for the Board of Alderment consider authorizing the Town Manager to select an engineering firm a award a contract with such firm for preliminary engineering services for Jones Creek Greenway. <u>Attachments:</u> Attachment A Resolution for Jones Creek Greenway	tway. to and to
7. <u>17-225</u>	Request to Approve a Resolution Authorizing the Town Mat Initiate a Municipal Agreement with NCDOT for the South Greensboro Street Sidewalk Project. PURPOSE: The purpose of this item is for the Board of Alderment consider authorizing the Town Manager to initiate a Municipal Agreen NCDOT for the construction of the South Greensboro Street sidewalk. <u>Attachments:</u> <u>Attachment A - Resolution South Greensboro Street Sidewal</u>	to nent with
8. <u>17-228</u>	Additional Funds for Public Safety Radio Upgrades PURPOSE: The purpose of this item is to appropriate the third inst of funding to upgrade public safety radios Attachments: Public Safety Radio Upgrades	allment

9.	<u>17-234</u>	Recognition of Donation to the Carrboro Police Department by Sherry Ontjes
		PURPOSE: The purpose of this item is to recognize the generous donation from Carrboro resident and business owner Sherry Ontjes of funds towards the purchase of a radar sign.
		Attachments: Attachment B: Donation Letter.pdf Attachment A: Resolution (2).docx
10.	<u>17-236</u>	Request to Make an Appointment to the Arts Committee
		PURPOSE: The purpose of this agenda item is for the Board of Aldermen to make an appointment to the Arts Committee. <u>Attachments:</u> <u>Attachment A - Appointment Resolution</u>

Attachment B - Arts Committee Chair Forms and Applications.pdf

D. PUBLIC HEARING

<u>7:50-8:00</u>

 1.
 <u>17-231</u>
 Continuation of a public hearing on Extension of Town's Extraterritorial Jurisdiction and an Ordinance Establishing the New ETJ Boundary

PURPOSE: The purpose of this item is for the Board of Aldermen to receive public comment on an ordinance, which if adopted, will extend the Town's extraterritorial boundary along the north side of NC Highway 54 West and increase the ETJ by 2.9 acres.

 Attachments:
 Attachment A - Ordinance extending ETJ 6-27-17

 Attachment B - NCGS 160A-360

 Attachment C - Draft BOCC Resolution

 Attachment D - Certification of Mailed Notice

8:00-8:10

2.	<u>17-220</u>	Continuatio	on of Public Hearings on Land Use Ordinance Text and
		Map Amen	dments Relating to the WM-3 Zoning District
		PURPOSE	: The purpose of this agenda item is for the Board of Aldermen to
		receive public	c comment and to consider an ordinance relating to the Watershed
		Manufacturin	g District (WM-3) and whether to rezone portions of six parcels
		along NC Hw	ry 54 West to WM-3.
		<u>Attachments:</u>	Attachment A-1 - Consistency Resolution for Text Amend WM-3
			Attachment A-2 - Consistency Resolution for Text Amend Ordinance Denial-WM-3
			Attachment B - Draft LUO Text Amend-WM-3
			Attachment C-1 - Consistency Resolution for Map Ordinance Adoption
			Attachment C-2 - Consistency Resolution for Map Ordinance Denial
			WM-3 Attachment D - Draft Ordinance Map Amend
			Attachment E - Staff Report Rezoning to WM-3
			Attachment F - Comments
			Attachment G - Documentation of Notice

8:10-8:25

3. <u>17-222</u> **TITLE:** Public Hearing for the Abandonment of Rand Road Right of Way

PURPOSE: The purpose for this agenda item is provide the Mayor, Board of Aldermen and community an opportunity to review and discuss the Town's abandonment of the current Rand Road right of way located within the South Green Development.

 Attachments:
 Attachment A - Resolution

 Attachment B - Rand Road ROW Abandonment - Before

 Attachment C - Rand Road ROW Abandonment - After

<u>8:25-9:30</u>

4. <u>17-217</u> Public Hearing on 100% Review of the Martin Luther King Jr Park Construction Design and Authorize the Town Manager to Award Construction Contract

> **PURPOSE:** The purpose of this agenda item is to provide the Mayor and Board members an opportunity to review and approve the 100% construction plans for Martin Luther King Jr Park along with granting the Town Manager the authority to award the construction contract

<u>Attachments:</u> <u>Attachment A - A RESOLUTION TO APPROVE THE MARTIN</u> <u>LUTHER KING JR</u> Attachment B - 100% MLK Jr Park Presentation

<u>9:30-10:00</u>

5.	<u>17-230</u>	 Public Hearing on Concept Plan Options for Possible Co-Location of The ArtsCenter and Town of Carrboro Offices and Recreation and Parks programs at 203 South Greensboro Street Property Including Contemplated Orange County Southern Branch Library PURPOSE: The purpose of this item is to provide the Board of Aldermen with an opportunity to receive public comment on concept plan options for possible co-location of The ArtsCenter and the contemplated Orange County Southern Branch Library at the Town's 203 S. Greensboro Street property.
<u>10:00-1</u>	<u>10:10</u>	
6.	<u>17-221</u>	Public Hearing on Land Use Ordinance Amendments Related to Solar Arrays PURPOSE: The purpose of this agenda item is to provide an opportunity for the Board of Aldermen to receive public comment and to consider amendments to the Land Use Ordinance related to roof and ground mounted solar arrays. Attachments: Attachment A-1 - Consistency Resolution for Approval Attachment A-2 - Consistency Resolution for Denial Attachment B - Draft ordinance Attachment C - SolSmartParticipationSummaryMemo Attachment D - SolarOrdinanceSupplemental Information Attachment E - Comments

E. OTHER MATTERS

10:10-10:30

 <u>17-218</u> Exploration of Affordable Housing on Town-Owned Land **PURPOSE:** The purpose of this item is for the Board to receive an update on work staff and the Affordable Housing Task Force have been conducting on the exploration of possible affordable housing development strategies on town-owned land.
 <u>Attachments:</u> Attachment A - Evaluation of Use - Crest St Attachment B - Evaluation of Use - Hill St

Attachment C - Evaluation of Use - Pathway Attachment D - Criteria for Identifying Potential Sites

<u>10:30-10:40</u>

2. <u>17-237</u> Chatham/Orange Joint Planning Task Force - Request for Appointment

PURPOSE: The purpose of this item is for the Board of Aldermen to consider selecting a representative to participate in the Chatham/Orange Joint Planning Task Force.

 Attachments:
 Attachment A - Resolution

Attachment B - Letter from County

- F. MATTERS BY BOARD MEMBERS
- G. MATTERS BY TOWN MANAGER
- H. MATTERS BY TOWN ATTORNEY



File Number:17-226

File Type: Agendas

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1

TITLE:

Request to Approve a Resolution Authorizing the Town Manager to Execute a Memorandum of Agreement to Continue Participation in the Transportation Demand Management Program. **PURPOSE:** The purpose of this item is for the Board of Aldermen to consider authorizing the Town Manager to execute a Memorandum of Agreement with the Town of Chapel Hill for its participation in the Transportation Demand Management Program for Fiscal Year 2017-2018. **DEPARTMENT:** Planning

CONTACT INFORMATION: Christina Moon - 919-918-7325; Patricia McGuire - 919-918-7327; Bob Hornik - 919-929-3909

INFORMATION: Staff has been working with the Town of Chapel Hill to complete the administrative aspects of the Town's participation in the Transportation Demand Management program for Fiscal Year 2017-2018. This is a reimbursement-based grant program with the Triangle J. Council of Government (COG), whereby participants agree to organize certain activities to encourage the use of alternative modes of transportation. Chapel Hill serves as the grant recipient and the Town of Carrboro partners with Chapel Hill as a sub-recipient. The Town of Carrboro receives up to a 50% match on staff and vehicle costs for activities such as the Open Streets event in April, and a 5% reimbursement of the Transportation Planner's salary for the year. For its participation in the upcoming year, Carrboro is anticipated to receive up to \$4,150 in reimbursement. If costs are less than anticipated, reimbursement will be correspondingly less as well. Board approved the TDM budget for last year at its March 8, 2016 meeting. (Agenda materials may be found at: (<<u>https://carrboro.legistar.com/MeetingDetail.aspx?ID=456720&GUID=D03A11AE-5D69-4003-81BE-9B3129ECC28B&Options=&Search>=).</u>

FISCAL & STAFF IMPACT: The anticipated fiscal impact for the Town's participation in the TDM program for FY2017-18 is up to \$4,150 in reimbursement for staff time and vehicle use at specific events and a portion of the Transportation Planner's salary.

RECOMMENDATION: Staff recommends that the Board consider adopting the resolution to authorize the Manager to execute a Memorandum of Agreement with the Town of Chapel Hill for the FY2017-18 Transportation Demand Management Program, a grant from Triangle J Council of Governments.

A RESOLUTION AUTHORIZING THE MANAGER TO EXECUTE A MEMORANDUM OF AGREEMENT WITH THE TOWN OF CHAPEL HILL FOR CARRBORO'S PARTICIPATION IN THE REGIONAL TRANSPORTATION DEMAND MANAGEMENT PROGRAM FOR FISCAL YEAR 2017-18

WHEREAS, the North Carolina Department of Transportation, Capital Area MPO, and Durham-Chapel Hill-Carrboro MPO have provided funding to the Triangle J Council of Governments to support Transportation Demand Management activities in the region; and

WHEREAS, the Triangle J Council of Governments has issued a call for Transportation Demand Management grant applications for FY17-18; and

WHEREAS, the Town of Carrboro has partnered with the Town of Chapel Hill since 2010 on Transportation Demand Management program promotions; and

WHEREAS, Carrboro has developed a set of Transportation Demand Management activities as a sub-recipient of the Town of Chapel Hill's FY17-18 Transportation Demand Management grant application;

NOW, THEREFORE, BE IT RESOLVED by the Board of Aldermen of the Town of Carrboro that the Board approves continued participation in an application for regional Transportation Demand Management funding in FY 17-18, and authorizes the Town Manager to execute a Memorandum of Agreement with the Town of Chapel High for that purpose.

This the 27th day of June 2017.



File Number:17-232

File Type: Agendas

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1

TITLE:

Approval of the Amended 2017-18 HOME Investment Partnership Program Plan **PURPOSE:** The purpose of this item is for the Board to consider approving the HOME Investment Partnership Program's amended plan for FY 2017-18 based on HUD's decrease in HOME funding. **DEPARTMENT:** Town Manager's Office

CONTACT INFORMATION: Nate Broman-Fulks, Assistant to the Town Manager, 919-918-7314, nbroman-fulks@townofcarrboro.org

INFORMATION: The elected bodies of the members of the Orange County HOME Consortium (Carrboro, Chapel Hill, Orange County, and Hillsborough) approved a HOME Program plan on April 25, 2017, based on estimated funding as the federal budget had not been approved. On June 14, 2017, the U.S Department of Housing and Urban Development (HUD) notified grantees of FY2017-2018 allocations. The approved plan included activities totaling \$466,407 in estimated funding. The June 14th notification from HUD has Orange County's actual HOME funding at \$394,656, a decrease of approximately 15%.

Summary of Amended Recommended 2017-18 HOME Program Plan

The HOME Program Review Committee recommends the following amended 2017-2018 HOME Program:

_		Approved	Amended
Habitat for Humanity	Second Mortgage Assistance	\$250,000	\$211,830
Empowerment	Property Acquisition	82,000	69,480
	Housing Rehabilitation	65,900	55,839
Rebuilding Together	Safe & Healthy Home Repair	33,680	28,538
Orange County	Administration	34,827	<u>28,969</u>
- •		\$466,407	\$394,656

FISCAL & STAFF IMPACT: Carrboro's portion of the local match will be \$9,777, 15% of the total local match.

RECOMMENDATION: That the Board: (1) Approve the amended plan developed by the HOME Program Review Committee for use of \$394,656 of 2017-2018 Orange County HOME Program funds; and (2)

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authorize this plan to be incorporated into the Annual Update to the 2015-2019 Consolidated Plan for Orange County.

RESOLUTION TO AMEND THE FY 2017 - 2018 HOME PROGRAM REVIEW COMMITTEE FUNDING RECOMMENDATIONS 6-27-2017

BE IT RESOLVED, that the Carrboro Board of Aldermen as a member of the Orange County HOME Consortium approves the following amendments for the 2017 - 2018 HOME Program.

Name of Applicant	Activity/Other	Previously Approved	Amendment
Habitat for Humanity	Second Mortgage Assistance	\$250,000	\$211,830
EmPOWERment	Property Acquisition & Rehabilitation	\$147,900	\$125,319
Rebuilding Together of the Triangle	Homeowner Repairs	\$33,680	\$28,538
Orange County	Administration	\$34,827	\$28,969
	TOTAL	\$466,407	\$394,656

BE IT FURTHER RESOLVED, that the County Manager is hereby designated as the authorized representative of the County to act in connection with the submission of this plan and to provide such additional information as may be required by the U.S. Department of Housing and Urban Development.

This the 27th day of June 2017.



File Number: 17-219

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Completion of the Affordable Housing Task Force **PURPOSE:** The purpose of this item is for the Board of Aldermen to consider approving the completion of the Affordable Housing Task Force. **DEPARTMENT:** Town Manager's Office

CONTACT INFORMATION: Nate Broman-Fulks, Assistant to the Town Manager, nbroman-fulks@townofcarrboro.org <mailto:nbroman-fulks@townofcarrboro.org>, 919-918-7314

INFORMATION: The Affordable Housing Task Force was established on June 26, 2012, for the purpose of creating recommendations for an affordable housing strategy. In June of 2014, this goal was accomplished when the Board of Aldermen approved the Town's Affordable Housing Goals and Strategies document. Since the approval of the Town's Affordable Housing Goals and Strategies, the Task Force has been assisting staff through guidance in the implementation of the plan. The Task Force term has been open-ended, meaning there has been no hard date for its completion.

Since the town's priority strategies are now well-defined and have dedicated staff support, and progress is being made towards implementing the Town's strategies, the Board of Aldermen approved the creation of a permanent resident advisory commission for affordable housing called the Affordable Housing Advisory Commission (AHAC) on June 13.

With the creation of AHAC, the Task Force's work has been accomplished. This agenda item is to formally recognize the accomplishments and completion of the Task Force.

Staff would like to thank the Task Force for their dedication, input, and hard work over the last five years. Below is a list of major milestones the Task Force helped the Town reach.

Milestones Reached during the Task Force's tenure:

- 1. Dedicated staffing for affordable housing issues and strategies.
- 2. Adoption of the Affordable Housing Plan by the Board of Aldermen.
- 3. The creation of new affordable housing programs to assist in the implementation of the Town's plan.
- 4. Significant expansion of the Affordable Housing Fund and initial revisions to the guidelines for deploying resources from the fund.
- 5. Approval of ten affordable housing funding applications, totaling \$457,347 and projected to affect over

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100 affordable housing units since revisions to the guidelines were approved.

FISCAL & STAFF IMPACT: There is no fiscal or staff impact for this item.

RECOMMENDATION: Staff recommends the Board approve the completion of the Affordable Housing Task Force by passing the attached resolution.

A RESOLUTION APPROVING THE COMPLETION OF THE AFFORDABLE HOUSING TASK FORCE 6/27/2017

WHEREAS, the Board of Aldermen established the Affordable Housing Task Force on June 26, 2012 for the purpose of creating recommendations for an affordable housing strategy; and

WHEREAS, the Task Force term was open-ended; and

WHEREAS, the Task Force has achieved several major milestones, including:

- 1) Adoption of the Affordable Housing Goals and Strategies document by the Board of Aldermen,
- 2) Dedicated staffing for affordable housing issues and strategies,
- 3) The creation of new affordable housing programs to assist in the implementation of the Town's strategies, and
- 4) Significant expansion of the Affordable Housing Fund and revisions to the Fund's Guidelines for deploying resources,
- 5) Approval of ten affordable housing funding applications, totaling \$457,347 and projected to affect over 100 affordable housing units since revisions to the guidelines were approved; and

WHEREAS, the Town's priority strategies are now well-defined and have dedicated staff support; and

WHEREAS, on June 13, 2017 the Board of Aldermen approved the creation of the Affordable Housing Advisory Commission, a permanent resident advisory board;

NOW THEREFORE, BE IT RESOLVED that the Mayor and Board of Aldermen:

Section 1. Approves the completion of the Affordable Housing Task Force.

Section 2. This resolution shall be effective upon the date of adoption.



File Number:17-223

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Request to Authorize the Town Manager to Approve Bids and Award a Contract for the installation of Bicycle Loop Detectors and to Execute a Supplemental Agreement with NCDOT.

PURPOSE: The purpose of this item is for the Board of Aldermen to consider authorizing the Town Manager to approve bids and award a contract to the selected contractor to install bicycle detectors downtown, and to execute an updated Supplemental Agreement with NCDOT.

DEPARTMENT: Planning

CONTACT INFORMATION: Christina Moon - 919-918-7325; Patricia McGuire - 919-918-7327; Bob Hornik - 919-929-3909

INFORMATION: On November 22, 2011, the Board of Aldermen approved a Municipal Agreement with NCDOT and a capital improvement project ordinance to install bicycle detectors (loops embedded in the pavement to trigger a light change) at specific signalized intersections in the downtown (U-4726-DF). A total of \$57,500 has been appropriated for the project, funded by a combination of federal STP-DA funding and local funding.

On October 16, 2012, the Board authorized the Town Manager to execute a professional services agreement and execute a supplemental municipal agreement with NCDOT for preliminary engineering of the bicycle loop detectors. Work on this project has been complicated by changing staff at the consulting firm and changing specifications standards at NCDOT. The bid packet (drawings and specification manual) is close to being completed and staff anticipates being ready to advertise the project during the summer.

The original funds included \$30,000 STP-DA and \$7,500 local for a total of \$37,500. On June 16, 2015, the Board authorized an amendment to the supplemental agreement and capital improvement project ordinance to increase the project budget by \$20,000, reflecting approximately \$18,525 for engineering costs and the anticipated \$38,000 for construction. (Agenda materials from the June 16th meeting may be found at the following link:

=">https://carrboro.legistar.com/MeetingDetail.aspx?ID=409660&GUID=EF2124DC-124A-4C8C-A7B4-EAC5EBF0F5A5&Options=&Search>=) An updated supplemental agreement will also be needed to reflect later milestones for completion.

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FISCAL & STAFF IMPACT: The Board has appropriated a total of \$57,500 (\$30,000 federal, \$27,500 local) for this project. The anticipated cost for construction is \$38,000.

RECOMMENDATION: Staff recommends that the Board consider adopting the resolution provided (Attachment A) authorizing the Town Manager to approve bids, award a contract to install bicycle detectors; and, execute a supplemental agreement with NCDOT.

A RESOLUTION AUTHORIZING THE TOWN MANAGER TO APPROVE BIDS, AWARD A CONTRACT AND EXECUTE SUCH CONTRACT TO INSTALL BICYCLE DETECTOR LOOPS IN THE DOWNTOWN AND TO EXECUTE AN UPDATED SUPPLEMENTAL AGREEMENT WITH NCDOT

WHEREAS, The Carrboro Board of Aldermen has adopted a Capital Improvement Project Ordinance for the installation of Bicycle Detectors at signalized intersections in downtown and has appropriated \$57,500 for this project; and,

Whereas the Town of Carrboro has executed a municipal agreement with the North Carolina Department of Transportation for the design and installation of bicycle detectors in four locations; and,

WHEREAS, on October 16, 2012, the Board of Aldermen awarded a contract for preliminary engineering to Atkins North America, Inc.; and,

WHEREAS, the preliminary design work is under review by NCDOT and is almost ready for bid.

NOW, THEREFORE BE IT RESOLVED by the Carrboro Board of Aldermen of the Town of Carrboro that:

- 1) The Town Manager is hereby authorized to approve bids, select a contractor and award a construction contract for the installation of bicycle loop detectors;
- 2) The Town Manager is hereby authorized to execute an updated Supplemental Agreement with NCDOT to reflect later milestones relating to project completion; and
- 3) Within five (5) days after this ordinance is adopted, the Town Clerk shall file a copy of this resolution with the Finance Director..

This is the 27th day of June in the year 2017.



File Number: 17-224

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Request to Authorize the Town Manager to Award a Contract for Preliminary Engineering Services for the Jones Creek Greenway.

PURPOSE: The purpose of this item is for the Board of Aldermen to consider authorizing the Town Manager to select an engineering firm and to award a contract with such firm for preliminary engineering services for the Jones Creek Greenway.

DEPARTMENT: Planning

CONTACT INFORMATION: Christina Moon - 919-918-7325; Patricia McGuire - 919-918-7327; Bob Hornik - 919-929-3909

INFORMATION: On April 5, 2016, the Board approved the Town's execution of a Municipal Agreement with NCDOT and the adoption of a capital improvement project ordinance for the Jones Creek Greenway (C-5181). (See the attached link for agenda materials =).

The project consists of the construction of a bridge and a paved trail to fill the gap between the upper Bolin Creek Greenway and the Twin Creeks Greenway. Town staff is working to finalize a Request for Letters of Interest (RFLOI) for preliminary engineering services and anticipates advertising in the near future. Based on the current timeline, letters of interest should come in during the Board of Aldermen's summer break. Staff is seeking Board authorization to allow the Town Manager to select an engineering firm and to award a contract with the selected firm in order to begin design work in a timely manner.

FISCAL & STAFF IMPACT: The project budget is \$420,000 comprising \$336,000 in federal Congestion Mitigation and Air Quality Improvement (CMAQ) funding and \$84,000 local match (20%). \$100,000 is earmarked for the preliminary design work: \$80,000 federal funds and \$20,000 local match. Staff time for project management would also be needed.

RECOMMENDATION: Staff recommends that the Board consider adopting the resolution provided (Attachment A), authorizing the Town Manager to award a contract for preliminary engineering services for the Jones Creek Greenway.

A RESOLUTION AUTHORIZING THE TOWN MANAGER TO AWARD A CONTRACT FOR PRELIMINARY ENGINEERING SERVICES TO CONSTRUCT THE JONES CREEK GREENWAY

WHEREAS, The Carrboro Board of Aldermen has adopted Capital Improvement Project Ordinance 11/2015-16 for the construction of the Jones Creek Greenway, a one-hundred foot bridge and paved greenway trail between Bolin Creek Greenway and Twin Creeks Greenway and has appropriated \$420,000 for this project; and,

Whereas the Town of Carrboro has executed a municipal agreement with the North Carolina Department of Transportation for design and construction of the Jones Creek Greenway; and,

WHEREAS, Town staff have prepared a Request for Letters of Interest to select the most qualified firm to deliver the project; and

WHEREAS, federal and state law requires that negotiations be conducted with the selected firm to establish a fair and reasonable price for the contract; and

WHEREAS, NCDOT policy requires an audit of the firm's contract proposal prior to the beginning of negotiations.

NOW, THEREFORE BE IT RESOLVED by the Carrboro Board of Aldermen that the Board authorizes the Town Manager to execute a contract for preliminary engineering services for the Jones Creek Greenway (C-5181), subject to the following:

- 1. The contract shall be executed at a fair and reasonable price with the most qualified firm, as determined by the Request for Letters of Interest;
- 2. Commencement of services shall be in July 2017, or shortly thereafter;
- 3. Completion of a pre-negotiation audit by NCDOT and Town of Carrboro staff addresses all audit comments satisfactorily;
- 4. If negotiations are unsuccessful in reaching a fair and reasonable price for the services with the most qualified firm, the negotiations may be terminated and initiated with the next-most qualified firm, consistent with NCGS §143-64.31(a).
- 5. Within five (5) days after this resolution is adopted, the Town Clerk shall file a copy of this resolution with the Finance Director.

This is the 27th day of June in the year 2017.



File Number: 17-225

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Request to Approve a Resolution Authorizing the Town Manager to Initiate a Municipal Agreement with NCDOT for the South Greensboro Street Sidewalk Project.

PURPOSE: The purpose of this item is for the Board of Aldermen to consider authorizing the Town Manager to initiate a Municipal Agreement with NCDOT for the construction of the South Greensboro Street sidewalk.

DEPARTMENT: Planning

CONTACT INFORMATION: Christina Moon - 919-918-7325; Patricia McGuire - 919-918-7327; Bob Hornik - 919-929-3909

INFORMATION: Staff has been working to assemble sufficient funding to initiate a municipal agreement with NCDOT for the South Greensboro Street sidewalk project (U-4726-DX). With the Board's approval to allocate STBGP-DA funds to the sidewalk project on April 4, 2017 and the subsequent adoption of the Orange County Transit Plan on April 28th, sufficient funds have been identified to begin the municipal agreement process.

">kercentersearch=prioritization>

The anticipated cost for the project is approximately \$1,706,966. Orange County Transit Plan funds, estimated at \$552,340, may be applied toward the local match.

FISCAL & STAFF IMPACT: The anticipated cost for preliminary design services is \$200,273: 80% federal (\$160,219) and 20% local match (\$40,054). Staff time for project management would also be needed.

RECOMMENDATION: Staff recommends that the Board consider adopting the resolution (Attachment A) to authorize the Manager to enter into a Municipal Agreement with NCDOT to begin the South Greensboro Street Sidewalk project.

SOUTH GREENSBORO STREET SIDEWALK CAPITAL IMPROVEMENT PROJECT ORDINANCE

WHEREAS, the Town of Carrboro has been awarded federal funding via the North Carolina Department of Transportation (NCDOT) under the STP-DA and STBGP-DA Programs; and,

WHEREAS, the Town of Carrboro has been awarded funding from the Congestion Mitigation and Air Quality Improvement Program (CMAQ), for the design and construction of a sidewalk along South Greensboro Street; and,

WHEREAS, local funds have been identified to provide the required local match for these funding awards; and,

WHEREAS, the Town of Carrboro is scheduled to received Orange County Transit funds, which may be used toward the local match

WHEREAS, the Board of Aldermen has approved and authorized the Town Manager to execute a Municipal Agreement with NCDOT to administer federal funding to design and build the South Greensboro Street Sidewalk;

NOW, THEREFORE PURSUANT TO N.C.G.S 159-13.2, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO THAT:

- 1. The South Greensboro Street Sidewalk Capital Improvement Project is hereby authorized to be undertaken until all project activity is completed.
- 2. The following revenues are anticipated to be available to the Town of Carrboro to complete the project:

STBGP-DA Funds	\$	277,386.00
STP-DA FUNDS	\$	437,240.00
CMAQ Funds	\$	440,000.00
ORANGE COUNT TRANSIT FUN	DS -	
GO TRIANGLE	\$	552,340.00
Т	OTAL \$	1,706,966.00

3. The following amount is appropriated for this project to be expended in the following manner:

Right of Way Acquisition		\$ 50,000.00
Design and Engineering		\$ 200,273.00
Construction		\$ 1,335,153.00
Contingency	_	\$ 121,540.00
	TOTAL	\$ 1,706,966.00

4. Within five (5) days after this ordinance is adopted, the Town Clerk shall file a copy of this ordinance with the Finance Director and Planning Director.



File Number:17-228

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Additional Funds for Public Safety Radio Upgrades **PURPOSE:** The purpose of this item is to appropriate the third installment of funding to upgrade public safety radios **DEPARTMENT:** Town Manager and Finance

CONTACT INFORMATION: David Andrews, 919-918-7315; Arche McAdoo 919-918-7439

INFORMATION: In FY 2014-15 the Town was informed by the vendor that the public safety radios current in use would no longer be supported by the vendor in FY 2017-18. The estimated cost provide at that time to upgrade all public safety radios was \$819,000. (Total cost has now increased to \$927,370 and the Town has secured a price lock of this amount through July 2017.)

The Board decided to set aside annually \$273,000 over the next three years beginning in FY 2015-16 for the purpose of upgrading public safety radios. To date \$546,000 has been designated in Capital Reserve Fund for the radio upgrades. Rather than appropriating another \$273,000 in FY 2017-18 as previously planned, the additional amount needed based on the new estimate is \$381,370.

FISCAL & STAFF IMPACT: Additional funds in the amount of \$381,370 will be appropriated from Assigned Fund Balance in the General Fund to Capital Reserve Fund public safety radio upgrades.

RECOMMENDATION: That the Board consider adopting the attached resolution in Attachment A.

ATTACHMENT A

CAPITAL PROJECT ORDINANCE AUTHORIZING ADDITIONAL FUNDS FOR THE UPGRADE OF PUBLIC SAFETY RADIOS

WHEREAS, the Board of Aldermen for the Town of Carrboro has adopted a Fund Balance Policy; and,

WHEREAS, the adopted Fund Balance Policy provides that when the unassigned fund balance exceeds 35% the Town Manager may set aside an amount in assigned fund balance for transfer to the Capital Projects Fund for future projects; and,

WHEREAS, the adopted Fund Balance Policy requires formal action by the Board of Aldermen to commit the use of fund balance for projects or purposes in any current year or future year's budget; and,

WHEREAS, the Town's annual audit at June 30, 2016 confirmed that the fund balance exceeds 35% and the amount above 35% may be committed for capital projects; and,

WHEREAS, the Town Manager has assigned fund balance for future capital projects; and,

WHEREAS, the Board of Aldermen of Aldermen appropriated \$273,000 in FY 2015-1 and FY 2016-17 for a total of \$546,000 to replace public safety radios; and,

WHEREAS, the cost estimate to upgrade these radios has increased by \$108,370 from \$819,000 to \$927,370;

NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO:

Section 1: Funds in the amount of \$381,370 are appropriated from fund balance in the General Fund to the Capital Projects Fund for the acquisition of fire and police radio upgrades in an amount not to exceed a total of \$927,370.

Section 2: Within five (5) days after this ordinance is adopted, the Town Clerk shall file a copy of this ordinance with the Finance Director.

Section 3: This capital project ordinance shall be effective July 1, 2017.



File Number: 17-234

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1 File Type:Agendas

TITLE:

Recognition of Donation to the Carrboro Police Department by Sherry Ontjes

PURPOSE: The purpose of this item is to recognize the generous donation from Carrboro resident and business owner Sherry Ontjes of funds towards the purchase of a radar sign.

DEPARTMENT: Police

CONTACT INFORMATION: Chief Walter Horton, 918-7397

INFORMATION: The Carrboro Police Department received a letter from Ms. Sherry Ontjes accompanied with a check in the amount \$3400. Ms. Ontjes a resident and business owner is aware of the police departments and Town's efforts in making Carrboro a pedestrian and bicycle friendly town. She wishes these funds to be used to toward the purchase of an additional radar sign, which the police department will use to educate and warn citizens of the speed limit around town.

FISCAL & STAFF IMPACT: Any additional cost toward the purchase of the sign will be covered in our existing budget.

RECOMMENDATION: Town Staff recommend that the Board of Aldermen consider adopting the attached resolution.

Dear Chief Horton,

Please accept this donation of \$3400 to go toward the purchase of a radar sign, to be used throughout the Town of Carrboro as other radar signs are.

Thank you,

Shown Onlies Sherry Onlies

ATTACHMENT A

A RESOLUTION OF APPRECIATION TO UNIVERSITY FORD FOR THEIR DONATION

WHEREAS, Ms. Sherri Ontjes has graciously offered to donate \$3400 to the Carrboro Police Department to go toward the purchase of a radar sign; and

WHEREAS, this donation will allow the police department's staff to increase efforts of traffic enforcement and education.

WHEREAS, donation of these funds will help the Carrboro Police Department continue the goal of education and positive interactions with the public;

NOW, THEREFORE BE IT RESOLVED by the Carrboro Board of Aldermen that:

- 1. On behalf of the Town of Carrboro and its residents, the Board of Aldermen hereby expresses its sincere thanks and gratitude to Ms. Sherri Ontjes for her generous donation.
- 2. The resolution shall be entered into the official minutes of the Board of Aldermen and a copy thereof shall be delivered to Sherri Ontjes.
- 3. The Police Department shall use these funds for the purpose as specified by Ms. Ontjes.
- 4. This resolution shall become effective upon adoption.

This is the 27th day of June in the year 2017.



File Number:17-236

File Type: Agendas

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1

TITLE:

Request to Make an Appointment to the Arts Committee

PURPOSE: The purpose of this agenda item is for the Board of Aldermen to make an appointment to the Arts Committee. **DEPARTMENT:** Town Clerk

CONTACT INFORMATION: Cathy Dorando, 919-918-7309

INFORMATION: The Arts Commission currently has four vacant seats. An application was received from Heather Lewis to serve on the Arts Committee. Arthur Beven Ramsey is the current chair of the Arts Committee but is currently unavailable. Mary Norkus completed the Chair forms in the Chair's absence and those forms are attached for the Board's review. The attached resolution appoints Heather Lewis to the Arts Committee.

FISCAL & STAFF IMPACT: N/A

RECOMMENDATION: It is recommended that the Mayor and Board adopt the attached resolution.

A RESOLUTION MAKING APPOINTMENT(S) TO THE ARTS COMMITTEE

THE BOARD OF ALDERMEN HEREBY APPOINTS THE FOLLOWING APPLICANT(S) TO THE ARTS COMMITTEE:

Seat Designation	Appointee	Term Expiration
Member	Heather Lewis	2/2019

Section 2. This resolution shall become effective upon adoption.

Advisory Board Chair Recommendation Form

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Advisory Board Name	Carrboro Arts Council/Mary Grady Norkus/Vice Chair
Applicant Name	Heather Lewis
Outstanding Qualifications	*Practicing artist- metal sculpture and college as mediums. *Works have been shown in local venues. *Active in Carrboro Public School System as volunteer in after school art programs and Girl Scouts. *Daughter attends Carrboro Elementary *Connected to local art community via ArtsCenter. *Personal interest in art therapy and grief counseling. *Passionate and curious about arts community. *NC native, returning from west coast area to raise her daughter.
How applicant compliments current board composition:	*Connection to school system *Dedicated experience as a community volunteer. *Interested in growing the board's connection to the community. *UNC employee via department of Pharmacy in production and creation of graphic and visual PR materials.
Other comments:	Heather is a great candidate. She presents herself in a sincere and caring manner. She listens well and engages in conversation easily, helping to generate ideas and asking thought provoking questions.
Applicant Name	Field not completed.
Outstanding Qualifications	Field not completed.
Other Comments:	Field not completed.
Applicant Name	Field not completed.
Outstanding Qualifications:	Field not completed.
Other Comments:	Field not completed.
Applicant Name	Field not completed.
Outstanding Qualifications:	Field not completed.
Other Comments:	Field not completed.

Applicant Name	Field not completed.
Outstanding Qualifications:	Field not completed.
Other Comments:	Field not completed.

Email not displaying correctly? View it in your browser.

Advisory Board Chair Applicant Summary and Contact Form

Advisory Board Name:	Carrboro Arts Council	
Applicant Name:	Heather Lewis	
Date of last contact with applicant	6/12/2017	
Summary of Qualifications:	Outstanding Qualifications *Practicing artist- metal sculpture and college as mediums. *Works have been shown in local venues. *Active in Carrboro Public School System as volunteer in after school art programs and Girl Scouts. *Daughter attends Carrboro Elementary *Connected to local art community via ArtsCenter. *Personal interest in art therapy and grief counseling. *Passionate and curious about arts community. *NC native, returning from west coast area to raise her daughter.	
Advisory Board Chair reconfirmed applicant's interest in serving by phone or email:	Yes	
If no, briefly explain	Field not completed.	
Applicant attended advisory board meeting prior to BOA review:	Yes	
If yes, date of advisory board meeting:	6/12/2017	
Applicant has demonstrated a clear understanding of the time commitment, roles, and responsibilities of serving on the advisory board:	Yes	
If no, briefly explain:	Field not completed.	
In addition to your comments above, please check other qualities that	Gender diversity, Neighborhood/geographic diversity, Occupation, experience or special skills, Previous public service or community involvement	

the applicant offers that would help the Advisory Board meet its goals for community representation. Please note that candidates who do not meet any of these qualities are still eligible for appointment. Please communicate any urgent needs and priorities for Advisory Board composition to your Board of Aldermen Liaison.

If other, please explain:

Field not completed.

Email not displaying correctly? View it in your browser.

Catherine Dorando

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From:	noreply@civicplus.com
Sent:	Tuesday, May 02, 2017 12:47 PM
То:	Catherine Dorando
Subject:	Online Form Submittal: Advisory Board Application

Advisory Board Application

Name	Heather Lewis
Date	5/2/2017
Address1	121 Westview Dr #28
Address2	Field not completed.
City	Carrboro
State	NC
Zip	27510
Is this address located within the corporate limits of the Town of Carrboro?	Yes
Telephone	6195178539
Email Address	hlewis22@unc.edu
Date of Birth	9/22/1978
Race	white
Sex	Female
Occupation	Executive Assistant
Are you a registered Orange County Voter?	Yes
Length of Residence in Orange County	4
Length of Residence in the Town of Carrboro	2

I wish to be considered for appointment to the following committee/board(s) (Do Not Select More Than Three):	Arts Committee
Other (advisory board not listed):	Field not completed.
Advisory Board Preference	Field not completed.
*Employer/Self Employed	UNC-Chapel Hill
Number of Years Employed	6
* Provide examples of how you are involved in the promotion of travel and tourism in the Town of Carrboro.	Field not completed.
Community Activities/Organizational Memberships	2016-current Girl Scout Troop #422 Leader 2016-current UNC- Chapel Hill Employee Forum Delegate 2016-current UNC- Chapel Hill Community Service Committee Member- participated in Food Drives for the Food Bank of CENC and UNC's Carolina Cupboard and the Habitat for Humanity Build Day 2015-current Room Parent at Carrboro Elementary School 2016-current Advocacy Chair Representative for Carrboro Elementary School 2017- Carrboro Elementary School Fair Volunteer 2015-current- Carrboro Elementary Teaching Compost Volunteer (first two weeks of school, each school year- taught to kindergartners) 2015-current Carrboro Elementary Walk for Education Volunteer 2017 March on Washington 2016-current- Association of Donor Relations Professionals (ADRP) member
Experience to Aid You in Working on Advisory Boards	My role at UNC-Chapel Hill is one where I regularly support the UNC Eshelman School of Pharmacy Foundation Board, as well as the Foundation's Executive Committee. Through my full time position, the Employee Forum monthly meetings, and the PTA Advisory monthly meetings, I have become very familiar with the duties of advisory boards.
Reasons You Wish to be Appointed	I hold an Associates of Arts Degree, Bachelor of Arts Degree, and a Master of Fine Arts Degree. I continue to have work in juried shows, galleries, and art journals. I am a contributing

	photography blog author, have been employed as an Exhibition Designer, and curated multiple gallery shows. Being able to contribute to the Arts Committee would truly be a valuable experience for me where I merge my job and volunteering with my work as an artist. I hope to gain knowledge in the arts community that surrounds me daily and to give back to that community as well.
Have you ever served on any Town of Carrboro Committee or Board?	No
If yes, which one(s)?	Field not completed.
Are you currently serving on a Town Board or Committee?	No
If yes, are you applying for a third consecutive term?	Νο
If yes, please describe how you meet one, or more, of the following exceptions noted below. *Members of the Board of Adjustment, Environmental Advisory Board, Human Services Advisory Commission, and Transportation Advisory Board may be reappointed to successive terms without limitation (Sections 15-29(c), 15- 45(c) 3-7(d), 3-24(c))	NA

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Agenda Item Abstract

File Number: 17-231

File Type: Agendas

Agenda Date: 6/27/2017 In Control: Board of Aldermen

Version: 1

TITLE:

Continuation of a public hearing on Extension of Town's Extraterritorial Jurisdiction and an Ordinance Establishing the New ETJ Boundary

PURPOSE: The purpose of this item is for the Board of Aldermen to receive public comment on an ordinance, which if adopted, will extend the Town's extraterritorial boundary along the north side of NC Highway 54 West and increase the ETJ by 2.9 acres. **DEPARTMENT:** Planning

CONTACT INFORMATION: Trish McGuire, <u>pmcguire@townofcarrboro.org</u> <<u>mailto:pmcguire@townofcarrboro.org</u>>, 919-918-7327

INFORMATION: On June 13th, the Board of Aldermen held a public hearing on extending the Town's extraterritorial jurisdiction (ETJ) boundary slightly further north to capture the entirety of five parcels along NC Highway 54 West, along with a short section of land used as a driveway for Camelia Forest Nursery, the 22.83-acre parcel located at 620 NC Highway 54 West, as shown in the illustration below. The proposed change adds approximately 2.9 acres to the Town's ETJ. An ordinance making this change, including a legal description and map of the proposed boundary change has been prepared for the Board's consideration (*Attachment A*).

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1

File Type: Agendas

Proposed new Carrboro ETJ WM 3 WR B5 WR

The Town has been in communication with Orange County since the fall of 2016 on this possible change to the ETJ boundary. The split zoning in this location hinders the full use of the five properties fronting NC Highway 54 West, which are among the very limited area within the University Lake watershed where nonresidential uses may occur. Uniform jurisdiction and zoning will enable property owners to use these small lots in full. A formal request to the Board of County Commissioners seeking agreement with this change was submitted on March 28th. Agreement from Orange County for this change is needed per NCGS 160A-360 (e) (*Attachment B*), which states:

No city may hereafter extend its extraterritorial powers under this Article into any area for which the county at that time has adopted and is enforcing a zoning ordinance and subdivision regulations and within which it is enforcing the State Building Code. However, the city may do so where the county is not exercising all three of these powers, or when the city and the county have agreed upon the area within which each will exercise the powers conferred by this Article.

On May 2^{nd} , the Board of County Commissioners (BOCC) considered the Board's request and expressed support for the Board of Aldermen holding a public hearing on this matter. On June 20^{th} , the BOCC adopted a resolution supporting the ETJ boundary change. The draft resolution is attached (*Attachment C*); a final version will be provided when it becomes available.

Required public notice was mailed to property owners on May 12, 2017 (Attachment D) and published.

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1 File Type: Agendas

Once the County relinquishes its zoning authority, it is necessary for Town zoning to be put in place. Related agenda items provide the opportunity for the Board of Aldermen to approve Land Use Ordinance text and map amendments that would establish Town zoning on the entirety of the five parcels fronting NC Highway 54 West in this location and the entirely of the access drive to the Camellia Forest property.

See the June 13 agenda item <<u>https://carrboro.legistar.com/LegislationDetail.aspx?</u> ID=307770&GUID=9EC64418-5EC8-4A84-8799-D518A106A4C6&Options=&Search=> for additional information and links to related discussions.

FISCAL & STAFF IMPACT: None anticipated with accepting public comment and adopting resolution to continue this public hearing.

RECOMMENDATION: It is recommended that the Board of Aldermen accept public comment on the proposal to extend the Town's extraterritorial boundary along the north side of NC Highway 54 West and consider adoption of *Attachment A*, an ordinance enacting the change to the ETJ boundary.

AN ORDINANCE EXTENDING THE EXTRATERRITORIAL JURISDICTION OF THE TOWN OF CARRBORO

THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO ORDAINS:

Section 1. Article 9 of the Charter of the Town of Carrboro provides for the Town to exercise within the town's extraterritorial jurisdiction (ETJ) all the powers granted in Article 19 of Chapter 160A of the General Statutes as well as related powers conferred in the Charter.

Section 2. The Town seeks to extend its ETJ boundary slightly further north into an area currently under Orange County's jurisdiction, and described in Exhibit A, to capture the entirety of five parcels along NC Highway 54 West, along with a short section of land used as a driveway for Camelia Forest Nursery, the 22.83-acre parcel located at 620 NC Highway 54 West. The proposed ETJ extension adds approximately 2.9 acres to the Town's ETJ.

Section 3.N.C.G.S. Section 160A-360 provides for the extension of the Town's ETJ into areas where Orange County is exercising its zoning, subdivision and building inspection authority with the County's agreement, which agreement was provided by resolution adopted by the Orange County Board of County Commissioners on June 20, 2017.

Section 4. In accordance with N.C.G.S. Sect. 160A-360, the Town held public hearings on June 13 and June 27 to consider the extension of its extraterritorial jurisdiction, and notified property owners of all affected parcels of land as listed on the Orange County tax records via first-class mail at least four weeks prior to the public hearing.

Section 5. The Area described and depicted in Exhibit A is hereby included within the extraterritorial jurisdiction of the Town of Carrboro for all purposes authorized by Article 19, Chapter 160A of the North Carolina General Statutes.

Section 6. All provisions of any town ordinance in conflict with this ordinance are repealed.

Section 7. This ordinance shall become effective upon adoption.

EXHIBIT A

Legal Description – Changes to Carrboro Extraterritorial Jurisdiction – NC Hwy 54 West

Expanding the Carrboro ETJ to encompass five of the seven lots represented by the Atwater Subdivision DB 23 PG 40 (attached), excepting lots 4 and 5 which parcels are already within the corporate limits of the Town of Carrboro. The new area to be added to the Carrboro ETJ can be described as beginning at the eastern side of said subdivision from the existing ETJ lines intersection (280' from the centerline of NC HW 54) with Lot 1's (OC PIN 9769319894) Hatch Road right-of-way boundary, proceeding N27°02'W to the northeastern corner of Lot 1, thence bearing N70°34'W 143.15 feet to a point, thence S89°31'W 145.07 feet to a point in the center of a creek and forming the northwest corner of lot 1, thence S89°31'W 55.86 feet to a point, thence S89°31'W 202.17 feet to a point, thence S89°31'W 203.36 feet to a point, thence S89°31'W 200 feet to a point, thence S89°31'W 200 feet to a point, thence S89°31'W 180.67 feet to a point, thence S01°20'W to intersect with the existing ETJ line 280' from the centerline of NC HW 54.

this plat and allotment to be our free act and deed and that is we do here by dedicate to public use as streets and easements forever all areas so shown or indicated on said plat المركا فكمنا والم

Know all men by these presents, that I hereby certify that on TPPEARED DEFORE ""F this, the day of day of share been graded and storm drains nove Acknow Ledged SAME. been installed by the subdivider. In an approved manner:

Cita III (ITratero)

Know all men by these presents, that I hereby certify that a surety bond of a satisfactory amount has been pasted with the Town of CREESORO by the subdivider, guaranteeing that construction of all improvements shown on the approved preliminary plat will be completed as thereon provided within _____ days from date hereof.

NORTH CAROLINA - ORANGE COUNTY Robert J. Ayers, certify that under my direction and my supervision this map was drawn from an octual field survey and that the Error of Closure as calculated by latitudes and departures 47-30 as amended WITNESS my hand and seal this line day of Rolell " - C-C-C-1UIZ Registered Lond Surveyor No. 548: Sworn to und-subscribed before, this the day of

My commission expires Notary Public approval Recommended by Planning Board 1181 13, 19.744. 18 No. 16. 10. Chairman Approved by Board of Aldermen

Jan 17, 1974 Sand Town Clerk

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
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Article 19.

Planning and Regulation of Development.

Part 1. General Provisions.

§ 160A-360. Territorial jurisdiction.

(a) All of the powers granted by this Article may be exercised by any city within its corporate limits. In addition, any city may exercise these powers within a defined area extending not more than one mile beyond its limits. With the approval of the board or boards of county commissioners with jurisdiction over the area, a city of 10,000 or more population but less than 25,000 may exercise these powers over an area extending not more than two miles beyond its limits and a city of 25,000 or more population may exercise these powers over an area extending not more than two miles beyond its limits. The boundaries of the city's extraterritorial jurisdiction shall be the same for all powers conferred in this Article. No city may exercise extraterritorially any power conferred by this Article that it is not exercising within its corporate limits. In determining the population of a city for the purposes of this Article, the city council and the board of county commissioners may use the most recent annual estimate of population as certified by the Secretary of the North Carolina Department of Administration.

(a1) Any municipality planning to exercise extraterritorial jurisdiction under this Article shall notify the owners of all parcels of land proposed for addition to the area of extraterritorial jurisdiction, as shown on the county tax records. The notice shall be sent by first-class mail to the last addresses listed for affected property owners in the county tax records. The notice shall inform the landowner of the effect of the extension of extraterritorial jurisdiction, of the landowner's right to participate in a public hearing prior to adoption of any ordinance extending the area of extraterritorial jurisdiction, as provided in G.S. 160A-364, and the right of all residents of the area to apply to the board of county commissioners to serve as a representative on the planning board and the board of adjustment, as provided in G.S. 160A-362. The notice shall be mailed at least four weeks prior to the public hearing. The person or persons mailing the notices shall certify to the city council that the notices were sent by first-class mail, and the certificate shall be deemed conclusive in the absence of fraud.

(b) Any council wishing to exercise extraterritorial jurisdiction under this Article shall adopt, and may amend from time to time, an ordinance specifying the areas to be included based upon existing or projected urban development and areas of critical concern to the city, as evidenced by officially adopted plans for its development. Boundaries shall be defined, to the extent feasible, in terms of geographical features identifiable on the ground. A council may, in its discretion, exclude from its extraterritorial jurisdiction areas lying in another county, areas separated from the city by barriers to urban growth, or areas whose projected development will have minimal impact on the city. The boundaries specified in the ordinance shall at all times be drawn on a map, set forth in a written description, or shown by a combination of these techniques. This delineation shall be maintained in the onfice of the register of deeds of each county in which any portion of the area lies.

(c) Where the extraterritorial jurisdiction of two or more cities overlaps, the jurisdictional boundary between them shall be a line connecting the midway points of the overlapping area unless the city councils agree to another boundary line within the overlapping area based upon existing or projected patterns of development.

(d) If a city fails to adopt an ordinance specifying the boundaries of its extraterritorial jurisdiction, the county of which it is a part shall be authorized to exercise the powers granted by this Article in any area beyond the city's corporate limits. The county may also, on request of the city council, exercise any or all these powers in any or all areas lying within the city's corporate limits or within the city's specified area of extraterritorial jurisdiction.

(e) No city may hereafter extend its extraterritorial powers under this Article into any area for which the county at that time has adopted and is enforcing a zoning ordinance and subdivision regulations and within which it is enforcing the State Building Code. However, the city may do so where the county is not exercising all three of these powers, or when the city and the county have agreed upon the area within which each will exercise the powers conferred by this Article.

(f) When a city annexes, or a new city is incorporated in, or a city extends its jurisdiction to include, an area that is currently being regulated by the county, the county regulations and powers of enforcement shall remain in effect until (i) the city has adopted such regulations, or (ii) a period of 60 days has elapsed following the annexation, extension or incorporation, whichever is sooner. During this period the city may hold hearings and take any other measures that may be required in order to adopt its regulations for the area.

(f1) When a city relinquishes jurisdiction over an area that it is regulating under this Article to a county, the city regulations and powers of enforcement shall remain in effect until (i) the county has adopted this regulation or (ii) a period of 60 days has elapsed following the action by which the city relinquished jurisdiction, whichever is sooner. During this period the county may hold hearings and take other measures that may be required in order to adopt its regulations for the area.

(g) When a local government is granted powers by this section subject to the request, approval, or agreement of another local government, the request, approval, or agreement shall be evidenced by a formally adopted resolution of that government's legislative body. Any such request, approval, or agreement can be rescinded upon two years' written notice to the other legislative bodies concerned by repealing the resolution. The resolution may be modified at any time by mutual agreement of the legislative bodies concerned.

(h) Nothing in this section shall repeal, modify, or amend any local act which defines the boundaries of a city's extraterritorial jurisdiction by metes and bounds or courses and distances.

(i) Whenever a city or county, pursuant to this section, acquires jurisdiction over a territory that theretofore has been subject to the jurisdiction of another local government, any person who has acquired vested rights under a permit, certificate, or other evidence of compliance issued by the local government surrendering jurisdiction may exercise those rights as if no change of jurisdiction had occurred. The city or county acquiring jurisdiction may take any action regarding such a permit, certificate, or other evidence of compliance that could have been taken by the local government surrendering jurisdiction pursuant to its ordinances and regulations. Except as provided in this subsection, any building, structure, or other land use in a territory over which a city or county has acquired jurisdiction is subject to the ordinances and regulations of the city or county.

(j) Repealed by Session Laws 1973, c. 669, s. 1.

(k) As used in this subsection, "bona fide farm purposes" is as described in G.S. 153A-340. As used in this subsection, "property" means a single tract of property or an identifiable portion of a single tract. Property that is located in the geographic area of a municipality's extraterritorial jurisdiction and that is used for bona fide farm purposes is exempt from exercise of the municipality's extraterritorial jurisdiction under this Article. Property that is located in the geographic area of a municipality's extraterritorial jurisdiction and that ceases to be used for bona fide farm purposes shall become subject to exercise of the municipality's extraterritorial jurisdiction under this Article. For purposes of complying with 44 C.F.R. Part 60, Subpart A, property that is exempt from the exercise of extraterritorial jurisdiction pursuant to this subsection shall be subject to the county's floodplain ordinance or all floodplain regulation provisions of the county's unified development ordinance.

(1) A municipality may provide in its zoning ordinance that an accessory building of a "bona fide farm" as defined by G.S. 153A-340(b) has the same exemption from the building code as it would have under county zoning as provided by Part 3 of Article 18 of Chapter 153A of the General Statutes.

G.S. 160A-360

This subsection applies only to the City of Raleigh and the Towns of Apex, Cary, Fuquay-Varina, Garner, Holly Springs, Knightdale, Morrisville, Rolesville, Wake Forest, Wendell, and Zebulon. (1959, c. 1204; 1961, c. 103; c. 548, ss. 1, 13/4; c. 1217; 1963, cc. 519, 889, 1076, 1105; 1965, c. 121; c. 348, s. 2; c. 450, s. 1; c. 864, ss. 3-6; 1967, cc. 15, 22, 149; c. 197, s. 2; cc. 246, 685; c. 1208, s. 3; 1969, cc. 11, 53; c. 1010, s. 5; c. 1099; 1971, c. 698, s. 1; c. 1076, s. 3; 1973, c. 426, s. 56; c. 525; c. 669, s. 1; 1977, c. 882; c. 912, ss. 2, 4; 1995 (Reg. Sess., 1996), c. 746, s. 1; 2005-418, s. 10; 2011-34, ss. 1, 2; 2011-363, s. 4; 2014-120, s. 15.)

RESOLUTION

A RESOLUTION OF THE ORANGE COUNTY BOARD OF COMMISSIONERS AGREEING TO AN EXTENSION OF THE TOWN OF CARRBORO'S EXTRATERRITORIAL JURISDICTION

WHEREAS, N.C.G.S. 160A-360 allows a municipality to exercise powers conferred by Article 19 of Chapter 160A of the North Carolina General Statutes within a defined extraterritorial jurisdiction;

WHEREAS, N.C.G.S. 160A-360(c) requires a city and county to agree upon an extension of a city's extraterritorial jurisdiction where a county enforces a zoning ordinance and subdivision regulations and within which the county is enforcing the State Building Code regulations;

WHEREAS, Orange County enforces a zoning ordinance and subdivision regulations and enforces the State Building Code regulations within areas in the county which are outside the Joint Planning Transition Areas, corporate limits and extraterritorial jurisdiction of cities;

WHEREAS, the Town of Carrboro wishes to extend its extraterritorial jurisdiction to include property as noted in Attachment 1 to this agenda item which is adjacent to the Town of Carrboro's existing extraterritorial jurisdiction;

WHEREAS, the Town of Carrboro desires to extend its extraterritorial jurisdiction and, therefore, seeks the agreement of the Orange County Board of Commissioners for the extension;

WHEREAS, this proposed area has been part of the Orange County/Chapel Hill/Carrboro joint planning area since 1987; and

WHEREAS, the Board of County Commissioners finds the request consistent with its comprehensive plan goals, objectives and policies;

NOW, THEREFORE, BE IT RESOLVED that the Board of County Commissioners hereby agrees to, by a formally adopted resolution, beyond what is required by N.C.G.S. 160A-360, an extension of the Town of Carrboro's extraterritorial powers under Article 19 of Chapter 160A of the North Carolina General Statutes within the area identified in Attachment 1 of this agenda item.

This the _____ day of _____, 2017.

Mark Dorosin, Chair Orange County Board of County Commissioners

ATTEST:

Donna Baker, Clerk to the Board of County Commissioners



TOWN OF CARRBORO

NORTH CAROLINA

May 23, 2017

RE: Proposed Extension of ETJ on Hwy 54

I, Annette Lafferty, do certify that I did cause to have mailed on May 12, 2017, by first class and certified mail, letters informing the owners within the proposed ETJ area of the town's intention to extend the ETJ, the date and time of the public hearing and their right to apply to the Orange County Board of Commissioners to serve on the Town's Planning Board and/or Board of Adjustment.

A copy of the mailing labels or mailing list used for this purpose including the person, where applicable, or addresses to whom the notices were sent are attached.

Tafferty Annette D. Lafferty

Economic and Community Development Director

5/23/17

Economic and Community Development Department 301 West Main Street, Carrboro, NC 27510 • (919) 918-7319 • FAX (919) 918-4454 • TDD 1-800-826-7653 AN EQUAL OPPORTUNITY EMPLOYER

Mailing List - 5/12/2017

Milton and Jean Saffelle 105 David Miller Ct Chapel Hill, NC 27517

William Kelly Blackwood 320 Diaryland Road Chapel Hill, NC 27516

Anthony J Hennessey 3725 Surry Trail Hillsborough, NC 27278

Atwaters Farms Inc. 709 Reserve Estates Drive Wake Forest, NC 27578

Tea Flower Research 9701 Carrie Road Chapel Hill, NC 27516

> Economic and Community Development Department 301 West Main Street, Carrboro, NC 27510 • (919) 918-7319 • FAX (919) 918-4454 • TDD 1-800-826-7653 AN EQUAL OPPORTUNITY EMPLOYER



Agenda Item Abstract

File Number:17-220

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Continuation of Public Hearings on Land Use Ordinance Text and Map Amendments Relating to the WM-3 Zoning District

PURPOSE: The purpose of this agenda item is for the Board of Aldermen to receive public comment and to consider an ordinance relating to the Watershed Manufacturing District (WM-3) and whether to rezone portions of six parcels along NC Hwy 54 West to WM-3.

DEPARTMENT: Planning

CONTACT INFORMATION: Christina Moon - 919-918-7325, Patricia McGuire - 919-918-7327, Bob Hornik - 919-929-3905

INFORMATION: On June 13, 2017, the Board of Aldermen opened two public hearings to receive citizen comment and to consider amending the Land Use Ordinance (LUO) in two regards relating to the Watershed Manufacturing District (WM-3). The first was to consider a draft text amendment to clarify the description of the Watershed Manufacturing Zoning District (WM-3) and the extent to which it could be expanded (Attachment B). The second was to consider a draft map amendment to rezone portions of approximately 2.9 acres of land (currently in Orange County) to Watershed Manufacturing (WM-3) such that the entirety of each of five parcels of land along NC Hwy 54 West, known as 600, 610, 626, 630 NC Hwy 54 West and 1306 Hatch Road along with a short section of land used as a driveway for Camellia Forest Nursery, the 22.83-acre parcel located at 620 NC Highway 54 West, would be classified WM-3 (Attachment D). The Board voted to continue both public hearings until June 27th to receive input from the Board of County Commissioner on a related item, the proposed extension of the Town's extraterritorial jurisdiction boundary to include the area subject to the proposed rezoning.

The Planning Board considered both items at its June 1, 2017 meeting. Comments from the Planning Board and from Orange County staff who reviewed the text amendment are provided (Attachment F). With the approval of the Board of County Commissioners to extend the Town's ETJ, on June 20th, the Town can initiate its zoning authority to zone the six parcels as described above, consistent with what was likely the original intent. Additional information may be found in the agenda materials from June 13th at the attached link: <<u>https://carrboro.legistar.com/MeetingDetail.aspx?ID=532847&GUID=3610EAD7-7427-45A7-8E3B-703045F112A8&Options=&Search>=.</u>

FISCAL & STAFF IMPACT: Public hearings involve staff and public notice costs associated with

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1 File Type: Agendas

advisory board and Board of Aldermen review.

RECOMMENDATION: Staff recommends that the Board of Aldermen consider the resolutions provided. These include for the text amendment: Attachment A-1 finding consistency and Attachment B the draft ordinance; and for the map amendment (rezoning) Attachment C-1 for consistency and Attachment D for the draft ordinance.

A RESOLUTION ADOPTING A STATEMENT EXPLAINING THE BOARD OF ALDERMEN'S REASONS FOR ADOPTING AN AMENDMENT TO THE TEXT OF THE CARRBORO LAND USE ORDINANCE

Draft Resolution No.

WHEREAS, an amendment to the text of the Carrboro Land Use Ordinance has been proposed, which amendment is described or identified as follows: AN ORDINANCE AMENDING THE TOWN OF CARRBORO LAND USE ORDINANCE PROVISIONS RELATING TO THE WM-3 ZONING DISTRICT.

NOW, THEREFORE, the Board of Aldermen of the Town of Carrboro Resolves:

Section 1. The Board concludes that the above described amendment is consistent with the description and intent of the watershed industrial zoning district put forth in the 1982 Carrboro Water Quality Task Force Report and Recommendations, which formulated the basis for the WM-3 District, and Carrboro Vision2020 provisions relating to balanced and controlled growth in the watershed and peripheral areas.

Section 2. The Board further concludes that the above described amendment is reasonable and in the public interest because it clarifies the language in the LUO relating to the WM-3 District and allows for the reasonable development of property zoned WM-3 in accordance with the Town's zoning requirements.

Section 3. This resolution becomes effective upon adoption.

This the 27th day of June 2017.

A RESOLUTION ADOPTING A STATEMENT EXPLAINING THE BOARD OF ALDERMEN'S REASONS FOR REJECTING AN AMENDMENT TO THE TEXT OF THE CARRBORO LAND USE ORDINANCE

Draft Resolution No.

WHEREAS, an amendment to the text of the Carrboro Land Use Ordinance has been proposed, which amendment is described or identified as follows: AN ORDINANCE AMENDING THE TOWN OF CARRBORO LAND USE ORDINANCE PROVISIONS RELATING TO THE WM-3 ZONING DISTRICT.

NOW, THEREFORE, the Board of Aldermen of the Town of Carrboro Resolves:

Section 1. The Board concludes that the above described amendment is not consistent with Town plans and policies.

Section 2. The Board concludes that its rejection of the above described amendment is reasonable and in the public interest because existing regulations are appropriate.

Section 3. This resolution becomes effective upon adoption.

This the 27th day of June 2017.

Attachment B

AN ORDINANCE AMENDING TOWN OF CARRBORO LAND USE ORDINANCE PROVISIONS RELATING TO THE WM-3 ZONING DISTRICT

Draft 4-28-2017

Section 1. Subparagraph (b) of the Town of Carrboro Land Use Ordinance Section 15-137 Manufacturing Districts Established, is amended to read as follows:

(b) There is also established a watershed light industrial (WM-3) zoning district. The purpose of this district is to allow areas within the University Lake Watershed that have been zoned M-1 prior to the effective date of this subdivision to continue to be used and developed for light industrial and related purposes, subject to certain restrictions designed to protect the watershed. Consistent with the purpose of this zone, this district shall be confined to that area zoned M-1 on the effective date of this subsection (12/7/1983); this area shall not be expanded and no new WM-3 areas shall be designated. For the purposes of this section, changes to make WM-3 zoning uniform on lots that were depicted as entirely within the M-1 zoning at the time of its establishment, but that were later depicted as being bisected by the zoning boundary, will not be considered an expansion of the district or the creation of new WM-3 areas.

Section 2. All provisions of any Town Ordinance in conflict with this Ordinance are repealed.

Section 3. This Ordinance shall become effective upon adoption.

A RESOLUTION ADOPTING A STATEMENT EXPLAINING THE BOARD OF ALDERMEN'S REASONS FOR ADOPTING AN AMENDMENT TO THE ZONING MAP OF THE CARRBORO LAND USE ORDINANCE

Draft Resolution No.

WHEREAS, an amendment to the text of the Carrboro Land Use Ordinance has been proposed, which amendment is described or identified as follows: AN ORDINANCE AMENDING THE CARRBORO ZONING MAP TO ZONE: APPROXIMATELY 2.9 ACRES OF LAND ON NC HIGHWAY 54 WEST KNOWN AS PORTIONS OF 630, 626, 620, 610, 600 NC 54 WEST AND 1306 HATCH ROAD TO WM-3.

NOW, THEREFORE, the Board of Aldermen of the Town of Carrboro Resolves:

Section 1. The Board concludes that the above described amendment is consistent the original intent of assigning these parcels to the WM-3 Zoning District category in 1983, as put forth by the 1982 Carrboro Water Quality Task Force Report and Recommendations.

Section 2. The Board further concludes that the above described amendment is reasonable and in the public interest because it allows for the reasonable development of property in accordance with the Town's zoning requirements.

Section 3. This resolution becomes effective upon adoption.

This the 27th day of June 2017.

A RESOLUTION ADOPTING A STATEMENT EXPLAINING THE BOARD OF ALDERMEN'S REASONS FOR REJECTING AN AMENDMENT TO THE ZONING MAP OF THE CARRBORO LAND USE ORDINANCE

Draft Resolution No.

WHEREAS, an amendment to the text of the Carrboro Land Use Ordinance has been proposed, which amendment is described or identified as follows: AN ORDINANCE AMENDING THE CARRBORO ZONING MAP TO ZONE: APPROXIMATELY 2.9 ACRES OF LAND ON NC HIGHWAY 54 WEST KNOWN AS PORTIONS OF 630, 626, 620, 610, 600 NC 54 WEST AND 1306 HATCH ROAD TO WM-3.

NOW, THEREFORE, the Board of Aldermen of the Town of Carrboro Resolves:

Section 1. The Board concludes that the above described amendment is not consistent with Town plans and policies.

Section 2. The Board concludes that its rejection of the above described amendment is reasonable and in the public interest because existing regulations are appropriate.

Section 3. This resolution becomes effective upon adoption.

This the 27th day of June 2017.

AN ORDINANCE AMENDING THE CARRBORO ZONING MAP TO ZONE APPROXIMATELY 2.9 ACRES OF LAND ON NC HIGHWAY 54 WEST KNOWN AS PORTIONS OF 630, 626, 620, 610, 600 NC 54 WEST AND 1306 HATCH ROAD TO WM-3

DRAFT 4-28-2017

THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO ORDAINS:

SECTION 1. The Official Zoning Map of the Town of Carrboro is hereby amended as follows:

Portions of six lots in the Chapel Hill Township known in the Orange County Land Records system as:

Parcel identification number	Property address
9769-21-7639	630 NC 54 West
9769-21-9629	626 NC 54 West
9769-32-3307	620 NC 54 West
9769-31-5687	610 NC 54 West
9769-31-7655	600 NC 54 West
9769-31-9894	1306 Hatch Road

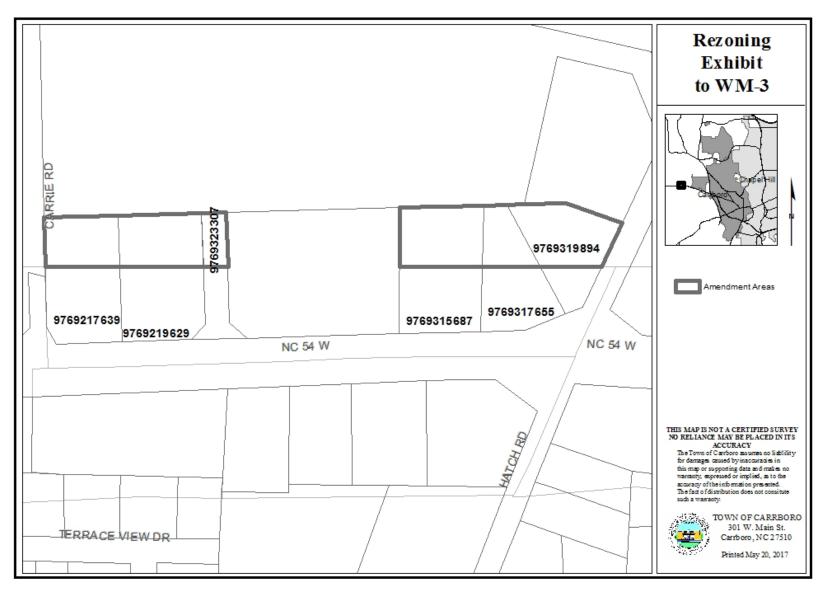
and being the area that is called out on the accompanying map, Exhibit A, as "Rezoning Exhibit to WM-3" is hereby zoned WM-3 (Watershed Manufacturing).

SECTION 2. All provisions of any Town ordinance in conflict with this ordinance are hereby repealed.

SECTION 3. This ordinance shall become effective upon adoption.

The foregoing ordinance having been submitted to a vote, received the following vote and was duly adopted, this the _____ day of _____ 2017.

AYES: NOES: ABSENT OR EXCUSED: Exhibit A



Attachment E



TOWN OF CARRBORO

NORTH CAROLINA

TRANSMITTAL

PLANNING DEPARTMENT

DELIVERED VIA: MAND MAIL FAX EMAIL

То:	David Andrews, Town Manager Mayor and Board of Aldermen
From:	Tina Moon, Planning Administrator
Date:	June 9, 2017
Subject:	Rezoning Proposal - approximately 2.9 acres along NC Hwy 54 West

BACKGROUND

On March 28, 2017, the Board of Aldermen, recognizing the development challenges associated with the split jurisdiction and split zoning of five parcels of land located along the north side of NC Highway 54 West, known as 600, 610, 626 and 630 NC 54 West and 1306 Hatch Road, decided to submit a request to Orange County to extend the Town's extraterritorial jurisdiction boundary (ETJ) slightly further north to include the entirety of all five parcels. The Board of County Commissioners is scheduled to consider the matter on June 20th. Information relating to the request for ETJ expansion may be found in the Board of Aldermen's agenda materials from May 9th (https://carrboro.legistar.com/MeetingDetail.aspx?ID=532851&GUID=2576DED7-6A55-4E8A-8C6F-219ACDBC6003&Options=&Search=).

Contingent upon Orange County's approval, the Town could initiate its zoning authority to zone the approximately 2.9 acres of land (currently in Orange County) to Watershed Manufacturing (WM-3) such that the entirely of each of the five lots, along with a short section of land used as the driveway for Camellia Forest Nursery, the 22.83-acre parcel located at 620 NC Hwy West, would be classified WM-3. WM-3 is the existing zoning classification for the Carrboro portion of the properties in question.

The language in Section 15-137(2)(b) of the Land Use Ordinance that describes the WM-3 District appears to limit any expansion of the zone, preventing new lots from being zoned to WM-3 and any existing WM-3 lots from being rezoned to include a larger amount of land area. After researching historical files on the establishment of the district, it seems likely that the

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Rezoning Proposal – approximately 2.9 Acres along NC 54 West June 9, 2017

original intent of the rezoning that assigned parcels to the WM-3 zoning category was to include the parcels in their entirety and that over time, as mapping technology changed from hand colored zoning maps to GIS generated maps, the northern boundary line was inadvertently shifted. With that in mind, a draft text amendment to the LUO has been prepared to reflect the intent of the original 1983 rezoning to WM-3, and would need to be adopted before the rezoning, to allow for the expansion of the district. Public hearings for the text and map amendments have been scheduled for June 13th.

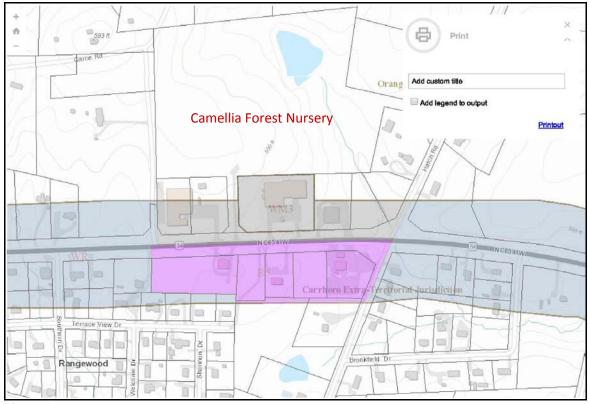


Figure 1

OVERVIEW

Section 15-320 of the Land Use Ordinance (LUO) separates zoning map amendments into two categories--major and minor on basis of the number of lots involved and the amount of acreage. A major map amendment, described in subsection (b) involves a change in the zoning district classification of five or more tracts of land in separate ownership or any parcel of land (regardless of the number of lots or owners) in excess of fifty acres. As such, this particular request is classified as a "major map amendment."

The proposed amendment would change the current zoning district status of portions of six parcels encompassing approximately 2.9 acres from Orange County RB (Rural Buffer) to WM-3 (Watershed Manufacturing), so that the entirety of five parcels, 600, 610, 626 and 630 NC 54 West and 1306 Hatch Road would be zoned WM-3. Only a handful of land uses are allowed in the WM-

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3 district and, with the exception of police and fire stations (Use Classifications 13.100 and 13.200 respectively), all require conditional use permits. Residential uses are not permitted.

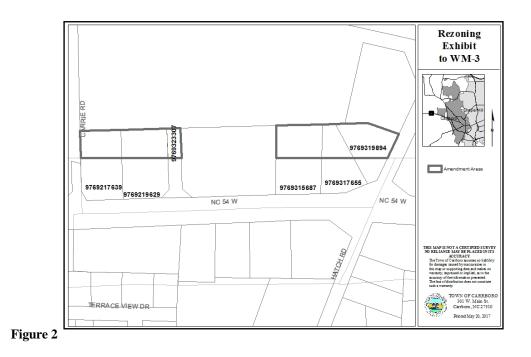
PETITIONERS/OWNERS

According to the property owner records maintained by Orange County, five landowners would be effected by the rezoning. Owners are listed by the address of their properties in the table below.

Address	Property Owner
600 NC 54 West	Anthony J. Hennessey
610 NC 54 West	William Kelly Blackwood
626 & 630 NC 54 West	Milton and Jean Saffelle
1206 Hatch Road	Atwater Farms, Inc.
620 NC 54 West (driveway)	Tea Flower Research

DESCRIPTION OF THE AREA

The subject properties are shown in two images below: the black and white rezoning exhibit (Figure 2) includes the intersection of NC Hwy 54 West and Hatch Road with the area subject to the rezoning outlined in dark grey. The aerial map shows the same intersection but extends a little further to the west, and provides a better sense of the character of the area (Figure 3). Surrounding properties include low-density residential, predominately single family, and a handful of commercial and light manufacturing uses with frontage along the north and south side of NC 54.



Rezoning Proposal – approximately 2.9 Acres along NC 54 West June 9, 2017



Figure 3

COMPARISON OF ZONES

Article IX, of the Land Use Ordinance provides a short description of the different zoning districts in the Town's jurisdiction. The WM-3, district is described as follows:

<u>WM-3 Watershed Manufacturing</u>. The purpose of this district is to allow areas within the University Lake Watershed that have been zoned M-1 prior to the effective date of this subdivision to continue to be used and developed for light industrial and related purposes, subject to certain restrictions designed to protect the watershed. Consistent with the purpose of this zone, this district shall be confined to that area zoned M-1 on the effective date of this subsection; this area shall not be expanded and no new WM-3 areas shall be designated.

Three other zoning districts are in the vicinity. In Carrboro's jurisdiction, to the south of NC 54 West, commercial parcels are zoned B-5 (Watershed Commercial) and residential parcels are zoned WR (watershed residential), as can be seen in Figure 1 (above). B-5 lots are shown in purple and WR in blue. The description of the B-5 and WR districts are provided below:

<u>WR Watershed Residential</u>. All land within this district is located within the University Lake Watershed, and while this district is designed to achieve the objectives identified in subsection (a) (to secure for the person who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in non-residential districts), it is also intended to protect the community water supply by allowing residential development of the land within the University Lake Watershed only at reduced density levels

<u>B-5 Watershed Commercial</u>. This district is designed to accommodate commercial uses within the University Lake Watershed area without adversely affecting the community water supply.

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Residential parcels to the north and south of NC 54 West are located in Orange County's jurisdiction and are zoned RB (rural buffer). As described in Orange County's Unified Development Ordinance, the purpose of the Rural Buffer (RB) District is to provide locations for rural residential developments and agricultural, silvicultural or horticultural uses which serve to buffer or separate more intensively planned and/or developed portion of Orange County. Development within the Rural Buffer (RB) District is at very low densities (the minimum lot size per dwelling unit is two acres) and relies on individual wells and ground absorption systems for domestic water supply and sewage disposal respectively.

IMPACT OF REZONING

Viewed together, the three images (Figures 1, 2, and 3) provide helpful context to understand the impact of the proposed rezoning. The colors in Figure 1 show the extent of Carrboro's jurisdiction: the area of existing WM-3 (Watershed Manufacturing), the B-5 parcels (Watershed Commercial), and the WR parcels (Watershed Residential). The majority of the lots just north or south of NC 54 West, and shown without color are in Orange County. These parcels are mainly low-density residential, and many retain an agricultural or horticultural use.

The primary purpose for the proposed rezoning is to provide uniform zoning to the five parcels currently positioned in Carrboro and Orange County such that approximately two-thirds of each lot is in a light manufacturing district in Carrboro and the remaining third is in a low-density residential district in Orange County. The challenges associated with developing these lots--locating all building components, including well and septic within a single jurisdiction have proven difficult to overcome and as a result certain parcels have remained undeveloped. The differences in the intended character of the districts, moreover, limit the opportunity to allow a use that may be appropriate in one district to extend into the other. While there are other properties with split jurisdiction that are not included as part of the purposed rezoning, the impact of the split is somewhat different in that both portions of the lot are low density residential districts, where the purpose and intended character of the district are similar in nature.

CONSIDERATIONS

Consistency with Adopted Policies

Section 15-322 of the LUO outlines the role of advisory boards to comment on proposed zoning map amendments, and directs the boards to provide written recommendations to the Board of Aldermen that addresses plan consistency and other matters deemed appropriate. The Planning Board reviewed the rezoning proposal at its June 1st meeting and found the amendment to be consistent with the Town's 1982 Carrboro Water Quality Task Force Report and Recommendations, which formulated the basis for the WM-3 District, and Carrboro Vision2020 provisions relating to balanced and controlled growth in the watershed and peripheral areas. The Planning Board also found that the rezoning would be in the public interest because it would allow for the reasonable development of property in accordance with the Town's zoning requirements. The full text of the referenced policies is included in the Planning Board's recommendations (*Attachment F*).

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rezoning advances the public health, safety, or welfare (Section 15-325). The proposed amendment is for a general rezoning; the Board shall consider if the entire range of permitted uses allowed in the new zoning classification is more appropriate than the range of uses in the existing classification. Section 15-324 of the LUO requires that the Board adopt a statement describing the consistency of the amendment with an officially adopted plan and explaining why the action is reasonable and in the public interest. To assist with the Board's deliberations, the following LUO excerpts are attached below: sections from Article IX, Zoning Districts and Zoning Map, which define the existing and proposed zoning classifications and sections from Article XX, Amendments, which describe the amendment process in more detail.

Action Options

The public hearings for the text and map amendments on June 13th provide an opportunity for the Board of Aldermen to receive public comment as required by Section 15-323 of the LUO. Resolutions were provided for the Board to continue the public hearing until June 27th, subsequent to the Board of County Commissioners consideration of the ETJ expansion scheduled for June 20th.

For the continuation of the public hearings on June 27th, resolutions for consistency and draft ordinances for both the text amendment (Attachment A-1, A-2 and Attachment B) and the map amendment (Attachment C-1, C-2 and Attachment D) have been provided for the Board's consideration.

ARTICLE IX

ZONING DISTRICTS AND ZONING MAP

PART I. ZONING DISTRICTS

Section 15-135 Residential Districts Established.

(a) The following basic residential districts are hereby established: R-20, R-15, R-10, R-7.5, R-3, R-2, R-R, R-S.I.R., and R-S.I.R.-2. The purpose of each of the foregoing residential districts is to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in non-residential districts. (AMENDED 5/12/81; 12/7/83; 2/4/86)

(b) The WR (watershed residential) district is also established. All land within this district is located within the University Lake Watershed, and while this district is designed to achieve the objectives identified in subsection (a), it is also intended to protect the community water supply by allowing residential development of the land within the University Lake Watershed only at reduced density levels. (AMENDED 12/7/83; 05/15/90)

Section 15-137 Manufacturing Districts Established (AMENDED 6/22/82; 2/4/86).

(a) The M-1 and M-2 districts are hereby created to accomplish the purposes and serve the objectives set forth in this subsection. Part of Article XI contains performance standards that place limitations on the characteristics of uses located in the districts created by this section.

- (1) <u>M-1 LIGHT MANUFACTURING.</u> This zone is designed to accommodate a limited range of industrial activities and a wide range of commercial uses including wholesaling, storage, mail-order, auto related, and office and retail in conjunction with industrial or wholesaling uses. Permitted industrial uses include enterprises engaged in manufacturing, processing, creating, repairing, renovating, painting, cleaning and assembly where all operations are contained inside a fully enclosed building. The performance standards for the M-1 zone located in Part I of Article XI are more restrictive than those in the M-2 district.
- (2) <u>M-2 GENERAL MANUFACTURING.</u> This district is designed to accommodate the widest range of industrial uses. Business operations may be conducted within and outside a fully enclosed building. The performance standards for this zone are less restrictive than those in the M-1 district.

Rezoning Proposal – approximately 2.9 Acres along NC 54 West June 9, 2017

(b) There is also established a watershed light industrial (WM-3) zoning district. The purpose of this district is to allow areas within the University Lake Watershed that have been zoned M-1 prior to the effective date of this subdivision to continue to be used and developed for light industrial and related purposes, subject to certain restrictions designed to protect the watershed. Consistent with the purpose of this zone, this district shall be confined to that area zoned M-1 on the effective date of this subsection; this area shall not be expanded and no new WM-3 areas shall be designated. (AMENDED 12/7/83)

(c) There is also established a Planned Industrial Development (PID) zoning district. The purpose of this district is to provide for the possibility of well planned and tightly controlled industrial development in areas that are suitable for such development but that are not deemed appropriate for M-1 or M-2 zoning because of the less restricted types of development that may occur in such zones. (AMENDED 6/22/82; 12/7/83)

- (1) No area less than twenty contiguous acres may be zoned as a Planned Industrial Development district, and then only upon a request submitted by or on behalf of the owner or owners of all the property intended to be covered by such zone.
- (2) As indicated in the Table of Permissible Uses (Section 15-146) a planned industrial development (use classification 30.000) is the only permissible use in a PID zone.
- (3) Subject to subdivision (2) of this subsection, and consistent with the restrictions contained in the definition of a planned industrial development [see Subdivision 15-15(60)], land within a PID zone may be used in a manner that would be permissible if the land were zoned M-1, except that (i) the only permissible uses are those described in the 2.130 and 4.100 classifications and (ii) the performance standards (Article XI, Part I) applicable to 4.100 uses in business zones shall govern uses in a planned industrial development.

ARTICLE XX

AMENDMENTS

Section 15-320 Amendments in General

(a) Amendments to the text of this chapter or to the zoning map may be made in accordance with the provisions of this article, or in the case of nonsubstantive editorial changes, may be made administratively by the planning director, as described in Section 15-38 of this ordinance. (AMENDED 09/01/87)

(b) The term "major map amendment" shall refer to an amendment that addresses the zoning district classification of five or more tracts of land in separate ownership or any parcel of land (regardless of the number of lots or owners) in excess of fifty acres. All other amendments to the zoning district map shall be referred to as "minor map amendments."

(c) All properties within the University Lake Watershed are zoned WR, B-5, WM-3 or C. As provided in Subsection 15-137(b), no additional areas may be rezoned WM-3 or B-5, and no areas within the University Lake Watershed may be rezoned to any classification other than WR, or C. (AMENDED 10/15/96)

(d) The regulations applicable to the watershed districts do, and all amendments to these regulations shall, comply with the water supply watershed protection rules promulgated by the State pursuant to G.S. 143-214.5. Copies of all amendments to Sections 15-265 or 15-266 shall be sent to the Division of Community Assistance, Division of Environmental Health, and Division of Water Quality. (AMENDED 10/15/96)

Section 15-321 Initiation of Amendments

(a) Whenever a request to amend this chapter is initiated by the Board of Aldermen, the planning board, the board of adjustment, the appearance commission, or the town administration, the town attorney in consultation with the planning staff shall draft an appropriate ordinance and present that ordinance to the Board of Aldermen so that a date for a public hearing may be set.

(b) Any other person may also petition the Board to amend this chapter. The petition shall be filed with the planning department and shall include, among the information deemed relevant by the planning department:

(1) The name, address, and phone number of the applicant.

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Rezoning Proposal – approximately 2.9 Acres along NC 54 West June 9, 2017

- (2) A description of the land affected by the amendment if a change in zoning district classification is proposed.
- (3) Stamped envelopes containing the names and addresses of all those to whom notice of the public hearing must be sent as provided in Section 15-323.
- (4) A description of the proposed map change or a summary of the specific objective of any proposed change in the text of this chapter.
- (5) A concise statement of the reasons why the petitioner believes the proposed amendment would be in the public interest.
- (c) Upon receipt of a petition as provided in (b), the planning staff shall either:
 - (1) Treat the proposed amendment as one initiated by the town administration and proceed in accordance with subsection (a) if it believes that the proposed amendment has significant merit and would benefit the general public interest; or
 - (2) Forward the petition to the Board with or without written comment for a determination of whether an ordinance should be drafted and a public hearing set in accordance with subsection (d).

(d) Upon receipt of a proposed ordinance as provided in subsection (a), the Board may establish a date for a public hearing on it. Upon receipt of a petition for an ordinance amendment as provided in subsection (b), the Board may summarily deny the petition or set a date for a public hearing on the requested amendment and order the attorney, in consultation with the planning staff, to draft an appropriate ordinance.

Section 15-322 Planning Board and Other Advisory Consideration of Proposed Amendments

(a) If the Board sets a date for a public hearing on a proposed amendment, it shall also refer the proposed amendment to the planning board for its consideration and may refer the amendment to the appearance commission if community appearance is involved, and may refer the amendment to the transportation advisory board if the amendment involves community transportation issues and may refer the amendment to the environmental advisory board if the amendment involves community environment issues. (AMENDED 09/19/95, REWRITTEN 02/25/14)

(b) The planning board shall advise and comment on whether the proposed amendment is consistent with the Land Use Plan, Thoroughfare Plan, or other applicable plans officially adopted by the Board of Aldermen. The planning board shall provide a written recommendation to the Board of Aldermen that addresses plan consistency and other matters as

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deemed appropriate by the planning board. If no written report is received from the planning

deemed appropriate by the planning board. If no written report is received from the planning board within 30 days of referral of the amendment to that board, the Board of Aldermen may proceed in its consideration of the amendment without the planning board report. (AMENDED 10/24/06)

(c) A comment by the planning board that a proposed amendment is inconsistent with the Land Use Plan, Thoroughfare Plan or other officially adopted plan shall not preclude consideration or approval of the proposed amendment by the Board of Aldermen, and the Board of Aldermen is not bound by the recommendations of the planning board. (AMENDED 10/24/06)

(d) A member of the planning board and any other advisory committee that provides direct advice to the Board of Aldermen (i.e. it does not report to the planning board) shall not vote on recommendations regarding any zoning map or text amendment where the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. (AMENDED 10/24/06)

Section 15-323 Hearing Required: Notice

(a) No ordinance that amends any of the provisions of this chapter may be adopted until a public hearing has been held on such ordinance.

(b) The planning staff shall publish a notice of the public hearing on any ordinance that amends the provisions of this chapter once a week for two successive weeks in a newspaper having general circulation in the Carrboro area. The notice shall be published for the first time not less than ten days nor more than twenty-five days before the date fixed for the hearing. This period is to be computed in accordance with G.S. 160A-364, which provides that the date of publication is not counted but the date of the hearing is.

(c) With respect to all map amendments, the planning staff shall mail, by first class mail, written notice of the public hearing to the record owners of all properties whose zoning classification is changed by the proposed amendment as well as the owners of all properties any portion of which is within 1000 feet of the property rezoned by the amendment. For purposes of this section the term "owners" shall mean the persons shown as owners on Orange County's computerized land records system. The planning staff shall also make reasonable efforts to mail a similar written notice to the non-owner occupants of residential rental property located within 1,000 feet of the lot that is the subject of the rezoning. The notices required by this subsection shall be deposited in the mail at least 10 but not more than 25 days prior to the date of the public hearing. The staff member mailing such notices shall certify to the board that the notices have been mailed, and such certificate shall be deemed conclusive in the absence of fraud. (AMENDED 10/12/82; 1/22/85; 10/1/85; 04/15/97; 3/26/02)

(d) The first class mail notice required under subsection (c) of this section shall not be required if the zoning map amendment directly affects more than 50 properties, owned by a total

Page 12 of 14

of at least 50 different property owners, and the Town elects to use the expanded published notice provided for in this subsection. In this instance, the Town may elect to either make the mailed notice provided for in subsection (c) of this section or may, as an alternative, elect to publish notice of the hearing as required by G.S. 160A-364, but provided that each advertisement shall not be less than one-half (1/2) of a newspaper page in size. The advertisement shall only be effective for property owners who reside in the area of general circulation of the newspaper which publishes the notice. Property owners who reside outside of the newspaper circulation area, according to the address listed on the most recent Orange County property tax listing for the affected property, shall be notified according to the provisions of subsection (c) of this section. (AMENDED 10/24/06)

(e) For proposed zoning map amendments, the planning staff shall prominently post a notice of the public hearing on the site proposed for a rezoning or an adjacent public street or highway right-of-way. When multiple parcels are included within a proposed zoning map amendment, a posting on each individual parcel is not required, but the planning staff shall post sufficient notices to provide reasonable notice to interested persons.

(f) The planning staff shall take any other action deemed by the Planning Department to be useful or appropriate to give notice of the public hearing on any proposed amendment.

(g) The notice required or authorized by this section (other than the posted notice required by subsection (e)) shall: (AMENDED 11/24/09)

- (1) State the date, time, and place of the public hearing.
- (2) Summarize the nature and character of the proposed change.
- (3) If the proposed amendment involves a change in zoning district classification, reasonably identify the property whose classification would be affected by the amendment.
- (4) State that the full text of the amendment can be obtained from the town clerk.
- (5) State that substantial changes in the proposed amendment may be made following the public hearing.

(h) The planning staff shall make every reasonable effort to comply with the notice provisions set forth in this section. However, it is the Board's intention that the notice requirements set forth in this section that are not required by state law shall not be regarded as mandatory, and therefore a failure to comply with such requirements shall not render any amendment invalid. (AMENDED 11/24/09)

(i) Except for a town-initiated zoning map amendment, when an application is filed to request a zoning map amendment and that application is not made by the owner of the parcel of

land to which the amendment would apply (regardless of how the staff treats the proposed amendment under subsection 15-321(c)), the applicant shall certify to the Board of Aldermen that the owner of the parcel of land as shown on the county tax listing has received actual notice of the proposed amendment and a copy of the notice of public hearing. The person or persons required to provide notice shall certify to the Board of Aldermen that proper notice has been provided in fact, and such certificate shall be deemed conclusive in the absence of fraud.(AMENDED 11/24/09)

(j) Actual notice of the proposed amendment and a copy of the notice of public hearing required under subsection 15-323(i) of this section shall be by any manner permitted under G.S. 1A-1, Rule 4(j). If notice cannot with due diligence be achieved by personal delivery, registered or certified mail, or by a designated delivery service authorized pursuant to 26 U.S.C. § 7502(f)(2), notice may be given by publication consistent with G.S. 1A-1, Rule 4(j1). This subsection applies only to an application to request a zoning map amendment where the application is not made by the owner of the parcel of land to which the amendment would apply. This subsection does not apply to a city-initiated zoning map amendment. (AMENDED 11/24/09)

Section 15-324 Board Action on Amendments (AMENDED 10/24/06)

(a) At the conclusion of the public hearing on a proposed amendment, the Board may proceed to vote on the proposed ordinance, refer it to a committee for further study, or take any other action consistent with its usual rules of procedure.

(b) The Board is not required to take final action on a proposed amendment within any specific period of time, but it should proceed as expeditiously as practicable on petitions for amendments since inordinate delays can result in the petitioner incurring unnecessary costs.

(c) Voting on amendments to this chapter shall proceed in the same manner as on other ordinances, subject to Section 15-326 of the Land Use Ordinance and Section 2-15 of the Town Code.

(d) Prior to adopting or rejecting any zoning amendment, the Board shall adopt a statement describing whether its action is consistent with the Land Use Plan, Thoroughfare Plan, or other applicable plan officially adopted by the Board and explaining why the Board considers the action taken to be reasonable and in the public interest. This statement is not subject to judicial review.

(e) A Board member shall not vote on any zoning map or text amendment where the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. (See also Carrboro Town Code Section 2-35).

Page 14 of 14

Section 15-325 Ultimate Issue Before Board on Amendments

In deciding whether to adopt a proposed amendment to this chapter, the central issue before the Board is whether the proposed amendment advances the public health, safety or welfare. All other issues are irrelevant, and all information related to other issues at the public hearing may be declared irrelevant by the mayor and excluded. In particular, when considering proposed minor map amendments:

- (1) Except when the request is to rezone property to a conditional use district or conditional zoning district, the Board shall not consider any representations made by the petitioner that, if the change is granted, the rezoned property will be used for only one of the possible range of uses permitted in the requested classification. Rather, the Board shall consider whether the entire range of permitted uses in the requested classification is more appropriate than the range of uses in the existing classification. (AMENDED 05/25/99; 05/27/08)
- (2) The Board shall not regard as controlling any advantages or disadvantages to the individual requesting the change, but shall consider the impact of the proposed change on the public at large.

Section 15-326 Citizen Comments on Zoning Map and Text Amendments (AMENDED 10/24/06, REWRITTEN 12/6/16).

The Town of Carrboro Land Use Ordinance may from time to time be amended, supplemented, changed, modified or repealed. If any resident or property owner in the Town submits a written statement regarding a proposed amendment, modification or repeal to this Ordinance to the Clerk of the Board of Aldermen at least two (2) business days prior to the proposed vote on such change, the Clerk to the Board shall deliver such written statement to the Board. If the proposed change is the subject of a quasi-judicial proceeding under North Carolina General Statutes Section 160A-388 (such as conditional use rezoning in which the legislative rezoning is accompanied by or followed by a quasi-judicial conditional use permit process), the Clerk shall provide only the names and addresses of the individuals providing written comment, and the provision of such names and addresses to all members of the Board shall not disgualify any member of the Board from voting. Written statements submitted in connection with a quasi-judicial proceeding may be admitted into evidence at such a proceeding if the Board determines that such statements are admissible in the proceeding. (Amended 12-6-16; and enacted pursuant to a Resolution in Opposition to the General Assembly's Repeal of Statutory Authority for Qualified Protest Petitions to Trigger a Super Majority Vote for Certain Zoning Map Amendments, dated 12-6-16).

ORANGE COUNTY PLANNING & INSPECTIONS DEPARTMENT Craig N. Benedict, AICP, Director Administration (919) 245-2575 (919) 644-3002 (FAX) www.orangecountync.gov Administration (131 W. Margaret Lane P O Box 8181 Hillsborough, North Carolina, 27278

TRANSMITTAL DELIVERED VIA EMAIL

May 23, 2017

Christina Moon, AICP Planning Administrator Town of Carrboro 301 W. Main St. Carrboro, NC 27510

SUBJECT: Joint Planning Review of Proposed Ordinance Amendments

Dear Tina:

Thank you for the opportunity to review the revisions to the following Land Use Ordinance amendments received by us May 17, 2017 and proposed for town public hearing on June 13, 2017:

• An Ordinance Amending Provisions Relating to the WM-3 Zoning District.

We have reviewed the amendments and, presuming the anticipated ETJ expansion on Highway 54 West is approved, we find no inconsistency with the adopted *Joint Planning Area Land Use Plan*. If the ETJ expansion is not approved, further analysis would be necessary to determine any inconsistencies with the adopted plan; therefore, we recommend that action on this item be contingent upon approval of the anticipated ETJ expansion.

If you have any questions or need additional information, please let me know.

Sincerely,

Perdita Holtz

Perdita Holtz, AICP Planning Systems Coordinator

Attachment B



TOWN OF CARRBORO

Planning Board

301 West Main Street, Carrboro, North Carolina 27510

RECOMMENDATION

JUNE 1, 2017

Land Use Ordinance Text Amendment Relating to the WM-3 Zoning District

Motion was made by Fousher and seconded by Gaylord Miles that the <u>Plauning Bound</u> recommends that the Board of Aldermen <u>accept</u> the draft ordinance.

VOTE:

AYES: (7) Adamson, Hunt, Poulton, Toushee, Rosser, Gaylord-Niles, Rivera ABSENT/EXCUSED: () NOES: () ABSTENTIONS: ()

Associated Findings

By a unanimous show of hands, the Manning Board membership also indicated that no members have any financial interests that would pose a conflict of interest to the adoption of this amendment.

Motion was made by Foushee and seconded by Gaylord-Miles that the Mannue Bd of the Town of Carrboro finds the proposed text amendment (is) consistent with the description and intent of the watershed industrial zoning district put forth in the 1982 Carrboro Water Quality Task Force Report and Recommendations, which formulated the basis for the WM-3 District, and Carrboro Vision2020 provisions relating to balanced and controlled growth in the watershed and peripheral areas..

The flaming Bd. furthermore finds that the above described amendment is reasonable and in the public interest because it clarifies the language in the LUO relating to the WM-3 District and allows for the reasonable development of property zoned WM-3 in accordance with the Town's zoning requirements.

VOTE:

AYES: 7 Adamson, Hunt, Poulton, Fousher, Rosser, Gaylord-Miles, Rivera **ABSENT/EXCUSED:** NOES: **ABSTENTIONS:**

affiller 6/1/17

(Chair)

, and upon the advice of the town altorney

Attachment C



TOWN OF CARRBORO

Planning Board

301 West Main Street, Carrboro, North Carolina 27510

RECOMMENDATION

JUNE 1, 2017

LAND USE MAP AMENDMENT – REZONING PORTIONS OF SIX PARCELS CONSISTING OF APPROXIMATELY 2.9 ACRES OF PROPERTY TO WATERSHED MANUFACTURING (WM-3)

Motion was made by Foushee and seconded by <u>poulton</u> that the <u>plausing Bol</u> recommends that the Board of Aldermen, contingent upon the Orange County Board of Commissioners extension of the Town's ETJ, <u>approve/reject</u> the draft ordinance amending the zoning classification for approximately 2.9 acres of property located along the north side of NC Hwy 54 West. The six parcels are more specifically know as: 600 NC 54 West (PIN 9769-31-7655), 610 NC 54 West (PIN 9769-31-5687), 620 NC 54 West, (PIN 9769-32-3307), 626 NC 54 West (PIN 9769-21-9629), 630 NC 54 West (PIN 9769-21-7639) and 1306 Hatch Road (PIN 9769-31-9894).

VOTE: AYES: (7 Adamson, Hunt, Poulton, Foushee, Rosser, Gaylord-Miles, Rivera ABSENT/EXCUSED: (0) NOES: (0) ABSTENTIONS: (0)

Associated Findings

By a unanimous show of hands, the <u>Maunine Bound</u> membership also indicated that no members have any financial interests that would pose a conflict of interest to the adoption of this amendment.

Motion was made by <u>Foushec</u> and seconded by <u>Hunf</u> that the <u>Manning Board</u> the Town of Carrboro finds the proposed map amendment _______ is consistent with the original intent of assigning these parcels to the WM-3 Zoning District category in 1983, as put forth by the 1982 Carrboro Water Quality Task Force Report and Recommendations.

Attachment C

The $\underline{Pann_{12}}$ furthermore finds that the above described amendment is reasonable and in the public interest because it allows for the reasonable development of property in accordance with the Town's zoning requirements.

VOTE: AYES: 7 Adamson, Hunt, Poulton, Foushee, Kosser, Gaylord-Miles, Ervera ABSENT/EXCUSED:0 NOES: ♂ ABSTENTIONS: ()

Caffin Adın 6/1/17 (Chair) (Date)

TOWN OF CARRBORO

NORTH CAROLINA

PLANNING DEPARTMENT

TO: Property Owners

Cum

FROM: Christina R. Moon, Planning Administrator

DATE: May 25, 2017

PUBLIC NOTICE: Proposed rezoning of properties at 630, 626, 620, 610, 600 NC Hwy 54 West & 1306 Hatch Road

You are receiving this letter because your property is under consideration for rezoning.

The Town of Carrboro Board of Aldermen is considering an amendment to the Carrboro zoning map to zone approximately 2.9 acres of land along the north side of NC Hwy 54 West as WM-3. Five properties are included in the area:

Address/Orange County Parcel Identification #	Address/Orange County Parcel Identification #
630 NC Hwy 54 West / 9769-21-7639	600 NC Hwy 54 West /9769-31-7655
626 NC Hwy 54 West / 9769-21-9629	1306 Hatch Road / 9769-31-9894
610 NC Hwy 54 West / 9769-31-5687	

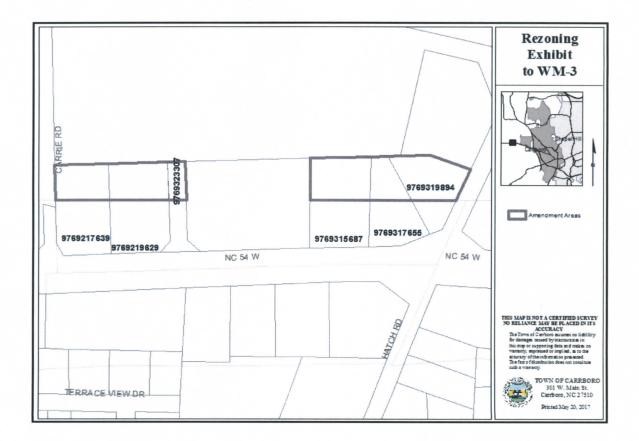
The parcels currently have split jurisdiction, such that the northern portion of each lot has Orange County zoning and the southern portion, with frontage along NC Hwy 54, has Carrboro zoning. Uniform Town zoning is proposed in conjunction with extending Carrboro's Extra Territorial Jurisdiction (ETJ) to encompass the entirety of the five lots. A short section of land used as a driveway for 620 NC Hwy 54 West (PIN 9769-32-3307) would also be rezoned to WM-3. A map depicting the location of the properties under consideration is provided on the reverse side of this letter. A complete list of uses is provided in the Table of Permissible Uses in Section 15-146 of the Town of Carrboro Land Use Ordinance available at the following link http://www.townofcarrboro.org/pzi/luo.htm.

The Town's Planning Board will review the proposed rezoning on Thursday, June 1, 2017 at 7:30 in the Town Hall Board Room (Room 110) located at 301 West Main Street. You are welcome to attend this meeting to learn more about the rezoning.

The Board of Aldermen will hold a public hearing to consider amending the Carrboro Zoning map per this proposal on Tuesday, June 13, 2017 at 7:30 p.m. in the Town Hall Board Room (Room 110) located at 301 West Main Street. You are invited to attend this hearing and to make your opinions on the proposed rezoning known.

Proposed Rezoning - 630, 626, 620, 610, 600 NC Hwy 54 West & 1306 Hatch Road May 25, 2017 Page 2 of 2

Additional information regarding the rezoning under consideration is available from the Planning Department located on the second floor of Town Hall and will also be available on the Town's website a few days before the meetings. The Planning Board's agenda may be found at http://nc-carrboro.civicplus.com/243/Planning-Board and the Board of Aldermen's agenda materials for the public hearing may be found at https://carrboro.legistar.com/Calendar.aspx. Substantial changes to the proposed amendment to the Town's zoning map may be made following the public hearing. If you have questions, or would like additional information, please feel free to contact my office at (919) 918-7325 or cmoon@townofcarrboro.org.





TOWN OF CARRBORO

NORTH CAROLINA

PLANNING DEPARTMENT

TO: Property Owners and Residents

FROM: Christina R. Moon, Planning Administrator

DATE: May 25, 2017

PUBLIC NOTICE: Proposed rezoning of properties at 630, 626, 620, 610, 600 NC Hwy 54 West & 1306 Hatch Road

You are receiving this letter because your property or residence is within 1,000 feet of property under consideration for rezoning.

The Town of Carrboro Board of Aldermen is considering an amendment to the Carrboro zoning map to zone approximately 2.9 acres of land along the north side of NC Hwy 54 West as WM-3. Five properties are included in the area:

Address/Orange County Parcel Identification #	Address/Orange County Parcel Identification #
630 NC Hwy 54 West / 9769-21-7639	600 NC Hwy 54 West /9769-31-7655
626 NC Hwy 54 West / 9769-21-9629	1306 Hatch Road / 9769-31-9894
610 NC Hwy 54 West / 9769-31-5687	

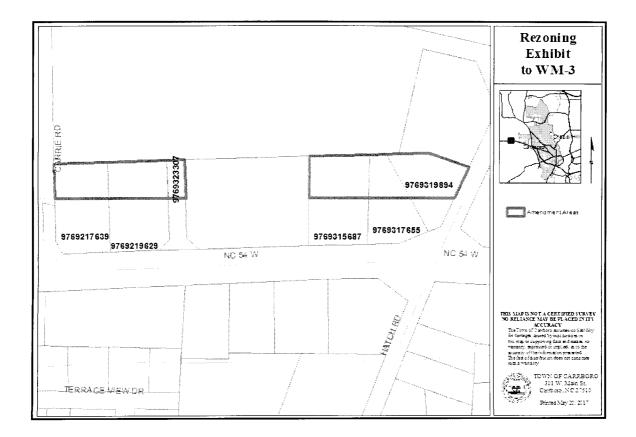
The parcels currently have split jurisdiction, such that the northern portion of each lot has Orange County zoning and the southern portion, with frontage along NC Hwy 54, has Carrboro zoning. Uniform Town zoning is proposed in conjunction with extending Carrboro's Extra Territorial Jurisdiction (ETJ) to encompass the entirety of the five lots. A short section of land used as a driveway for 620 NC Hwy 54 West (PIN 9769-32-3307) would also be rezoned to WM-3. A map depicting the location of the properties under consideration is provided on the reverse side of this letter. A complete list of uses is provided in the Table of Permissible Uses in Section 15-146 of the Town of Carrboro Land Use Ordinance available at the following link http://www.townofcarrboro.org/pzi/luo.htm.

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The Board of Aldermen will hold a public hearing to consider amending the Carrboro Zoning map per this proposal on Tuesday, June 13, 2017 at 7:30 p.m. in the Town Hall Board Room (Room 110) located at 301 West Main Street. You are invited to attend this hearing and to make your opinions on the proposed rezoning known.

Proposed Rezoning - 630, 626, 620, 610, 600 NC Hwy 54 West & 1306 Hatch Road May 25, 2017 Page 2 of 2

Additional information regarding the rezoning under consideration is available from the Planning Department located on the second floor of Town Hall and will also be available on the Town's website a few days before the meetings. The Planning Board's agenda may be found at <u>http://nc-carrboro.civicplus.com/243/Planning-Board</u> and the Board of Aldermen's agenda materials for the public hearing may be found at <u>https://carrboro.legistar.com/Calendar.aspx</u>. Substantial changes to the proposed amendment to the Town's zoning map may be made following the public hearing. If you have questions, or would like additional information, please feel free to contact my office at (919) 918-7325 or <u>cmoon@townofcarrboro.org</u>.





TOWN OF CARRBORO

NORTH CAROLINA

May 25, 2017

RE: Proposed conditional rezoning of property at 110 West Main Street

I, Christina R. Moon, do certify that I did cause to have mailed on May 25, 2017, by first class mail, letters informing the owners and non-owner occupants of properties within 1,000 feet of the petition and schedule for considering the proposal to rezone portions of the properties at 630, 626, 620, 610, 600 NC Hwy 54 West and 1306 Hatch Road from Orange County Rural Buffer (RB) to Town of Carrboro Watershed Manufacturing (WM-3).

A copy of the mailing labels or mailing list used for this purpose including the person, where applicable, or addresses to whom the notices were sent are attached.

X mon

Christina R. Moon Planning Administrator

5/26/2017

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B769204932 GREENSPAN MICHAEL L		5805 NORWOOD OAKS DR	RALEIGH	NC	27614
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9769205601 RICHARDSON LUCILLE		301 SOUTH FIR AVE	SILER CITY	NC	27344
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9769205911 NOIFELD MARIA V		P O BOX 916	CARRBORO	NC	27510
9769205911 Occupant		700 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769206546 SNIPES FANNIE L		633 SHANNON DR	CHAPEL HILL	NC	27514
9769206687 NICKERSON STELLA L	PARTHENIA NICKERSON	1107 WELCOME DR	CHAPEL HILL	NC	27516
9769206788 HOOKER CLAUDE A TRUSTEE		1111 WELCOME DR	CHAPEL HILL	NC	27516
9769206940 JONES LARRY D	BRENDA JONES	610 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769207544 ALSTON DAVID L		629 SHANNON DR	CHAPEL HILL	NC	27516
9769207921 COTTEN WILLARD E	LINDA COTTEN	PO BOX 384	CARRBORO	NC	27510
<pre>/ 9769207921 Occupant</pre>		606 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769208544 PARKER OMILLER J		619 SHANNON DR	CHAPEL HILL	NC	27516
9769208627 HLA TIN	CHAW PHON	611 SHANNON DR	CHAPEL HILL	NC	27516
9769208737 CLARK ALBERT L	VERTIE CLARK	609 SHANNON DR	CHAPEL HILL	NC	27514
9769208940 GARRETT FAYE P		602 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769210186 KENNELL BOBBY	MARY B KENNELL	101 CATHY ROAD	CARRBORO	NC	27510
V 9769210186 Occupant		803 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769210289 BRADSHER BOBBY B	SHIRLEY BRADSHER	801 HWY 54 W	CHAPEL HILL	NC	27516
9769211723 JONES LUEDDIE		800 HWY 54 W	CHAPEL HILL	NC	27516
9769212186 RIEGAL LISA ANNE		711 TERRACE VIEW DR	CHAPEL HILL	NC	27516
49769212279 HOOD CALVIN	рокотну ноор	PO BOX 963	CARRBORO	NC	27510
9769212279 Occupant		705 NC 54 W	CHAPEL HILL	NC	27516
9769214105 CLARK STEPHANIE	EZRA BARBEE	701 TERRACE VIEW DR	CHAPEL HILL	NC	27514
V 9769214105 Occupant		705 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769214310 CASTANEDA LAURA P		703 NC HWY 54 WEST	CHAPEL HILL	NC	27516
9769214918 MCCAULEY KRYSTIN ETAL	JOEL JR MCCAULEY	4586 PAMELA PL	LITHONIA	GA	30038
9769214918 Occupant		9811 CARRIE RD	CHAPEL HILL	NC	27516
9769215163 CLARK STEPHANIE	EZRA BARBEE	701 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769216310 ALSTON JULIA		701 HWY 54 WEST	CHAPEL HILL	NC	27516
9769217103 FARRINGTON JANERIO	RICHARD N MOORE	7805 TINTERN TRACE	DULUTH	GA	30097
V 9769217103 Occupant		609 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769217639 SAFFELLE MILTON F	JEAN SAFFELLE		CHAPEL HILL	NC	27517
9769217639 Occupant - Un 0 coup un		630 NC 54 W (630 & 626	CHAPEL HILL	NC	27516 /
9769218122 DAVIS KENNETH E		105 COBB ST	CARRBORO	NC	27510
9769218122 Occupant		603 TERRACE VIEW DR	CHAPEL HILL	NC	27516
9769219152 BYNUM DONALD EUGENE	RUBY BYNUM	523 TERRACE VIEW DR	CHAPEL HILL	NC	27516

V 9769219460 W3M LLC		205 SEVERIN ST 611 NC 54 W	СНАРЕ	CHAPEL HILL	NC	27514
9769219629 SAFFELLE MILTON F JR	JEAN SAFFELLE	105 DAVID MILLER CT	426 6630 CHAPEL HILL	EL HILL	NC	27517
9769219629-Occupant - Unoccupie		-626 NC 54 W	CHAPE	CHAPEL HILL	NC	27516
9769223724 THOMPSON WENDOLYN J	GREGORY D THOMPSON	203 FARMHOUSE DR	CHAPE	CHAPEL HILL	NC	27516
9769223724 Occupant		9801 CARRIE RD	CHAPE	CHAPEL HILL	NC	27516
9769224457 MCCAULEY TERRENCE	VIRGINIA MCCAULEY	9811 CARRIE RD	CHAPE	CHAPEL HILL	NC	27516
/ 9769224457 Occupant		9835 CARRIE RD	CHAPE	CHAPEL HILL	NC	27516
9769226834 UNGER SIGMUND	PATRICIA D UNGER	9711 GATES LN	CHAPE	CHAPEL HILL	NC	27516
9769226834 Occupant	Accessory !	9711 GATES LN UNIT A	CHAPE	CHAPEL HILL	NC	27516
9769233055 FONDREN RICHARD T	LISE K FONDREN	PO BOX 699	CARRE	CARRBORO	NC	27510
9769233580 PARKS DAVID W ETAL	CHRISTINE PARKS	9701 CARRIE RD	CHAPE	CHAPEL HILL	NC	27516
9769239441 LAPOINT DENNIS J		105 TURNAGE RD	CHAPE	CHAPEL HILL	NC	27517
9769239441 Occupant		9609 GATES LN	CHAPE	CHAPEL HILL	NC	27516
9769300547 JOHNSON DOROTHY E TRUSTEE		3123 W 78TH ST	LOS AI	LOS ANGELES	CA	90043
9769300547 Occupant		616 SHANNON DR	CHAPE	CHAPEL HILL	NC	27516
9769300575 DRAPER PROPERTIES LLC		101 FOXRIDGE RD	CHAPE	CHAPEL HILL	NC	27514
9769300575 Occupant		213 NEWBERRY LN	CHAPE	CHAPEL HILL	NC	27516
9769300643 PARRISH ELLA	GEORGE W PARRISH	612 SHANNON DR	CHAPE	CHAPEL HILL	NC	27516
9769300746 BALLENTINE MARGARET		608 SHANNON DR	CHAPE	CHAPEL HILL	NC	27516
9769300859 SCOTT JAN RENEE		602 SHANNON DR	CHAPE	CHAPEL HILL	NC	27516
9769302940 DUNCAN EDWIN III		7721 RAINWATER RD	RALEIGH	IGH	NC	27615
9769303660 PERSTOVA KATYA	CRAIG NISHIMOTO	1200 HATCH RD	CHAPE	CHAPEL HILL	NC	27516
9769303686 YEUNG YAN NGONG	GUI XIANG CHEN	1208 HATCH RD	CHAPE	CHAPEL HILL	NC	27516
9769305966 CLARK JOSEPH BENJAMIN		1226 HATCH RD	CHAPE	CHAPEL HILL	NC	27516
9769306565 WHITE MARY VIRGINIA	EDWARD D WHITE	1207 HATCH RD	CHAPE	CHAPEL HILL	NC	27516
9769307712 FARRINGTON JOE DALE	DEBRA C FARRINGTON	1215 HATCH RD	CHAPE	CHAPEL HILL	NC	27516
9769307996 SOE MAUNG	MU THU	1225 HATCH RD	CHAPE	CHAPEL HILL	NC	27516
9769308762 LAPOINTE LORRAINE		1207 BROOKFIELD DR	CHAPE	CHAPEL HILL	NC	27516
9769309422 STICKEL DAVID L	JULIA B STICKEL	111 MORGAN OAKS DR	Chapel Hill	el Hill	NC	27516
9769309422 Occupant		1201 HATCH RD	CHAPE	CHAPEL HILL	NC	27516
9769309945 SOE MAUNG	MU THU	1225 HATCH RD	CHAPE	CHAPEL HILL	NC	27516
9769310171 RIGGSBEE CINDERELLA		519 TERRACE VIEW DR	CHAPE	CHAPEL HILL	NC	27516
EDWIN III		7721 RAINWATER RD	RALEIGH	GH	NC	27615
9769311287-Occupant /// 00110/11		607 NC 54 W	CHAPE	CHAPEL HILL	NC	27516
9769312380 ACTION APPRAISAL INC		605 HWY 54 WEST		CHAPEL HILL	NC	27516
9/69312698 HILLJOHN B		106 CEDAR MEADOWS LANE		CHAPEL HILL	NC	27517
9769312698 Occupant		616 NC 54 W UNIT 1	CHAPE	CHAPEL HILL	NC	27516

9769405704 FFF LLC		750 WEAVER DAIRY RD #3207	CHAPEL HILL	NC	27514
9769405704 Occupant		1235 BROOKFIELD DR	CHAPEL HILL	NC	27516
9769411184 HOLLAND PROPERTIES LLC		608 MARTIN LUTHER KING JR BLVD	CHAPEL HILL	NC	27514
9769411184 Occupant		519 NC 54 W	CHAPEL HILL	NC	27516
9769411297 CARPENTER MYRA ANN		515 HWY 54 WEST	CHAPEL HILL	NC	27516
9769412297 DOUGLAS PEGGY M		104 DOWNING CT	Chapel Hill	NC	27516
9769412297 Occupant		513 NC 54 W	CHAPEL HILL	NC	27516
9769412731 JOHNSON BRUCE A	FAYE A JOHNSON	701 MARTIN LUTHER KING JR BLVD	CHAPEL HILL	NC	27514
9769412731 Occupant		1311 HATCH RD	CHAPEL HILL	NC	27516
9769414037 WHITE KERRY E	MERRI H WHITE	1308 BROOKFIELD DR	CHAPEL HILL	NC	27516
9769414250 BARBOUR TONY E ETAL	JEFFREY L BARBOUR	1312 BROOKFIELD DR	CHAPEL HILL	NC	27516
9769414259 GATES JOSEPH M		1035 NC HWY 54 W	CHAPEL HILL	NC	27516
9769417088 CALLAHAN DONALD WAYNE	LINDA SUE CALLAHAN	1621 STALEY RD	HIGH POINT	NC	27265
9769417088 Occupant		501 NC 54 W	CHAPEL HILL	NC	27516
9769418806 LEDERMAN SEMA E		204 GLENVIEW PLACE	CHAPEL HILL	NC	27514
9769420421 TURNER JENNNIFER D		1418 HATCH RD	CHAPEL HILL	NC	27516
9769420421 Occupant		1410 HATCH RD	CHAPEL HILL	NC	27516
9769421774 TURNER JENNIFER RENEE DOUGLAS	CLIFTON T TURNER	1418 HATCH RD	CHAPEL HILL	NC	27516
9769424011 MORGAN BILLY	ELLEN MORGAN	1401 HATCH RD	CHAPEL HILL	NC	27516
9769424376 STOCKING ROBERT P JR	VICKI B STOCKING	1411 HATCH RD	CHAPEL HILL	NC	27516
9769425576 CUMMINGS MICHAEL S	SANDRA L WOOLSON	1419 HATCH RD	CHAPEL HILL	NC	27516
9769431066 GORDON VICTORIA J		1500 HATCH RD	CHAPEL HILL	NC	27516
9769434914 THORNTON DEBRA W	PAMELLA W PATTERSON	1307 ALTAMIRA CT	MCLEAN	VA	22102
9769435178 GARDINIER PHILLIP M	CLARE S GARDINIER	1516 HATCH RD	CHAPEL HILL	NC	27516
9769437090 GRADISHER THOMAS	PAMELA FABIAN	1511 HATCH RD	CHAPEL HILL	NC	27516
9769439285 MURPHY SEAN P	AMANDA H MURPHY	112 HANSEN CREEK RD	CHAPEL HILL	NC	27516
9769514912 BERTON JOSEPH E IV	AIMEE E FLYNN	P O BOX 16682	CHAPEL HILL	NC	27516
9769514912 Occupant		426 NC 54 W	CHAPEL HILL	NC	27516
9769520848 KRASUSKI RICHARD A	RENEE B KRASUSKI	105 HANSEN CREEK RD	CHAPEL HILL	NC	27516
9769521583 WANG KO HAN	MICHAEL A II NICHOLSON	2104 JO MAC RD	CHAPEL HILL	NC	27516



Agenda Item Abstract

File Number:17-222

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1 File Type: Agendas

PURPOSE: The purpose for this agenda item is provide the Mayor, Board of Aldermen and community an opportunity to review and discuss the Town's abandonment of the current Rand Road right of way located within the South Green Development.

DEPARTMENT: Public Works

CONTACT INFORMATION: Anita Jones-McNair - 919-918-7381; Eric L. Marsh - 919-918-7426

INFORMATION: The purpose of this abandonment is to prepare for the dedication of the relocated Rand Road upon completion of the South Green Development.

The resolution setting the public hearing was published once a week for four (4) successive weeks prior to the hearing and a copy was sent by certified mail to the persons who, according to the county tax records, own property adjoining the right-of-way proposed to be closed. In addition a notice of the proposed closing and public hearing thereon shall be prominently posed in at least two placed along the right-of-way to be closed. The public hearing will be held on June 27, 2017.

The section of ROW to be abandoned is a 46 foot wide section of right-of way known as Rand Road adjacent to the following property: PIN: 9778-93-0728. This property is contained within the South Green development (See Attachment B & C). The ROW will be replaced by the new public street alignment shown as part of the South Green CUP.

The right-of-way closed pursuant to this order shall be conclusively presumed to be vested in those persons owning the parcels abutting the right-of-way. However, the right, title and interest in any utility improvements or easements within the 46 foot wide right-of-way proposed for closing will be reserved. This reservation shall also extend to utility improvements or easements owned by private utilities which at the time of the proposed street closing have a utility agreement or franchise with the Town. Such utilities shall include but are not limited to water, sewer, electrical, gas, telephone and cable television.

The timing of the abandonment needs to occur concurrently with the recording of the plat the will create the new right-of-way alignment approved as part of the South Green Conditional Use Permit. In other words, the resolution is written such that the Rand Rd abandonment does not take place until the right-of-way for the new

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1 File Type: Agendas

public road alignment is recorded on a plat (Attachment A). As is standard procedure, the developer is required to post a bond for all of the improvements within the proposed new alignment prior to the final plat being released by the Town for recording.

FISCAL & STAFF IMPACT: No fiscal or staff impacts are anticipated.

RECOMMENDATION: It is recommended that the Board approve the attached resolution to abandon the aforementioned Right of Way at Rand Road.

A RESOLUTION DECLARING THE INTENT OF BOARD OF ALDERMEN TO CLOSE RAND ROAD RIGHT-OF-WAY

THE BOARD OF ADLERMEN OF THE TOWN OF CARRBORO RESOLVES:

Section 1. The Board of Aldermen hereby declares the closure of a 46 foot wide section of rightof way known as Rand Road adjacent to the following two properties: PIN: 9778-93-0728.

Section 2. The Board of Aldermen hereby declares its intention to reserve its right, title and interest in any utility improvements or easements within the 46 foot wide right-of-way proposed for closing. This reservation shall also extend to utility improvements or easements owned by private utilities which at the time of the proposed street closing have a utility agreement or franchise with the Town. Such utilities shall include but are not limited to water, sewer, electrical, gas, telephone and cable television.

Section 3. The Board of Aldermen held a public hearing on the proposed right-of-way closing at its regular meeting on June 27, 2017.

Section 4. This resolution was published once a week for four (4) successive weeks prior to the hearing and a copy shall be sent by certified mail to the persons who, according to the county tax records, own property adjoining the right-of-way proposed to be closed. In addition, a notice of the proposed closing and public hearing thereon was prominently posted in at least two placed along the right-of-way to be closed.

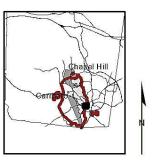
Section 5. Should the right-of-way be closed as proposed, then all right, title and interest, excluding utility improvements and easements, in the right-of-way closed pursuant to this order shall be conclusively presumed to be vested in those persons owning the parcels abutting the right-of-way.

Section 6. This resolution shall become effective upon the recording of the South Green plat that creates the new public road right-of-way alignment.

The foregoing resolution having been submitted to a vote received the following vote and was duly adopted this 27th day of June 2017:







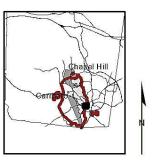
THIS MAP IS NOT A CERTIFIED SURVEY NO RELIANCE MAY BE PLACED IN ITS ACCURACY The Town of Carrboro assumes no liability for damages caused by inaccuracies in this map or supporting data and makes no warranty, expressed or implied, as to the accuracy of the information presented. The fact of distribution does not consitute such a warranty.

> TOWN OF CARRBORO 301 W. Main St. Carrboro, NC 27510

> > Printed Jan 3, 2012







THIS MAP IS NOT A CERTIFIED SURVEY NO RELIANCE MAY BE PLACED IN ITS ACCURACY The Town of Carrboro assumes no liability for damages caused by inaccuracies in this map or supporting data and makes no warranty, expressed or implied, as to the accuracy of the information presented. The fact of distribution does not consitute such a warranty.

> TOWN OF CARRBORO 301 W. Main St. Carrboro, NC 27510

> > Printed Jan 3, 2012



Agenda Item Abstract

File Number: 17-217

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Public Hearing on 100% Review of the Martin Luther King Jr Park Construction Design and Authorize the Town Manager to Award Construction Contract

PURPOSE: The purpose of this agenda item is to provide the Mayor and Board members an opportunity to review and approve the 100% construction plans for Martin Luther King Jr Park along with granting the Town Manager the authority to award the construction contract

DEPARTMENT: Recreation and Parks

CONTACT INFORMATION: Anita Jones-McNair - 919-918-7381, <u>amcnair@townofcarrboro.org</u> <<u>mailto:amcnair@townofcarrboro.org></u> and Wendell Rodgers - 919-918-7371, <u>wrodgers@townofcarrboro.org</u> <<u>mailto:wrodgers@townofcarrboro.org></u>

INFORMATION: Stewart Inc. will present the 100% construction plans for the park. Should the Board of Aldermen decide to approve the design plans, staff recommends moving forward with the construction of the park.

FISCAL & STAFF IMPACT: The amount appropriated for land acquisition, design, engineering, and

construction are as follows: Land acquisition \$ 552,701.00 Design \$ 150,000.00 Construction \$1,474,454.00 **Total \$2,177,155.00**

RECOMMENDATION: Staff recommends that the Board of Aldermen adopt attached resolution.

A RESOLUTION TO APPROVE THE MARTIN LUTHER KING JR. PARK DESIGN AND AWARD A CONSTRUCTION CONTRACT

BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO THAT:

Section 1. The Martin Luther King Jr Park design is approved with the following direction

Section 2. The Town Manager is hereby authorized to approve bids and award a construction contract for the Martin Luther King Jr Park up to the budget amount of \$1,274,454.00.

Section 3. Should the submitted bids exceed the construction budget by 20% or less; and the Town Manager determines the bid is reasonable, and the Town Manager identifies additional funds available, the Town Manager may approve bids and award of a construction contact not to exceed 20% of the construction budget.

Section 4. The resolution shall become effective upon adoption.

MARTIN LUTHER KING JR. PARK 100% CONSTRUCTION DOCUMENTS





MLK JR PARK CARRBORO, NC 100% CONSTRUCTION DOCUMENTS



MARTIN LUTHER KING JR. PARK 100% CONSTRUCTION DOCUMENTS

Summary of process:

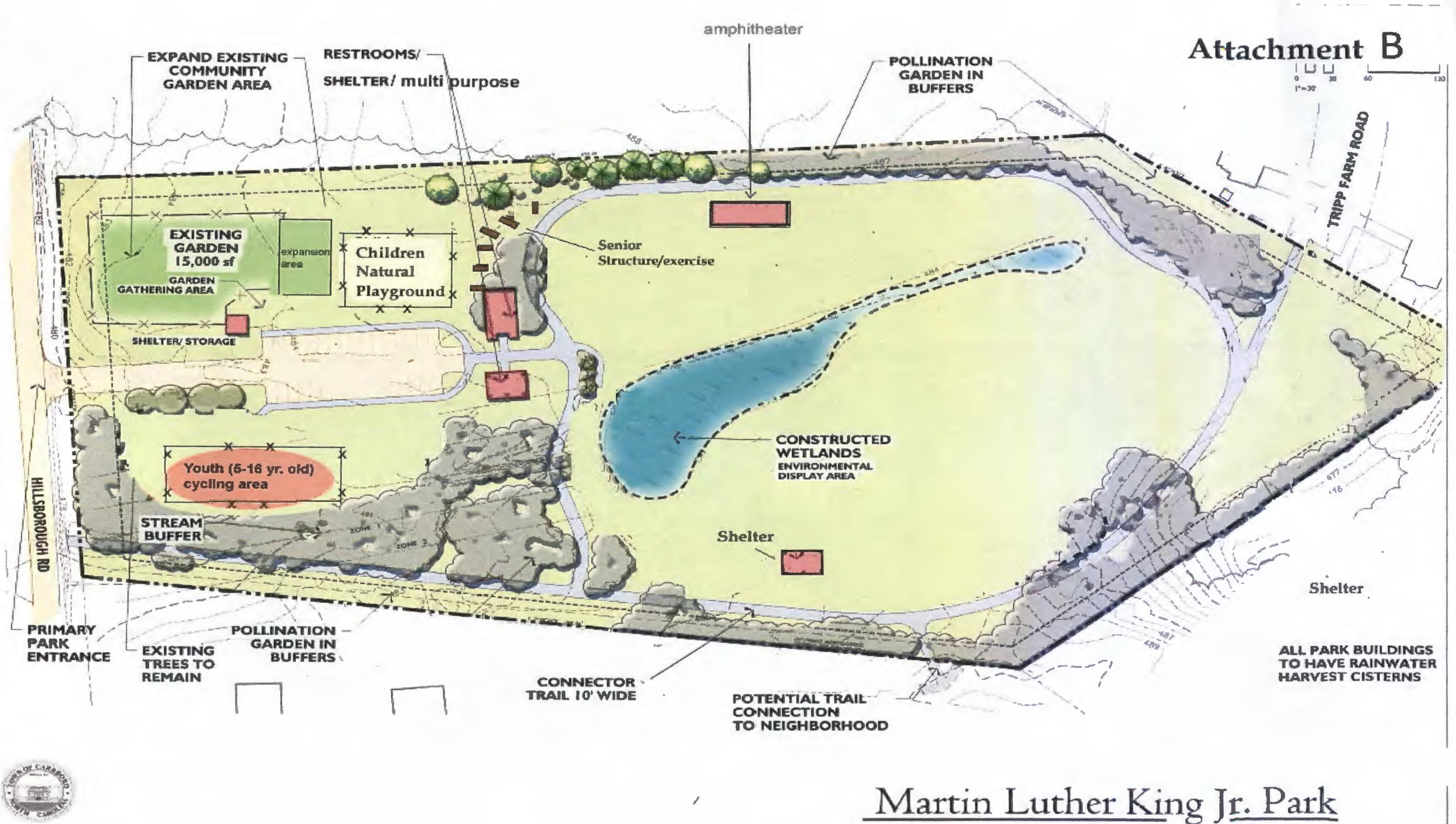
1994 - Town develops P&R Comp Plan identifying needs 1999 - Town purchases 10.16 acres of land for MLK Jr. Park Spring 2000 - Planning for park begins (two public meetings held) June 2004 - Master Plan unanimously adopted by BOA September 2006 - MLK Park described in Parks Comp Plan 2014 - Master Plan updated to reflect current needs (4 public meetings held) February 2016 - Modified Master Plan adopted by BOA and approved for design June 2016 - BOA requests edits of master plan and approves for design and construction Fall 2016 - Stewart engaged to complete construction drawings for park. Spring - Summer 2017 - Stewart details park drawings, reviews permitting regulations, holds a public meeting and presents at three public hearings. June 27, 2017 - Stewart presents plans for BOA approval on final design before receiving permits and completing construction documents.



MLK JR PARK CARRBORO, NC 100% CONSTRUCTION DOCUMENTS



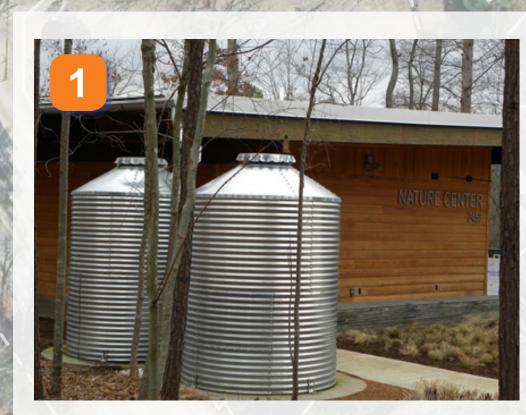
FINAL APPROVED MASTER PLAN - 2016



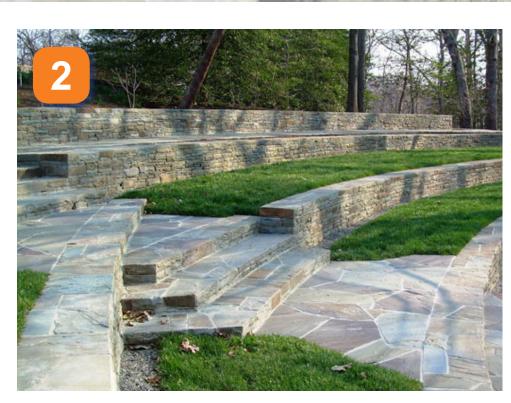
Town of Carrboro Recreation and Parks Department



Modified Option



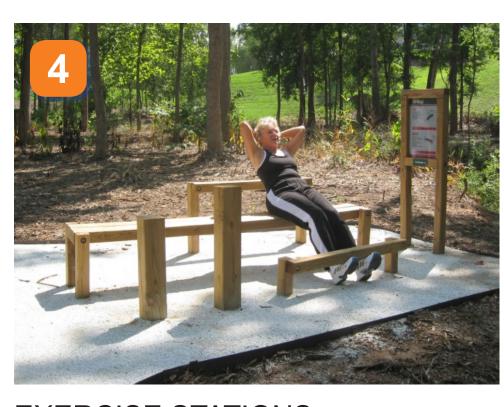
RAINWATER HARVESTING



AMPHITHEATER SEATING



YOUTH CYCLING AREA



EXERCISE STATIONS



30% PLAN PRESENTED AT FEBRUARY 6 RECREATION COMMISSION MEETING FOR FEEDBACK

MLK JR PARK CARRBORO, NC 30% SD : ILLUSTRATIVE RENDERING

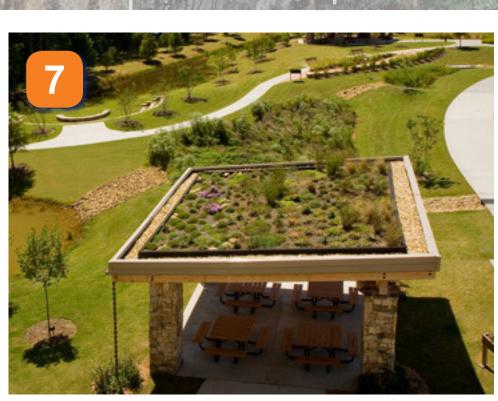




NATURAL PLAYGROUND



POLLINATOR GARDENS



GREEN ROOF



01.25.2017

STEWART

60% PLAN PRESENTED AT MARCH 21 BOA MEETING FOR INPUT

HILLSBOROUGH

RORD



MLK JR PARK CARRBORO, NC 60% DD : ILLUSTRATIVE RENDERING









PUMP TRACK LAYOUT : OPTION A







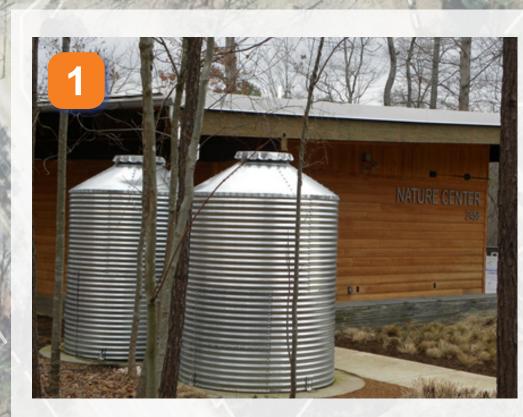
MLK JR PARK CARRBORO, NC

MLK JR PARK CARRBORO, NC

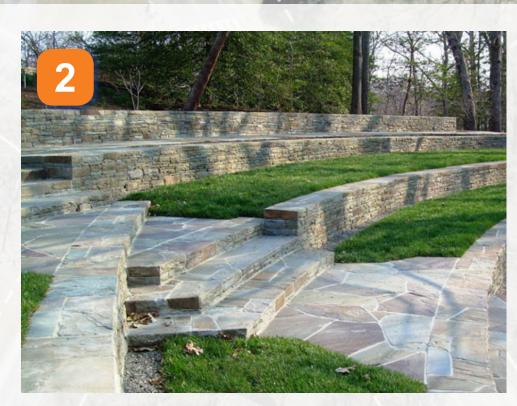
MLK JR PARK CARRBORO, NC 90% CD : PUMP TRACK INPUT







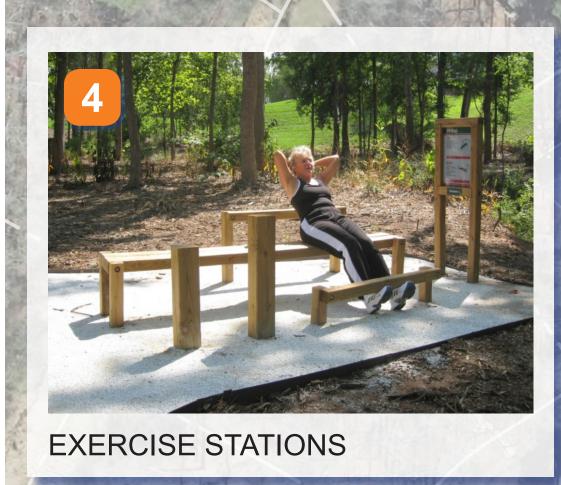
RAINWATER HARVESTING



AMPHITHEATER SEATING



YOUTH CYCLING AREA







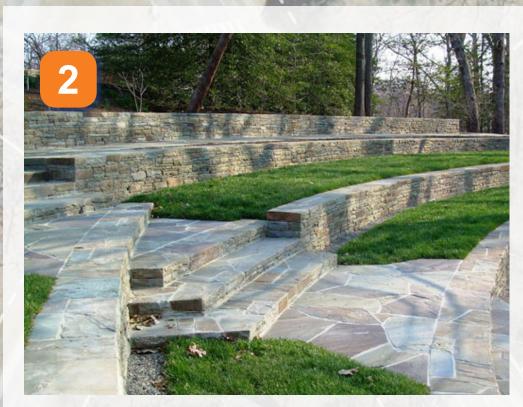
MLK JR PARK CARRBORO, NC 90% CD : ILLUSTRATIVE RENDERING







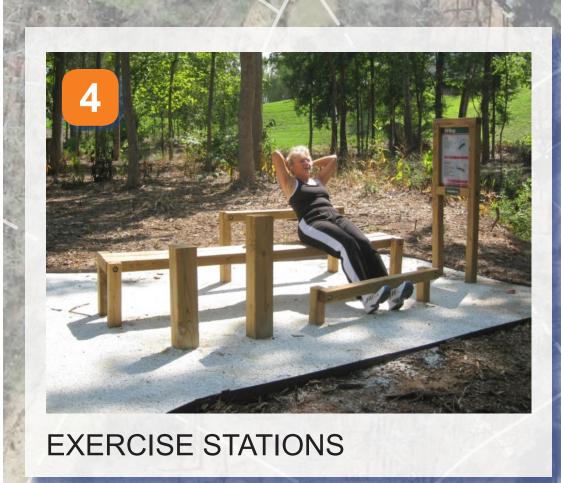
RAINWATER HARVESTING



AMPHITHEATER SEATING



PUMP TRACK



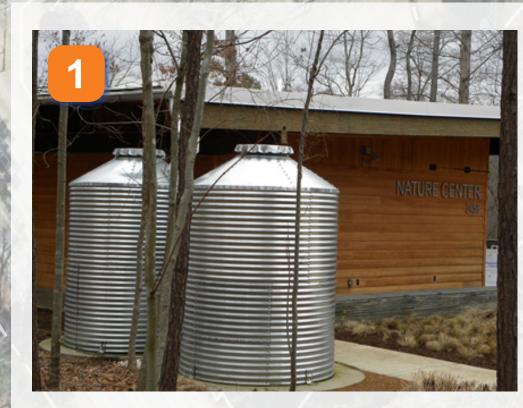


100% PLAN RENDERING -**OPTION A**

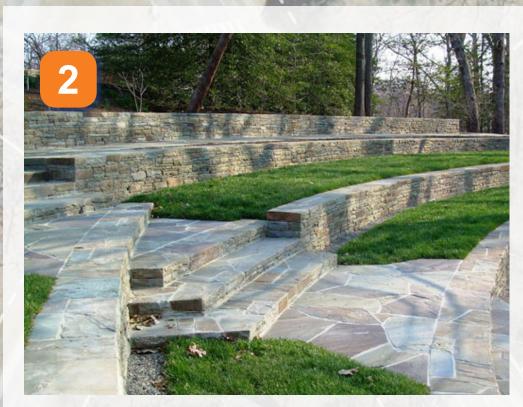


MLK JR PARK CARRBORO, NC 100% CD : ILLUSTRATIVE RENDERING - OPTION A





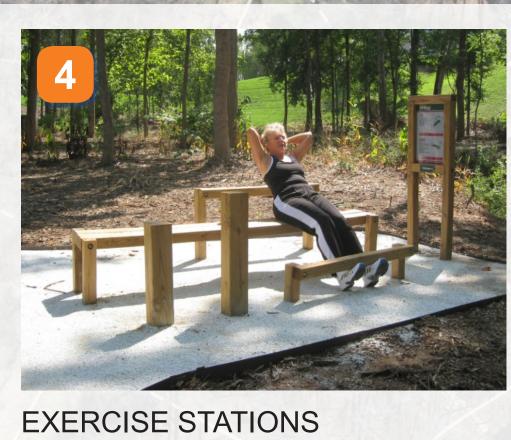
RAINWATER HARVESTING



AMPHITHEATER SEATING



PUMP TRACK





100% PLAN RENDERING -OPTION B



MLK JR PARK CARRBORO, NC 100% CD : ILLUSTRATIVE RENDERING - OPTION B

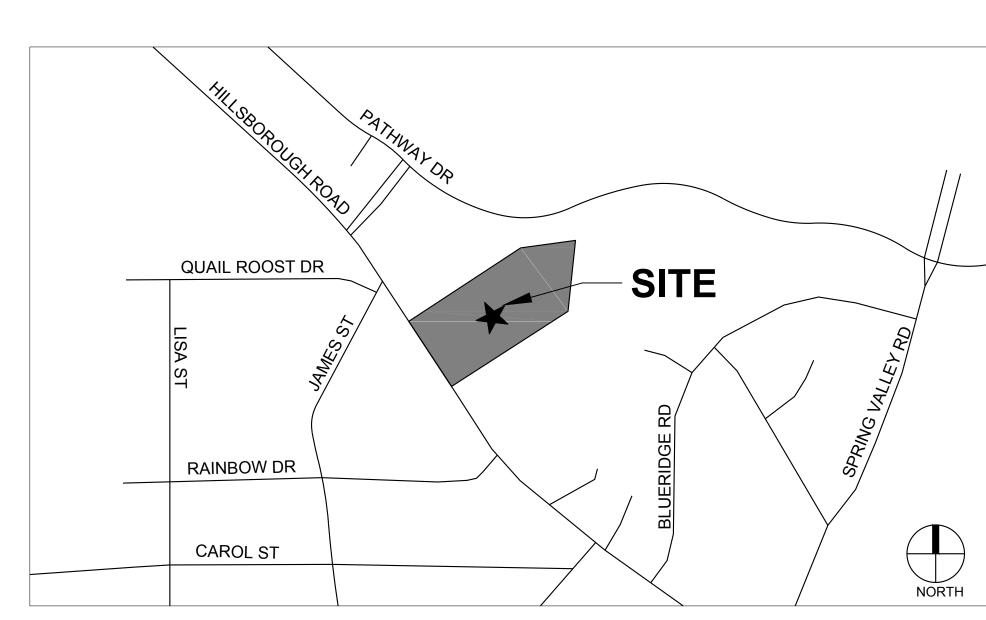






MLK JR PARK CARRBORO, NC 100% CD : PLAYGROUND RENDERING





VICINITY MAP SCALE: 1" = 500'

SUMMARY INFORMATION

- PROJECT NAME: SITE ADDRESS: COUNTY: PARCEL PIN #: PARCEL OWNER PARCEL AREA: TOTAL DISTURBED/ PROJECT AREA: CURRENT ZONING: EXISTING LAND USE: PROPOSED USE: **RIVER BASIN:** CONSTRUCTION TYPE: MAX BUILDING HEIGHT: PROPOSED BUILDING HEIGHT EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:
- MARTIN LUTHER KING, JR PARK 1120 HILLSBOROUGH ROAD ORANGE 9779-31-1977 TOWN OF CARRBORO 10.12 Ac 6.03 Ac R-15 PARK PARK CAPE FEAR ; JORDAN LAKE (UNPROTECTED) PARK 35'-0" 13'-0" 10,197 S.F. 22,053 S.F.

OVERALL PARKING SUMMARY

REQUIRED PARKING	30 BASED UPON PARK USAGE						
PROVIDED PARKING	30 TOTAL						
REGULAR 9'X18' SPACES	28						
HANDICAP ACCESSIBLE SPACES	2						
BIKE PARKING	6						
VEHICLE SHADING REQUIREMENTS							
TOTAL VEHICLE ACCOMMODATION AREA (SF)	13,500						
AREAS TO BE SHADED (SF)	4,725						
AREA SHADED BY EXISTING TREES TO BE RETAINED AROUND VEHICLE ACCOMMODATION AREA (SF)	960						
REMAINING AREA TO SHADE (SF)	3,765						
TREES REQUIRED	5.33						
TREES PROVIDED	6						

SHEET INDEX					
SHEET #	SHEET NAME				
C0.00	COVER SHEET				
C1.00	EXISTING CONDITIONS				
C2.00	DEMOLITION PLAN				
C3.00	SITE PLAN				
C3.01	PLAYGROUND ENLARGEMENT				
C4.00	EROSION CONTROL NOTES				
C4.01	EROSION CONTROL PHASE 1				
C4.02	EROSION CONTROL PHASE 2				
C5.00	GRADING PLAN				
C5.10	SCM PLAN				
C5.11	SCM DETAILS				
C6.00	UTILITY PLAN				
C6.10	UTILITY PLAN AND PROFILE				
C6.11	UTILITY PLAN AND PROFILE				
C9.00	SITE DETAILS				
C9.01	SITE DETAILS				
C9.02	SITE DETAILS				
C9.10	EROSION CONTROL DETAILS				
C9.30	UTILITY DETAILS				
L1.00	LANDSCAPE PLAN				
L2.00	PLANTING DETAILS				
A-101	FLOOR PLANS				
A-102	PICNIC SHELTER FLOOR PLANS				
A-201	ELEVATIONS				
A-202	ELEVATIONS				
A-203	ELEVATIONS				
A-204	EXTERIOR PERSPECTIVES				

UTILITIES IMPROVEMENTS QTY	
PRIVATE SEWER	
6" SEWER SERVICE	452 LF
PRIVATE WATER	
4" WATER MAIN	403 LF
8" FIRE LINE	179 LF

APPLICANT/OWNER



TOWN OF CARRBORO PARKS AND RECREATION 301 WEST MAIN STREET CARRBORO, NC 27510 CONTACT: WENDELL RODGERS 919.918.7371 (T) WRODGERS@TOWNOFCARRBORO.ORG

MARTIN LUTHER KING, JR PARK



CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE



421 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 T 919.380.8750 FIRM LICENSE #: C-1051 www.stewartinc.com PROJECT #: C16146

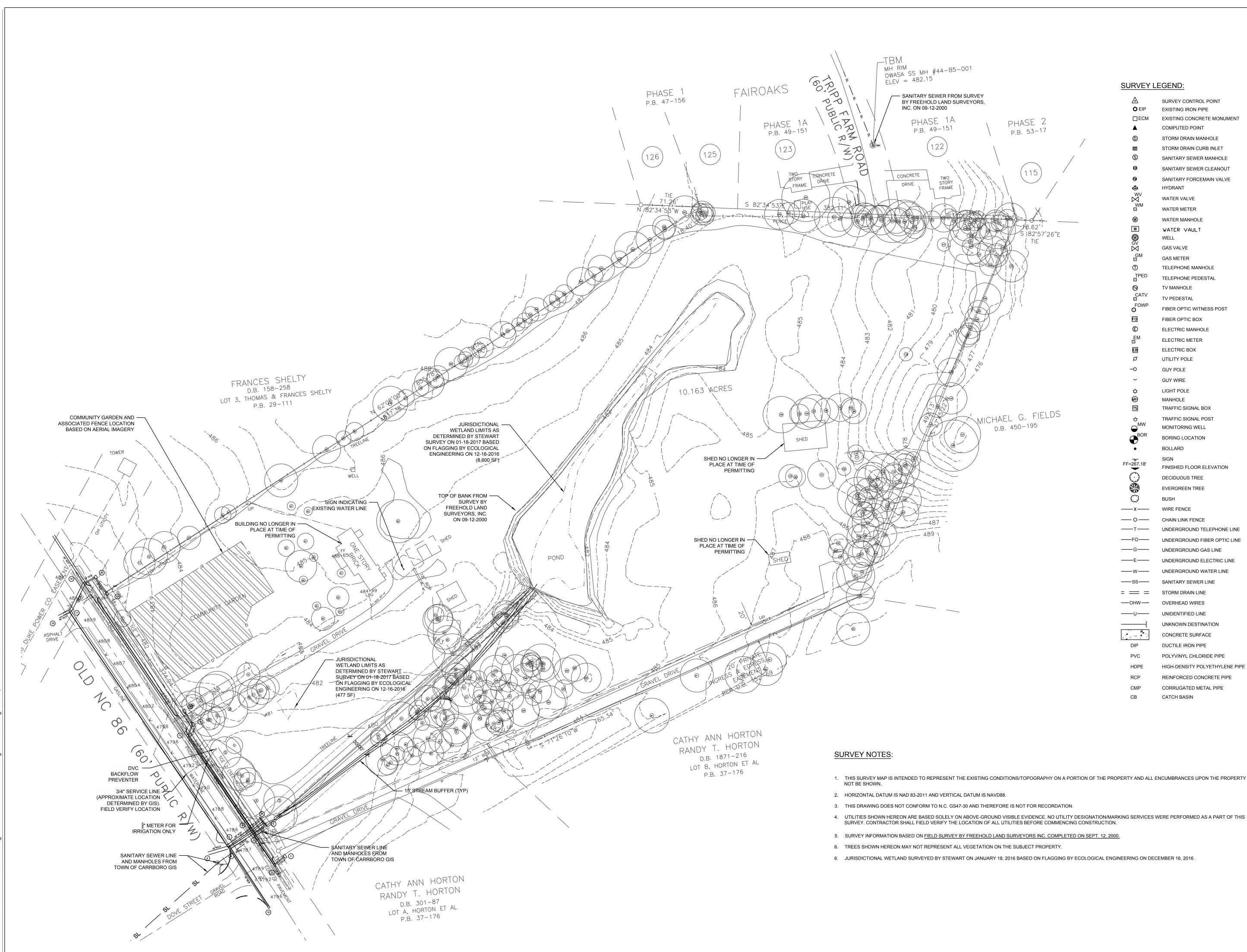
STEWART INC. - CIVIL ENGINEERING CONTACT: JOSEPH PUCKETT, PE **CIVIL ENGINEER** 919.866.4829 (T) 919.380.8752 (F) JPUCKETT@STEWARTINC.COM STEWART INC. - LANDSCAPE ARCHITECTURE CONTACT: JENNIFER WAGNER, RLS PROJECT MANAGER 919.866.4739 (T) 919.380.8752 (F) JWAGNER@STEWARTINC.COM

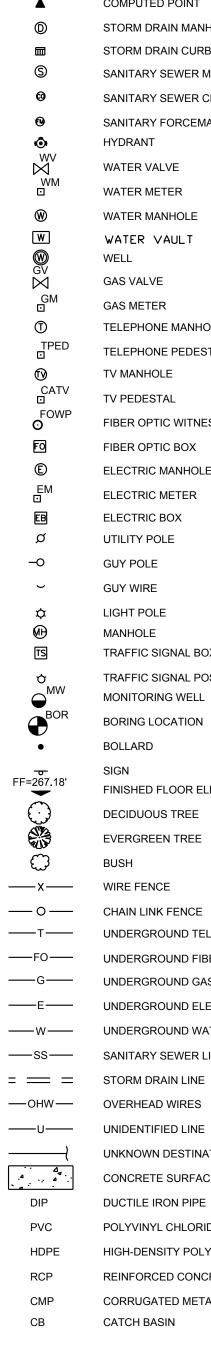
1120 HILLSBOROUGH RD CARRBORO, NC 27516 TOWN OF CARRBORO 95% CDs SUBMITTED ON JUNE 22, 2017

> Project number: C16146 Date: 02.27.2017 Drawn by: T. GULL Designed by: T.GULL

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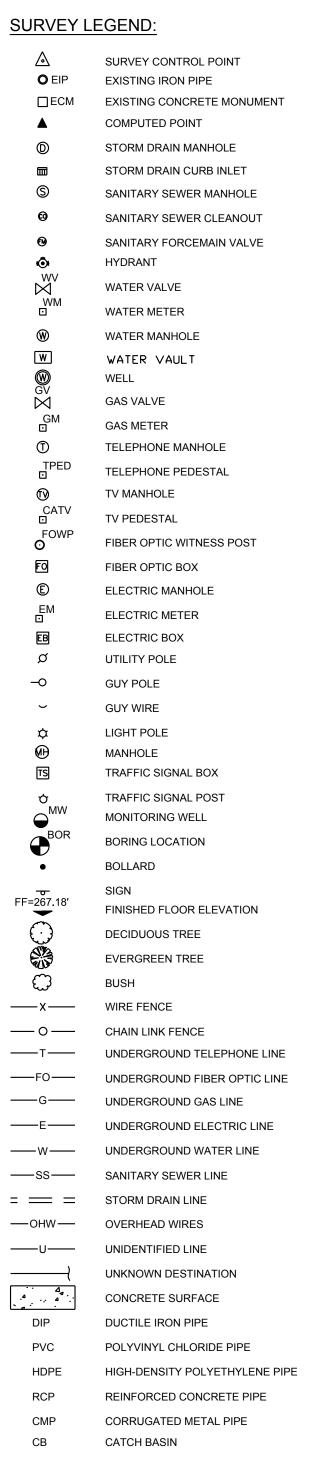
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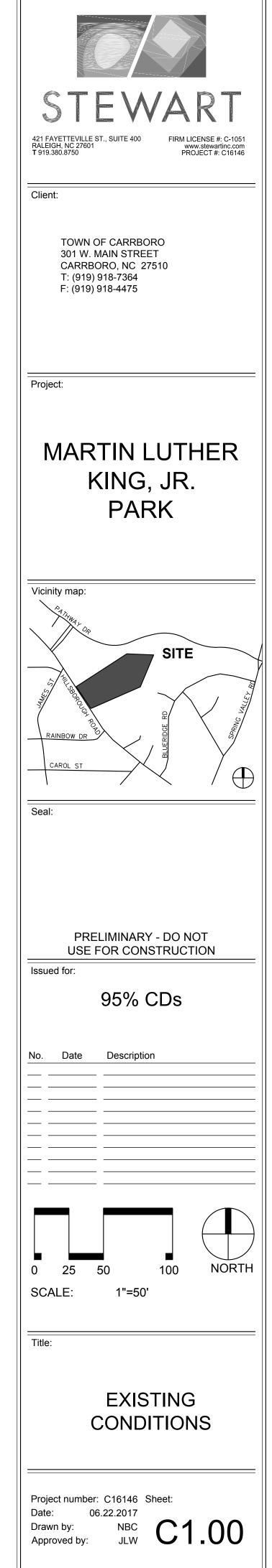




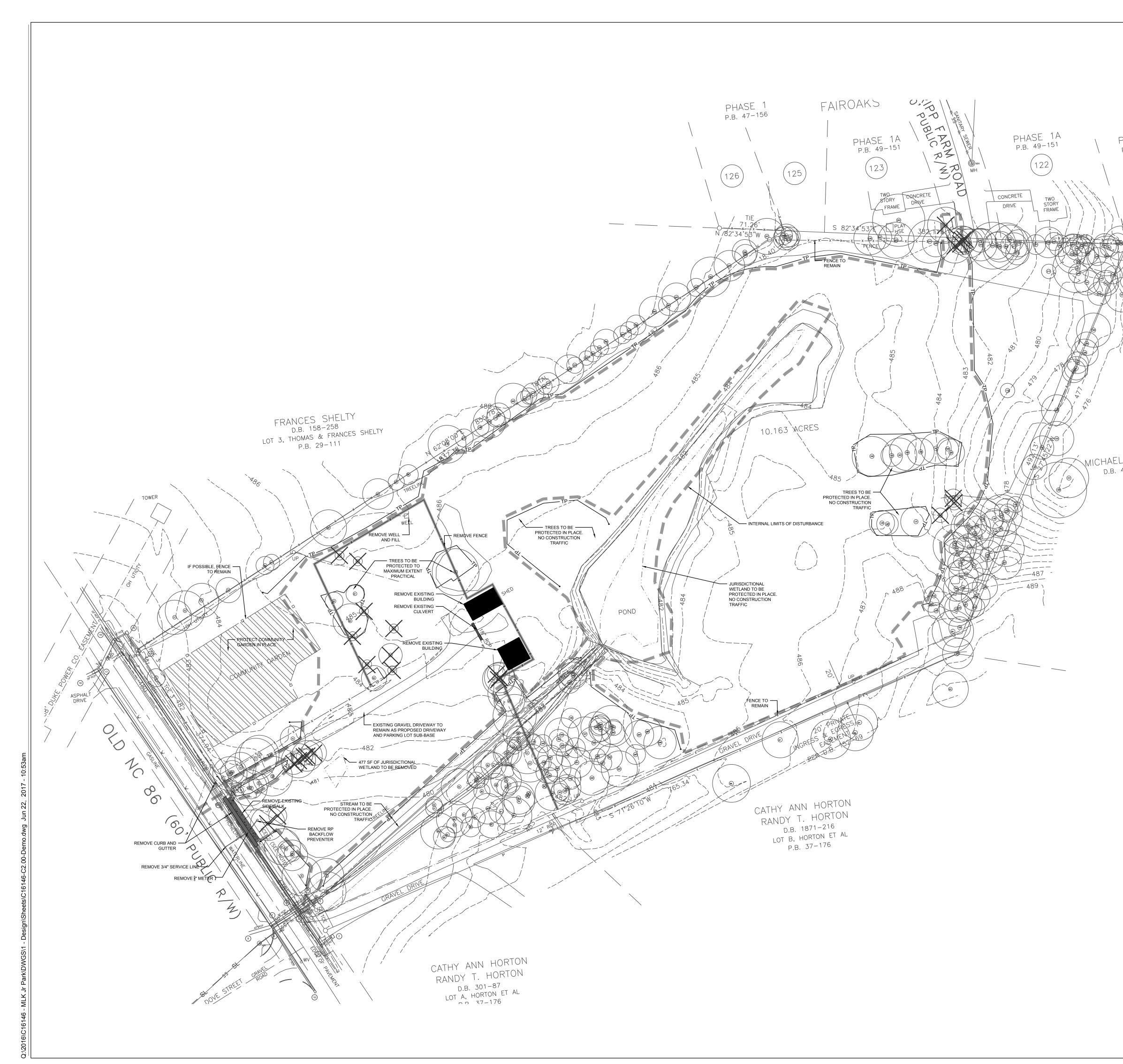
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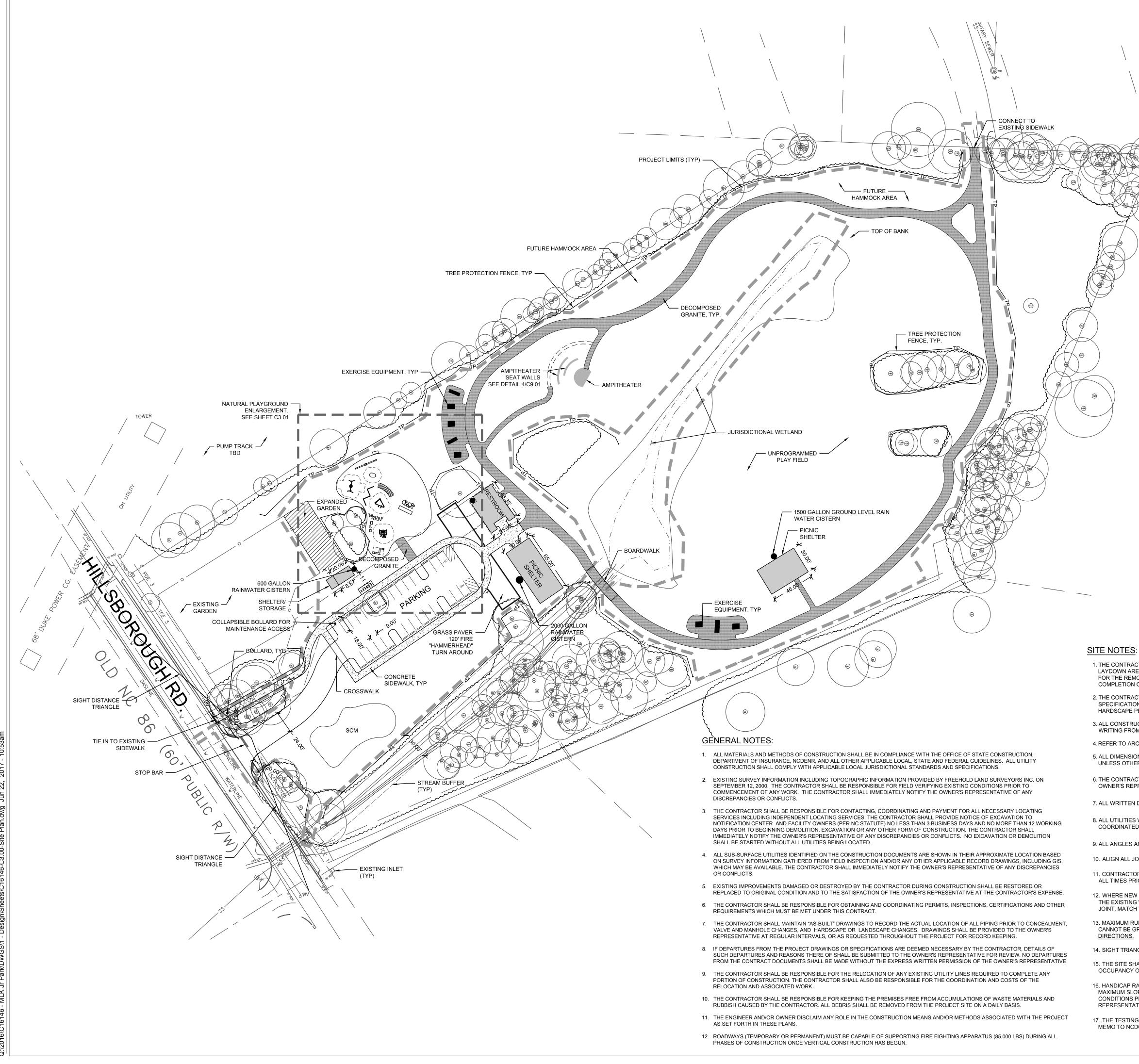




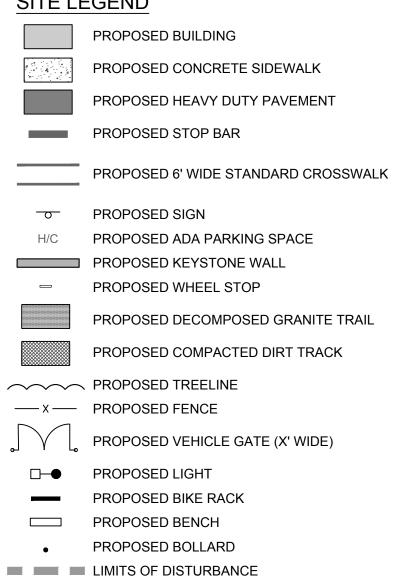
1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY



PHASE P.B. 53- 115 18.62' S 182'5 I TIE	DEMOLITION LEGEND REMOVE BUILDING REMOVE WATER LINE REMOVE SANITARY SEWER LINE REMOVE STORM DRAINAGE REMOVE FENCE TP TREE PROTECTION FENCE LIMITS OF DISTURBANCE COORDINATE LIGHT POLE REMOVAL REMOVE TREE REMOVE TREELINE REMOVE CURB & GUTTER REMOVE SIGN REMOVE CONCRETE	<image/> <section-header><section-header><text><text><text><text><text><text></text></text></text></text></text></text></section-header></section-header>
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	DEMOLITION NOTES:	
	 REFER TO SHEET C3.00 FOR GENERAL NOTES. CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR CURRENT CONSTRUCTION OF AND CONSTRUCTION OF A DECEMPENT OF	
	SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND RAISED TO BE FLUSH WITH NEW GRADE. 3. ANY UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE	Vicinity map:
	COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SEQUENCING OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.	SITE
L G. FI 450–195	4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" (TELEPHONE 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL."	Contraction of the second seco
	 CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. 	CAROL ST
	 ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED. 	
	 ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN. 	Seal:
	 REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS. 	
	 ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REQUIREMENTS. 	
	10. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION	ERL. WKW
	11. EROSION CONTROL PERMIT SHALL BE OBTAINED AND ONSITE PRIOR TO BEGINNING DEMOLITION.	PRELIMINARY - DO NOT USE FOR CONSTRUCTION
	12. ITEMS DESIGNATED TO BE SALVAGED AND/OR RE-USED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.	Issued for: 95% CDs
	13. WHERE UTILITIES ("TO BE REMOVED") IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL EXECUTE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF THE PIPE, AND 1 FOOT BELOW. CLEAN SUITABLE SOIL SHALL BE UTILIZED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	No. Date Description
	14. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PIPING SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE UPSTREAM OF THE SYSTEM. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.	
	15. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC) SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT OR MINIMIZE SERVICE INTERRUPTION TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION.	
	16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING SIDEWALK AND CURB AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION VIDEO OR PHOTO DOCUMENTATION TO SHOW NO DAMAGES OCCURRED.	
	17. ALL MATERIALS, FURNISHINGS, UTILITIES, AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.	0 25 50 100 NORTH SCALE: 1"=50'
	18. WHERE UTILITIES ARE SHOWN TO BE "REMOVED", CONTRACTOR SHALL INCLUDE NECESSARY PLUG OR VALVES TO ENSURE UTILITY LINES TO REMAIN WILL CONTINUE TO BE IN SERVICE. COORDINATE NECESSARY SHUT DOWN AND REMOVAL WITH THE LOCAL JURISDICTION OR UTILITY OWNER.	Title:
	19. CONTRACTOR SHALL PROVIDE PEDESTRIAN INGRESS / EGRESS TO ALL EXISTING PARKING LOTS AND PATHS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD.	DEMOLITION PLAN
		Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: TPG Approved by: JLW C2.00



SITE LEGEND



STFWART
421 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 T 919.380.8750 FIRM LICENSE #: C-1051 www.stewartinc.com PROJECT #: C16146
Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project:
MARTIN LUTHER KING, JR. PARK
Vicinity map:
PATHWAY DR
SITE SITE SITE CAROL ST
Seal:
Issued for: 95% CDs
No. Date Description
0 25 50 100 NORTH SCALE: 1"=50'
Title:
SITE PLAN

Project number: C16146 Sheet:

06.22.2017

TPG

JLW

Date:

Drawn by:

Approved by:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.

2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.

3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM HILLSBOROUGH ROAD UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.

4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION. 5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.

6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.

7. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.

8. ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS.

9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.

10. ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN

11. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.

12. WHERE NEW SIDEWALK ADJOINS EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. TIE NEW SIDEWALKS INTO NEAREST EXISTING PAVEMENT JOINT; MATCH WIDTH OF EXISTING WALKWAY.

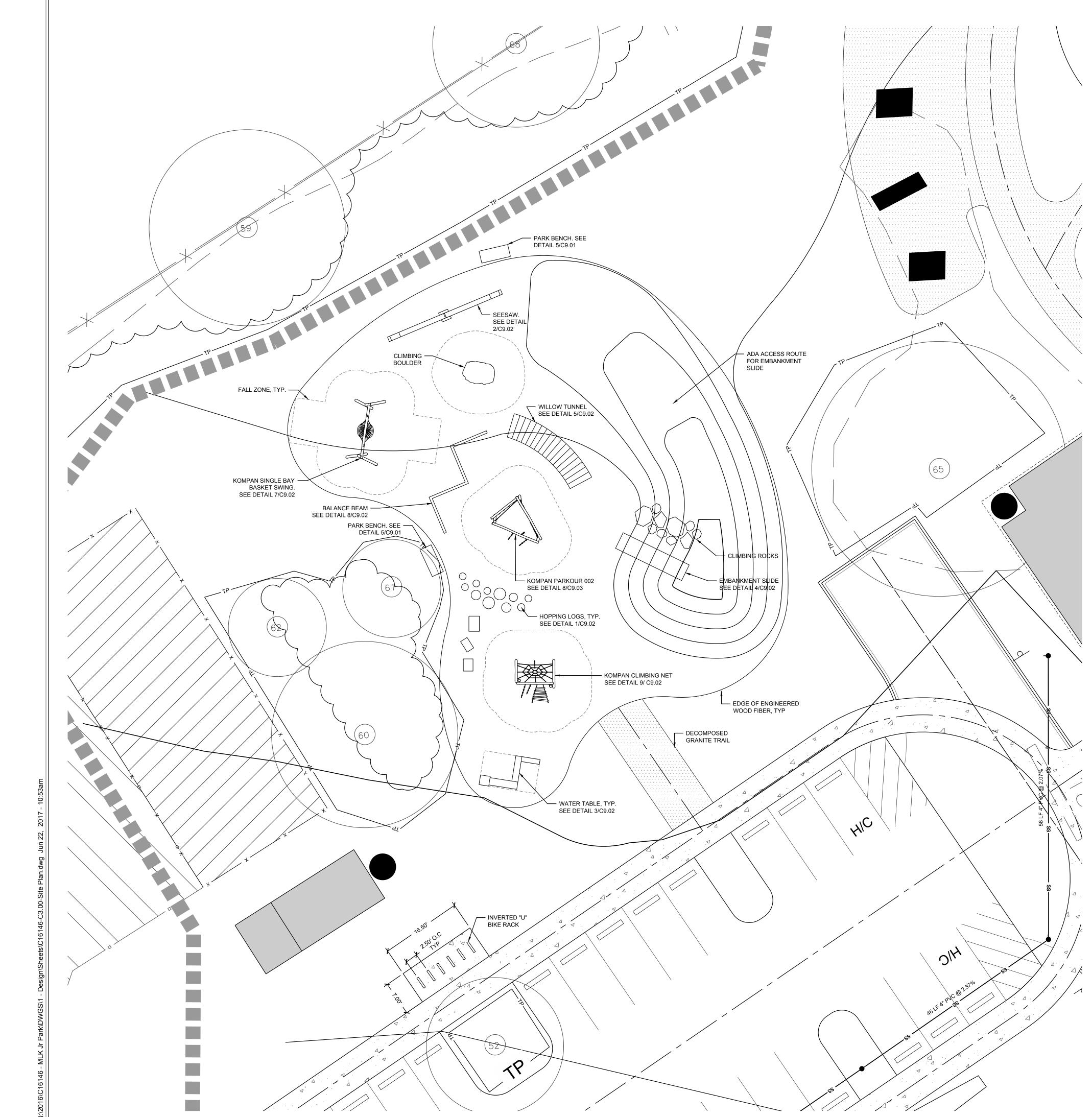
13. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS.

14. SIGHT TRIANGLES - NOTHING OVER 30" HIGH SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES.

15. THE SITE SHALL BE FULLY STABILIZED (90% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL

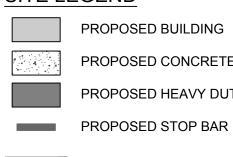
16. HANDICAP RAMPS SHALL BE INSTALLED PER THE PLANS AND SPECIFICATIONS AND THE NC BUILDING CODE. A MAXIMUM SLOPE OF 1/12 FOR 6-FEETE AND A MAXIMUM CROSS SLOPE OF 1:48 SHALL BE PROVIDED. IF EXISTING CONDITIONS PRECLUDE THIS REQUIREMENT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION

17. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.



<u>;</u>

SITE LEGEND



PROPOSED BUILDING
PROPOSED CONCRETE SIDEWALK
PROPOSED HEAVY DUTY PAVEMENT
PROPOSED STOP BAR
PROPOSED 6' WIDE STANDARD CROSSWALK
PROPOSED SIGN
PROPOSED ADA PARKING SPACE
PROPOSED KEYSTONE WALL
PROPOSED WHEEL STOP
PROPOSED DECOMPOSED GRANITE TRAIL
PROPOSED COMPACTED DIRT TRACK
PROPOSED TREELINE
PROPOSED FENCE
PROPOSED VEHICLE GATE (X' WIDE)
PROPOSED LIGHT
PROPOSED BIKE RACK
PROPOSED BENCH
PROPOSED BOLLARD
LIMITS OF DISTURBANCE

STFWART
421 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 T 919.380.8750 FIRM LICENSE #: C-1051 www.stewartinc.com PROJECT #: C16146
Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project:
MARTIN LUTHER KING, JR. PARK
Vicinity map:
SITE
CAROL ST
Seal:
USE FOR CONSTRUCTION Issued for:
95% CDs
No. Date Description
0 5 10 20 NORTH SCALE: 1"=10'
Title: PLAYGROUND ENLARGEMENT
Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: TPG Approved by: JLW

EF	ROSION CONTROL NOTES:	SEQU
1.	REFER TO C3.00 FOR GENERAL NOTES.	1. OBT
2.	ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN BEST LOCATION BASED ON FIELD CONDITIONS.	2. DET
3.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.	3. A PF ERO
4.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONSTRUCTION ENTRANCES AS NECESSARY TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.	4. INST ALL
5.	APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF DRAINAGE DESIGN	5. SCH
	(E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).	6. UPO
6.	THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR AND ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.	7. CON
7.	DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE LIMITS OF DISTURBANCE (L.O.D.) SHALL BE PERMITTED. THE L.O.D.	8. REM
	SHALL BE MAINTAINED BY THE ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.	9. BEG
8.	THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.	10. CLE
9.	THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE	11. ALL
	CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).	12. PLA
10.	THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT. COPIES OF THE WRITTEN INSPECTION REPORTS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE TWICE PER WEEK AND AFTER RAINS OF GREATER THAN 0.5". RAIN GAUGE REQUIRED ON SITE.	13. PER REA GRA 14. AFT
11.	ANY AREAS OF EXPOSED SOILS THAT WILL NOT BE DISTURBED FOR FOURTEEN DAYS SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).	TRA APP APP
12.	THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY EIGHT (48) HOURS FOLLOWING A STORM EVENT.	15. STO ERO
	AT NO TIME SHALL SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.	<u>NOTES:</u> 1. INSF INSF
14.	STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.	INSF 2. CON
15.	WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE A MINIMUM THICKNESS OF 2 TO 3 INCHES.	THE
16.	INTERIM SLOPES MAY BE GRADED TO A MAXIMUM SLOPE OF 2:1 (HORIZONTAL: VERTICAL); CUT SLOPES SHALL BE LIMITED TO A MAXIMUM SLOPE OF 1.5:1.	3. NOT RES
17.	THE SURFACE OF AREAS SLOPES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL THAT ARE TO RECEIVE INTERIM FILL SHALL BE PLOWED, FURROWED, TILLED OR BROKEN UP PRIOR TO PLACING FILL SO THAT FILL MATERIAL WILL BOND WITH EXISTING . " SURFACE. INTERIM FILL SHALL BE PLACED AS SPECIFIED FOR PERMANENT FILLS AND IN LIFTS NOT GREATER THAN 6".	AND 4B.0 SELI HTTI
18.	PROVIDE DUST CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, WETTING DOWN TO CONTROL DUST ON SITE, IN ORDER TO PREVENT ANNOYANCE/AND OR DAMAGE TO ADJACENT SITES. CALCIUM CHLORIDE OR ANY OTHER CHEMICAL MATERIAL MAY NOT BE USED ON SUBGRADES OF AREAS TO BE SEEDED OR PLANTED.	
19.	SEDIMENT LADEN RUNOFF FROM EXCAVATIONS SHALL NOT BE PUMPED DIRECTLY TO STORM DRAINAGE.	
20		

20. INSPECTOR REFERS TO LOCAL JURISDICTIONAL (NCDENR OR LOCAL) LAND QUALITY INSPECTOR OR HIS REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR.

21. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH AND NATURAL RESOURCES LAND QUALITY SECTION EROSION AND SEDIMENT CONTROL PLANNING LAND DESIGN MANUAL.

22. NOTIFICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL SELF-INSPECTION PROGRAM: THE PERSON RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES IS REQUIRED TO INSPECT THE PROJECT AFTER EACH PHASE OF THE PROJECT AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ACCORDANCE WITH NCGS 113A-54.1 AND 15A NCAC 4B.0131 TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FORM HTTP://WWW.DLR.ENR.STATE.NC.US/PAGES/SEDIMENTATION_NEW.HTML

TREE PROTECTION NOTES:

3.

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11.

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16.

- 1. TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT. OR OBTAIN A GRADING PERMIT THEN TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE
- 2. TREE PROTECTION FENCING SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ÁRBOLES."

3. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE ON THE TREE ROOTS OUTSIDE OF THE TREE SAVE AREA. THIS SHALL OCCUR AT THE SAME TIME THAT OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.

4. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED TREE AREA.

5. TREE PROTECTION AREA: EQUALS ONE FOOT OF RADIUS FOR EVERY INCH OF DIAMETER OF EXISTING TREES, OR SIX FOOT RADIUS, WHICHEVER IS GREATER. NO DISTURBANCE ALLOWED WITHIN THIS AREA.

ENCE OF CONSTRUCTION ACTIVITIES:

IN GRADING PERMIT.

RMINE AND MARK LIMITS OF DISTURBANCE.

ECONSTRUCTION CONFERENCE MUST BE HELD 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. THE ION CONTROL INSPECTOR, ARCHITECT, ENGINEER, AND CONTRACTOR SHALL BE PRESENT TO SATISFY REQUIREMENTS.

ALL CONSTRUCTION ENTRANCE, TREE PROTECTION FENCING, SILT FENCE, PERIMETER EROSION CONTROL DEVICES AND REQUIRED BASINS AND TRAPS.

DULE SITE INSPECTION.

APPROVAL TO PROCEED BY THE EROSION CONTROL INSPECTOR, HARVEST ANY TIMBER.

STRUCT REMAINING EROSION CONTROL MEASURES AS REQUIRED.

OVE AND/OR STORE TOPSOIL.

GRADING OPERATIONS.

N SEDIMENT BASINS/TRAPS WHEN ONE-HALF FULL.

TREETS SURROUNDING THE PROJECT SHALL BE KEPT CLEAN AT ALL TIMES.

E TEMPORARY SEEDING ON ALL DISTURBED AREAS THAT WILL BE IDLE 14 DAYS OR LONGER.

ANENT SURFACE STABILIZATION SHALL BE INSTALLED FOR ALL AREAS WITHIN 14 DAYS AFTER FINAL GRADE HAS BEEN HED. AS NECESSARY, FERTILIZE, WATER AND RESEED AS REQUIRED TO ESTABLISH AND MAINTAIN A VIGOROUS STAND OF

R COMPLETION OF CONSTRUCTION AND THE SITE IS STABILIZED, REMOVE ALL ACCUMULATED SEDIMENT FROM SEDIMENT PING MEASURES AND DISPOSE BY MEANS DEEMED ACCEPTABLE BY THE ENGINEER. SCHEDULE SITE INSPECTION. UPON OVAL BY THE EROSION CONTROL INSPECTOR, REMOVE TEMPORARY EROSION CONTROL MEASURES, SMOOTH AREA AND Y APPROPRIATE STABILIZATION.

MWATER PERMIT INSPECTION REPORTS SHALL BE PERFORMED BY THE CONTRACTOR UNTIL NOTIFIED OTHERWISE BY THE ION CONTROL INSPECTOR.

ECTOR REFERS TO LOCAL JURISDICTIONAL (NCDENR OR LOCAL) LAND QUALITY INSPECTOR OR HIS REPRESENTATIVE. FIELD CTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE CTOR.

TRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH AND NATURAL RESOURCES LAND QUALITY SECTION EROSION SEDIMENT CONTROL PLANNING LAND DESIGN MANUAL.

FICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL SELF-INSPECTION PROGRAM: THE PERSON ONSIBLE FOR LAND-DISTURBING ACTIVITIES IS REQUIRED TO INSPECT THE PROJECT AFTER EACH PHASE OF THE PROJECT CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ACCORDANCE WITH NCGS 113A-54.1 AND 15A NCAC 31 TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. THE INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FORM //WWW.DLR.ENR.STATE.NC.US/PAGES/SEDIMENTATION_NEW.HTML

TEMPORARY SEEDBED PREPARATION

- 2. RIP THE ENTIRE AREA TO SIX INCHES DEEP.

- 7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- ESTABLISHED.

SEEDBED PREPARATION:

- 2. RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
- SEEDING.
- 7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.

- LANDSCAPING PLANS.
- RECEIVE PLANTS SHALL BE SEEDED PER THE LANDSCAPING PLANS.

ADMIXTURES

AGRICULTURAL LIMESTONE: 2 TONS/ACRE FERTILIZER: 1,000 LBS/ACRE - 10-10-10 SUPERPHOSPHATE: 500 LBS/ACRE - 20% ANALYSIS MULCH: 2 TONS/ACRE - SMALL GRAIN STRAW

ANCHOR: ASPHALT EMULSION AT 300 GALS/ACRE

SEEDING SCHEDULE

SHOULDERS, SIDE DITCHES, SLOPES (Max 3:1)							
DATE	TYPE						
AUG 15 - NOV 1 NOV 1 - MAR 1	TALL FESCUE TALL FESCUE & ABRUZZI RYE						
MAR 1 - APR 15 APR 15 - JUN 30 JUL 1 - AUG 15	TALL FESCUE HULLED COMMON BERMUDAGRASS TALL FESCUE AND ***BROWNTOP MILLET ***OR SORGHUM-SUDAN HYBRIDS						

SLOPES (3:1 to 2:1) DATE TYPE MAR 1 - JUN 1 ***BROWNTOP MILLET ADD TALL FESCUE (MAR 1 - APR 15) OR ADD HULLED COMMON BERMUDAGRASS JUN 1 - SEP 1 ***TALL FESCUE AND ***BROWNTOP MILLET ***OR SORGHUM-SUDAN HYBRIDS ANNUAL RYE SEP 1 - MAR 1 AND TALL FESCUE ADD ABRUZZI RYE

CONSULT CONSERVATION ENGINEER OR SOIL CONSER INFORMATION CONCERNING OTHER ALTERNATIVES FO THE ABOVE VEGETATION RATES ARE THOSE WHICH DO OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE. ***TEMPORARY - RESEED ACCORDING TO OPTIMUM SE

VEGETATION. DO NOT ALLOW TEMPORARY COVER TO MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.

SEDIMENTATION BASIN SIZING

BASIN GEOMOETRY							OU.	TLET	CLINANAE	KIMMER CHARACTERISITCS				VOLUME (CF)					
BASIN ID	BOT	том	T	OP	SUR	FACE	DAM	SIDE	STORAGE	STONE	SIDE	SKIIVIIVIE		ERISTICS	JURFALE	AREA (SF)	VOLUI	VIE (CF)	DEWATERING
	WIDTH	LENGTH	WIDTH	LENGTH	WIDTH	LENGTH	HEIGHT	SLOPES	DEPTH	WIDTH	SLOPES	SIZE	HEAD	ORIFICE	REQUIRED	PROVIDED	REQUIRED	PROVIDED	TIME
	10.0.0			50.0 (1	05.0.4	50.0.0			0.0.5	4.0.0		0.0.	0.0 5	1.00	050	0.007.00	0.400.00	0.000.00	0.1
Sed Basin 1	13.0 ft	38.0 ft	31.0 ft	56.0 ft	25.0 ft	50.0 ft	4.5 ft	2:1	3.0 ft	4.0 ft	2:1	3.0 in	0.3 ft	1.00 in	958	2,207.00	2,196.00	2,202.00	2 days
Sed Basin 2	13.0 ft	38.0 ft	31.0 ft	56.0 ft	25.0 ft	50.0 ft	4.5 ft	2:1	3.0 ft	4.0 ft	2:1	3.0 in	0.3 ft	0.75 in	864	1,250.00	1,980.00	2,616.00	4 days

DIVERSION DITCH SIZING

				Top Width		Channel	
Channel	Bottom Wi	dth (Y)	Sideslope (M)	(W)	Lining	Depth (FT)	Velocity
DD-01	0.00	FT	2:1	4 FT	STRAW SINGLE NET BLANKET	0.65 FT	4.31 FT/S
DD-02	0.00	FT	2:1	4 FT	STRAW SINGLE NET BLANKET	0.7 FT	4.42 FT/S
DD-03	0.00	FT	2:1	4 FT	STRAW SINGLE NET BLANKET	0.65 FT	2.97 FT/S
DD-04	0.00	FT	2 :1	4 FT	STRAW SINGLE NET BLANKET	0.45 FT	3.29 FT/S

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.

3. REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. 4. APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE ADMIXTURE BELOW). 5. CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP. 6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.

8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.

9. CONSULT S&EC ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONED, IF AVAILABLE.

3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. 4. APPLY ALL AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW). 5. CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY UNIFORM 4 TO 6 INCHES DEEP SEEDBED IS PREPARED. 6. SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER

8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESENDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF

STAND SHOULD BE OVER 60% DAMAGED , REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES. 9. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESENDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 50% DAMAGED , REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES AND

10. SEE LANDSCAPING PLANS FOR PERMANENT SEEDING, MULCHING, AND FERTILIZING RATES. ALL AREAS NOT DESIGNATED TO

RVATION SERVICE FOR ADDITIONAL R VEGETATION OF DENUDED AREA D WELL UNDER LOCAL CONDITIONS	S.
ASON FOR DESIRED PERMANENT GROW OVER 12" IN HEIGHT BEFOR	E

PLANTING RATE

300 LBS/ACRE 300 LBS/ACRE 25 LBS/ACRE

300 LBS/ACRE 25 LBS/ACRE

120 LBS/ACRE 35 LBS/ACRE

30 LBS/ACRE

PLANTING RATE

50 LBS/ACRE

25 LBS/ACRE

120 LBS/ACRE

35 LBS/ACRE

30 LBS/ACRE 70 LBS/ACRE

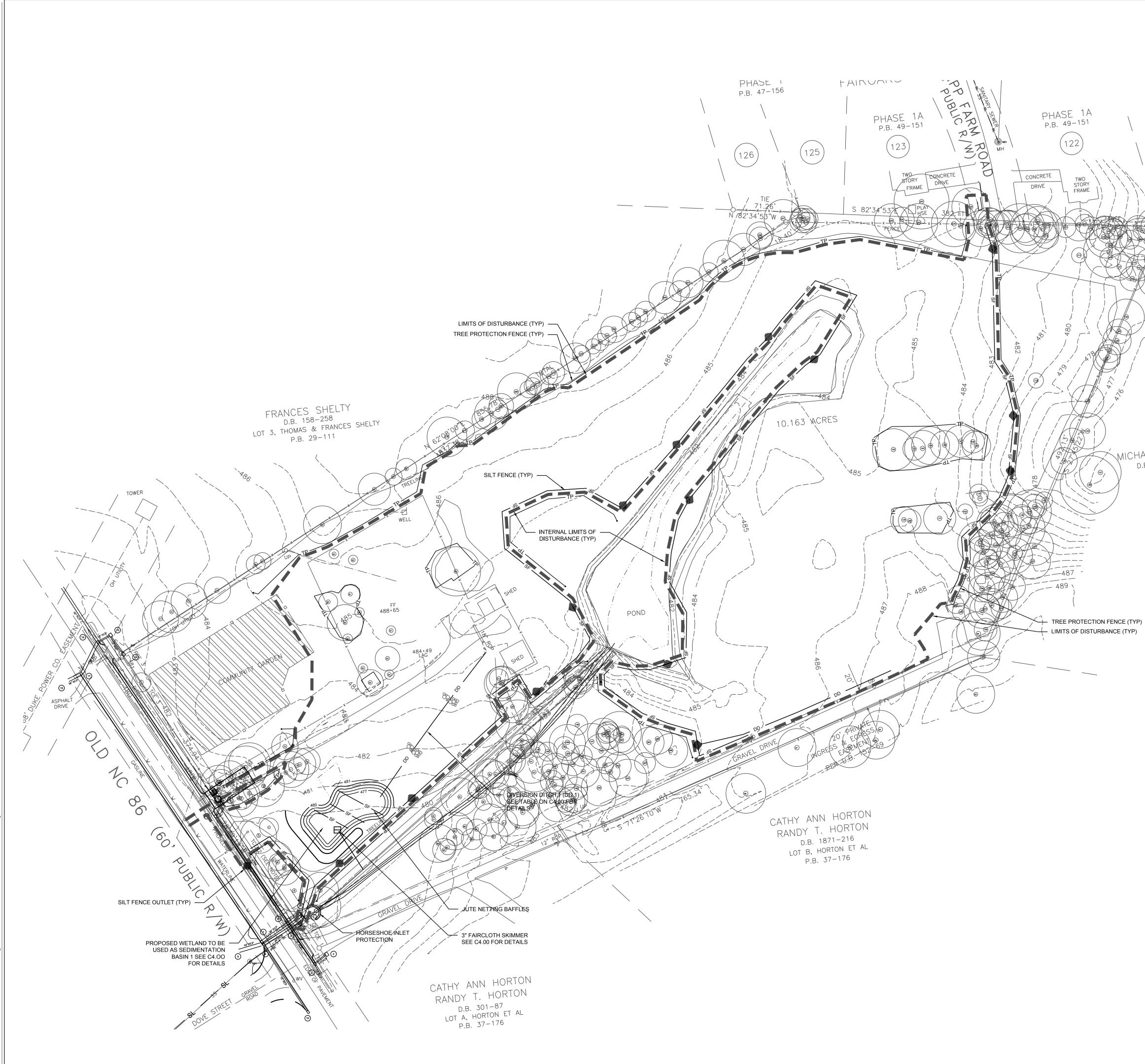
25 LBS/ACRE

120 LBS/ACRE (MAR 1 - JUN 30)

120 LBS/ACRE (NOV 1 - MAR 1)

TOTAL AREA OF DISTURBANCE
<u>6.03 AC</u>

A21 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 7919.380.8750
Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project:
MARTIN LUTHER KING, JR. PARK
Vicinity map:
SITE SITE SITE RAINBOW DR RAINBOW DR
CAROL ST
Seal: Seal: CARO SEAL O33779 PRELIMINARY - DO NOT USE FOR CONSTRUCTION Issued for:
95% CDs
No. Date Description
SCALE: N.T.S.
Title:
EROSION CONTROL NOTES
Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: CJJ C4.00 Approved by: JWP



EROSION CONTROL LEGEND



PHASE

P.B. 53-

(115

 SF
 SILT FENCE

 TP
 TREE PROTECTION
 DIVERSION DITCH HORSE SHOE INLET PROTECTION SILT FENCE OUTLET

CHECK DAM

FLARED END SECTION (FES)

SEDIMENT TRAP

RIPRAP DISSIPATER

СШ С

TEMPORARY CONSTRUCTION ENTRANCE

100 YR FLOOD ELEV.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA EROSION CONTROL SPECIFICATIONS

MICHAEL G. F D.B. 450-195

RAINBO		SPRING VALLEY BY
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Issued fo	95% CDs	
No. Da	ate Description	
0 2 SCALE		NORTH
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Project n Date: Drawn by Approved		01

STEWART

FIRM LICENSE #: C-1051 www.stewartinc.com PROJECT #: C16146

421 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 T 919.380.8750

TOWN OF CARRBORO 301 W. MAIN STREET

CARRBORO, NC 27510

MARTIN LUTHER

KING, JR.

PARK

, SITE

T: (919) 918-7364

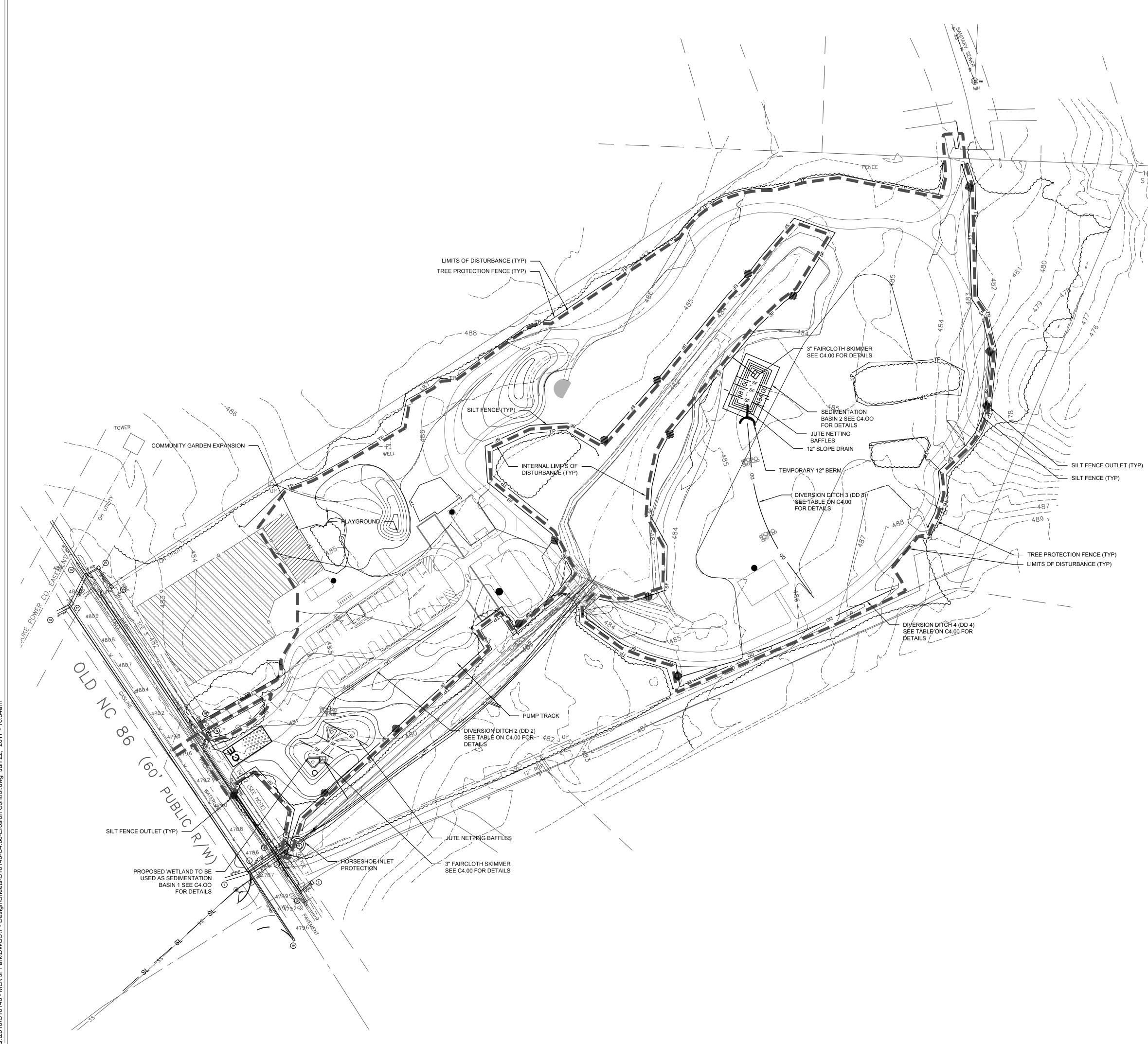
F: (919) 918-4475

Client:

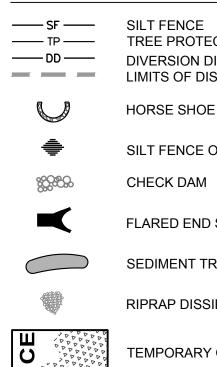
Project:

Vicinity map:

TOTAL AREA OF DISTURBANCE 6.03 AC



EROSION CONTROL LEGEND



DIVERSION DITCH LIMITS OF DISTURBANCE HORSE SHOE INLET PROTECTION

SILT FENCE OUTLET

CHECK DAM

FLARED END SECTION (FES)

RIPRAP DISSIPATER

SEDIMENT TRAP

TEMPORARY CONSTRUCTION ENTRANCE

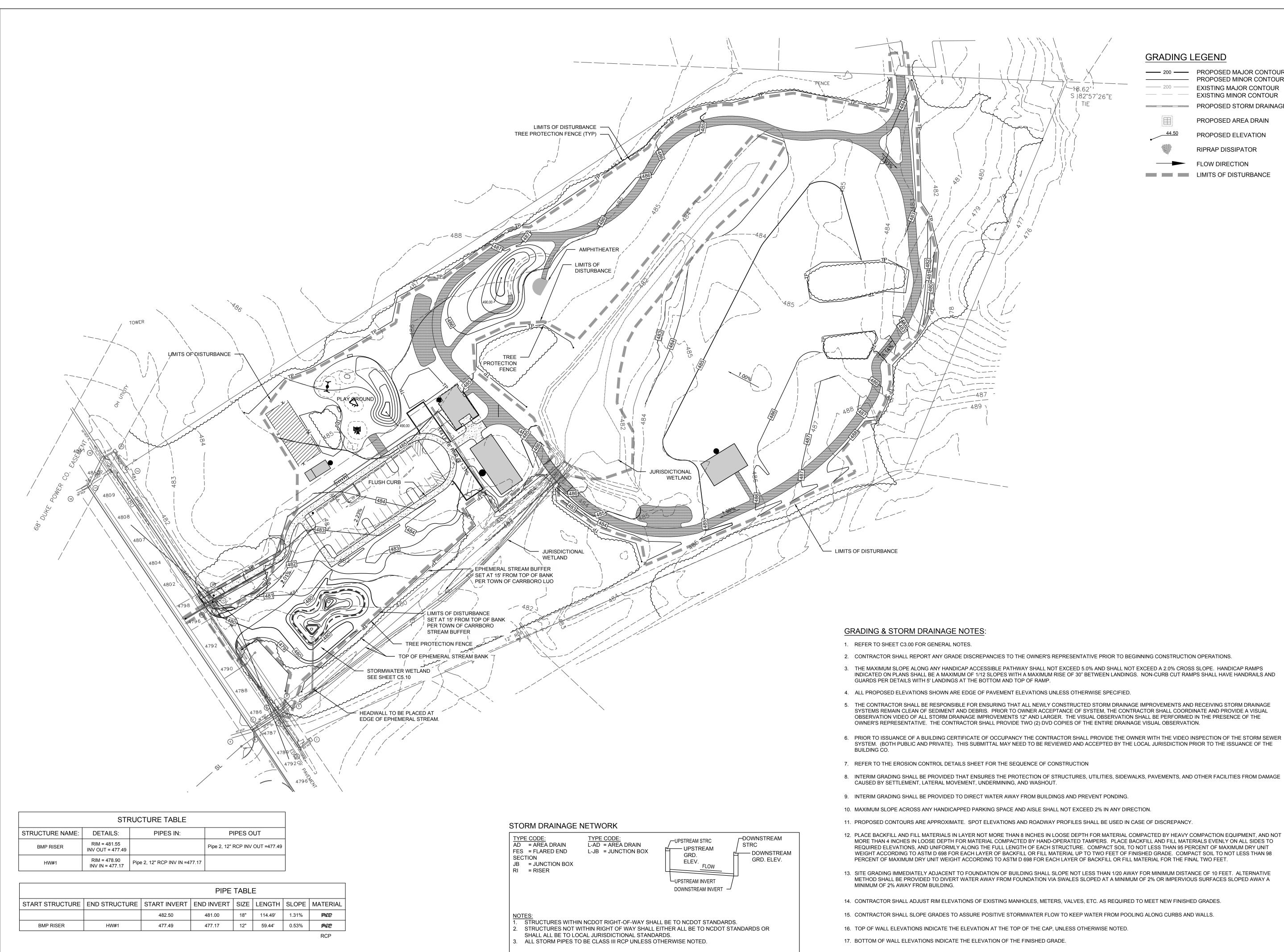
100 YR FLOOD ELEV.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA EROSION CONTROL SPECIFICATIONS

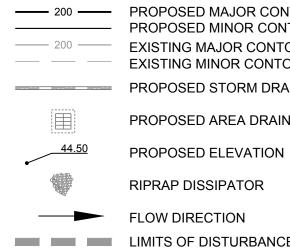
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TOTAL AREA OF DISTURBANCE
<u>6.03 AC</u>

A21 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 1919.380.8750
Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project:
MARTIN LUTHER KING, JR. PARK
Vicinity map:
SITE
RAINBOW DR CAROL ST
Seal: Seal:
Issued for: 95% CDs
No. Date Description
0 25 50 100 NORTH SCALE: 1"=50'
Title:
EROSION CONTROL PHASE 2
Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: CJJ C4.02 Approved by: JWP



GRADING LEGEND



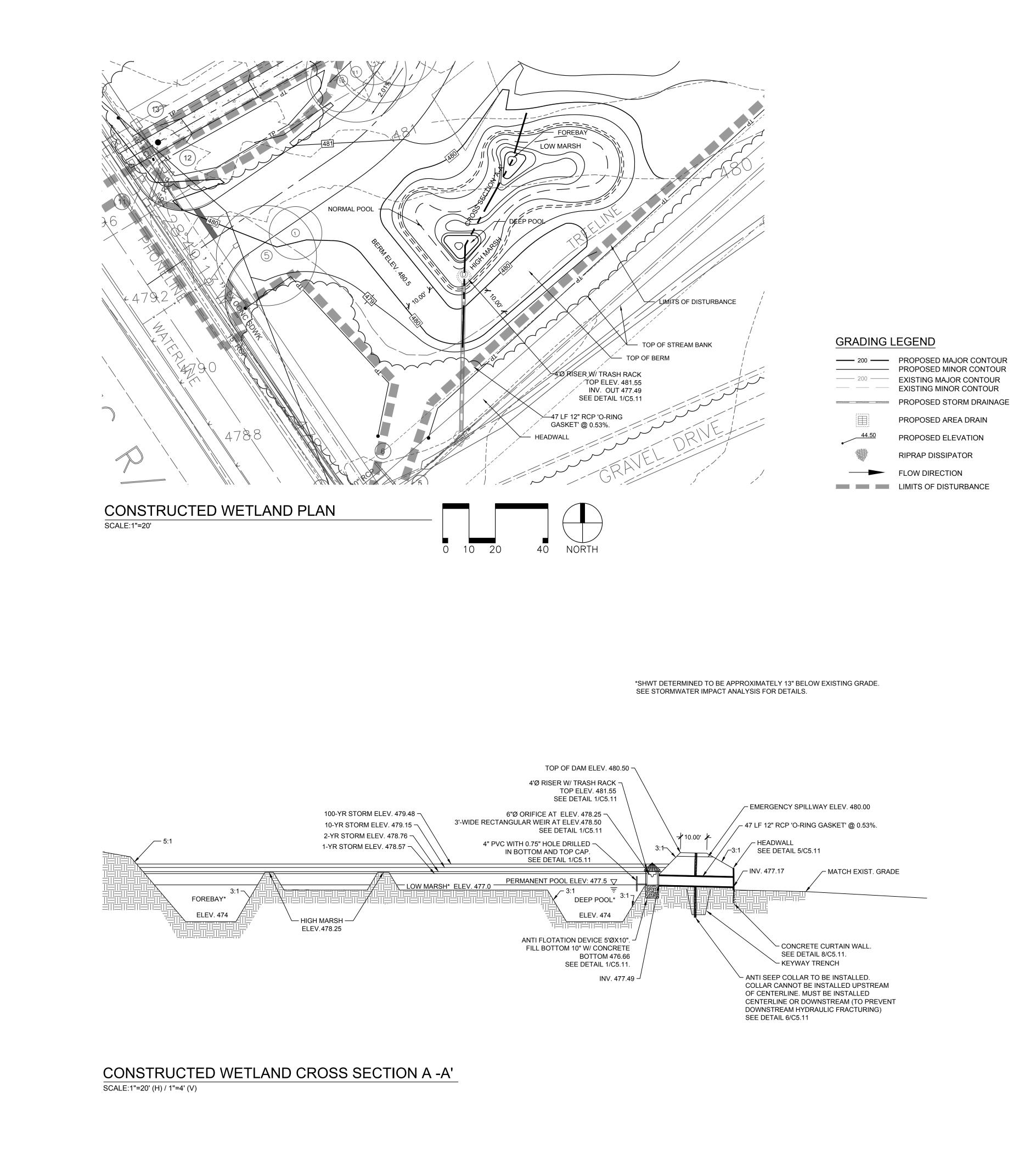
----- 200 ----- PROPOSED MAJOR CONTOUR ---- PROPOSED MINOR CONTOUR ----- 200 ----- EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR PROPOSED STORM DRAINAGE

PROPOSED AREA DRAIN

RIPRAP DISSIPATOR

- FLOW DIRECTION
- LIMITS OF DISTURBANCE

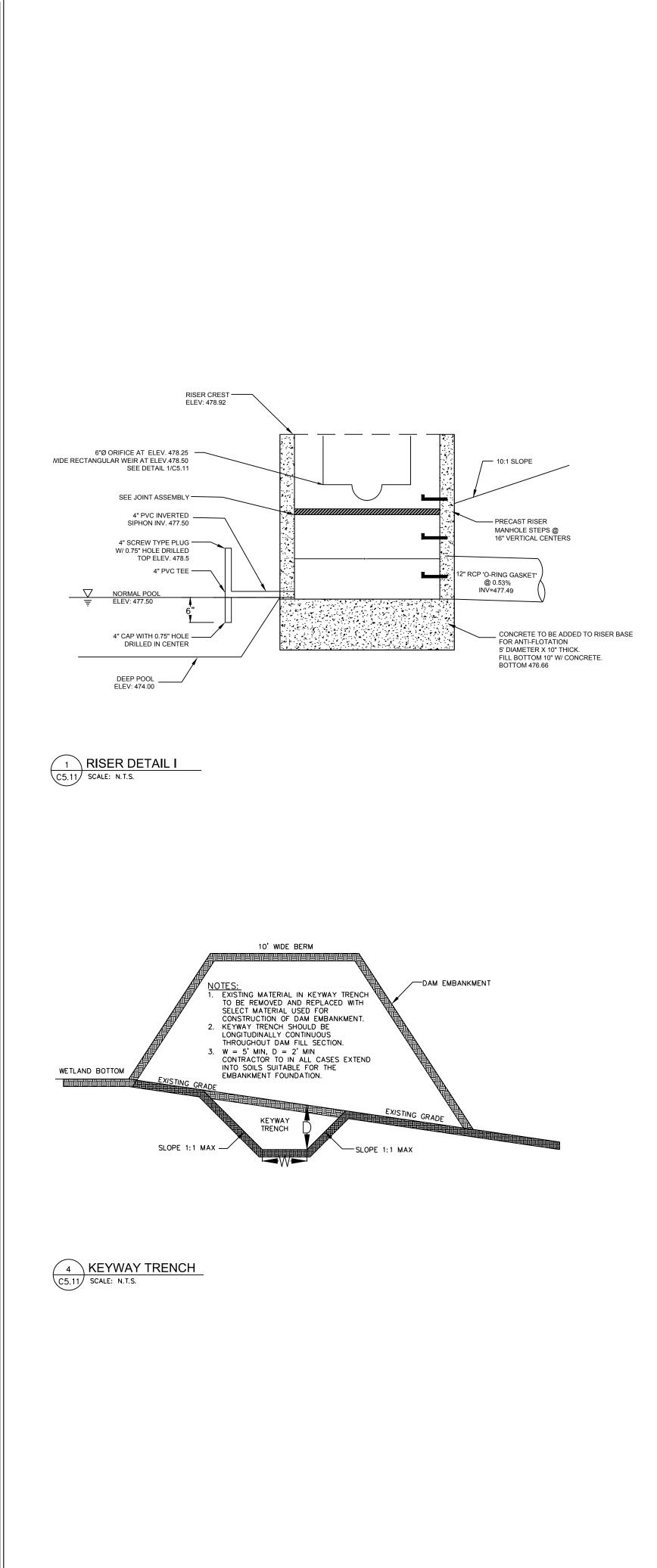
STEWART
421 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 T 919.380.8750 FIRM LICENSE #: C-1051 www.stewartinc.com PROJECT #: C16146
Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project:
MARTIN LUTHER KING, JR. PARK
Vicinity map:
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95% CDs
No. Date Description
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Title:
GRADING PLAN
Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: NBC C5.00 Approved by: JWP

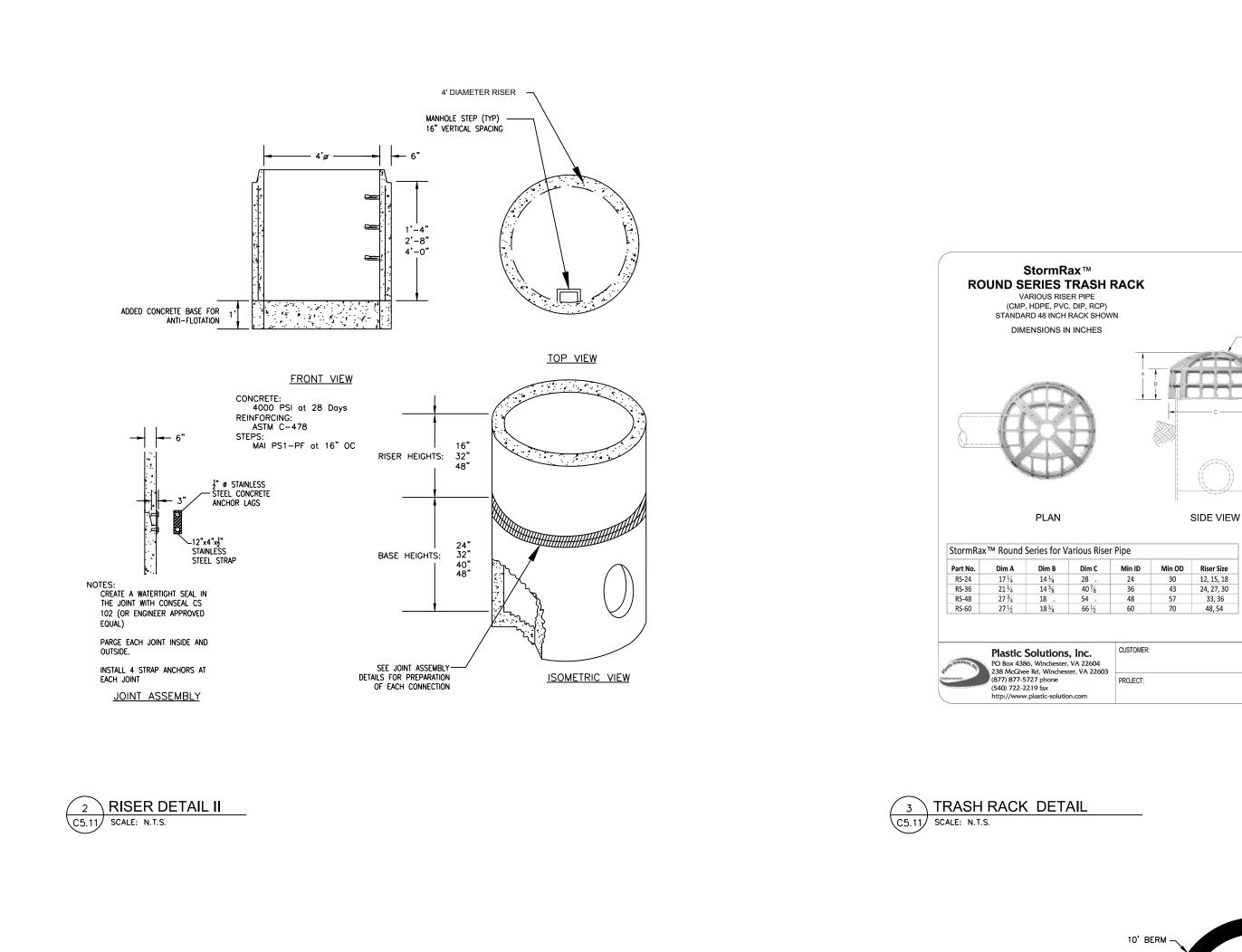


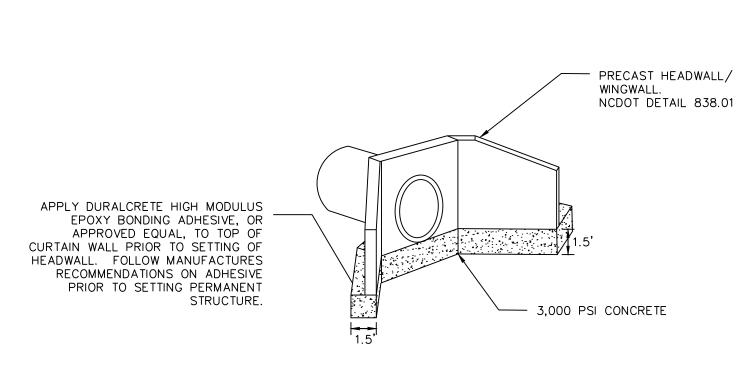
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	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR
	PROPOSED STORM DRAINAGE
	PROPOSED AREA DRAIN
<u>0</u>	PROPOSED ELEVATION
	RIPRAP DISSIPATOR
	FLOW DIRECTION

EXAMPLE 2015 Contract of the second s
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project: MARTIN LUTHER KING, JR. PARK
Vicinity map:
SITE SITE SITE CAROL ST CAROL ST
Seal: VOR OFESSION VIIII SEAL 033779 W. PUCKININ
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No. Date Description
0 25 50 100 NORTH SCALE: 1"=50'
Title: SCM PLAN
Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: NBC Approved by: JWP C5.10







5 CONCRETE HEADWALL AND CURTAIN WALL DETAIL C5.11 SCALE: N.T.S.

6 DIAPHRAGM DETAIL C5.11 SCALE: N.T.S.

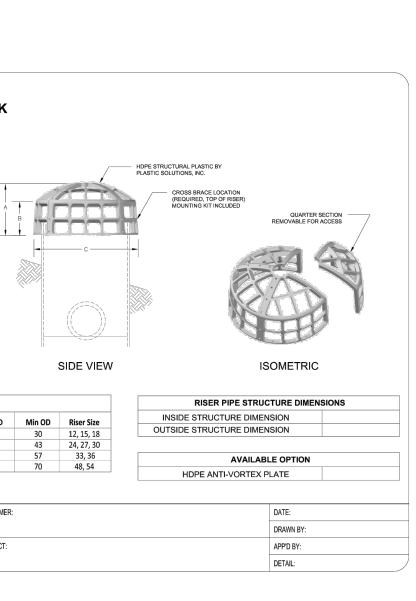
2" WASHED #8 OR — #89 CHOKING STONE

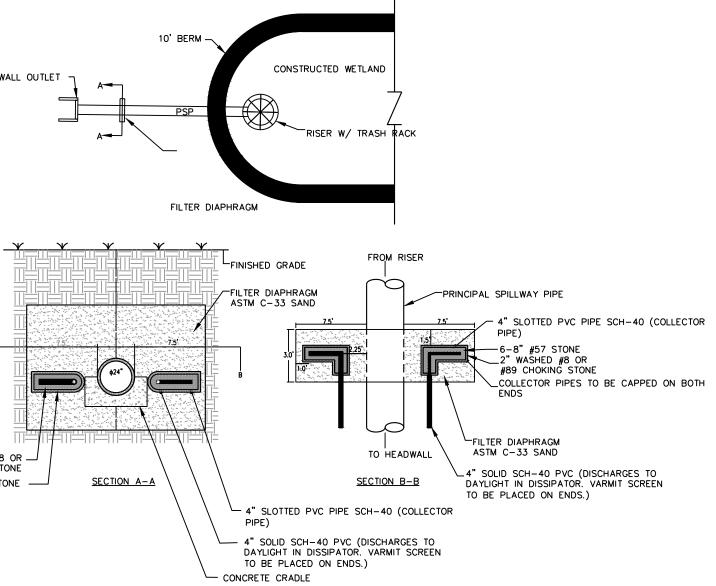
6-8" #57 STONE ____]

HEADWALL OUTLET -

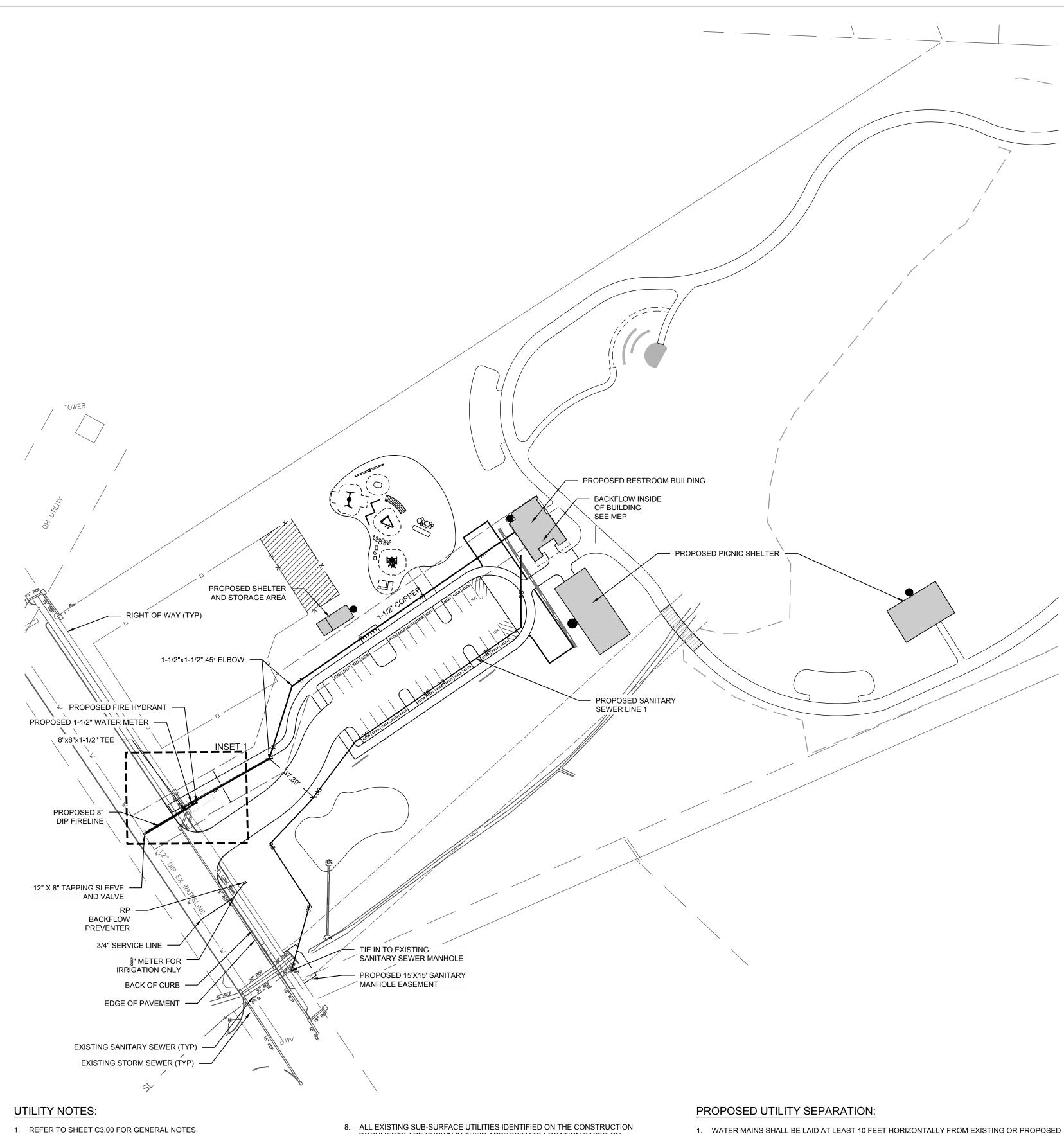
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SECTION A-A

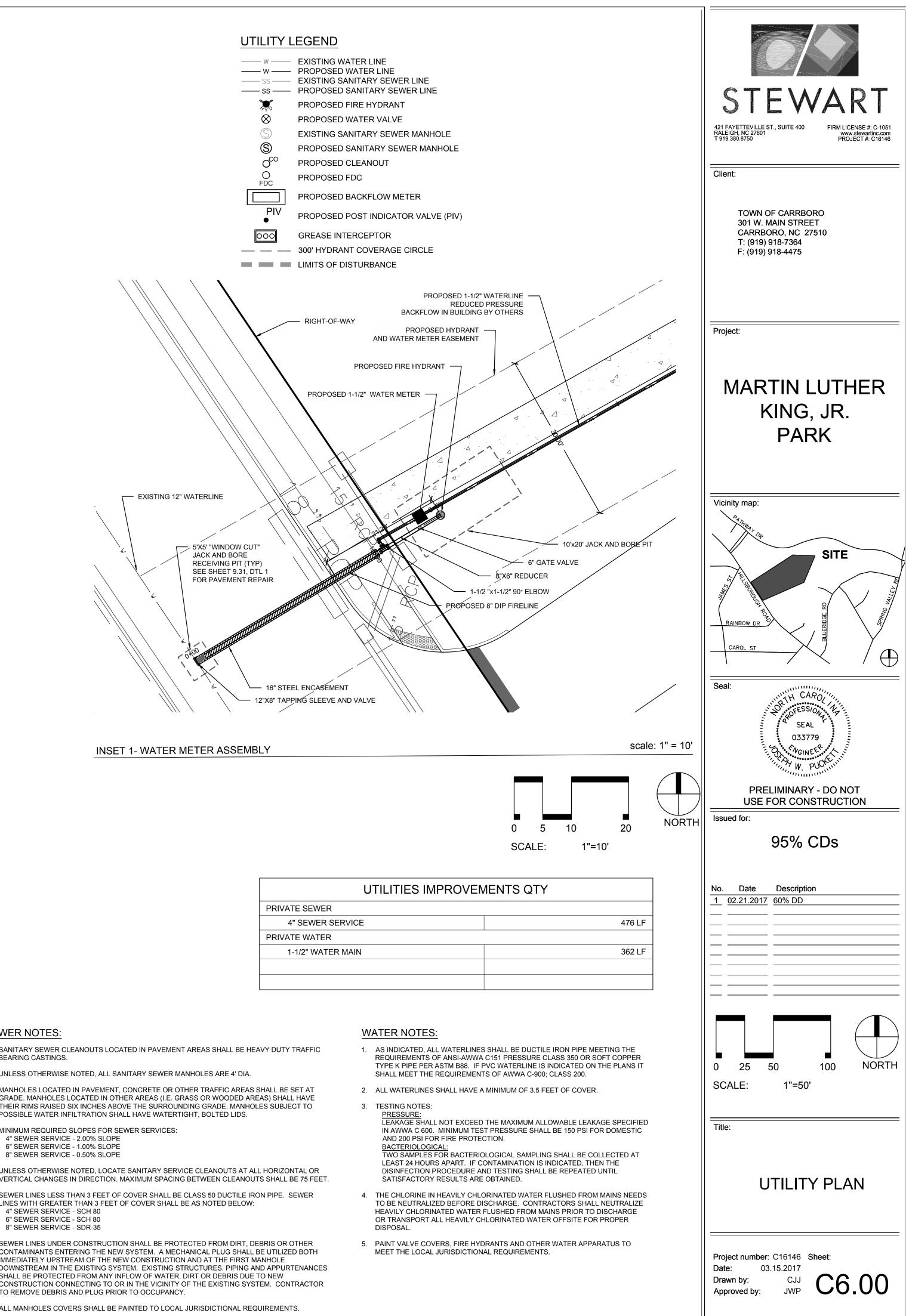




A21 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 FIRM LICENSE #: C-1051 www.stewartinc.com
T 919.380.8750 PROJECT #: C16146 Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project:
MARTIN LUTHER KING, JR. PARK
Vicinity map:
SITE SITE SITE CAROL ST
Seal: Seal: CARO SEAL O33779 SEAL O33779 PRELIMINARY - DO NOT USE FOR CONSTRUCTION Issued for: 95% CDS
No. Date Description
0 25 50 100 NORTH SCALE: 1"=50'
Title: SCM DETAILS
Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: NBC Approved by: JWP C5.11



- UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS. THE UTILITY CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION
- THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NCDOT PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL DURING ALL WORK INSIDE THE PUBLIC RIGHTS OF WAY.
- THE CONTRACTOR SHALL NOT RE-USE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY FIRE HYDRANT SHOWN TO BE REMOVED OR RELOCATED SHALL BE REPLACED WITH A NEW FIRE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.
- DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. DEPTHS OF EXISTING UTILITIES SHOWN IN PROFILE VIEWS ARE BASED ON STANDARD ASSUMPTIONS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUB-SURFACE CONDITIONS REFERENCED IN THESE PLANS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- 9. ELEVATIONS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE, WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF EXISTING UTILITY CROSSINGS, SUCH ELEVATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER, WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER.
- 10. UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PARKING AREA, DRIVES, CURB AND GUTTER OR CONCRETE WALKS / PADS. IF UTILITIES SHOWN ON THIS PLAN CANNOT BE INSTALLED PRIOR TO INSTALLATION OF IMPERVIOUS (ASPHALT / CONCRETE) CONDUIT SHALL BE INSTALLED FOR THE "FUTURE" UTILITY INSTALLATION.
- 11. AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO APPROVAL FROM LOCAL JURISDICTION OR ENGINEER THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT (CAD / PDF) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL UTILITY INSTALLATION. HORIZONTAL AND VERTICAL INFORMATION SHALL BE PROVIDED FOR WATER, SEWER, STORM INCLUDING ALL STRUCTURES, VALVES, HYDRANTS, AND OTHER APPURTENANCES.



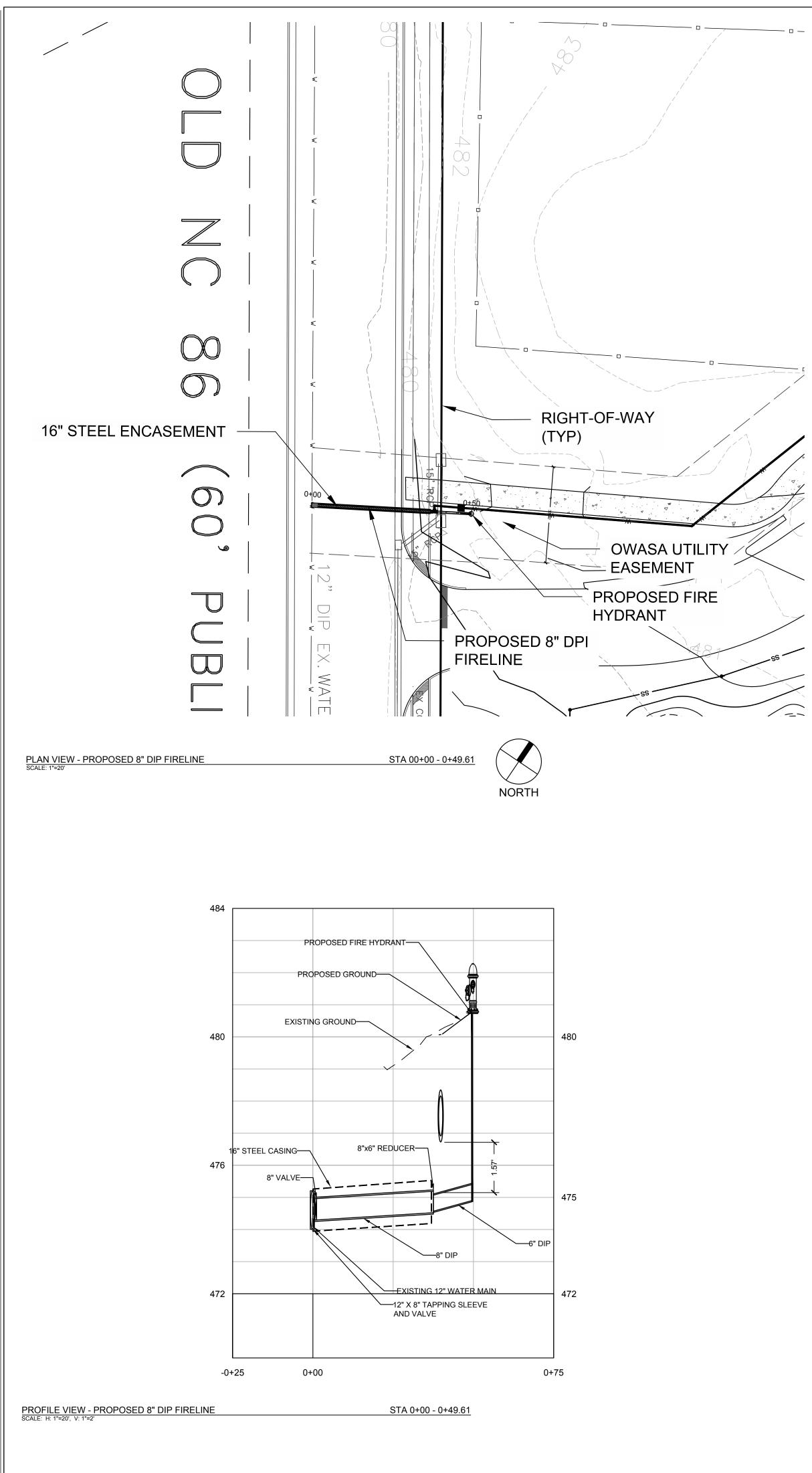
- 1. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION IN WHICH CASE;
- a. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER; OR b. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP TO THE SEWER.
- 2. CROSSING A WATER MAIN OVER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- 3. CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

SEPARATION OF SANITARY SEWERS AND STORM SEWERS:

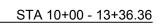
1. A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS.

SEWER NOTES:

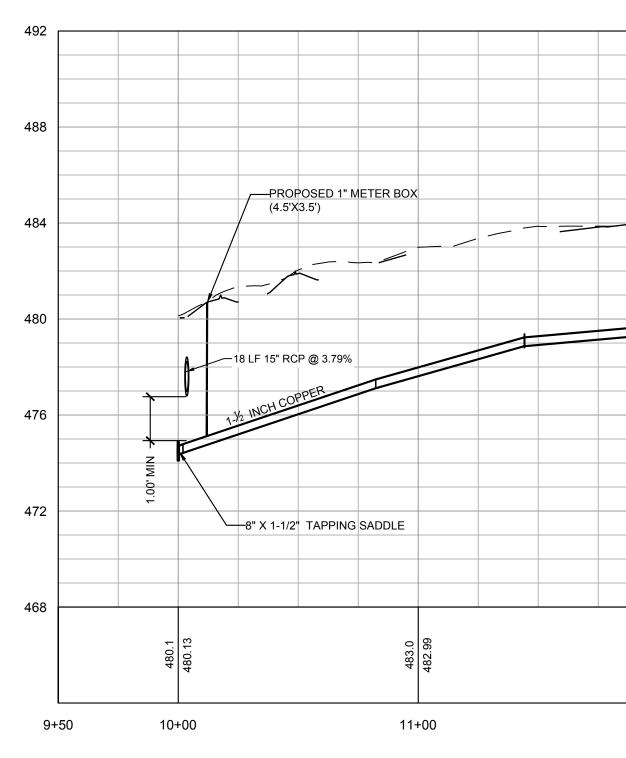
- 1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.
- 2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.
- 3. MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED SIX INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATERTIGHT, BOLTED LIDS.
- 4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES: 4" SEWER SERVICE - 2.00% SLOPE
- 6" SEWER SERVICE 1.00% SLOPE 8" SEWER SERVICE - 0.50% SLOPE
- 5. UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION. MAXIMUM SPACING BETWEEN CLEANOUTS SHALL BE 75 FEET.
- 6. SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW: 4" SEWER SERVICE - SCH 80 6" SEWER SERVICE - SCH 80
- 7. SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL PLUG SHALL BE UTILIZED BOTH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE DOWNSTREAM IN THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED FROM ANY INFLOW OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO OCCUPANCY.
- 8. ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.

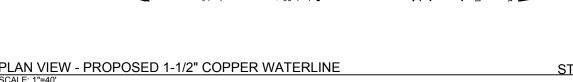


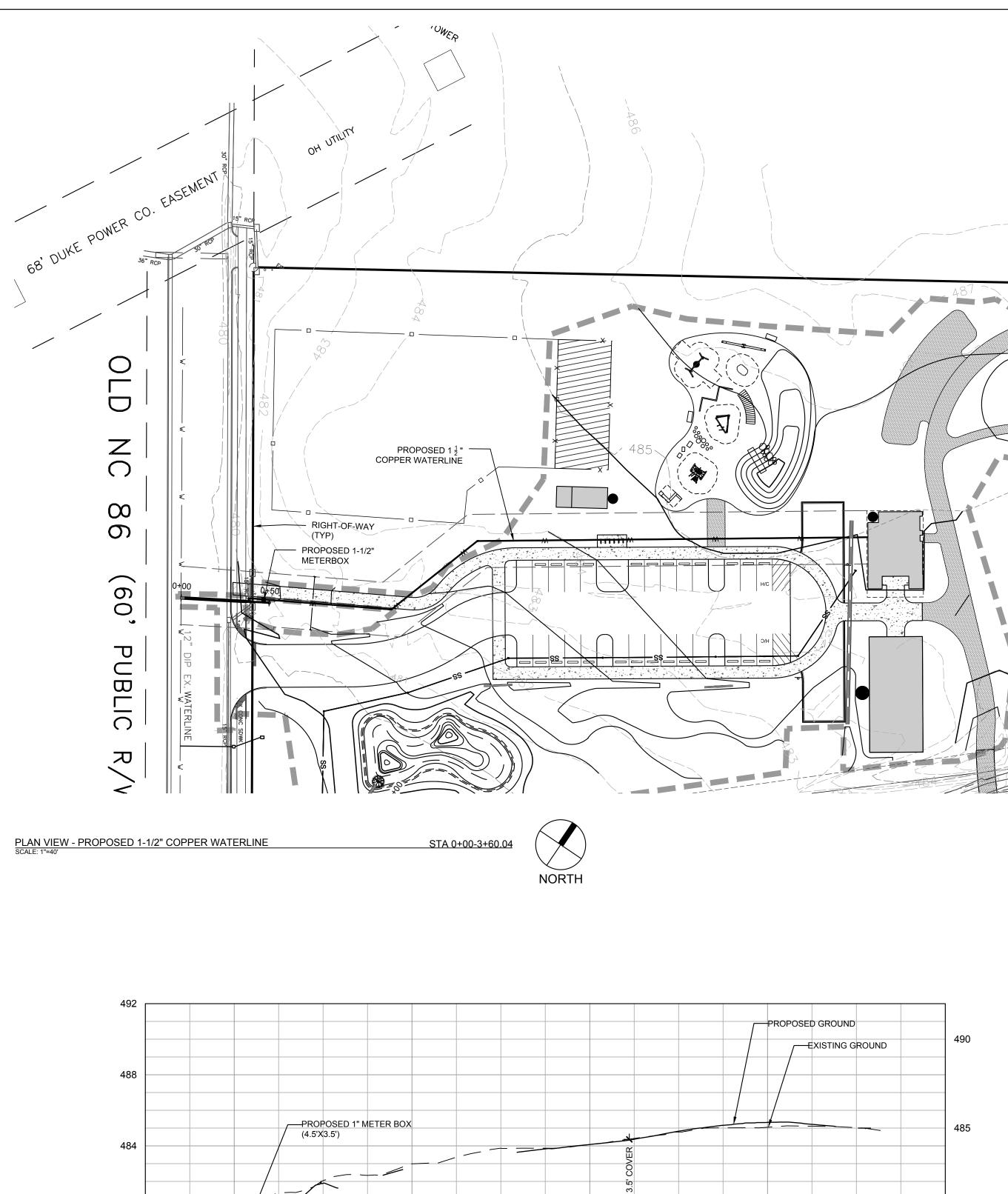
PROFILE VIEW - PROPOSED 1 1/2" COPPER WATERLINE SCALE: H: 1"=40', V: 1"=4'

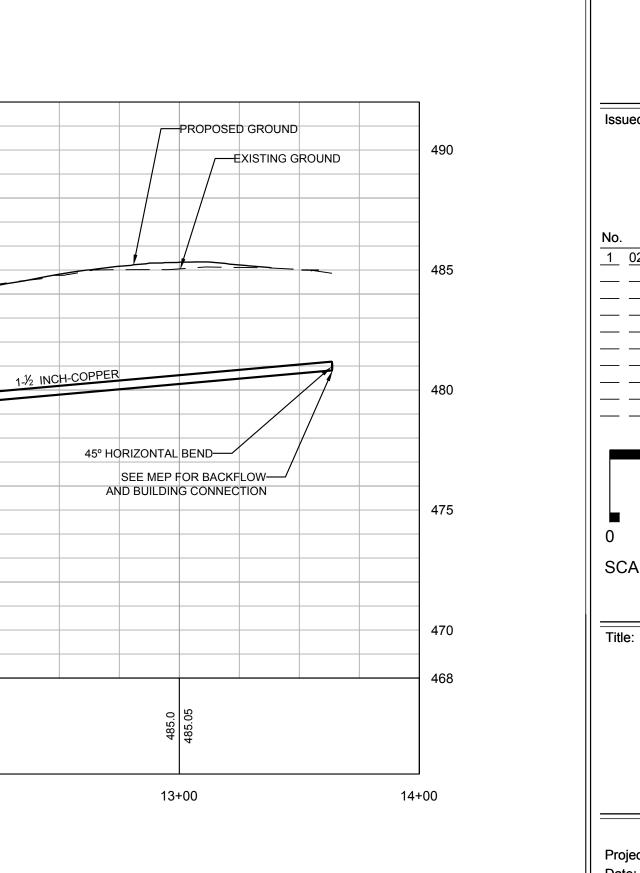


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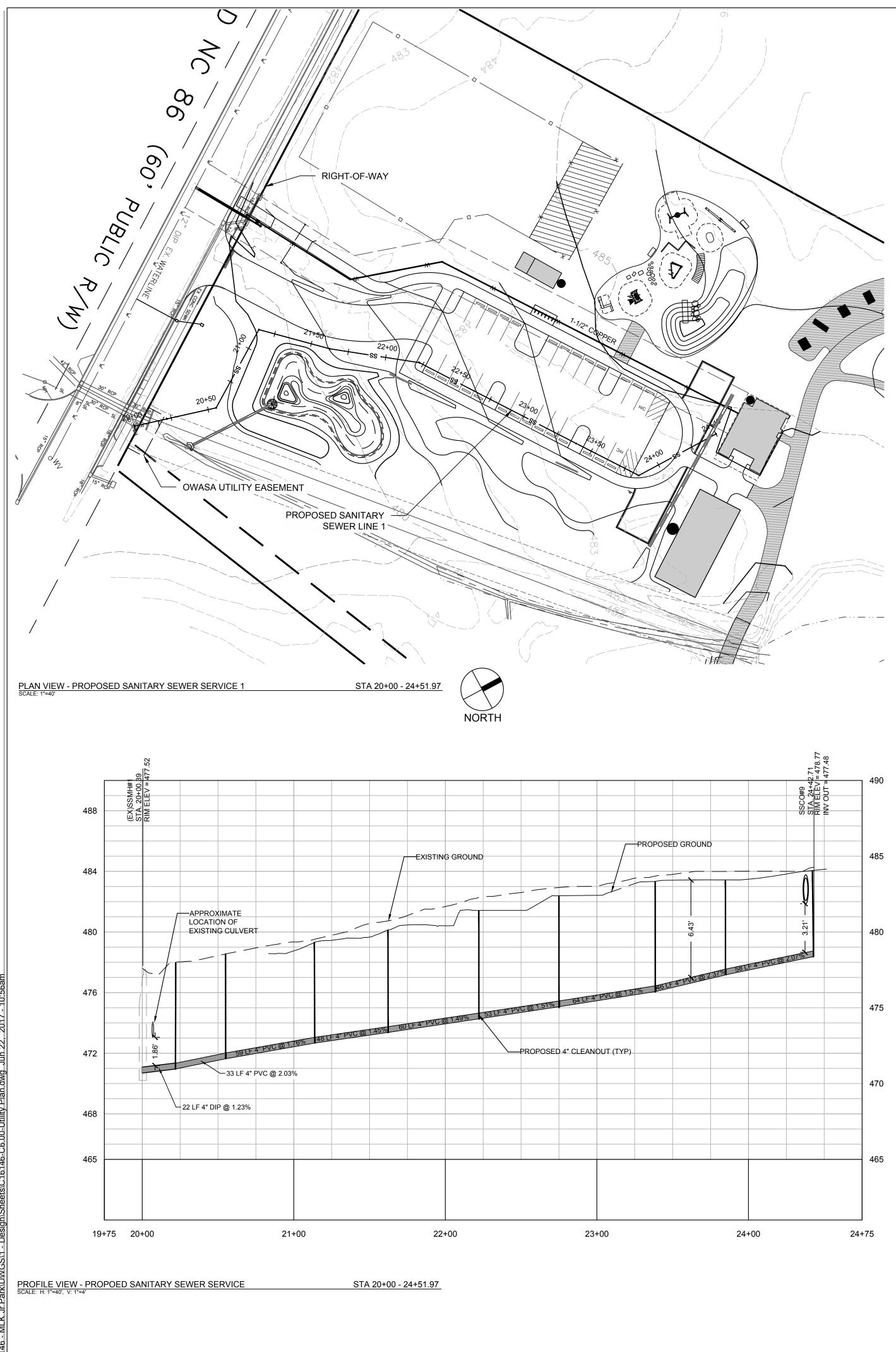




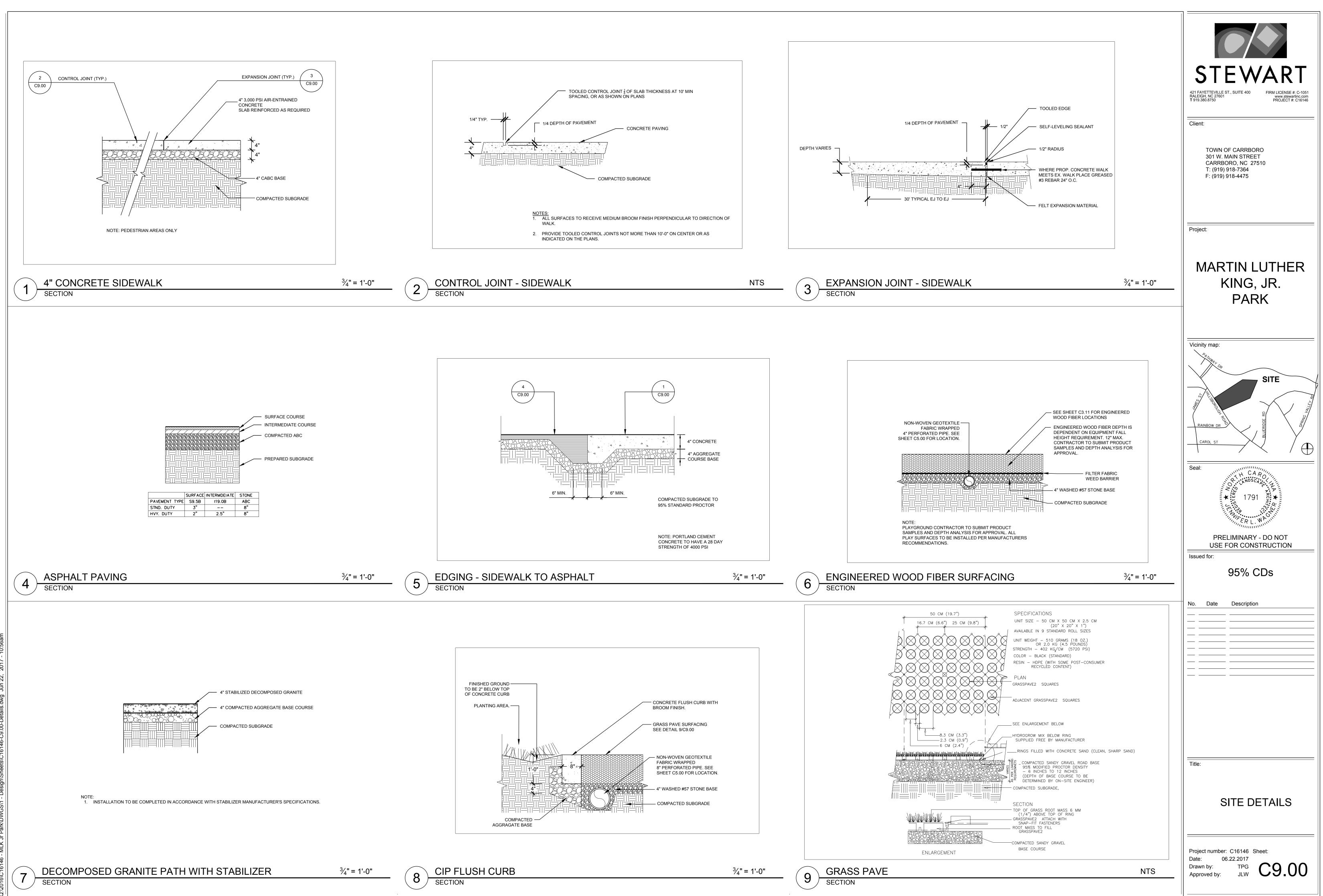


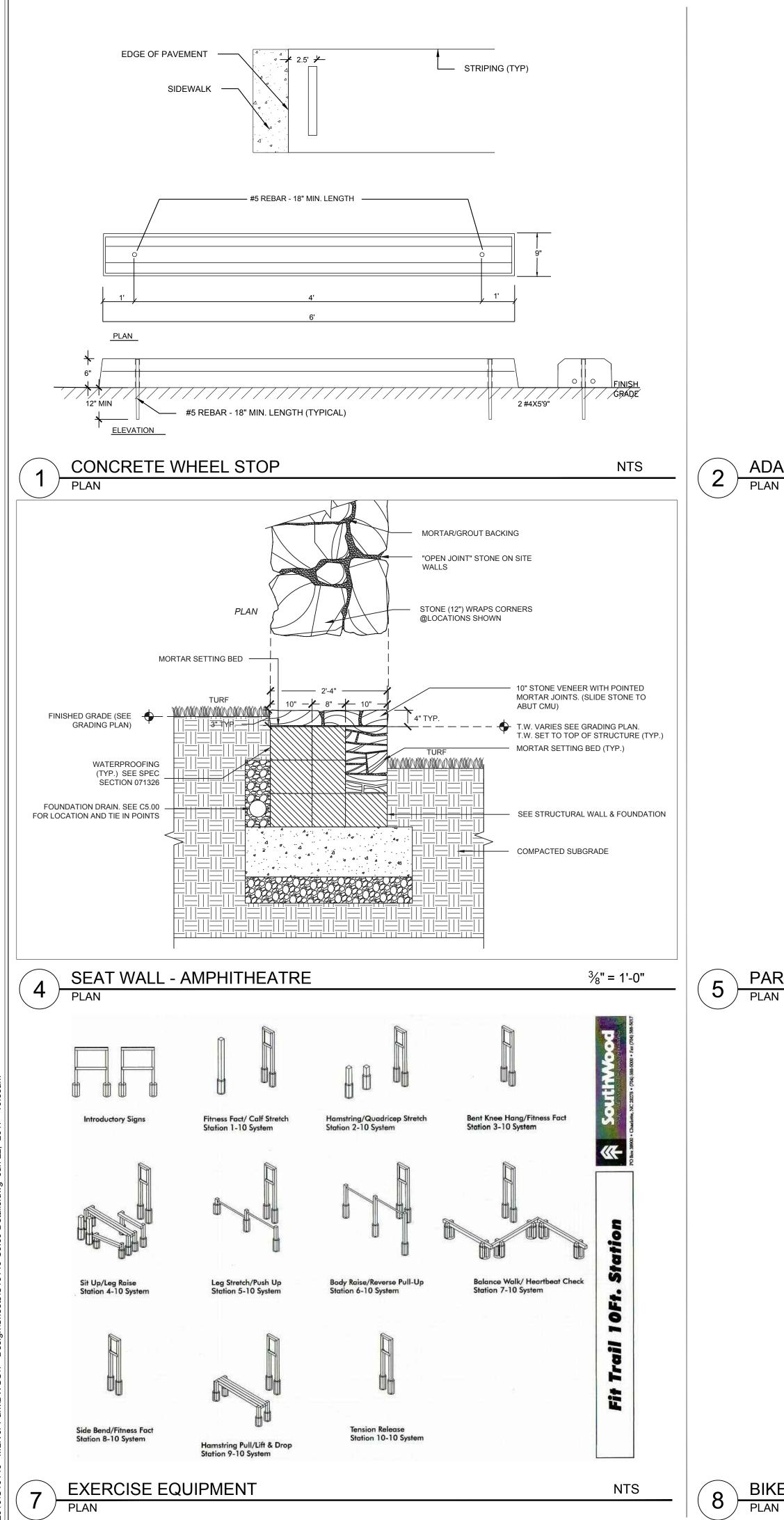


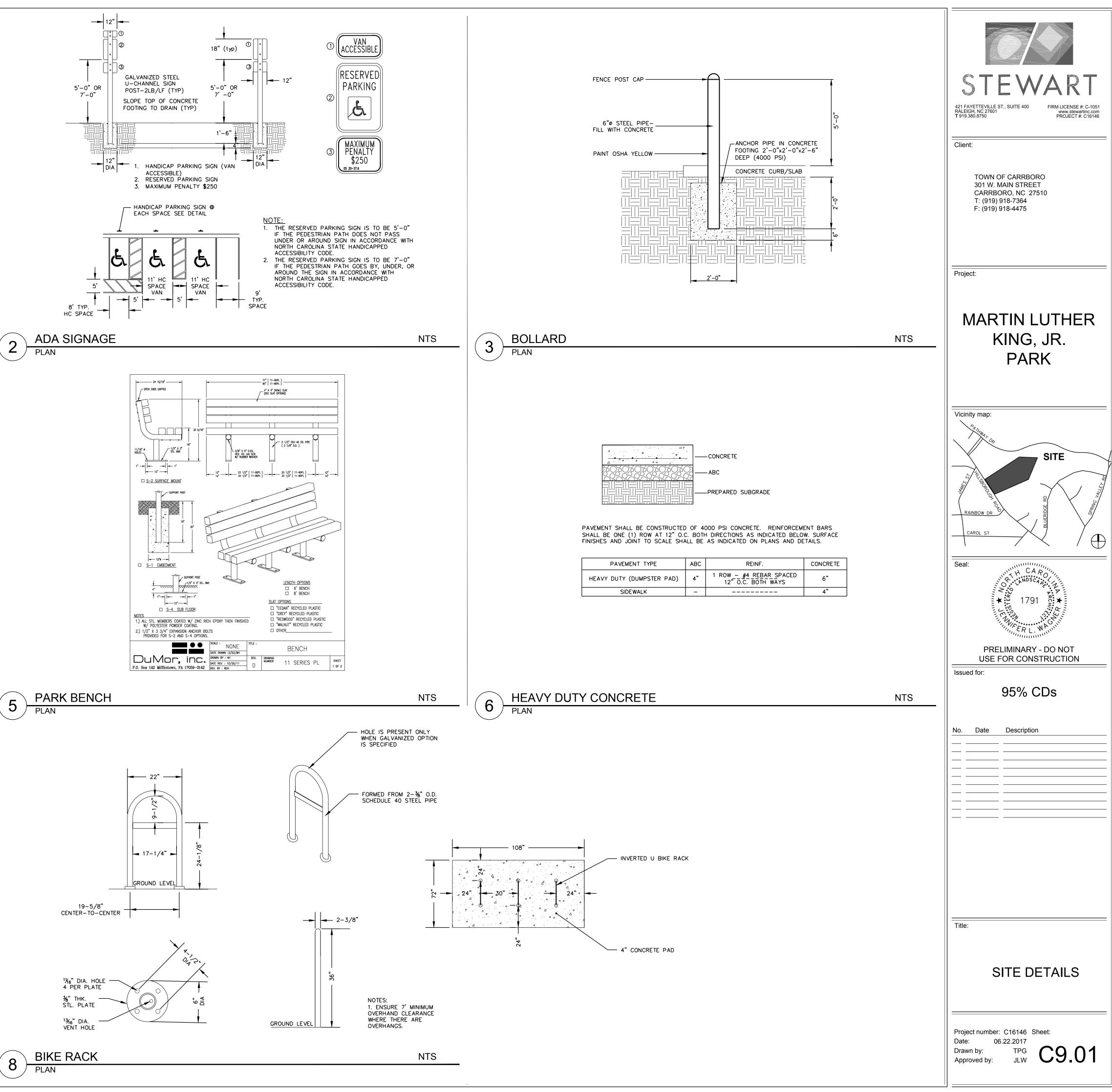
]
Alternative Alternative
Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project:
MARTIN LUTHER KING, JR. PARK
Visipitymon
Vicinity map:
SITE
Los Da Marine Carlon Ca
RAINBOW DR
Seal:
SEAL
SEAL 033779
W. PUCKIN
PRELIMINARY - DO NOT USE FOR CONSTRUCTION
Issued for:
95% CDs
No. Date Description 1 02.21.2017 60% DD
— —
0 20 40 80 NORTH
0 20 40 80 NORTH SCALE: 1"=40'
Title:
UTILITY PROFILES
Project number: C16146 Sheet: Date: 03.15.2017
Drawn by: CJJ CJJ Approved by: JWP C6.10



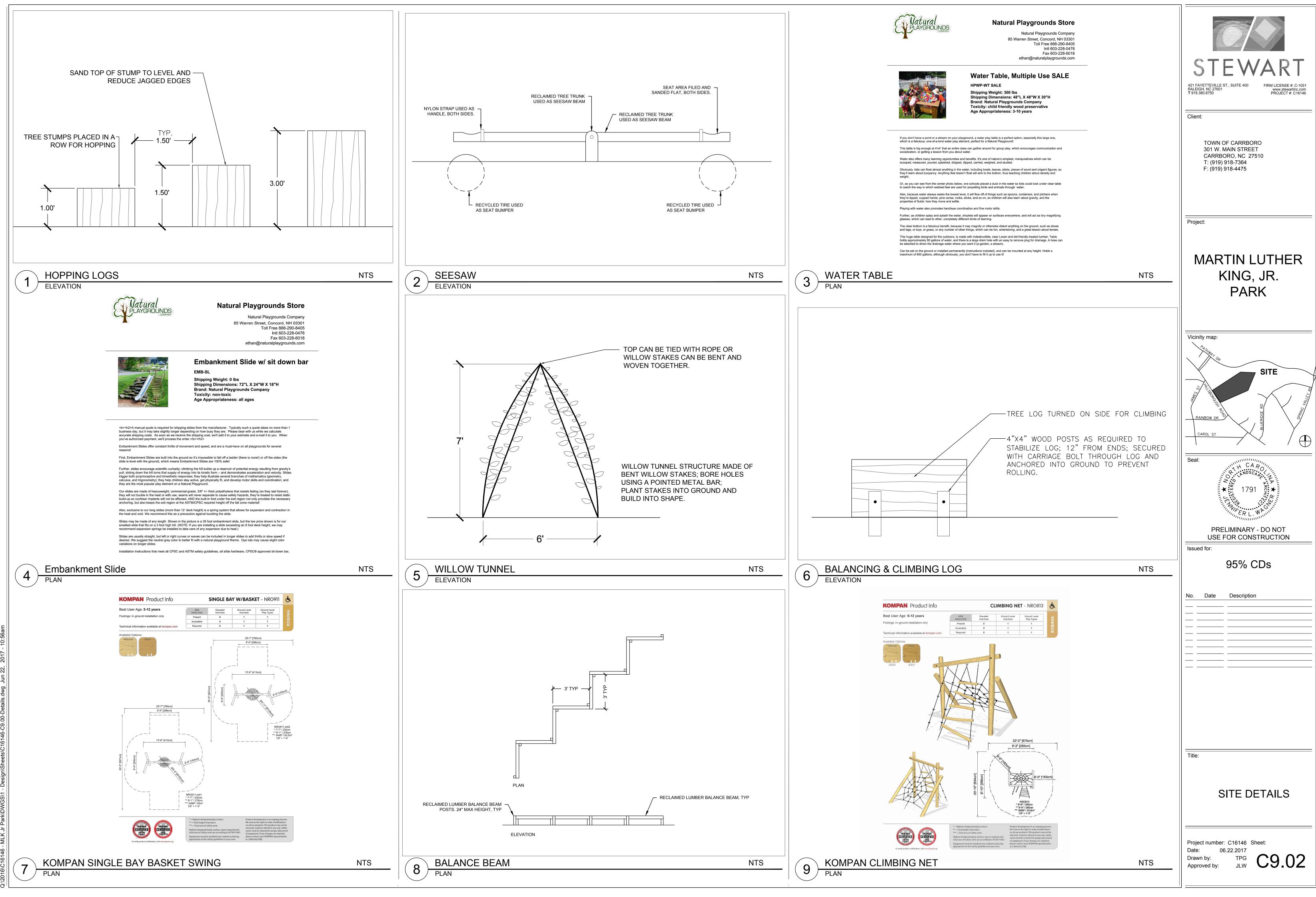
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TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project: MARTIN LUTHER KING, JR. PARK
Vicinity map:
Seal: CARO SEAL O33779 PRELIMINARY - DO NOT USE FOR CONSTRUCTION Issued for: 95% CDS
No. Date Description 1 02.21.2017 60% DD
0 20 40 80 NORTH SCALE: 1"=40' Title: UTILITY PROFILES
Project number: C16146 Sheet: Date: 03.15.2017 Drawn by: CJJ C6.11 Approved by: JWP

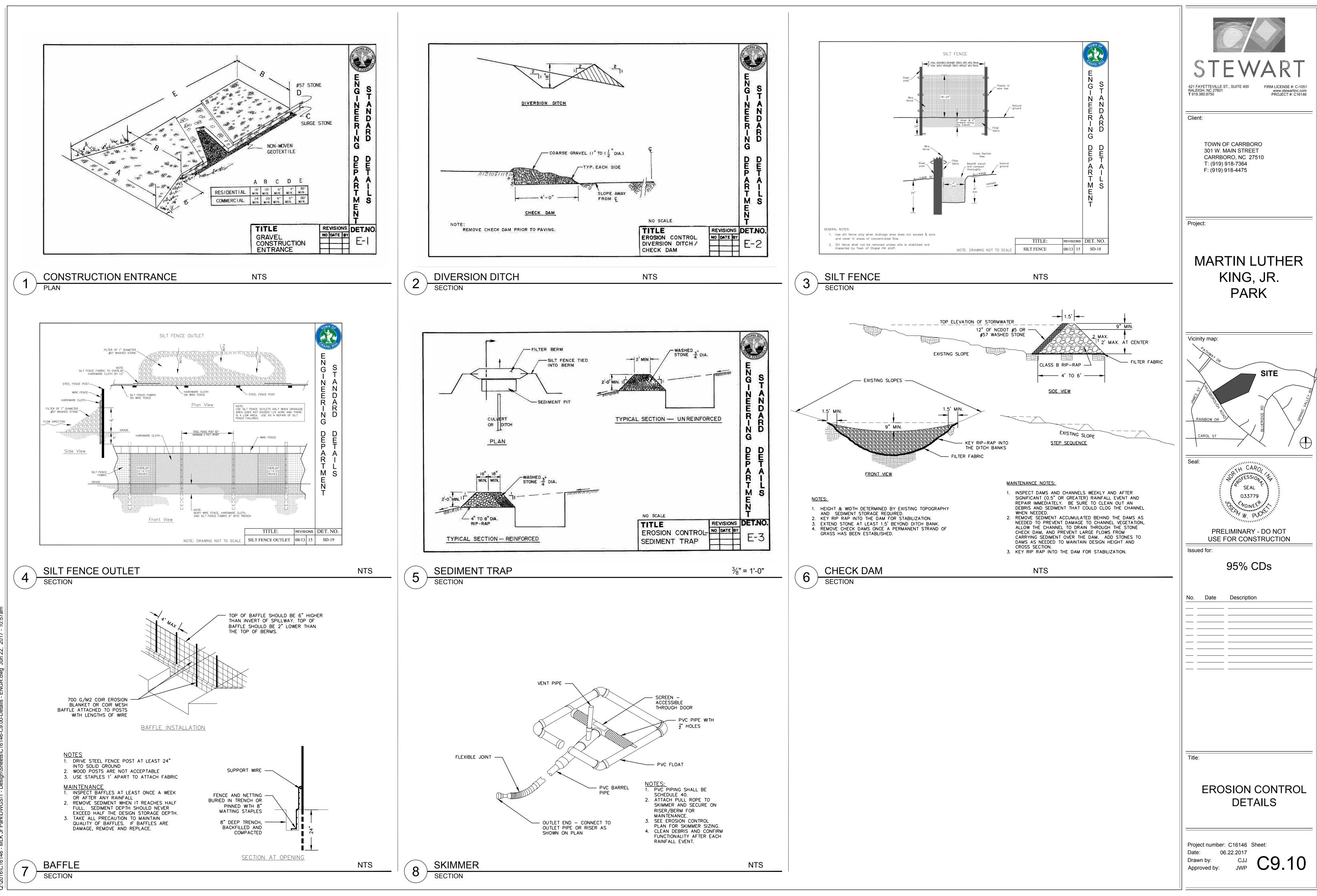


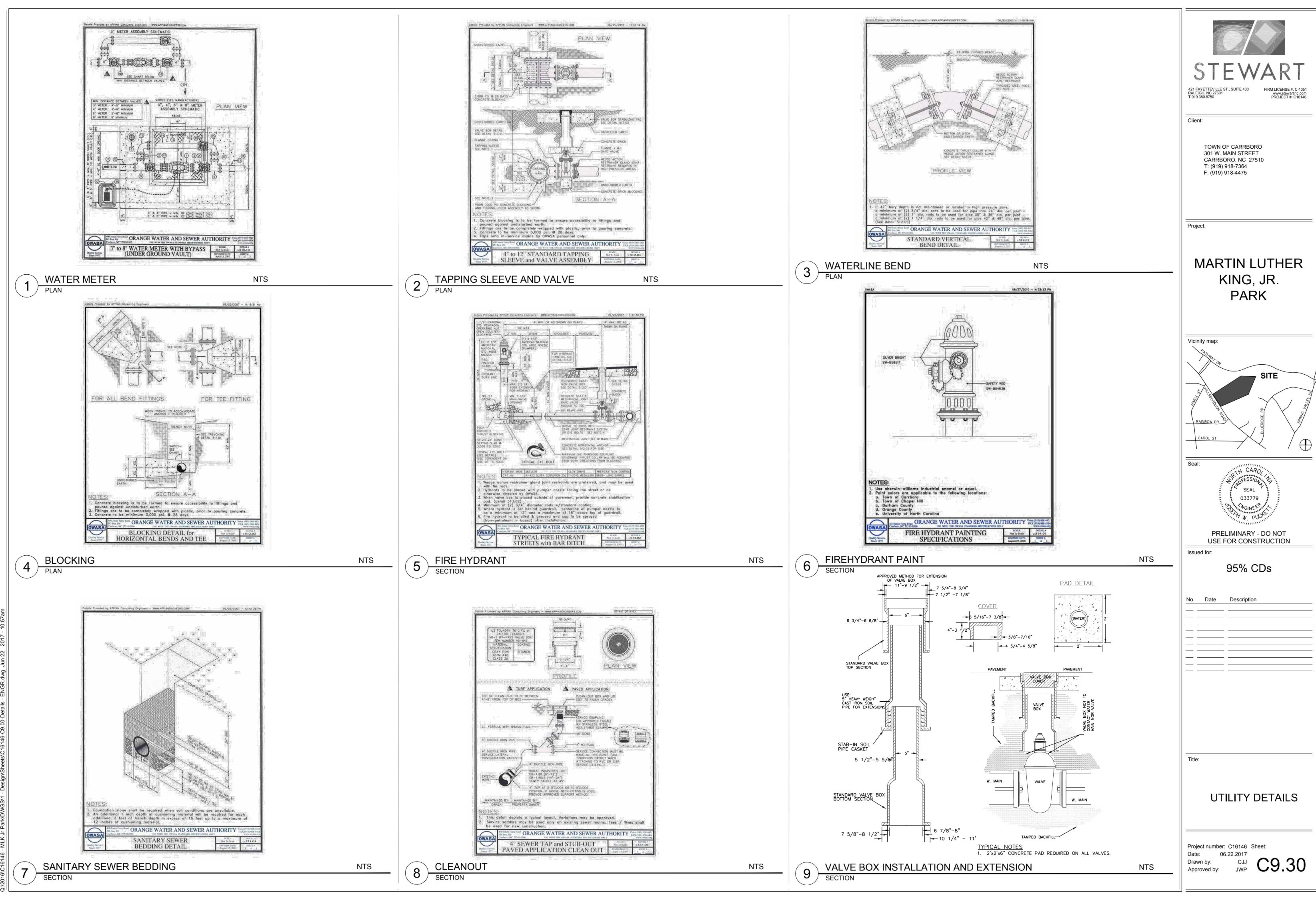


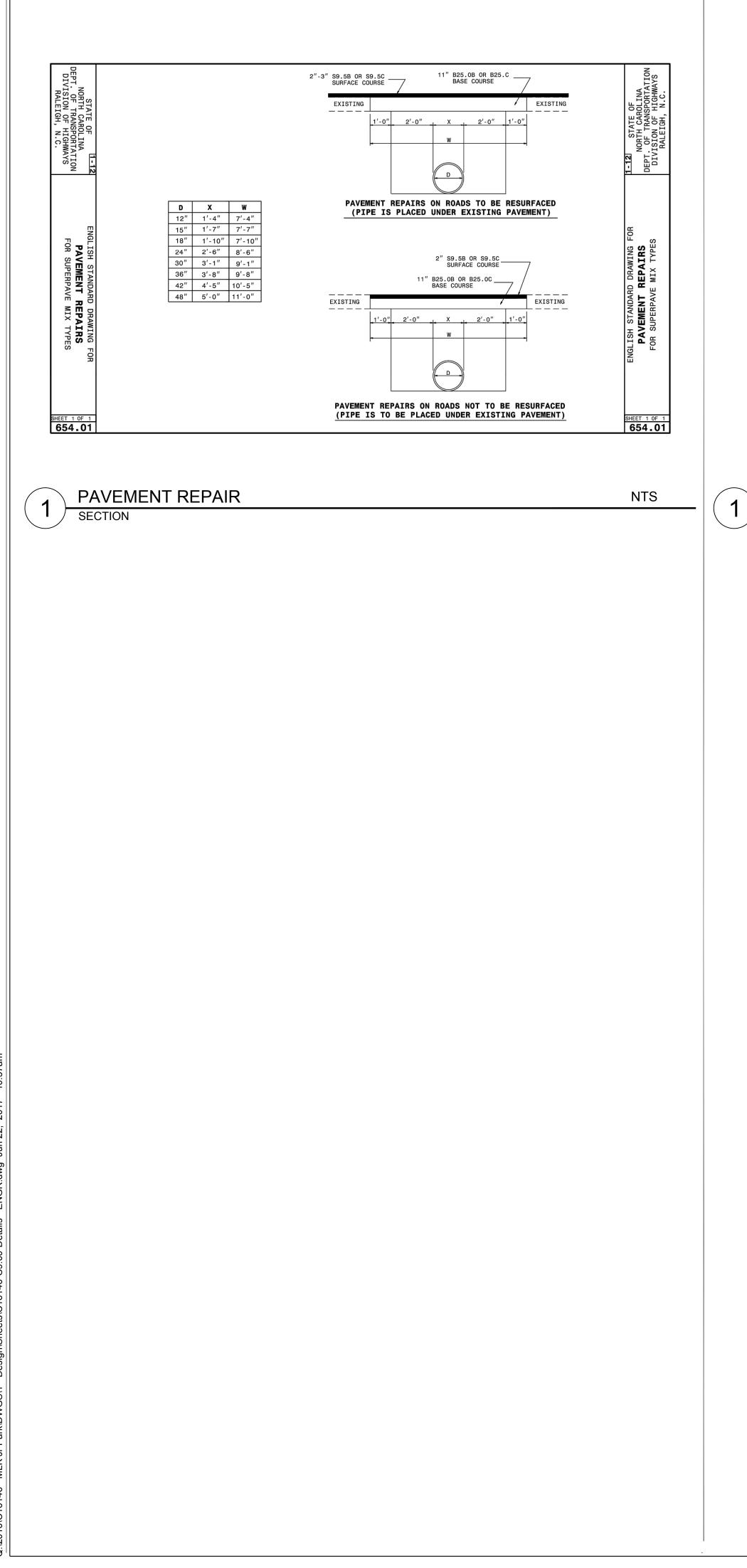


PLAN

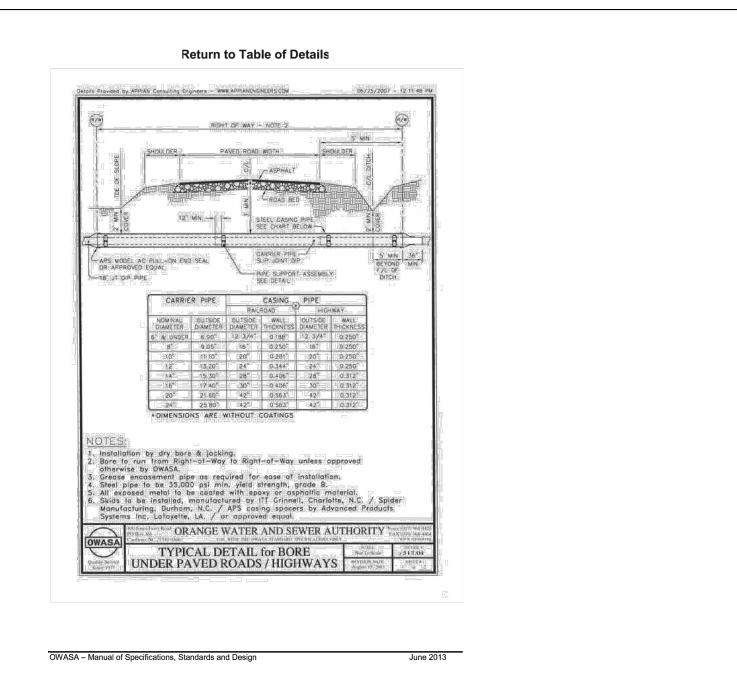








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ENCASEMENT FOR JACK AND BORE

SECTION

NTS

A21 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 1919.380.8750 RALEIGH INC 27601 Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project: MARTIN LUTHER KING, JR. PARK
Vicinity map:
Seal: Seal: CARO SEAL SEAL 033779 PRELIMINARY - DO NOT USE FOR CONSTRUCTION Issued for: 95% CDS
No. Date Description
Title: UTILITY DETAILS
Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: CJJ C9.31 Approved by: JWP

ES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	CACA	3	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	B&B	3"CAL		
	CISG	1	CARYA ILLINOINENSIS 'STARKING SOUTHERN GIANT'	SOUTHERN GIANT PECAN	B&B	4"CAL		
\bigcirc	COFL	26	CORNUS FLORIDA	FLOWERING DOGWOOD	B & B	2"CAL	8`	
	LITU	7	LIRIODENDRON TULIPIFERA	TULIP TREE	B&B	3"CAL		
	OXAR	5	OXYDENDRUM ARBOREUM	SOURWOOD TREE	B & B	3"CAL		
	PIPA	31	PINUS PALUSTRIS	LONGLEAF PINE	B & B	3"CAL		
+	QUCO	14	QUERCUS COCCINEA	SCARLET OAK	B&B	3.5"CAL		
	QULA	8	QUERCUS LAURIFOLIA	LAUREL-LEAVED OAK	B & B	3.5"CAL		
•	QUPH	5	QUERCUS PHELLOS	WILLOW OAK	B & B	3.5"CAL		
•	TIAM	4	TILIA AMERICANA	AMERICAN LINDEN	B & B	3"CAL		
<u> </u>	CODE	ΟΤΥ	BOTANICAL NAME	COMMON NAME	CONT.	НСТ		REMARKS
	AMAR		AMELANCHIER ARBOREUM	SERVICEBERRY	5 GAL			
\bigtriangleup	ASTR	6	ASIMINA TRILOBA	PAWPAW	5 GAL			
\overline{ullet}	COCG	5	COTINUS COGGYGRIA 'GRACE'	GRACE SMOKE TREE	5 GAL			
\checkmark		11	ILEX VERTICILLATA	WINTERBERRY	3 GAL			
		QTY 2,326 SF	BOTANICAL NAME FESCUE SEED	COMMON NAME FESCUE GRASS	CONT SEED	SF 3LBS/1000SF		REMARKS
× × \ \ \ \ \ \ \ \ \ \ \ \ \ \		4,676 SF	PERENNIAL SEED MIX	PRAIRIE MOON NURSERY INSECTOPIA SEED MIX		25LBS/AC		SEE GENERAL LANDSCAPING NOTE 19
+ + + + + + + + + + + + + + + + + + +			POLLINATOR SEED MIX	MELLOW MARSH FARM "POLLINATOR MIX"		14 LB / AC		SEE GENERAL LANDSCAPING NOTE 20
	WLSM	16,088 SF	WETLAND SEED MIX	MELLOW MARSH FARM WETLAND SEED MIX	SEED	25LBS/AC		SEE GENERAL LANDSCAPING NOTE 21

MAINTAIN WOODLANDS

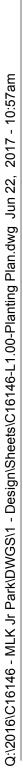
3,389 sf POSM

ろ

PESM 2,191 s

PESM|1,573

QUCO



TOWER



LANDSCAPING NOTES:

- 1. VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- 2. LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
- 3. THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE LANDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- 4. LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.
- 5. ALL TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- 6. TREE PROTECTION NOTE: TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ÁRBOLES."
- PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
- ROOT ZONE PROTECTION AREA: VARIES BASED ON LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
- SEED BED PREPARATION: ALL AREAS TO BE SEEDED ARE TO BE RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. ALL DEBRIS, ROCKS, ETC. LARGER THAN .5" ARE TO BE REMOVED. ALL LARGE CONCENTRATIONS OF GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.
- 10. ALL PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.
- 11. SOIL SHOULD BE TESTED AND AMENDED WITH LIME AND FERTILIZER FOR HARDWOOD TREES ACCORDING TO NCDA PROCEDURES. SCARIFY PLANT PIT WALLS. CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE COMPLIANCE.
- 12. SHREDDED HARDWOOD MULCH 3" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE AT CROWN SHOULD BE REVEALED. BACKFILL CONSISTS OF THOROUGHLY BROKEN UP NATIVE SOIL. TOTAL VOLUME OF BACKFILL SHOULD BE AMENDED WITH UP TO ONE THIRD PINE BARK MULCH. PIECES SHOULD BE NO LARGER THAN WHAT PASSES THROUGH A ONE INCH SCREEN. IF ADDITIONAL SOIL IS REQUIRED FOR BACKFILL DUE TO DETRIMENTAL SUBSOIL DRAINAGE CONDITIONS, USE SOIL SIMILAR TO EXISTING NATIVE SOIL. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SAUCER HEIGHT IS 6 INCHES.
- 13. TOP OF ROOTBALL TO BE RAISED 2-3 INCHES ABOVE EXISTING GRADE.
- 14. FOR B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TURNED DOWN BY 1/3 TOTAL HEIGHT OF ROOT BALL. PLASTIC FIBER BURLAP AND WIRE BASKETS SHOULD BE REMOVED TO 2/3'S OF TOTAL HEIGHT OF ROOT BALL.
- 15. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE WARRANTY PERIOD. IF STABILIZATION IS NECESSARY SEE STAKING IN TREE DETAIL, ORANGE FLAGGING TAPE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHOULD BE REMOVED BY CONTRACTOR AT END OF ONE YEAR WARRANTY PERIOD OR AS DIRECTED BY GROUNDS MANAGEMENT.
- 16. USE STANDARD "GATOR" BAGS FOR WATERING TREES IN AREAS NOT UNDER IRRIGATION. INCORPORATE TERRA-SORB (OR EQUAL) AS PER MANUFACTURERS RECOMMENDATIONS, FOR AREAS NOT UNDER IRRIGATION.
- 17. USE "BIO-BARRIER" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES THAT WILL BE PLANTED WITHIN 10' OF PAVEMENT
- 18. LANDSCAPING/C.O. STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

19. PERENNIAL SEED MIX CONTAINS THE FOLLOWING SPECIES: ACHILLEA MILLEFOLIUM, AGASTACHE FOENICULUM, ALLIUM STELLATUM, APOCYNUM CANNABINUM, ASCLEPIAS INCARNATA, ASCLEPIAS SYRIACA, ASCLEPIAS TUBEROSA, ASCLEPIAS VERTICILLATA, ASTER ERICOIDES, ASTER LAEVIS, CHAMAECRISTA FASCICULATA, COREOPSIS LANCELEOLATA, COREOPSIS PALMATA, DALEA CANDIDA, DALEA PURPUREA, ERYNGIUM YUCCIFOLIUM, HELIANTHUS PAUCIFLORUS, HELIOPSIS HELIANTHOIDES, LIASTRIS LIGULISTYLIS, MONARDA FISTULOSA, MONARDA PUNCTATA, PARTHENIUM INTEGRIFOLIUM, POTENTILLA ARGUTA, PYCNANTHEMUM VIRGINIANUM, RATIBIDA PINNATA, RUDEBECKIA HIRTA, SCROPHULARIA MARILANDICA, SOLIDAGO GRAMINIFOLIA, SOLIDAGO SPECIOSA, TRADESCANTIA OHIENSIS, VERBENA STRICTA, VERONICASTRUM VIRGINICUM, ZIZIA APTERA, ZIZIA AUREA, CEANOTHUS AMERICANUS, BOUTELOUA CURTIPENDULA, ELYMUS CANADENSIS, KOELERIA MACRANTHA, SCHYZACHYRIUM SCOPARIUM, SPOROBOLUS HETEROLEPIS.

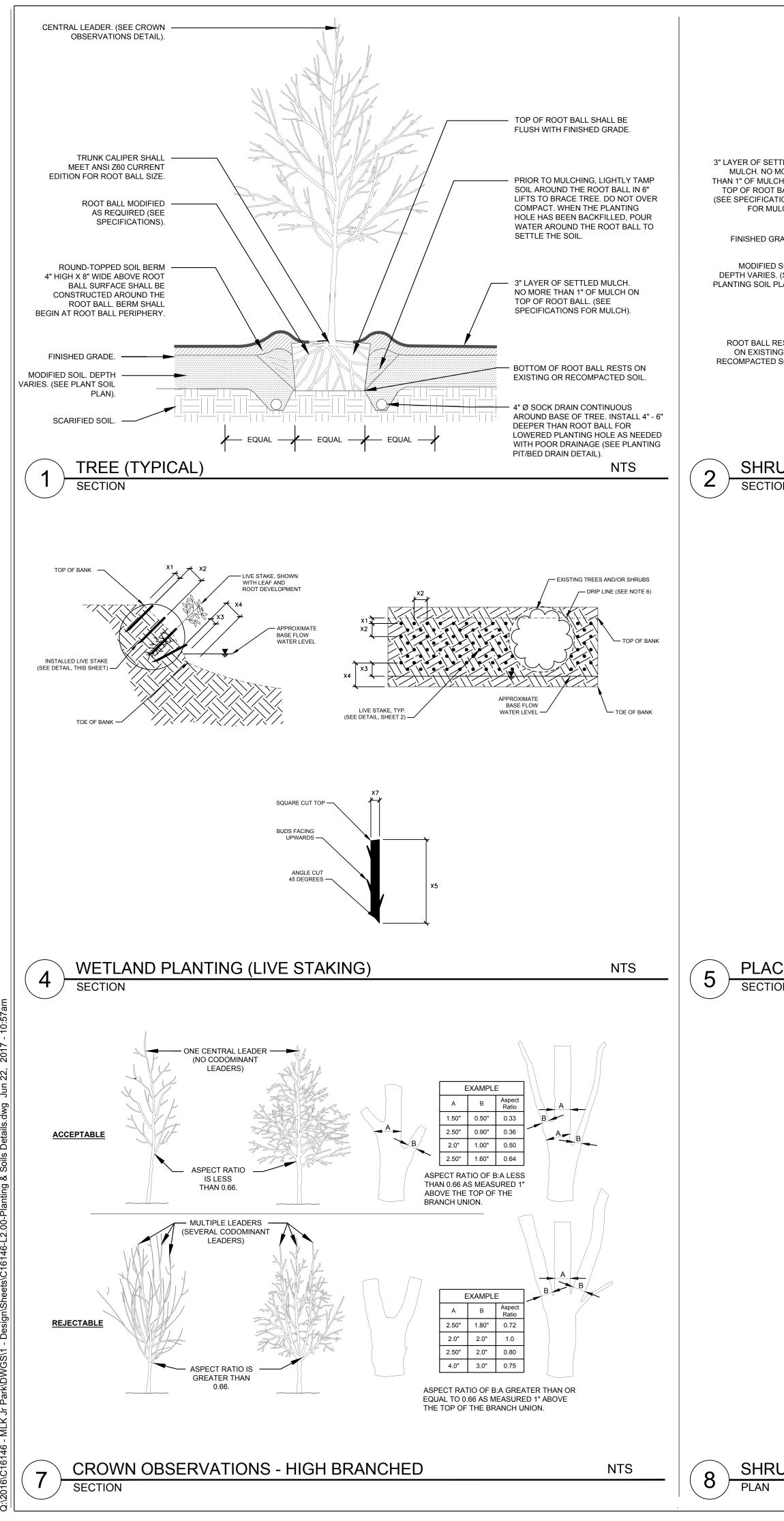
- 20. POLLINATOR SEED MIX CONTAINS THE FOLLOWING SPECIES: CHAMAECRISTA FASCICULATA, COREOPSIS LANCEOLATA, ACHILLEA MILLEFOLIUM, BIDENS ARISTOSA, GAILLARDIA PULCHELLA, ELYMUS CANADENSIS, ELYMUS VIRGINICUS, TRIPSACUM DACTYLOIDES, SORGHASTRUM NUTANS, RUDBECKIA HIRTA, SCHIZACHYRIUM SCOPARIUM, TRIDENS FLAVUS, ECHINACEA PURPUREA, SENNA HEBECARPA, HELIANTHUS ANGUSTIFOLIUS, HELIANTHUS MAXIMILIANII, MONARDA PUNCTATA, VERBENA HASTATA, ASCLEPIAS TUBEROSA, SYMPHYOTRICHUM PILOSUM.
- 21. WETLAND SEED MIX CONTAINS THE FOLLOWING SPECIES: ELYMUS RIPARIUS, PANICUM RIGIDULUM, PANICUM DICHOTOMIFLORUM, CAREX VULPINOIDEA, PANICUM VIRGATUM, DICHANTHELIUM CLANDESTINUM, BIDENS ARISTOSA, JUNCUS EFFUSUS, POLYGONUM PENSYLVANICUM, AND SPARGANIUM AMRICANUM.

VEHICLE SHADING REQUIREMENTS			
TOTAL VEHICLE ACCOMMODATION AREA (SF)	13,500		
AREAS TO BE SHADED (SF)	4,725		
AREA SHADED BY EXISTING TREES TO BE RETAINED AROUND VEHICLE ACCOMMODATION AREA (SF)	960		
REMAINING AREA TO SHADE (SF)	3,765		
TREES REQUIRED	5.33		
TREES PROVIDED	6		

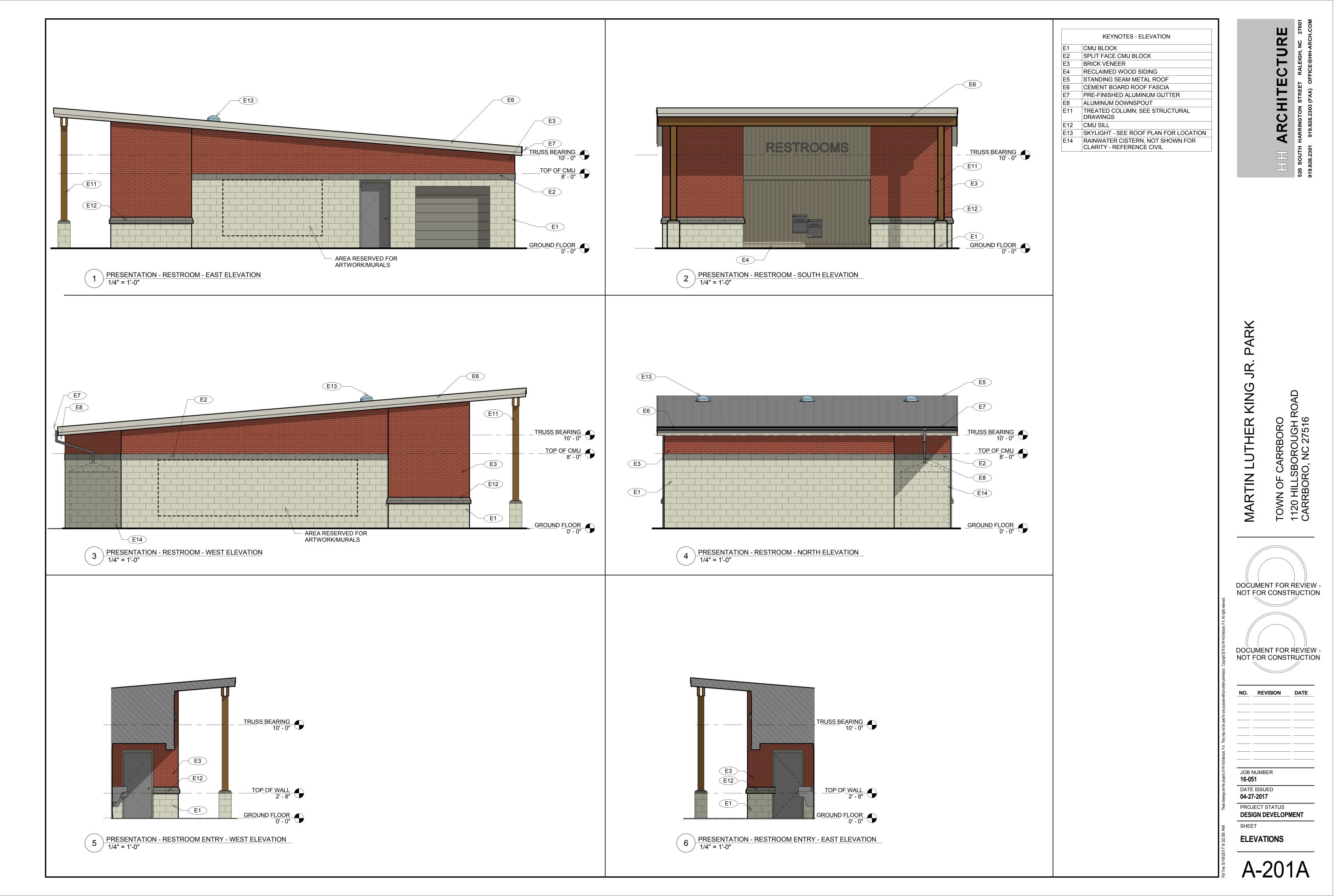
A21 FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 T 919.380.8750
Client:
TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475
Project:
MARTIN LUTHER KING, JR. PARK
Vicinity map:
SITE
LS THE REAL PROPERTY OF THE RO
RAINBOW DR CAROL ST
Seal:
Issued for: 95% CDs
No. Date Description
0 25 50 100 NORTH SCALE: 1"=50'
Title:
LANDSCAPE PLAN
Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: TPG L1.00 Approved by: JLW

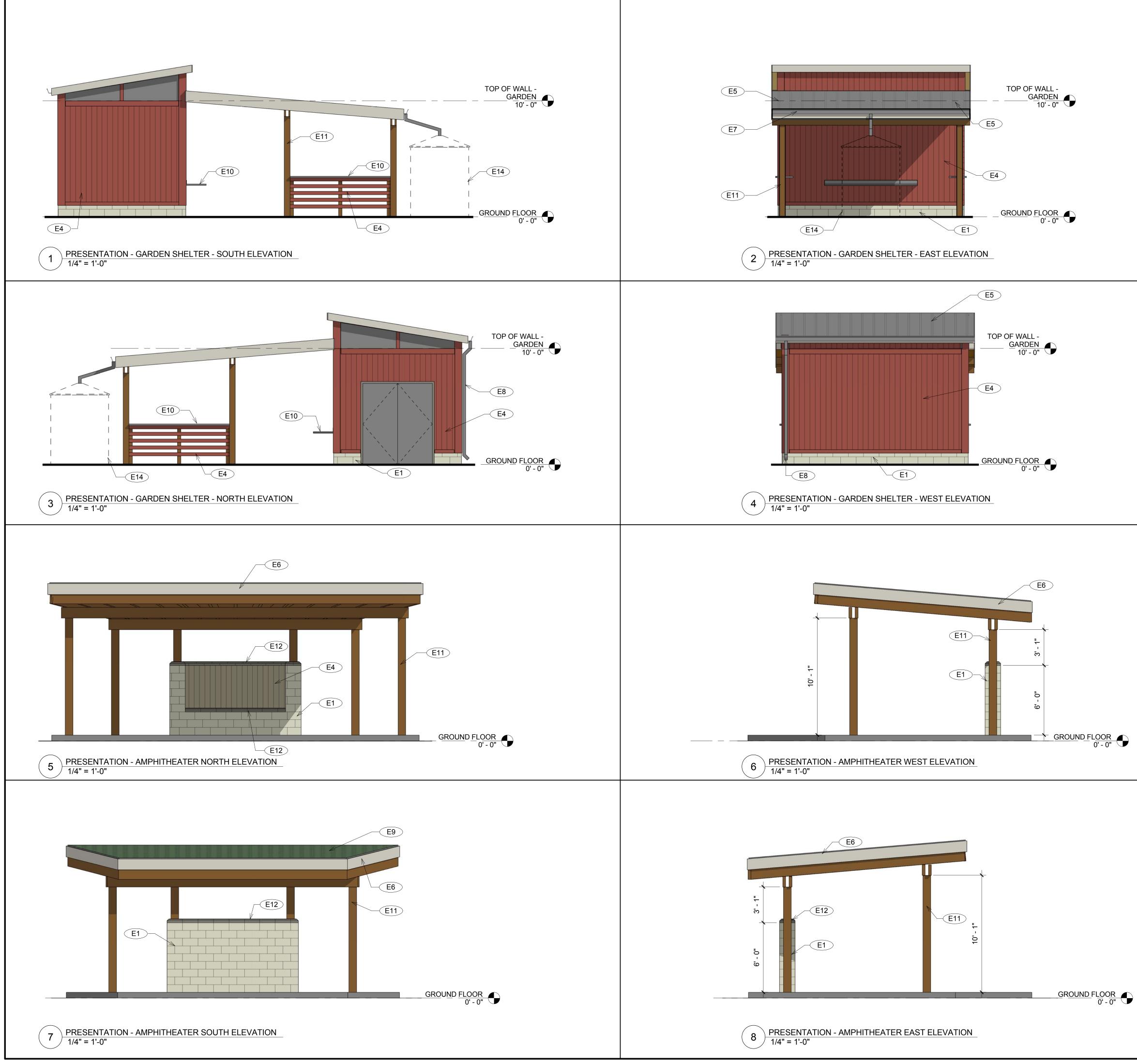
MAINTAIN

WOODLANDS



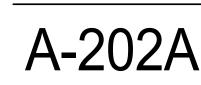
	3" LAYER OF SETTLED MULCH. FINISHED GRADE. 6" - 8" MODIFIED SOIL DEPTH VARIES. (SEE SPECIFICATIONS FOR SOIL MODIFICATION).	STEWART
A OF SETTLED CH, NO MORE OF MUCH ON FOR MULCH, ON FOR THE ON THE	SCARIFIED SOL.	At FAYETTEVILLE ST., SUITE 400 RALEIGH, NC 27601 1919.380.8750 FIRM LICENSE #: C-1051 WWW.stewartinc.com PROJECT #: C16146 Client: TOWN OF CARRBORO 301 W. MAIN STREET CARRBORO, NC 27510 T: (919) 918-7364 F: (919) 918-4475 F: (919) 918-4475
SHRUB (TYPICAL) NTS	3 GROUNDCOVER PLANTING (TYPICAL) NTS PLAN	MARTIN LUTHER KING, JR. PARK
PLACEHOLDER(POLLINATOR PLANTING)	6 PLACEHOLDER NTS	Vicinity map: Image: Image: <td< td=""></td<>
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SHRUB AND GROUNDCOVER SPACING NTS	9 PLANTING NOTES	Project number: C16146 Sheet: Date: 06.22.2017 Drawn by: TPG Approved by: JLW

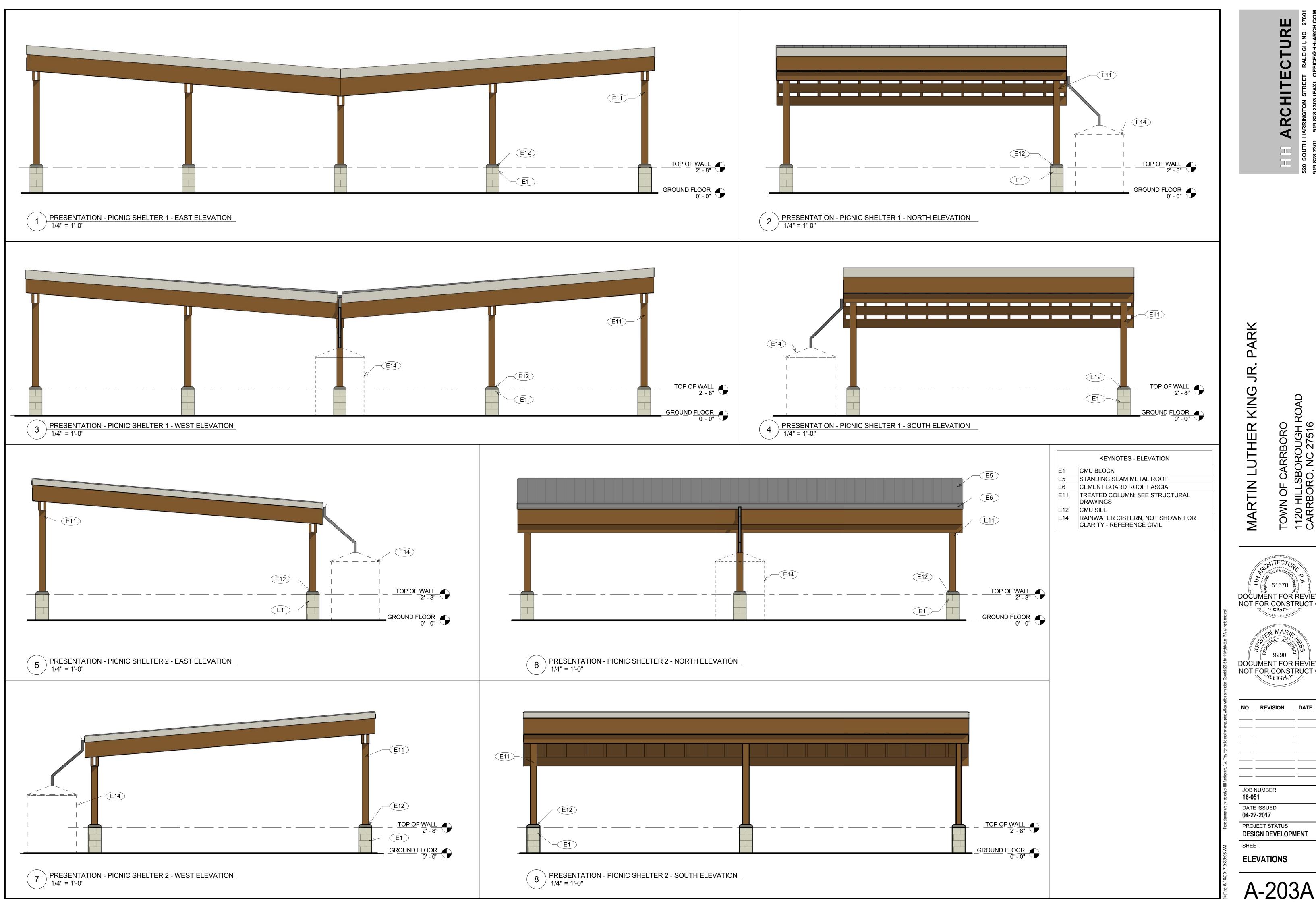




	KEYNOTES - ELEVATION
E1	CMU BLOCK
E4	RECLAIMED WOOD SIDING
E5	STANDING SEAM METAL ROOF
E6	CEMENT BOARD ROOF FASCIA
E7	PRE-FINISHED ALUMINUM GUTTER
E8	ALUMINUM DOWNSPOUT
E9	GREEN ROOF (ALTERNATE #1)
E10	EXTERIOR GRADE COUNTERTOP
E11	TREATED COLUMN; SEE STRUCTURAL DRAWINGS
E12	CMU SILL
E14	RAINWATER CISTERN, NOT SHOWN FOR CLARITY - REFERENCE CIVIL
	RAINWATER CISTERN, NOT SHOWN FOR CLARI







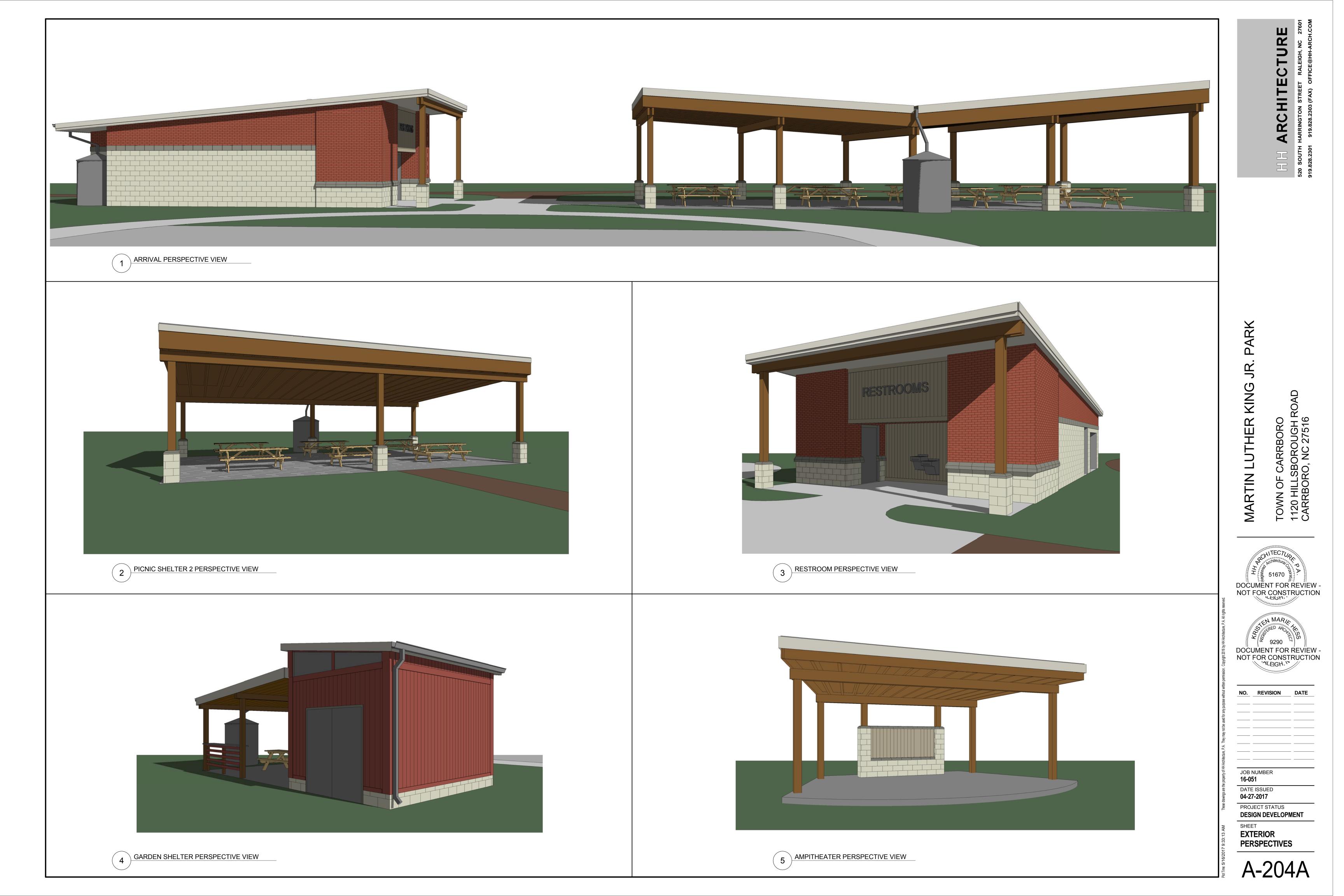
SOUTH 828.2301 20.19.



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TOWN OF CARRBORO 1120 HILLSBOROUGH ROAD CARRBORO, NC 27516

t fair	FOR REVIEW - ONSTRUCTION		
NO. REVISIO	DN DATE		
JOB NUMBER 16-051			
DATE ISSUED 04-27-2017			
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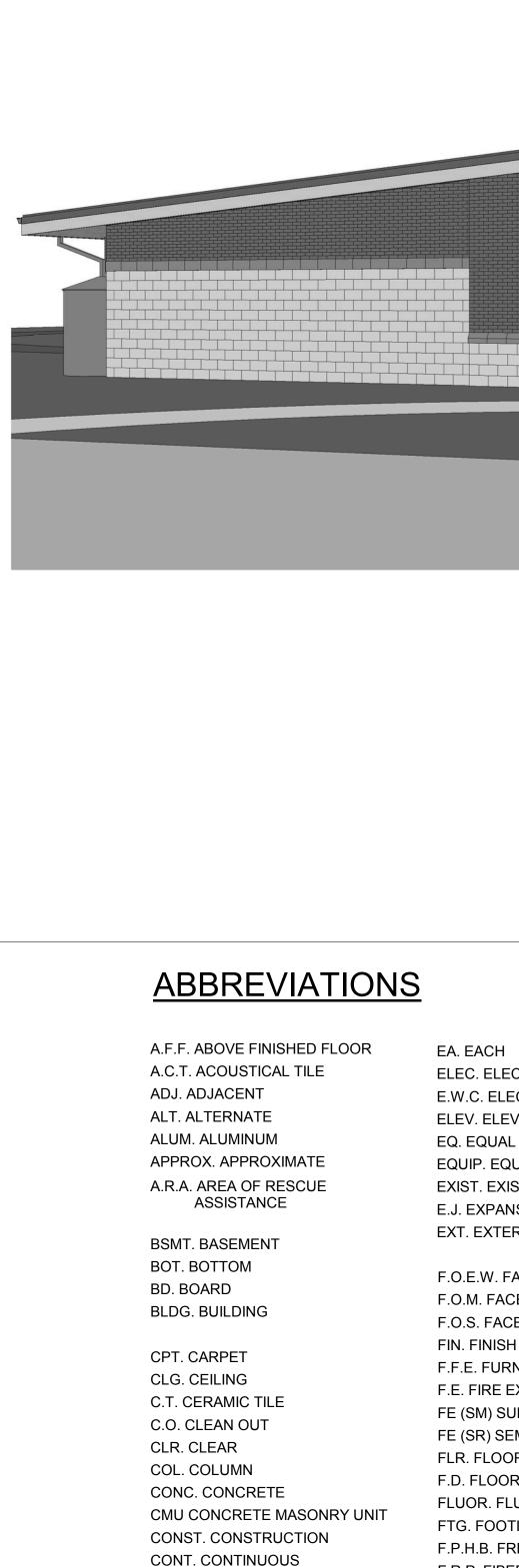


MARTIN LUTHER KING JR. PARK TOWN OF CARRBORO

1120 HILLSBOROUGH ROAD CARRBORO, NC 27516

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A-103	ROOF PLANS
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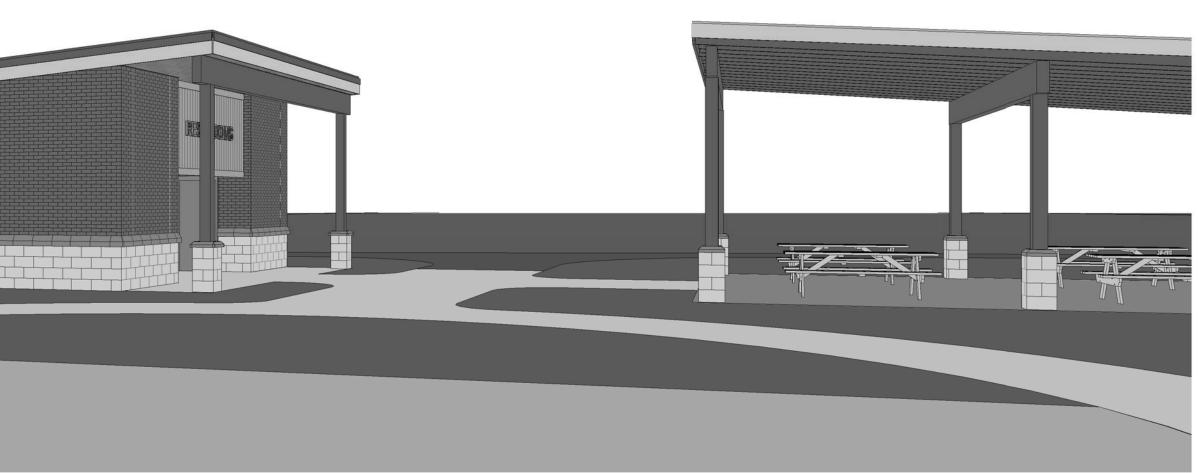


DEPT. DEPARTMENT DIA. DIAMETER DIM. DIMENSION DWG. DRAWING

C.J. CONTROL JOINT

F.O.E.W. FACE OF EXISTING WALL F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD FIN. FINISH F.F.E. FURNITURE, FIXTURES, EQUIPMENT F.E. FIRE EXTINGUISHER FE (SM) SURFACE MOUNTED FE (SR) SEMI-RECESSED FLR. FLOOR F.D. FLOOR DRAIN FLUOR. FLUORESCENT FTG. FOOTING F.P.H.B. FREEZE-PROOF HOSE BIBB F.R.P. FIBERGLASS REINFORCED PANELS

GA GAUGE GALV. GALVANIZED G.C GENERAL CONTRACTOR GWB GYPSUM WALL BOARD G.D.S. GUTTER DOWNSPOUT



EA. EACH ELEC. ELECTRICAL E.W.C. ELECTRIC WATER COOLER ELEV. ELEVATION EQ. EQUAL EQUIP. EQUIPMENT EXIST. EXISTING E.J. EXPANSION JOINT EXT. EXTERIOR HDW. HARDWARE H.D. HEAVY DUTY HT. HEIGHT H.M. HOLLOW METAL

I.D. INSIDE DIAMETER INSUL. INSULATION INT. INTERIOR

JT. JOINT

K KIPS

LAM. LAMINATE LAV. LAVATORY

MFR. MANUFACTURER M.O. MASONRY OPENING MAT'L. MATERIAL MAX. MAXIMUM MECH. MECHANICAL MIN. MINIMUM MTL. METAL MISC. MISCELLANEOUS

NOM. NOMINAL N.I.C. NOT IN CONTRACT N.T.S NOT TO SCALE O.C. ON CENTER OPP. OPPOSITE O.D. OUTSIDE DIAMETER O.H. OVERHEAD

PT PAINT PART. PARTITION P.L PLASTIC LAMINATE PLY. PLYWOOD PVC POLYVINYL CHLORIDE P.S.I. POUNDS PER SQ. INCH P.S.F. POUNDS PER SQ. FT. PROP. PROPERTY

Q.T. QUARRY TILE

R. RADIUS REF. REFERENCE REINF. REINFORCING REBAR REINFORCING BAR REQ'D. REQUIRED R/A RETURN AIR REV. REVISION R.D. ROOF DRAIN R.D.L. ROOF DRAIN LEADER RM. ROOM S.S. STAINLESS STEEL SHT. SHEET SIM. SIMILAR S.C. SOLID CORE SPEC. SPECIFICATION SQ.FT. SQUARE FEET SQ.IN. SQUARE INCH STD. STANDARD STL STEEL

STRUC. STRUCTURAL

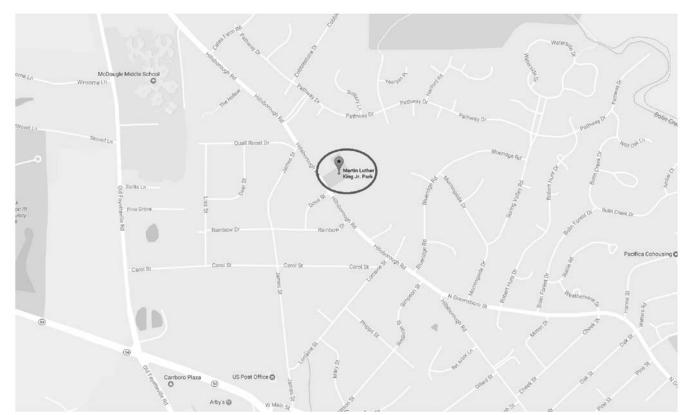
TELE. TELEPHONE THRD. THRESHOLD T.O.S. TOP OF STEEL TYP. TYPICAL

U.N.O. UNLESS NOTED OTHERWISE

VERT. VERTICAL V.C.T. VINYL COMPOSITION TILE V.W.C. VINYL WALL COVERING

W.C. WATER CLOSET W.W.F. WELDED WIRE FABRIC W.G. WIRE GLASS W/ WITH WD WOOD

VICINITY MAP



SYMBOL LEGEND

Room Name	ROOM / AREA
(101)	DOOR ID.
1 A101	DETAIL
N	NORTH ARROW
01 A-000	EXTERIOR ELEVATION CALLOUT
01 04 A-000 02 03	INTERIOR ELEVATION CALLOUT
00 A-000	SECTION CALLOUT
X X' - X"	CEILING ELEVATION HT.
Â	WINDOW TYPE
P01	INTERIOR PARTITION TYPE
3>	FF&E TYPE
PT-1	GENERAL PAINT COLOR NOTE

DESIGN TEAM

TOWN OF CARRBORO RECREATION & PARKS 100 N. GREENSBORO STREET CARRBORO, NC 27510 CONTACT: ANITA JONES-McNAIR PHONE: 919.918.7364 FAX: 919.918.4475 EMAIL: amcnair@townofcarrboro.org ARCHITECT HH ARCHITECTURE 520 S HARRINGTON STREET RALEIGH, NC 27601 CONTACT: KRISTEN M. HESS PHONE: 919.828.2301 FAX: 919.828.2303 EMAIL: khess@hh-arch.com SITE, CIVIL, & LANDSCAPE ARCHITECTURE STEWART ENGINEERING 421 FAYETTEVILLE STREET, SUITE 400 RALEIGH, NC 27601 CONTACT: JENNIFER WAGNER PHONE: 919.380.8750 FAX: 919.866.4859 EMAIL: jwagner@stewartinc.com STRUCTURAL ENGINEERING STEWART ENGINEERING 421 FAYETTEVILLE STREET, SUITE 400 RALEIGH, NC 27601 CONTACT: CHARLES LEWIS PHONE: 919.380.8750 FAX: 919.866.4859

PME ENGINEERING STANFORD WHITE 1620 MIDTOWN PLACE RALEIGH, NC 27609 CONTACT: BILL SMITH PHONE: 919.832.8118 FAX: 919.832.8120 EMAIL: wmsmith@standfordwhite.com

EMAIL: clewis@stewartinc.com

PROJECT NARRATIVE

THE MARTIN LUTHER KING JR. PARK IN CARRBORO WILL HAVE SEVERAL DIFFERENT STRUCTURES TO SERVE THE INTERESTS OF THE COMMUNITY. THESE STRUCTURES INCLUDE A RESTROOM BUILDING, TWO PICNIC SHELTERS, A GARDEN STORAGE AREA, AND AN AMPHITHEATER. RECLAIMED WOOD SIDING FROM THE EXISTING STORAGE STRUCTURES WILL BE INCORPORATED INTO THE NEW STRUCTURES. RAIN WATER WILL BE COLLECTED INTO CISTERNS TO BE USED THROUGHOUT THE SITE AND IN THE COMMUNITY GARDEN.

SCHEDULE OF ALTERNATES

NOTE : REFER TO PROJECT SPECIFICATIONS FOR ALL INFORMATION RELATED TO ALTERNATES INCLUDED IN THE PROJECT.

LEAD-BASED PAINT WARNING

LEAD-BASED PAINT MAY EXIST ON BUILDING STRUCTURE(S) OR OTHER ITEMS IN THE CONSTRUCTION AREA. THE CONTRACTOR IS HEREBY ADVISED OF THE NEED FOR COMPLIANCE WITH OSHA STANDARD 1926.62. SUBPART D. TITLED "LEAD", [29 CFR 1919] DURING WORK WITH ALL LEAD CONTAINING MATERIALS. ALL TESTING AND/OR OTHER COMPLIANCE ACTIVITIES ARE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL FIELD VERIFY ALL BUILDING CONDITIONS PRIOR TO BID.

PERMIT SET 04-27-2017

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PARK

JR.

KING

UTHER

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G-001						

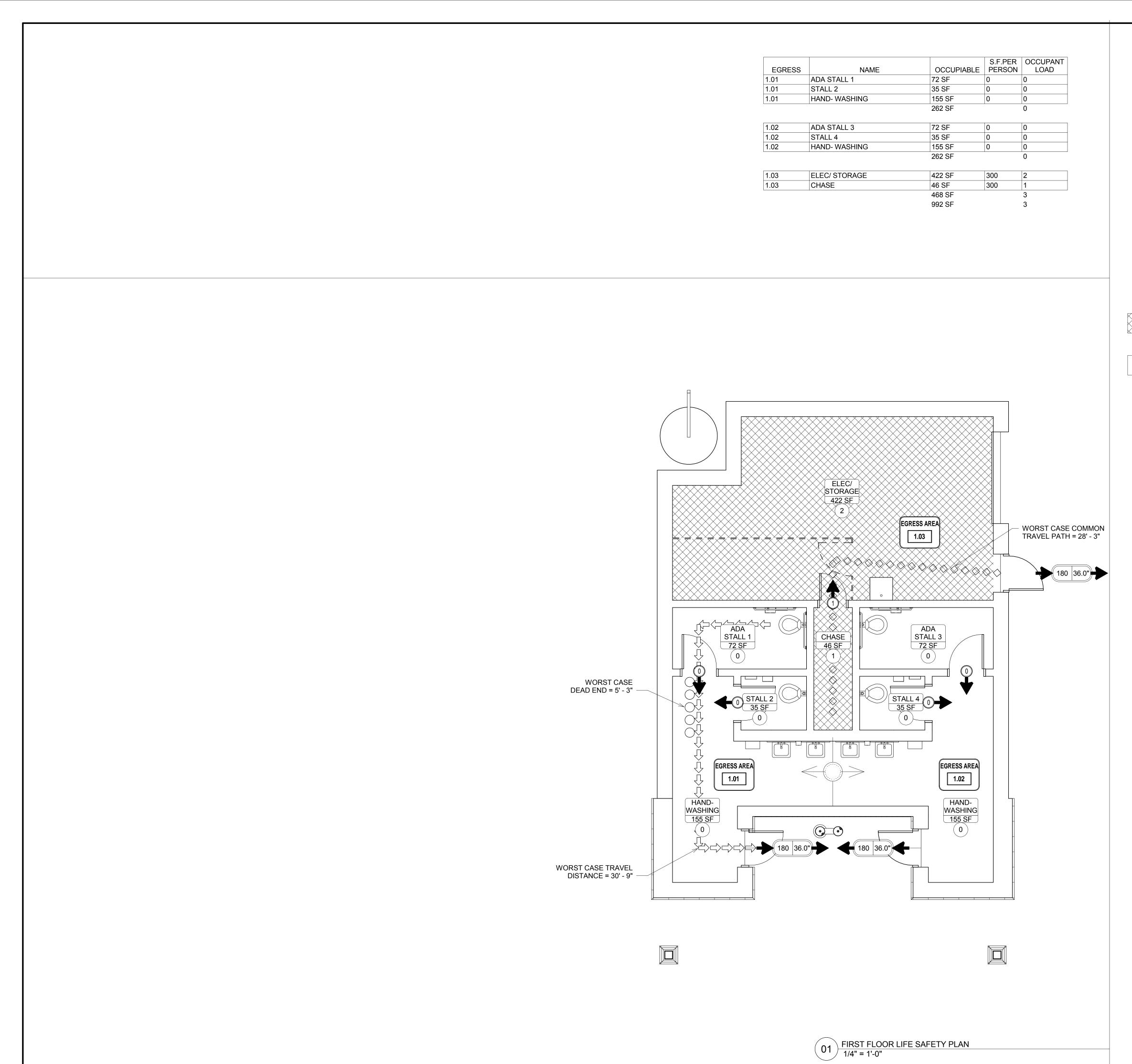
2012 APPENDIX B	SPECIAL USES ⁴⁰² ⁴⁰³ ⁴⁰⁴ ⁴⁰⁵ ⁴⁰⁶ ⁴⁰⁷ ⁴⁰⁸ ⁴⁰⁹ ⁴¹⁰ ⁴¹¹ ⁴¹² ⁴¹³ ⁴¹⁴ ⁴¹⁵ ⁴¹⁶ ⁴¹⁷ ⁴¹⁸ ⁴¹⁹ ⁴²⁰ ⁴²¹ ⁴²³ ⁴²⁴ ⁴²⁵ ⁴²⁶ ⁴²⁷ ⁴²⁷ ⁴²⁸ ⁴²⁴ ⁴²⁵ ⁴²⁶ ⁴²⁷ ⁴²⁷ ⁴²⁸ ⁴²⁸ ⁴²⁴ ⁴²⁵ ⁴²⁶ ⁴²⁷ ⁴²⁷ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁶ ⁴²⁷ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁹ ⁴²⁶ ⁴²⁷ ⁴²⁸ ⁴²⁶ ⁴²⁷ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁶ ⁴²⁷ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁸ ⁴²⁹	LIFE SAFETY PLAN REQUIREMENTS	ENERGY SUMMARY
BUILDING CODE SUMMARY		LIFE SAFETY PLAN SHEET #: G-003	
	SPECIAL PROVISIONS □ 509.2 □ 509.3 □ 509.4 □ 509.5 □ 509.6 □ 509.7 □ 509.8 □ 509.9 MIXED OCCUPANCY □ NO □ YES □ SEPARATION:	□ FIRE AND/OR SMOKE RATED WALL LOCATIONS (CHAPTER 7)	
FOR ALL COMMERCIAL PROJECTS		ASSUMED AND REAL PROPERTY LINE LOCATIONS	CLIMATE ZONE: \Box 3 \boxtimes 4 \Box 5
NAME OF PROJECT: <u>MARTIN LUTHER KING JR. PARK</u> ADDRESS: <u>1120 HILLSBOROUGH ROAD, CARRBORO, NORTH CAROLINA</u> ZIP CODE: <u>27516</u> PROPOSED USE: <u>PARK STRUCTURES</u> PHONE: <u>(919)918-736</u> 4 OWNER / AUTHORIZED AGENT: <u>ANITA JONES-MCNAIR</u> CONTACT EMAIL: <u>AMCNAIR@TOWNOFCARRBORO.OR</u> G	 INCIDENTAL USE SEPARATION (508.2.5) THIS SEPARATION IS NOT EXEMPT AS A NON-SEPARATED USE. (SEE EXCEPTIONS) 	 EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8) EXISTING STRUCTURES WITHIN 30' OF THE PROPOSED BUILDING 	METHOD OF COMPLIANCE:
ADDRESS: <u>1120 HILLSBOROUGH ROAD, CARRBORO, NORTH CAROLINA</u> ZIP CODE: <u>27516</u> PROPOSED USE: <u>PARK STRUCTURES</u> PHONE: (<u>919)918-736</u> 4 OWNER / AUTHORIZED AGENT: <u>ANITA JONES-McNAIR</u> CONTACT EMAIL: <u>AMcNAIR@TOWNOFCARRBORO.OR</u> G	NON-SEPARATED MIXED OCCUPANCY (508.3.) THE REQUIRED TYPE OF CONSTRUCTION FOR THE BUILDING SHALL BE DETERMINED BY APPLYING THE	☑ OCCUPANCY TYPES FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.1)	□ PRESCRIPTIVE (ENERGY CODE)
OWNER / AUTHORIZED AGENT: <u>ANITA JONES-McNAIR</u> CONTACT EMAIL: <u>AMcNAIR@TOWNOFCARRBORO.OR</u> G OWNED BY: □ STATE □ STATE	HEIGHT AND AREA LIMITATONS FOR EACH OF THE APPLICABLE OCCUPANCIES TO THE ENTIRE BUILDING.	☑ OCCUPANT LOADS FOR EACH AREA	□ PERFORMANCE (ENERGY CODE) BUILDING IS NOT REQUIRED TO
OWNED BY: Image: City/County Image: Private Image: City/County CODE ENFORCEMENT JURISDICTION: Image: City Carrboro Image: County Image: City Carrboro	THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, SO DETERMINED, SHALL APPLY TO THE ENTIRE BUILDING.	⊠ EXIT ACCESS TRAVEL DISTANCE (1016)	□ PRESCRIPTIVE (ASHRAE 90.1) MEET ENERGY CODE. INSULATION IS SHOWN FOR
	□ SEPARATED MIXED OCCUPANCY (508.4) - SEE BELOW FOR AREA CALCULATIONS	COMMON PATH OF TRAVEL DISTANCE (1014.3 & 1028.8)	□ PERFORMANCE (ASHRAE 90.1) FREEZE PROTECTION AND
LEAD DESIGN PROFESSIONAL: KRISTEN M. HESS, AIA	FOR EACH STORY, THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL FLOOR AREA OF EACH USE DIVIDED BY THE ALLOWABLE FLOOR AREA FOR EACH USE NOT TO EXCEED	☑ DEAD END LENGTHS (1018.4)	COMFORT ONLY.
FIRM NAME LICENSE #: TELEPHONE # EMAIL		☐ CLEAR EXIT WIDTHS FOR EACH EXIT DOOR	THERMAL ENVELOPE
ARCHITECTURAL <u>HH ARCHITECTURE</u> KRISTEN M. HESS, AIA 9290 (919) 828-2301 khess@hh-arch.com CIVIL <u>STEWART ENGINEERING</u>		MAX. CALCULATED OCC. LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005.1)	ROOF/CEILING ASSEMBLY (EACH ASSEMBLY) ^{METAL} PANEL ROOF OVER 2" RIGID ON 5/8" EXTERIOR ROOF
ELECTRICAL STANFORD WHITE MATT JOHNSON	STORY NO. DESCRIPTIO (A) (B) (C) (D) (E) (F) N BLDG AREA TABLE 503 ⁵ AREA FOR AREA FOR ALLOWABLE MAXIMUM	 ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR A SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR/CEILING AND/OR ROOF STRUCTURE IS 	DESCRIPTION OF ASSEMBLY: SHEATHING AND WOOD 2X JOISTS
FIRE ALARM PLUMBING STANFORD WHITE KEVIN ALLEN	AND USE PER STORY AREA FRONTAGE SPRINKLER AREA OR BUILDING	PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION	U-VALUE OF TOTAL ASSEMBLY:
MECHANICAL STANFORD WHITE	(ACTUAL) INCREASE ¹ INCREASE ² UNLIMITED ³ AREA ⁴	□ LOCATION OF DOORS WITH PANIC HARDWARE (1008.1.10)	R-VALUE OF INSULATION:10
SPRINKLER-STANDPIPE	1 U 1,298 SF 5,500 SF 0 SF 0 SF 0 SF 5,500 SF	□ LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND THE AMOUNT OF DELAY (1008.1.9.7)	SKYLIGHTS IN EACH ASSEMBLY: > 1%
STRUCTURAL <u>STEWART ENGINEERING CHARLES LEWIS</u> RETAINING WALLS >5' HIGH		□ LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1008.1.9.8)	U VALUE OF SKYLIGHT:
PRE-CAST		□ LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES	TOTAL SQUARE FOOTAGE OF SKYLIGHTS IN EACH5
TRUSSLANDSCAPE			ASSEMBLY:
LANDSCAPE		$\Box \text{ THE SQUARE FOOTAGE OF EACH FIRE AREA (902)}$	EXTERIOR WALLS (EACH ASSEMBLY) AIR SPACE, 2" RIGID
		 THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT (407.4) NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE 	DESCRIPTION OF ASSEMBLY: INSULATION AND 8" CMU
2012 EDITION OF NC CODE FOR: ⊠ NEW CONSTRUCTION □ ADDITION □ UPFIT EXISTING: □ RECONSTRUCTION □ ALTERATION □ REPAIR □ RENOVATION			U-VALUE OF TOTAL ASSEMBLY:
CONSTRUCTED (date): 2017 ORIGINAL USE(S) (Ch. 3): PROPOSED USE(S) (Ch. 3): x		ACCESSIBLE DWELLING UNITS (SECTION 1107) NOT APPLICABLE	R-VALUE OF INSULATION:10
RENOVATED (date): CURRENT USE(S) (Ch. 3):		TOTAL ACCESSIBLE ACCESSIBLE TYPE A TYPE A TYPE B TOTAL	OPENINGS (WINDOWS OR DOORS WITH
BASIC BUILDING DATA:	 1 Frontage area increases from Section 506.2 are computed thus: a. Perimeter which fronts a public way or open space having 20 feet minimum width = <u>X'</u> (F) 2 The sprinkler increase per Section 506.3 is as follows: a. Multi-story building = 200 percent 	UNITS UNITS REQ'D. UNITS UNITS UNITS UNITS ACCESSIBLE	GLAZING) U VALUE OF ASSEMBLY:
	 a. Perimeter which fronts a public way or open space having 20 feet minimum width = <u>X'</u> (F) b. Total building perimeter = <u>X'</u> (P) c. Ratio (F/P) = <u>XX</u>% (F/P) d. Multi-story building = 200 percent b. Single-story building = 300 percent 3. Unlimited area applicable under conditions of Section 507. 	PROVIDED REQUIRED PROVIDED REQUIRED PROVIDED UNITS PROVIDED	SOLAR HEAT GAIN COEFFICIENT:66
SPRINKLERS: NO PARTIAL* YES NFPA 13 NFPA 13R NFPA 13D	d. W = Minimum width of public way = X (W) 4 Maximum Building Area = total number of stories in the building x E (506.4)	N/A N/A N/A N/A N/A N/A N/A N/A N/A	PROJECTION FACTOR:N/A
SPRINKLERS: □ NO □ PARTIAL* □ YES □ NFPA 13 □ NFPA 13R □ NFPA 13D STANDPIPES: □ NO □ YES CLASS □ I □ II □ III □ WET □ DRY FIRE DISTRICT: □ NO □ YES FLOOD HAZARD AREA: □ NO □ YES BUILDING HEIGHT: FEET <u>15'-6"</u> NUMBER OF STORIES <u>1</u> <u>1</u> □ GROSS BUILDING AREA: □ 1,298 SF □ □ □ □	maximum area of air traffic control towers must comply with Table 412.1.2.	ACCESSIBLE PARKING (SECTION 1106)	DOOR R-VALUES:15
BUILDING HEIGHT: FEET 15'-6" NUMBER OF STORIES 1	ALLOWABLE HEIGHT		WALLS BELOW GRADE (EACH ASSEMBLY)
GROSS BUILDING AREA: 1,290 SF	ALLOWABLE INCREASE FOR SHOWN ON PLANS CODE	LOT ORTOTAL # OF PARKING# OF ACCESSIBLE SPACES PROVIDEDTOTAL # OFPARKINGSPACESACCESSIBLE	
	(TABLE 503) SPRINKLERS SHOWN ON PLANS REFERENCE	AREA REGULAR w/ 5' VAN SPACES WITH SPACES	DESCRIPTION OF ASSEMBLY: <u>N/A</u>
FLOOR EXISTING BUILDING (SF) AREA OF RENOVATION (SF) NEW (SF) SUBTOTAL	TYPE OF CONSTRUCTION TYPE V-B TYPE V-B RUIL DINC HEICHT IN FEET FEET 40'-0' FEET 10'-0' 10'-0'	REQUIRED PROVIDED ACCESS AISLE 132" ACCESS AISLE 8' ACCESS AISLE PROVIDED	U-VALUE OF TOTAL ASSEMBLY:N/A
5TH FLOOR	BUILDING HEIGHT IN FEET FEET 40'-0' FEET = H + 20' = N/A FEET 15'-6' TABLE 503 BUILDING HEIGHT IN STORIES STORIES 1 STORIES + 1 = N/A STORIES 1 TABLE 503		R-VALUE OF INSULATION:N/A
4TH FLOOR			FLOORS OVER UNCONDITIONED SPACE (EACH ASSEMBLY)
3RD FLOOR	FIRE PROTECTION REQUIREMENTS		N/A
2ND FLOOR	LIFE SAFETY PLAN SHEET #, IF REQUIRED G-003	STRUCTURAL DESIGN	
<u>1ST FLOOR 0 SF 0 SF 1,298 SF 1,298 SF</u>		DESIGN LOADS:	U-VALUE OF TOTAL ASSEMBLY: N/A
	BUILDING ELEMENT FIRE RATING DETAIL # DESIGN # DESIGN # BUILDING ELEMENT SEPARATION REQ'D PROVIDED AND FOR RATED FOR	IMPORTANCE FACTORS: WIND (I) <u>X</u> SNOW (I) <u>S</u>	R-VALUE OF INSULATION:
	DISTANCE (w/ * SHEET # ASSEMBLY PENETRATION RATED	SEISMIC (I) $e X$	FLOOR SLAB ON GRADE 4" SLAB ON GRADE WITH
TOTAL 1,298 SF	(FEET) REDUCTION) JOINTS	LIVE LOADS: ROOF <u>X</u> PSF	
	STRUCTURAL FRAME, X HR I INCLUDING COLUMNS, X HR I INCLUDING COLUMNS, I	EQUIP. PLATFORM X PSF	
PRIMARY OCCUPANCY: ASSEMBLY	GRIDERS, TRUSSES	SLAB ON GRADE PSF	U-VALUE OF TOTAL ASSEMBLY:
HAZARDOUS II H-1 DETONATE II H-2 DEFLAGRATE II H-3 COMBUST II H-4 HEALTH II H-5 HPM	BEARING WALLS	GROUND SNOW LOAD: X PSF	N1/A
INSTITUTIONAL 🗆 I-1 🗆 I-2 🗆 I-3 🗆 I-4	EXTERIOR X HR	WIND LOAD: BASIC WIND SPEED X MPH (ASCE-7) EXPOSURE CATEGORY X	
	NORTH > XX' X HR -	EXPOSURE CATEGORYX WIND BASE SHEARS (FOR MWFRS) V _x XV _y X	SLAB HEATED: NO
□ MERCANTILE RESIDENTIAL □ R-1 □ R-2 □ R-3 □ R-4 STORAGE: □ S-1 MODERATE □ S-2 LOW □ HIGH PILED	EAST > XX' X HR -	SEISMIC DESIGN CATEGORY \Box A \Box B \Box C \Box D	
\square UTILITY & MISC \square PARKING GARAGE \square OPEN \square CLOSED \square REPAIR GARAGE	WEST > XX' X HR - SOUTH > XX' X HR -	PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:	MECHANICAL SUMMARY
	SOUTH > XX' X HR - INTERIOR - X HR -	OCCUPANCY CATEGORY (TABLE 1604.5) □ I □ II □ III □ IV	SEE MECHANICAL
ACCESSORY OCCUPANCY:ASSEMBLY	NONBEARING WALLS	SPECTRAL RESPONSE ACCELERATION S_s X % g S_i X % g	
HAZARDOUS I H-1 DETONATE H-2 DEFLAGRATE H-3 COMBUST H-4 HEALTH H-5 HPM	AND PARTITIONS	SITE CLASSIFICATION (TABLE 1613.5.2)	ELECTRICAL SUMMARY
INSTITUTIONAL I-1 I-2 I-3 I-4	EXTERIOR		SEE ELECTRICAL
1-3 USE CONDITION □ 1 □ 2 □ 3 □ 4 □ 5 □ MERCANTILE RESIDENTIAL □ R-1 □ R-2 □ R-3 □ R-4	NORTH > XX' X HR X HR	BASIC STRUCTURAL SYSTEM (CHECK ONE) BEARING WALL BUILDING FRAME BUILDING BUILDING FRAME BUILDING FRA	
STORAGE: S-1 MODERATE S-2 LOW HIGH PILED	EAST > XX' X HR X HR	 BUILDING FRAME DUAL w/ INTERMEDIATE R/C OR SPECIAL STEEL MOMENT FRAME INVERTED PENDULUM 	
□ UTILITY & MISC □ PARKING GARAGE □ OPEN □ CLOSED □ REPAIR GARAGE	WEST > XX' X HR X HR SOUTH > XX' X HR X HR	SEISMIC BASE SHEAR: $V_X \underline{X} V_y = \underline{X}$	
INCIDENTAL USES (Table 508.2.5):	INT. WALLS & PARTITIONS > XX' X HR X HR	ANALYSIS PROCEDURE: SIMPLIFIED EQUIVALENT LATERAL FORCE DYNAMIC	
□ FURNACE ROOM WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 Btu PER HOUR INPUT	FLOOR CONSTRUCTION X HR _		
\square ROOMS WITH BOILERS WHERE THE LARGEST PIECE OF EQUIPMENT IS OVER 15 PSI AND 10 HORSEPOWER	INCLUDING SUPPORTING	LATERAL DESIGN CONTROL: EARTHQUAKE WIN SOIL BEARING CAPACITIES: D	
	BEAMS AND JOISTS X HR	FIELD TEST (PROVIDE COPY OF TEST REPORT) <u>N/A</u> PSF	
□ HYDROGEN CUTOFF ROOMS, NOT CLASSIFIED AS GROUP H		PRESUMPTIVE BEARING CAPACITY <u>N/A</u> PSF	
INCINERATOR ROOMS PAINT SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN OCCUPANCIES OTHER THAN GROUP F	BEAMS AND JOISTS		
PAINT SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN OCCUPANCIES OTHER THAN GROUP F LABORATORIES AND VOCATIONAL SHOPS. NOT CLASSIFIED AS GROUP H. LOCATED IN A GROUP E OR I-2 OCCUPANCY	SHAFT ENCLOSURES - EXIT X HR -	SPECIAL INSPECTIONS REQUIRED: VES NO	
LAUNDRY ROOMS OVER 100 SQUARE FEET	SHAFT ENCLOSURES - OTHER X HR -	PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)	
□ GROUP I-3 CELLS EQUIPPED WITH PADDED SURFACES	CORRIDOR SEPARATION X HR OCCUPANCY SEPARATION X HR	USE WATERCLOSETS URINALS LAVATORIES SHOWERS / DRINKING FOUNTAINS	
□ GROUP I-2 WASTE AND LINEN COLLECTION ROOMS	PARTY/FIRE WALL SEPARATION N/A	MALE FEMALE MALE FEMALE TUBS REGULAR ACCESSIBLE	
	SMOKE BARRIER SEPARATION N/A	SPACE EXISTING	
STATIONARY STORAGE BATTERY SYSTEMS HAVING A LIQUID ELECTROLYTE CAPACITY OF MORE THAN 50 GALLONS, OR A LITHIUM-ION CAPACITY OF 1,000 POUNDS USED FOR FACILITY STANDBY POWER, EMERGENCY	TENANT SEPARATION N/A N/A	NEW 2 2 2 2 1 1 1	
POWER. OR UNINTERUPTED POWER SUPPLIES	INCIDENTAL USE SEPARATION N/A		
□ ROOMS CONTAINING FIRE PUMPS	*INDICATES SECTION NUMBER PERMITTING REDUCTION	*NOTE: FIXTURES WILL BE ADEQUATE TO SERVE UP TO 150 (1/75) MEN AND 80 (1/40) WOMEN IN THE PARK. THIS IS BASED ON A-5 REQUIREMENTS IN THE PLUMBING CODE TABLE 403.1	
□ GROUP I-2 STORAGE ROOMS OVER 100 SQUARE FEET	EMERGENCY LIGHTING:	SPECIAL APPROVALS	
□ GROUP I-2 COMMERCIAL KITCHENS	EXIT SIGNS: IN NO IN YES FIRE ALARM: IN NO IN YES	SPECIAL APPROVAL: (LOCAL JURISDICTION, DEPARTMENT OF INSURANCE, OSC, DPI, DHHS, ICC, ETC., DESCRIBE BELOW)	
□ GROUP I-2 LAUNDRIES EQUAL TO OR LESS THAN 100 SQUARE FEET	SMOKE DETECTION SYSTEM: DO VES PARTIAL PANIC HARDWARE: DO VES	BOARD OF ALDERMEN	
□ GROUP I-2 ROOMS OR SPACES THAT CONTAIN FUEL-FIRED HEATING EQUIPMENT			

 ARCHITECTURE

 520 SOUTH HARRINGTON STREET RALEIGH, NC 27601

 919.828.2301
 919.828.2303 (FAX) OFFICE@HH-ARCH.COM

 MARTIN LUTHER KING JR. PARK TOWN OF CARRBORO 1120 HILLSBOROUGH ROAD CARRBORO, NC 27516 ντFC) 51670 DOCUMENT FOR REVIEW -NOT FOR CONSTRUCTION EN MARIA ₩ \$ (B) 9290 DOCUMENT FOR REVIEW -NOT FOR CONSTRUCTION NO. REVISION DATE _____ JOB NUMBER 16-051 DATE ISSUED 04-27-2017 PROJECT STATUS PERMIT SET SHEET CODE SUMMARY G-002



			S.F.PER	OCCUPANT
EGRESS	NAME	OCCUPIABLE	PERSON	LOAD
1.01	ADA STALL 1	72 SF	0	0
1.01	STALL 2	35 SF	0	0
1.01	HAND- WASHING	155 SF	0	0
		262 SF		0
1.02	ADA STALL 3	72 SF	0	0
1.02	STALL 4	35 SF	0	0
1.02	HAND- WASHING	155 SF	0	0
		262 SF		0
1.03	ELEC/ STORAGE	422 SF	300	2
1.03	CHASE	46 SF	300	1
		468 SF		3
		992 SF		3

<u>LIFE SAFETY PLAN LEGEND</u>

☆☆☆☆ WORST-CASE TRAVEL DISTANCE = 30' - 9" (MAX. ALLOWABLE 200') $\diamond \diamond \diamond \diamond \diamond \diamond$ WORST-CASE TO COMMON PATH OF TRAVEL = 28' - 3" (MAX ALLOWABLE 75') OOOOO WORST-CASE DEAD END CORRIDOR = 5' - 3" (MAX ALLOWABLE 20')

NUMBER OF OCCUPANTS DEDICATED EXIT



EGRESS AREA TAG

EGRESS AREA BOUNDARY



DEFINES THE MIDLINE BETWEEN TWO POINTS OF EGRESS AS DEFINED BY A CIRCULATION BOUNDARY (WALL) OR AN EQUIDISTANT POINT FROM EGRESS AREA EXITS

DENOTES **S-1 OCCUPANCY** STORAGE (1 PERSON PER 300 SF GROSS)



EGRESS CAPACITY

DENOTES **UNOCCUPIABLE SPACE** BATHROOM/CORRIDOR (0 OCCUPANTS)

DOOR WIDTH



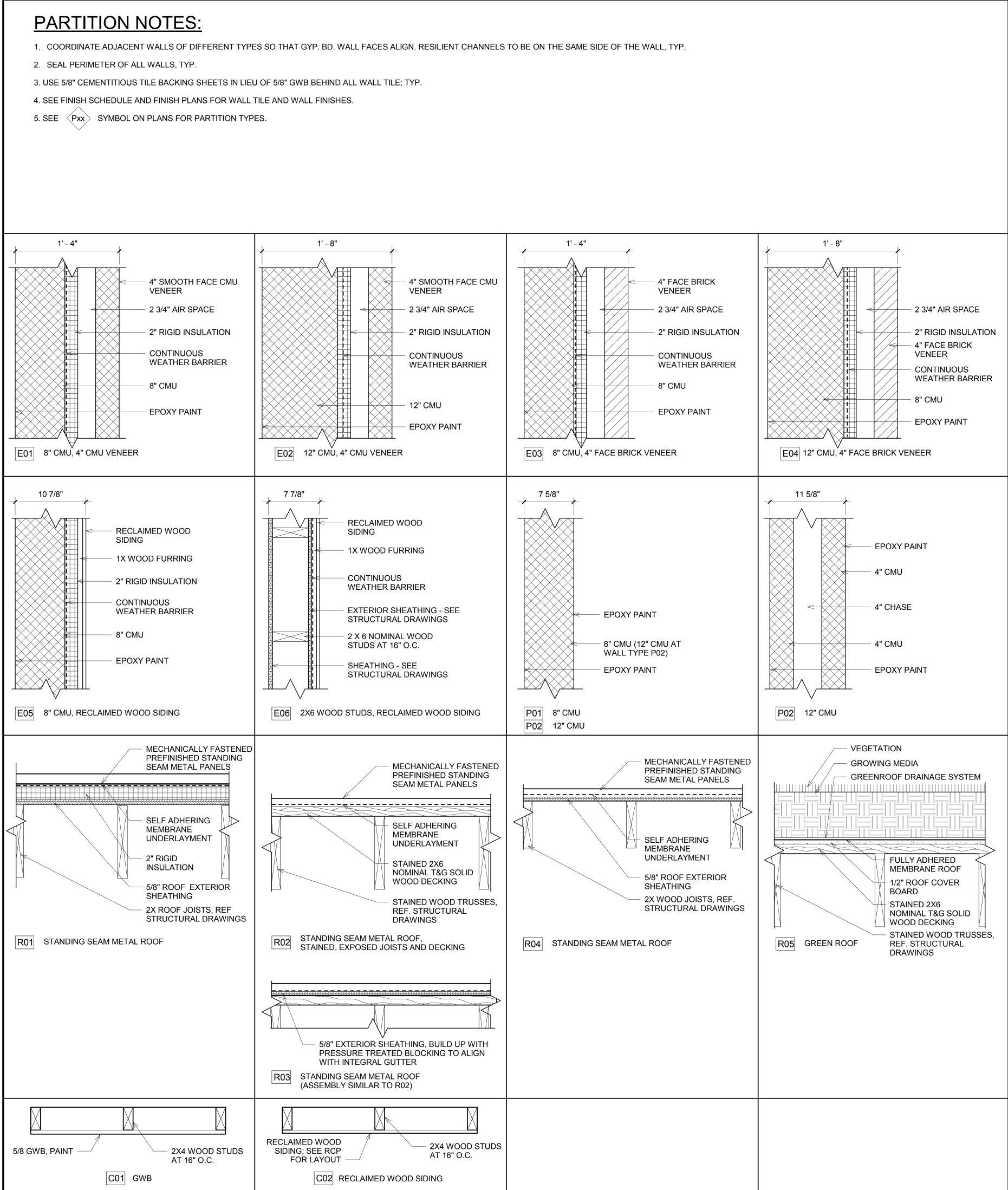
SOUTH 828.2301 520 919.8



SHEET

LIFE SAFETY PLAN

G-003



DEMOLITION SCOPE OF WORK

- 2. EXISTING ROOFING MATERIALS ARE TO BE DEMOLISHED AND PROPERTY DISPOSED OF.
- 3. PREP SITE TO RECEIVE NEW WORK AS SHOWN ON CIVIL AND ARCHITECTURAL DRAWINGS.

DEMOLITION GENERAL NOTES

1. PRIOR TO PREPARING A BID. THE CONTRACTOR MUST VISIT THE SITE AND HAVE A WORKING KNOWLEDGE OF THE EXISTING CONSTRUCTION AND CONDITIONS.

2. CONTRACTOR AND ALL SUB-CONTRACTORS MUST VISIT THE SITE AND FULLY EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCING WORK. ANY DISCREPANCIES IN THE EXISTING CONDITION AND THE WORK MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT 3. GENERAL CONTRACTOR MUST PROTECT ALL EXISTING MATERIALS TO BE SALVAGED FOR REUSE. REPAIR OR REPLACEMENT WILL BE THE

RESPONSIBILITY OF THE CONTRACTOR.

- DEMOLITION WORK.

GENERAL ARCHITECTURAL NOTES

- DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 3. SEE A-001 FOR WALL PARTITION LEGEND.
- 4. PROVIDE TEMPERED GLASS AT DOOR AND WINDOW LITES.
- 5. ALL DIMENSIONS ARE TO THE FACE OF CMU, FACE OF EXISTING WALL, OR FACE OF STUD
- 7. SEE A-401 FOR FF&E KEYS, TYP.
- 8. REFERENCED FIRST FLOOR ELEVATION = 0'-0"
- 9. FOR INTERIOR FINISHES, SEE FINISH PLAN SHEETS

10. KEYNOTES ARE PROVIDED FOR REFERENCE ONLY. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. KEYNOTES DO NOT EXCLUDE CONTRACTOR FROM REPAIRING AND PATCHING ALL FLOORS, WALLS AND CEILINGS AS NEEDED AS A RESULT OF DEMOLITION WORK. GENERAL CONTRACTOR TO PREPARE ALL FLOORS AND WALL SUBSTRATES AS REQUIRED TO APPLY NEW FINISH AS INDICATED IN THE FINISH PLANS AND SPECIFICATIONS.

<u>REFLECTED CEILING PLAN GENERAL NOTES</u>

- 2. SEE MEP SHEETS FOR ADDITIONAL CEILING NOTES.

FINISH PLAN GENERAL NOTES

- FOR INFORMATION TO THE DESIGNER FOR CLARIFICATION PRIOR TO ORDERING THE MATERIALS.

4. THE GC SHALL PROVIDE ALL FINISHING PIECES AND TRANSITIONS WHERE DIFFERENT FLOORING THICKNESSES MEET, U.N.O. THE GC SHALL SUBMIT A SAMPLE OF THE COLOR/FINISH TO THE DESIGNER FOR APPROVAL.

- 5. ALL WALLS TO BE FIELD PAINT, PT-1, U.N.O.
- 6. ALL INTERIOR DOOR FRAMES TO RECEIVE PAINT IN GLOSS FINISH, PT-2, U.N.O.

1. CONTRACTOR TO CAREFULLY DEMOLISH BOTH STORAGE SHEDS. WOOD SIDING IS TO BE REUSED ON NEW STRUCTURES

4. CONTRACTOR TO COORDINATE DEMOLITION WITH ALL CONSTRUCTION WASTE MANAGEMENT SPECIFICATIONS 5. CONTRACTOR TO COORDINATE AND VERIFY ALL EXISTING CONDITIONS WITH ABATEMENT PLAN PRIOR TO COMMENCEMENT OF ANY

1. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, AND OTHER REQUIREMENTS NECESSARY FOR CONSTRUCTION. ANY

2. SEE SITE, CIVIL, AND LANDSCAPE PLANS FOR CONTINUATION OF WORK OUTSIDE OF BUILDING.

6. ALL DOOR HINGE-SIDE JAMBS TO BE 6" FROM FACE OF THE PERPENDICULAR WALL TO THE INSIDE FACE OF THE METAL JAMB, TYP., U.N.O.

1. GC IS REQUIRED TO PROVIDE COORDINATION DRAWINGS FOR ALL MEP SYSTEMS OVERHEAD AND IN CEILINGS.

1. ALL MATERIALS TO BE FIELD VERIFIED PRIOR TO ORDERING. DO NOT SCALE FROM DRAWINGS.

2. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS WITH APPROVED ADHESIVES.

3. IF THERE ARE QUESTIONS ABOUT THE DESIGN INTENT OF ANY PATTERN OR MATERIAL TO BE INSTALLED, THE GC SHALL SUBMIT A REQUEST

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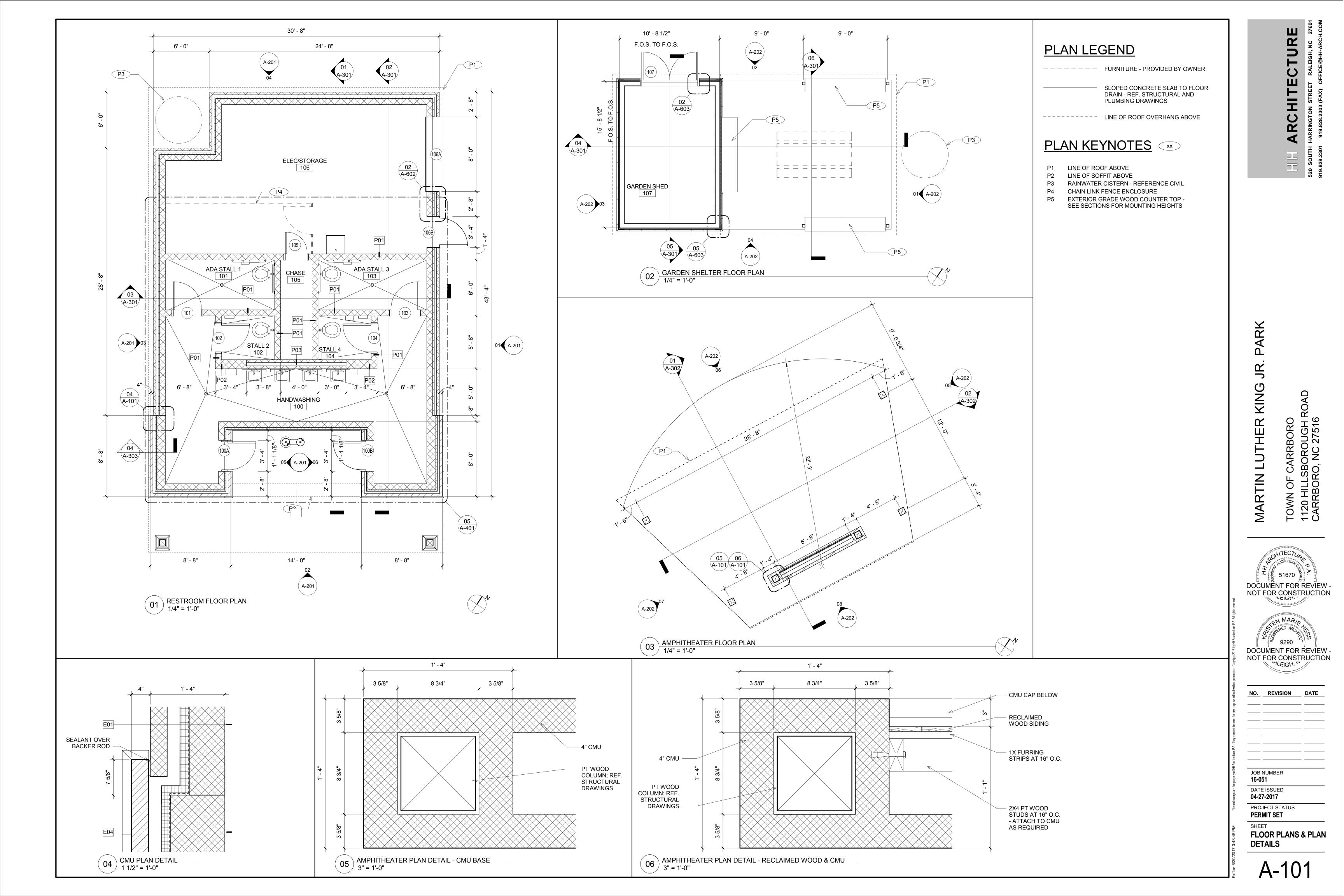
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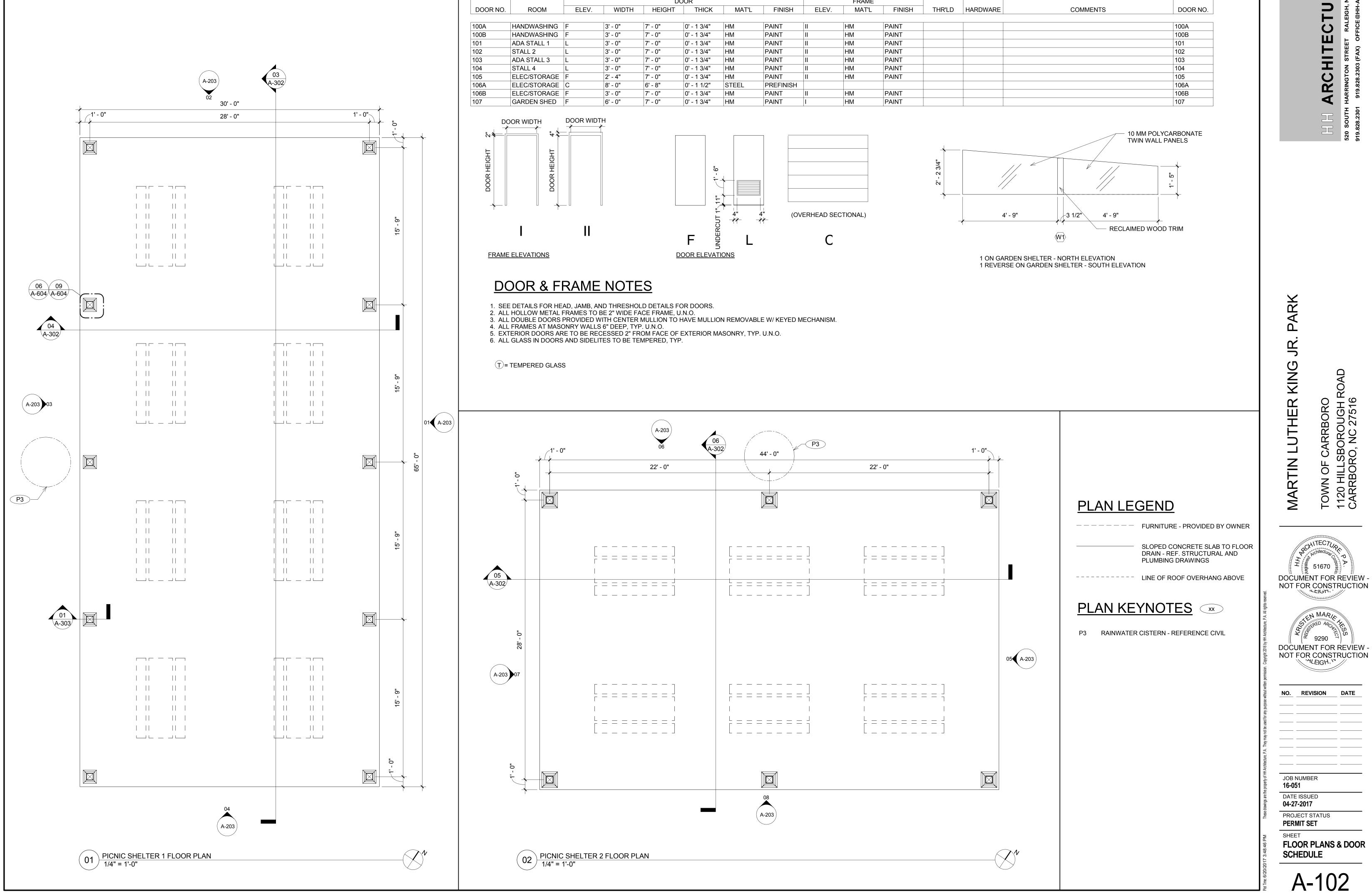
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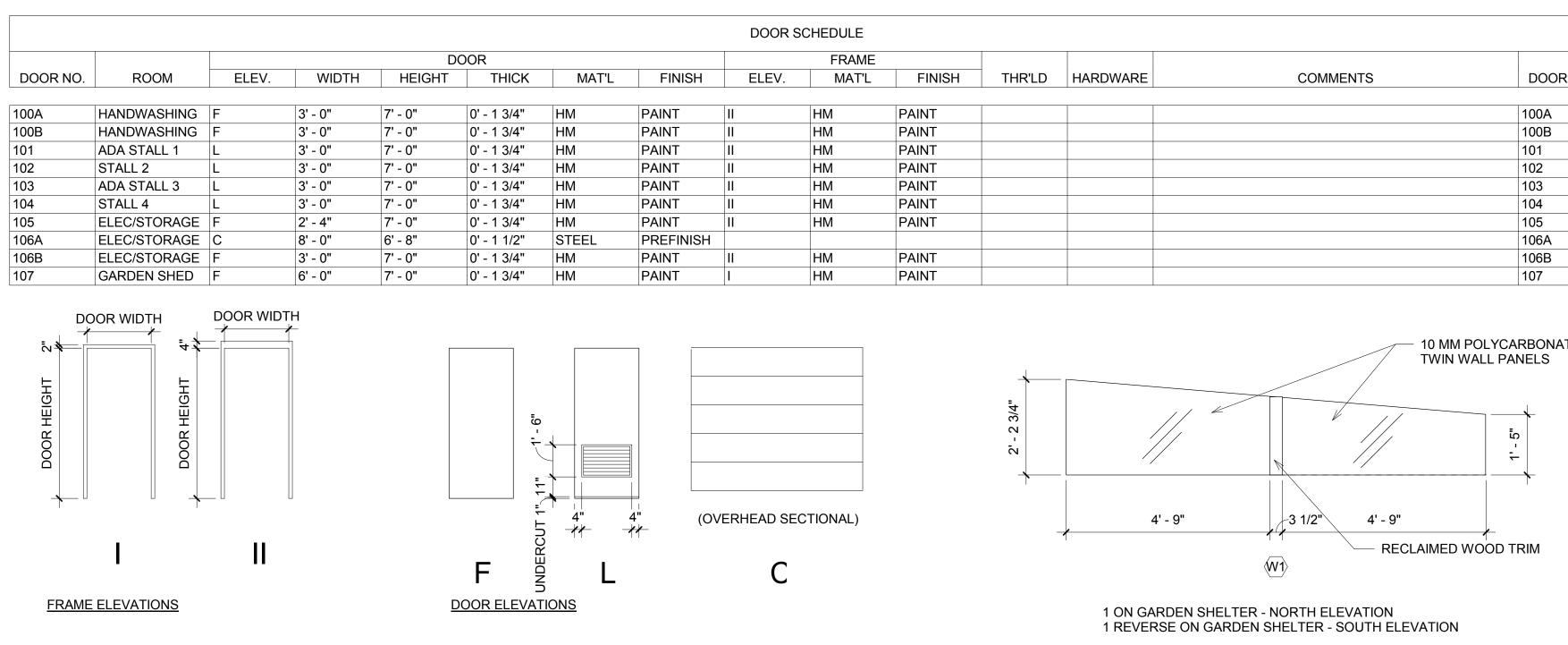
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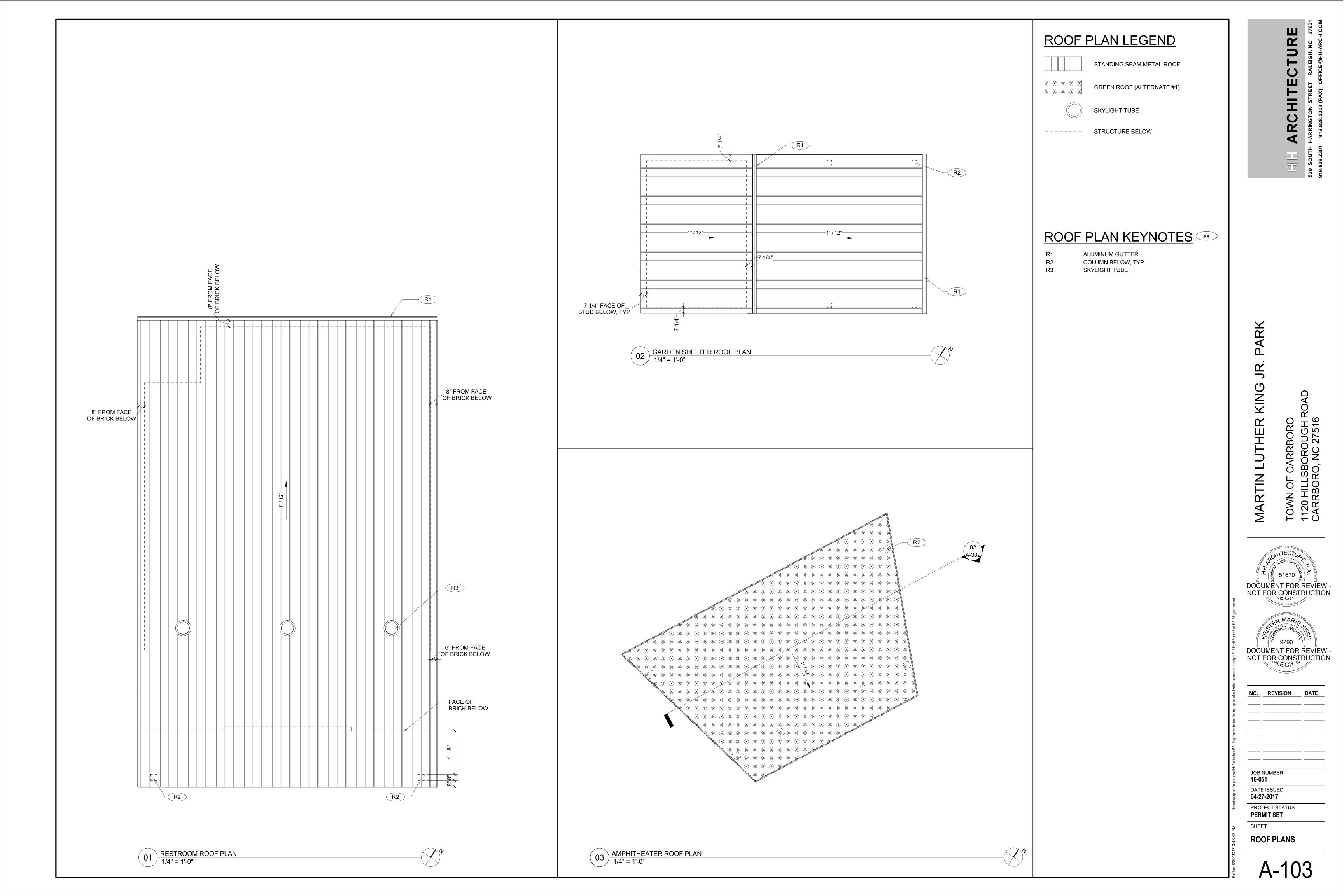


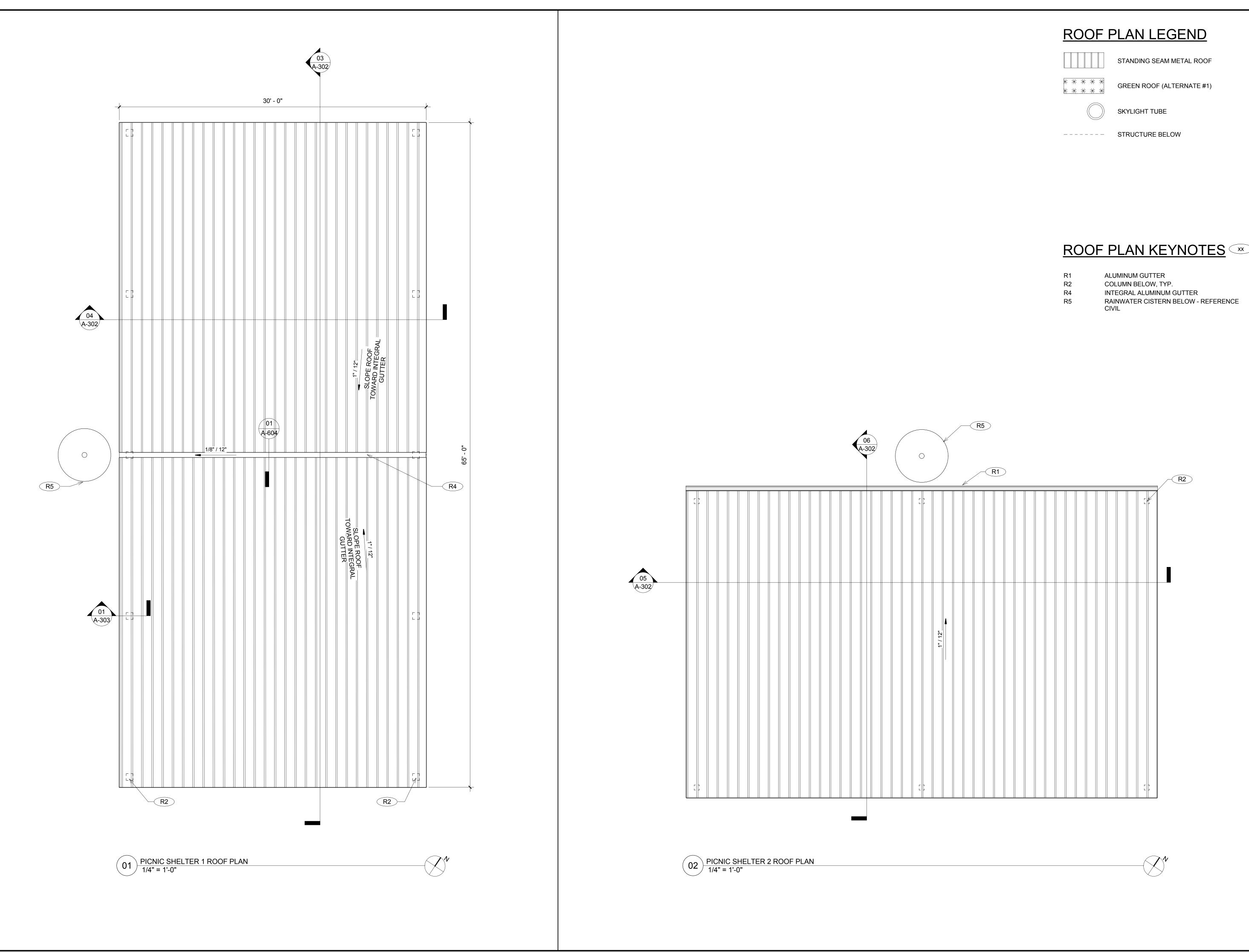


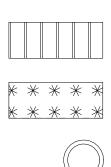
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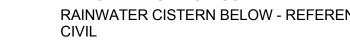


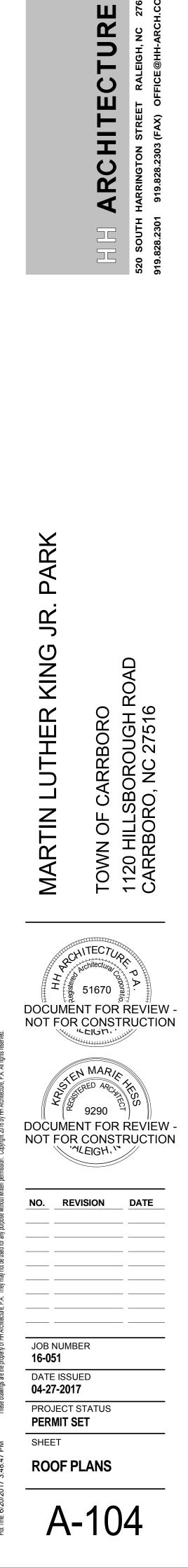


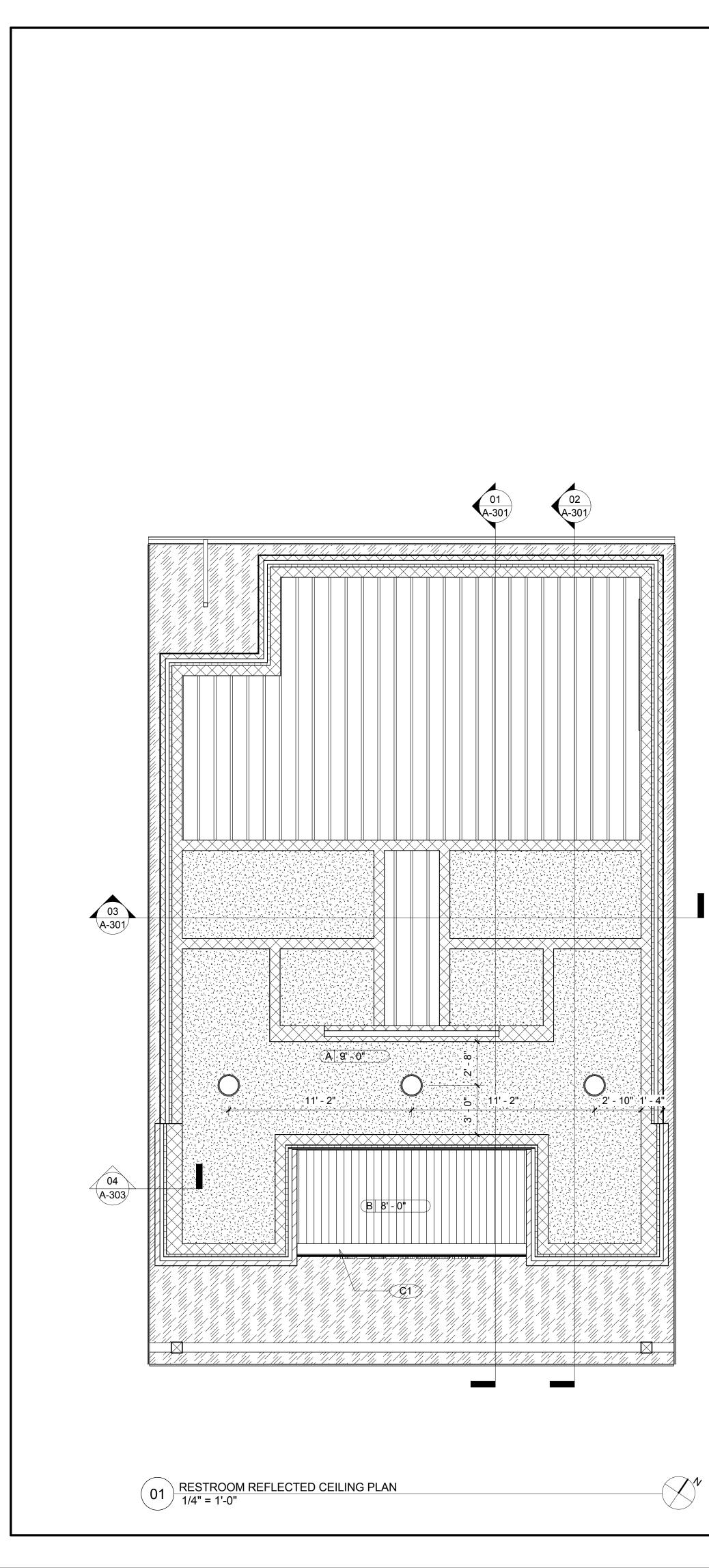


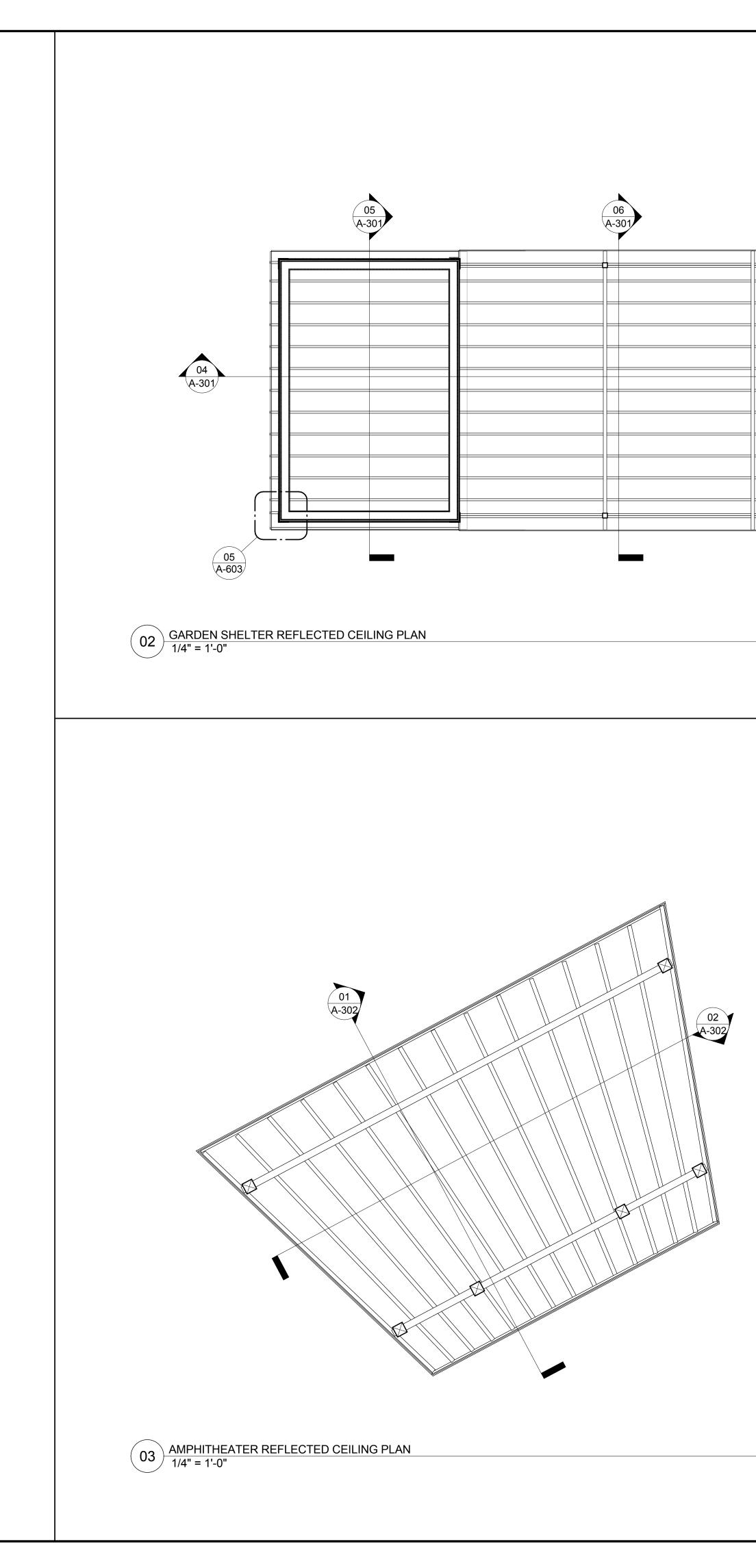
ROOF PLAN KEYNOTES

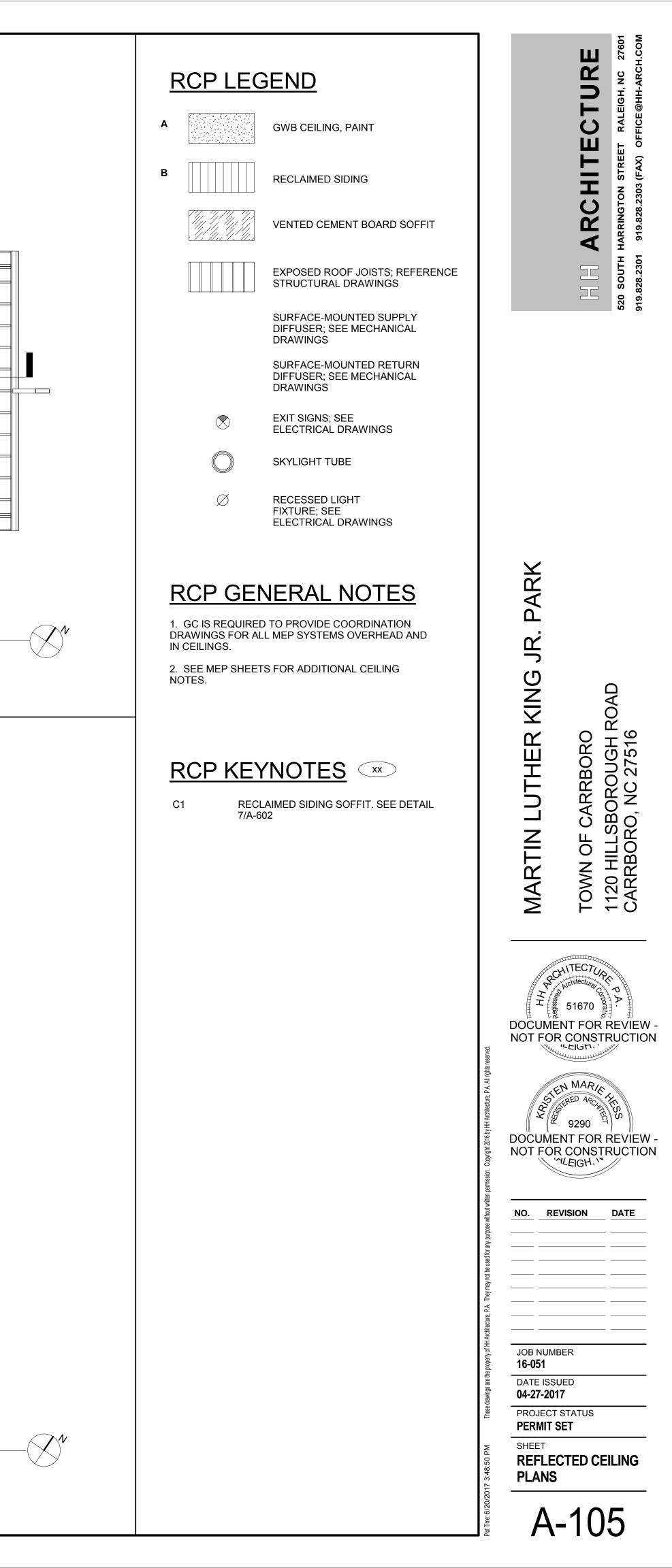
R1	ALUMINUM GUTTER
R2	COLUMN BELOW, TYP.
R4	INTEGRAL ALUMINUM GU
R5	RAINWATER CISTERN BE

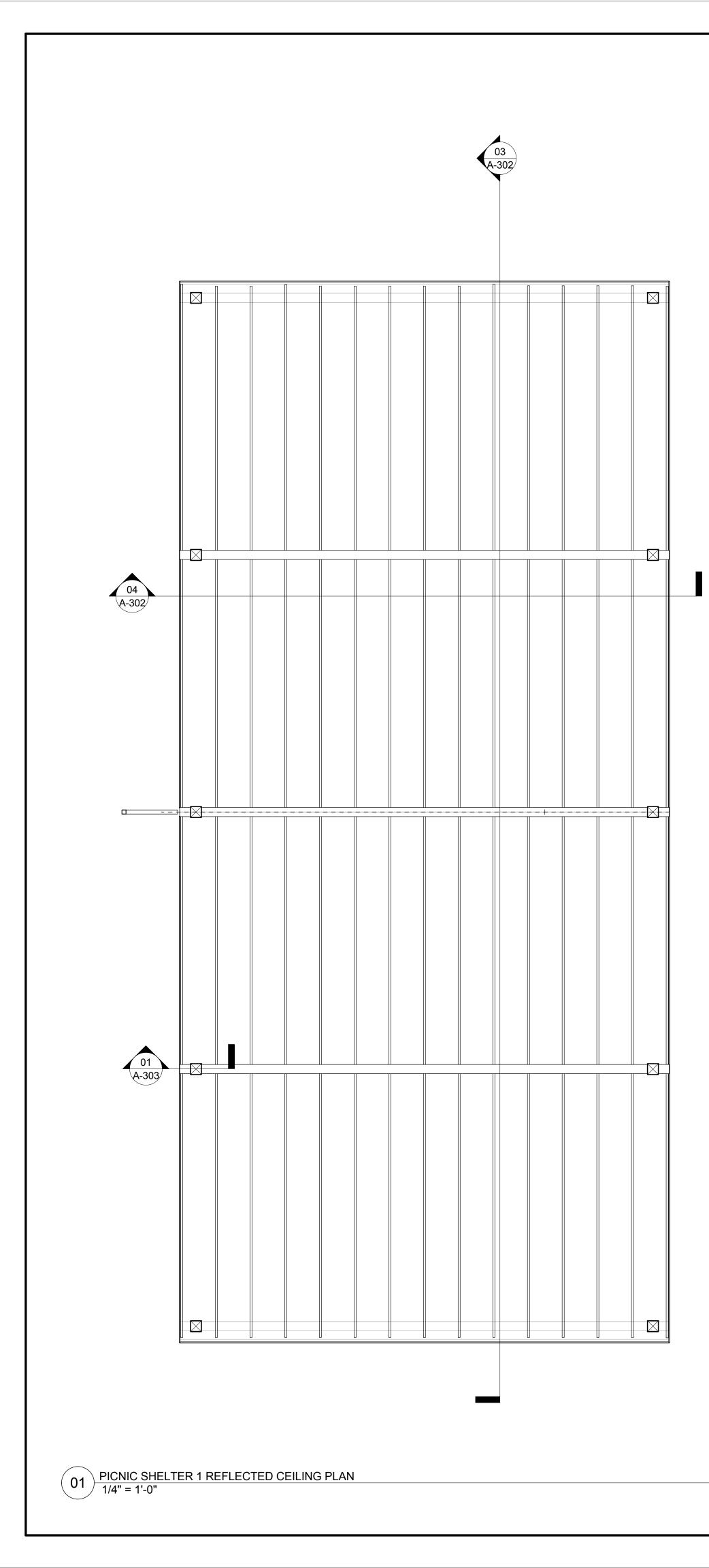




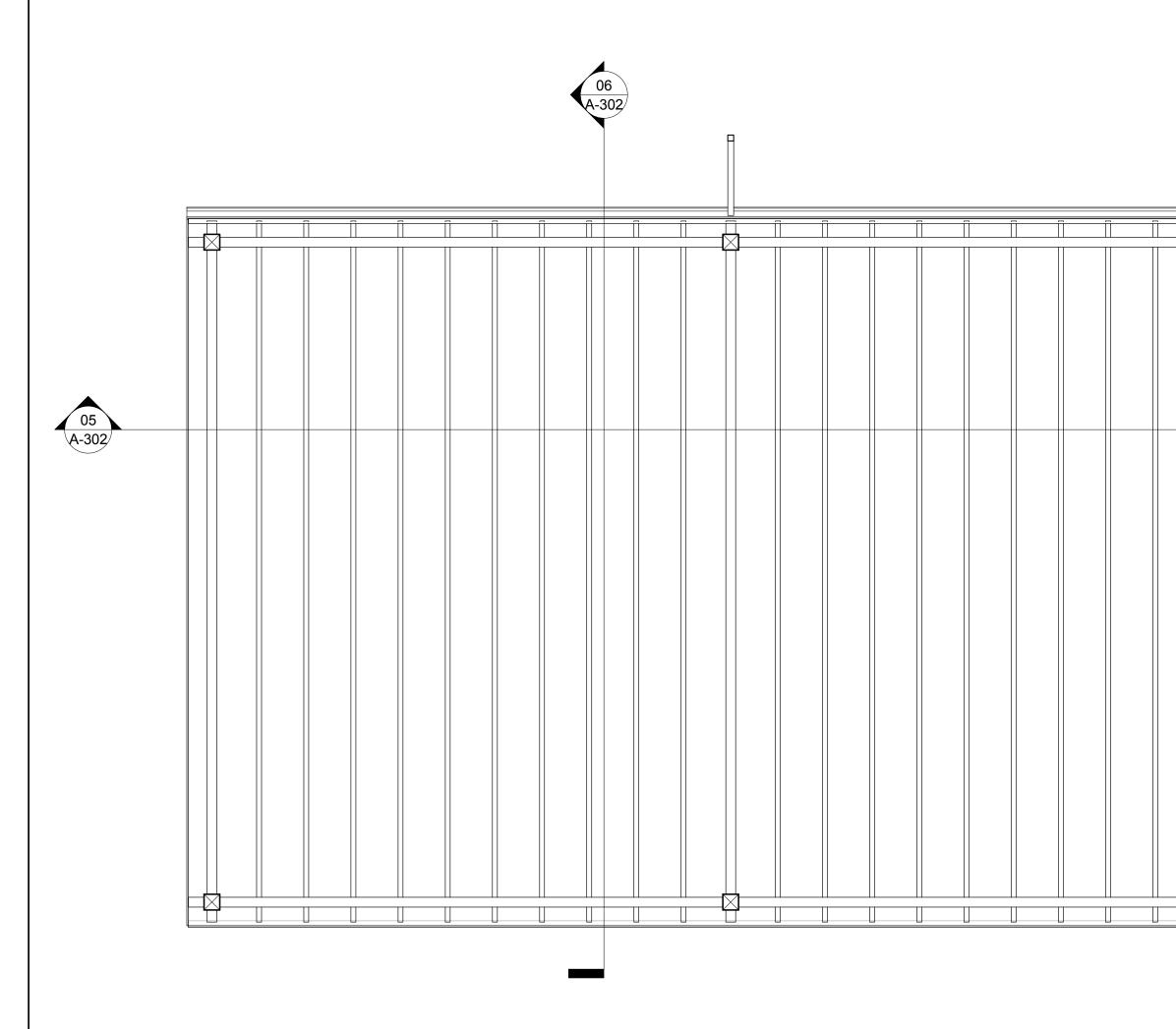






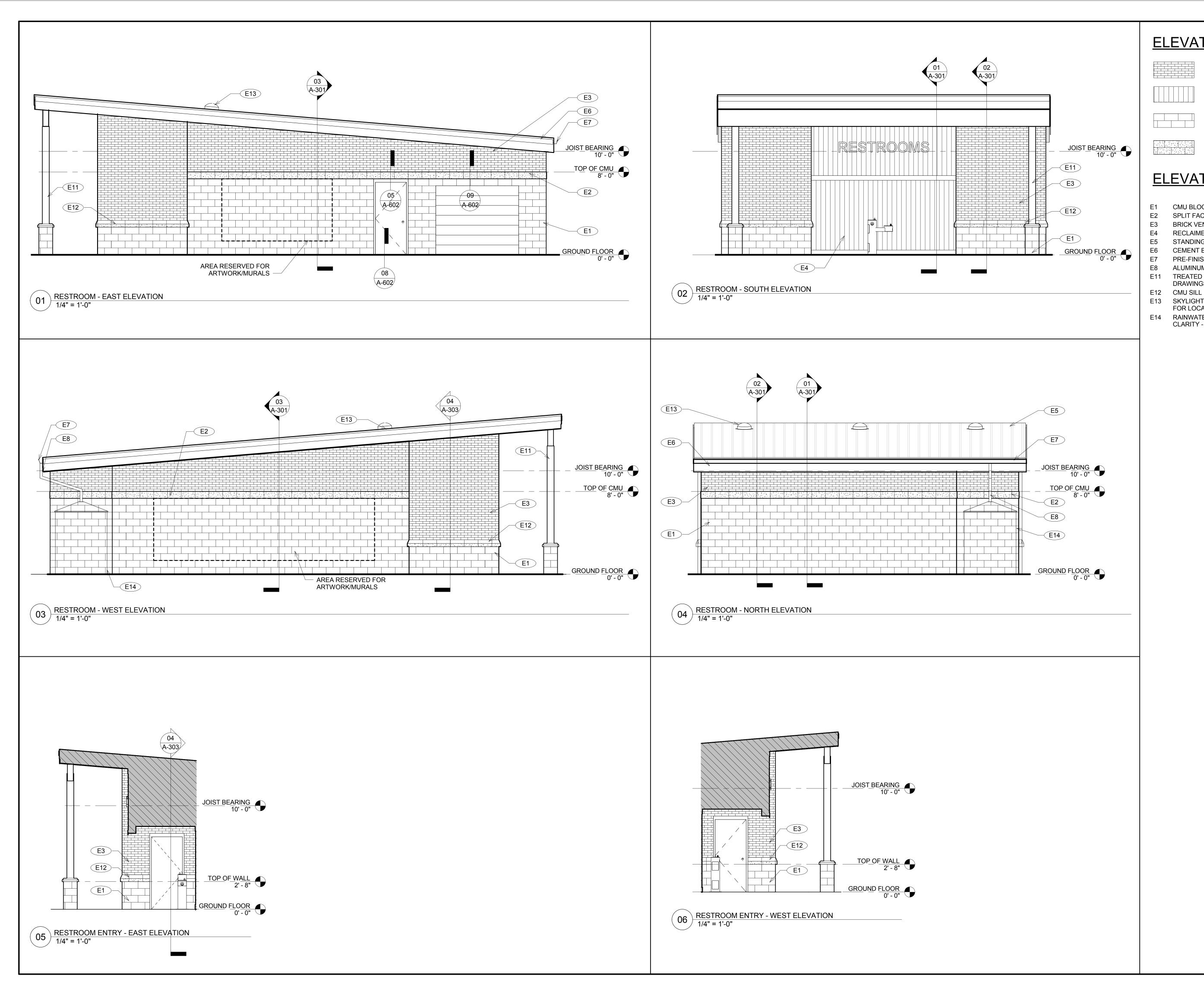


FINISH SCHEDULE						
ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	
100	HANDWASHING	EPOXY	EPOXY	EPOXY PT CMU	PT	
101	MEN'S	EPOXY	EPOXY	EPOXY PT CMU	PT	
101	ADA STALL 1	EPOXY	EPOXY	EPOXY PT CMU	PT	
102	STALL 2	EPOXY	EPOXY	EPOXY PT CMU	PT	
103	ADA STALL 3	EPOXY	EPOXY	EPOXY PT CMU	PT	
104	STALL 4	EPOXY	EPOXY	EPOXY PT CMU	PT	
105	CHASE	SEALED CONCRETE	NONE	NONE	OPEN	
106	ELEC/STORAGE	SEALED CONCRETE	RUBBER	EPOXY PT CMU	OPEN	
107	GARDEN SHED	SEALED CONCRETE	NONE	NONE	OPEN	

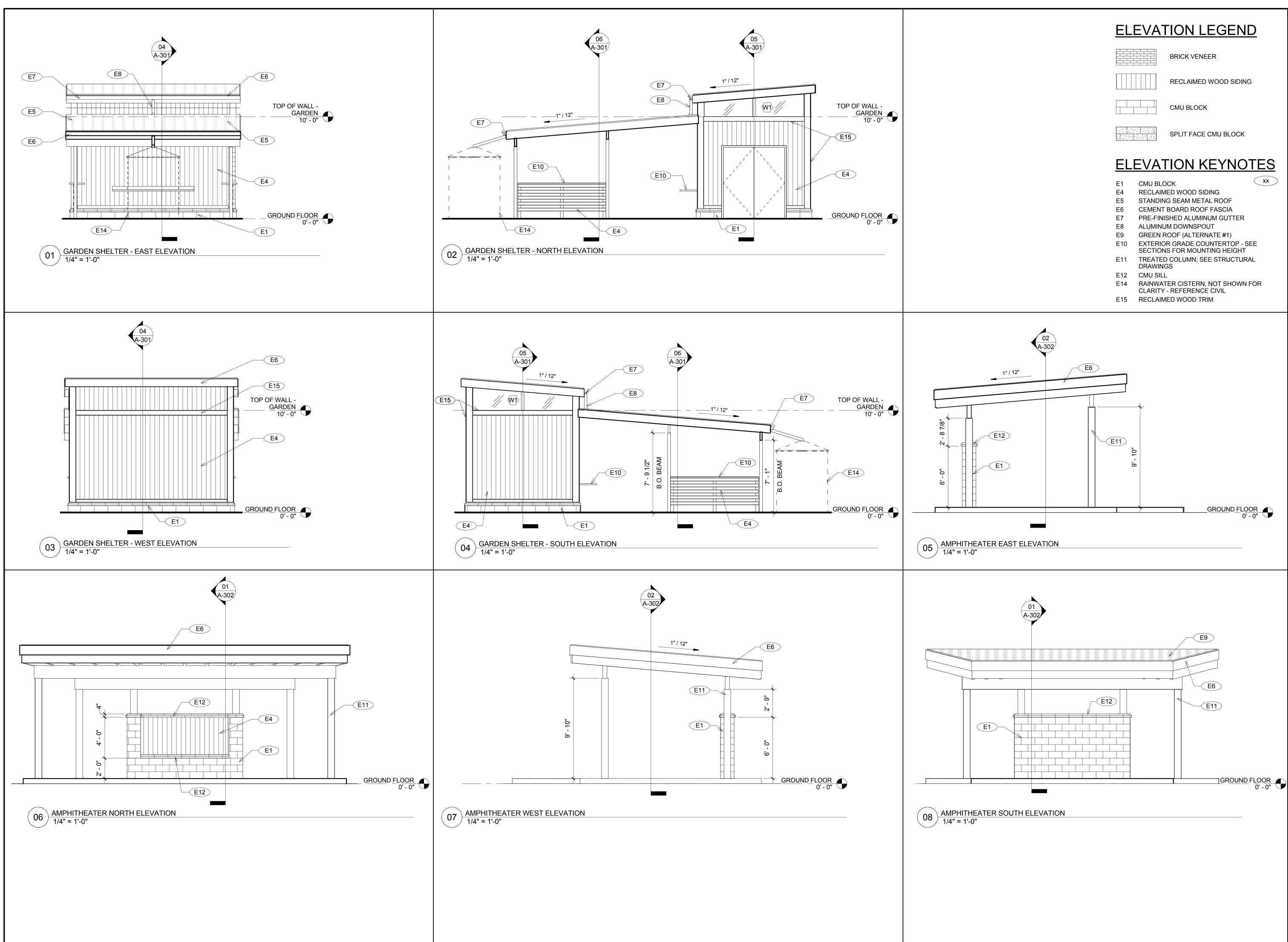


02 PICNIC SHELTER 2 REFLECTED CEILING PLAN 1/4" = 1'-0"

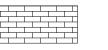
	SEND GWB CEILING, PAINT RECLAIMED SIDING VENTED CEMENT BOARD SOFFIT SURFACE MOUNTED SUPPLY DIFFUSER; SEE MECHANICAL DRAWINGS SURFACE-MOUNTED RETURN DIFFUSER; SEE MECHANICAL DRAWINGS EXT SIGNS; SEE ELECTRICAL DRAWINGS		ARCHITECTURE 520 SOUTH HARINGTON STREET RALEIGH, NC 27601 919.828.2301 919.828.2303 (FAX) OFFICE@HH-ARCH.COM
1. GC IS REQUIRED DRAWINGS FOR AL IN CEILINGS.	SKYLIGHT TUBE RECESSED LIGHT ELECTRICAL DRAWINGS SCORPORTING COORDINATION CORPORTING SOVERHEAD AND STOR ADDITIONAL CEILING	NOT FOR	TOWN OF CARRBORO 1120 HILLSBOROUGH ROAD CARRBORO, NC 27516 Sama and a second se
		DOCUME NOT FOF NOT FOF	ENT FOR REVIEW - R CONSTRUCTION ALEIGH, N EVISION DATE EVISION DATE BER UED 17 STATUS SET CTED CEILING & FINISH



TURE ELEVATION LEGEND BRICK VENEER ARCHITEC RECLAIMED WOOD SIDING STRE (FAX) CMU BLOCK SPLIT FACE CMU BLOCK SOUTH 828.2301 **ELEVATION KEYNOTES** 520 919. < xx CMU BLOCK SPLIT FACE CMU BLOCK BRICK VENEER RECLAIMED WOOD SIDING STANDING SEAM METAL ROOF CEMENT BOARD ROOF FASCIA PRE-FINISHED ALUMINUM GUTTER ALUMINUM DOWNSPOUT TREATED COLUMN; SEE STRUCTURAL DRAWINGS SKYLIGHT - SEE REFLECTED CEILING PLAN FOR LOCATION E14 RAINWATER CISTERN, NOT SHOWN FOR CLARITY - REFERENCE CIVIL UTHER KING JR. PARK TOWN OF CARRBORO 1120 HILLSBOROUGH ROAD CARRBORO, NC 27516 MARTIN I 51670 DOCUMENT FOR REVIEW 9290 DOCUMENT FOR REVIEW -NOT FOR CONSTRUCTION NO. REVISION DATE _____ JOB NUMBER 16-051 DATE ISSUED 04-27-2017 PROJECT STATUS PERMIT SET SHEET ELEVATIONS A-201

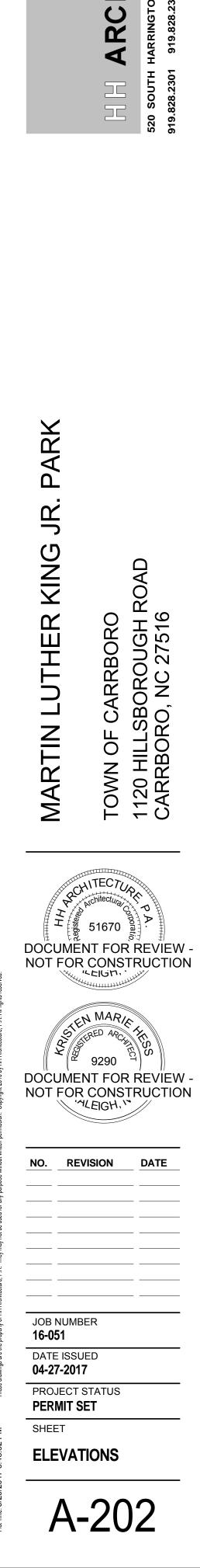










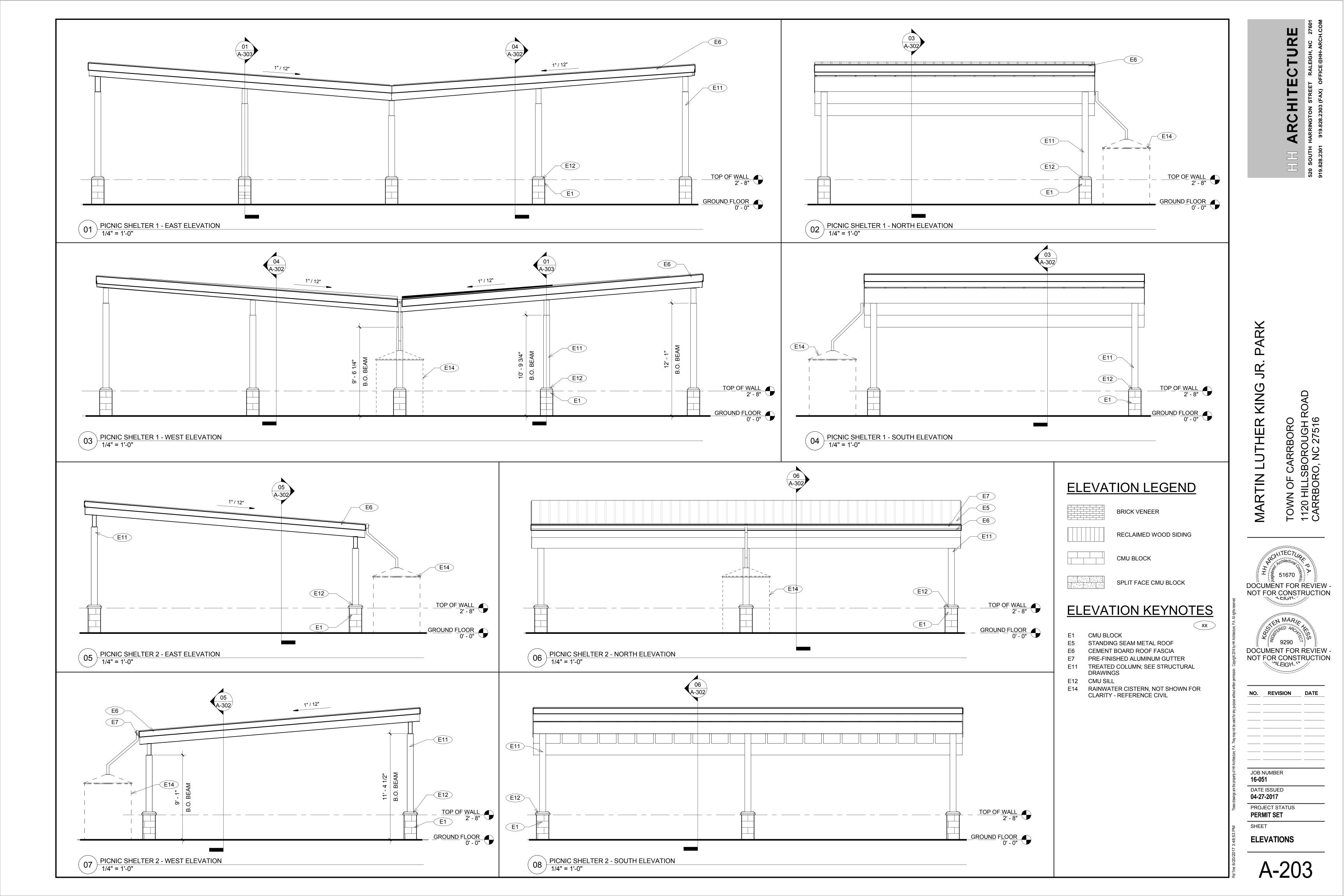


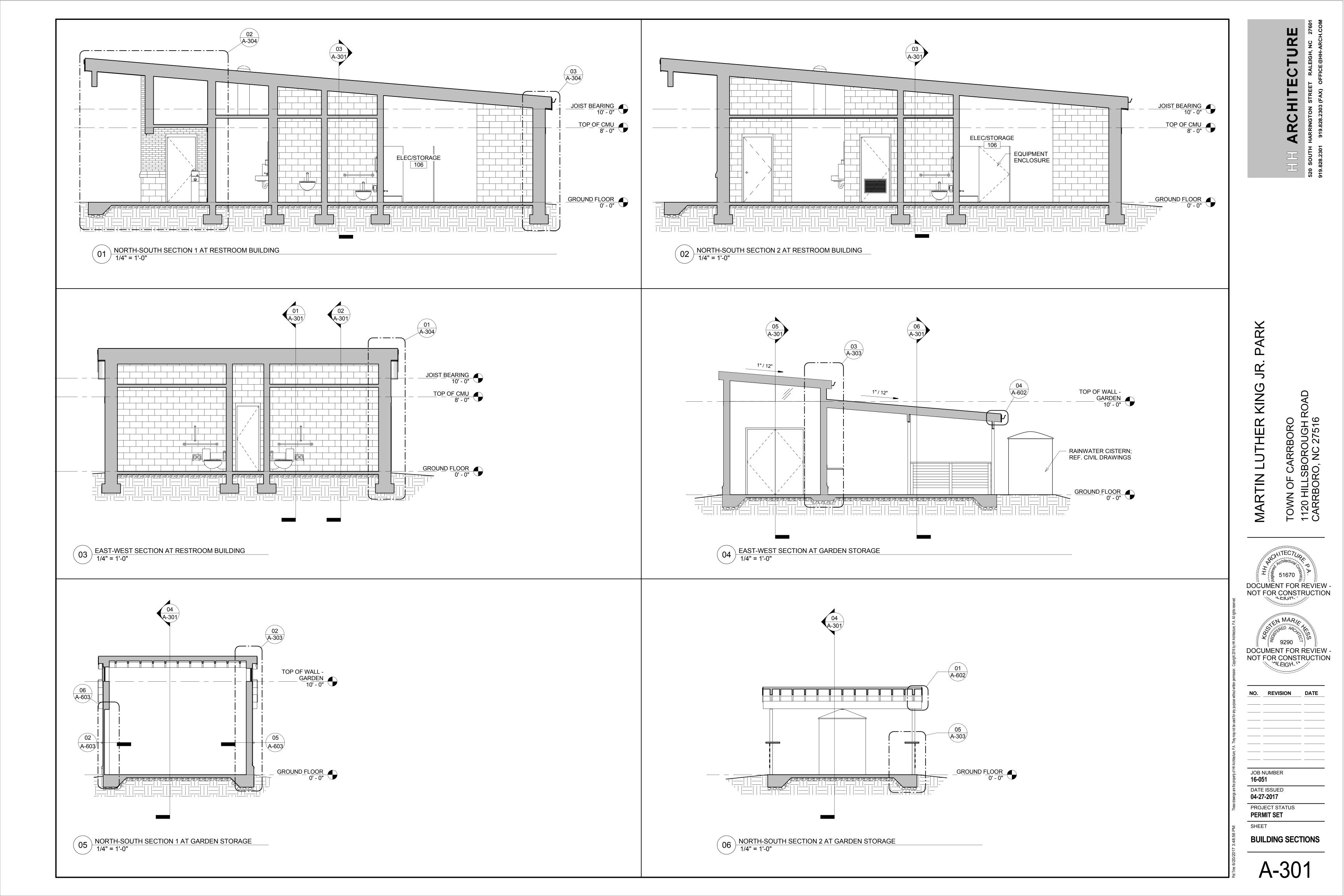
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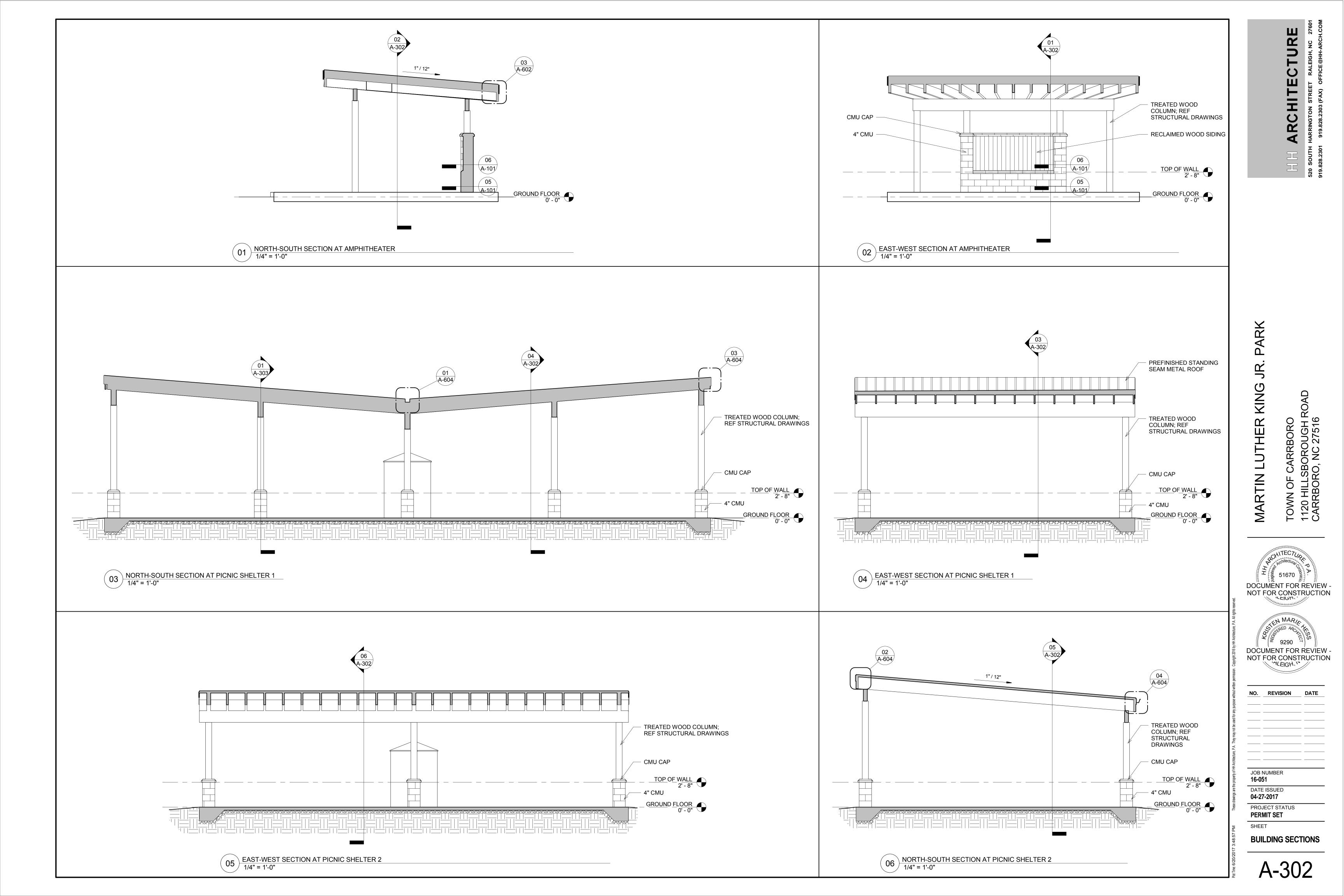
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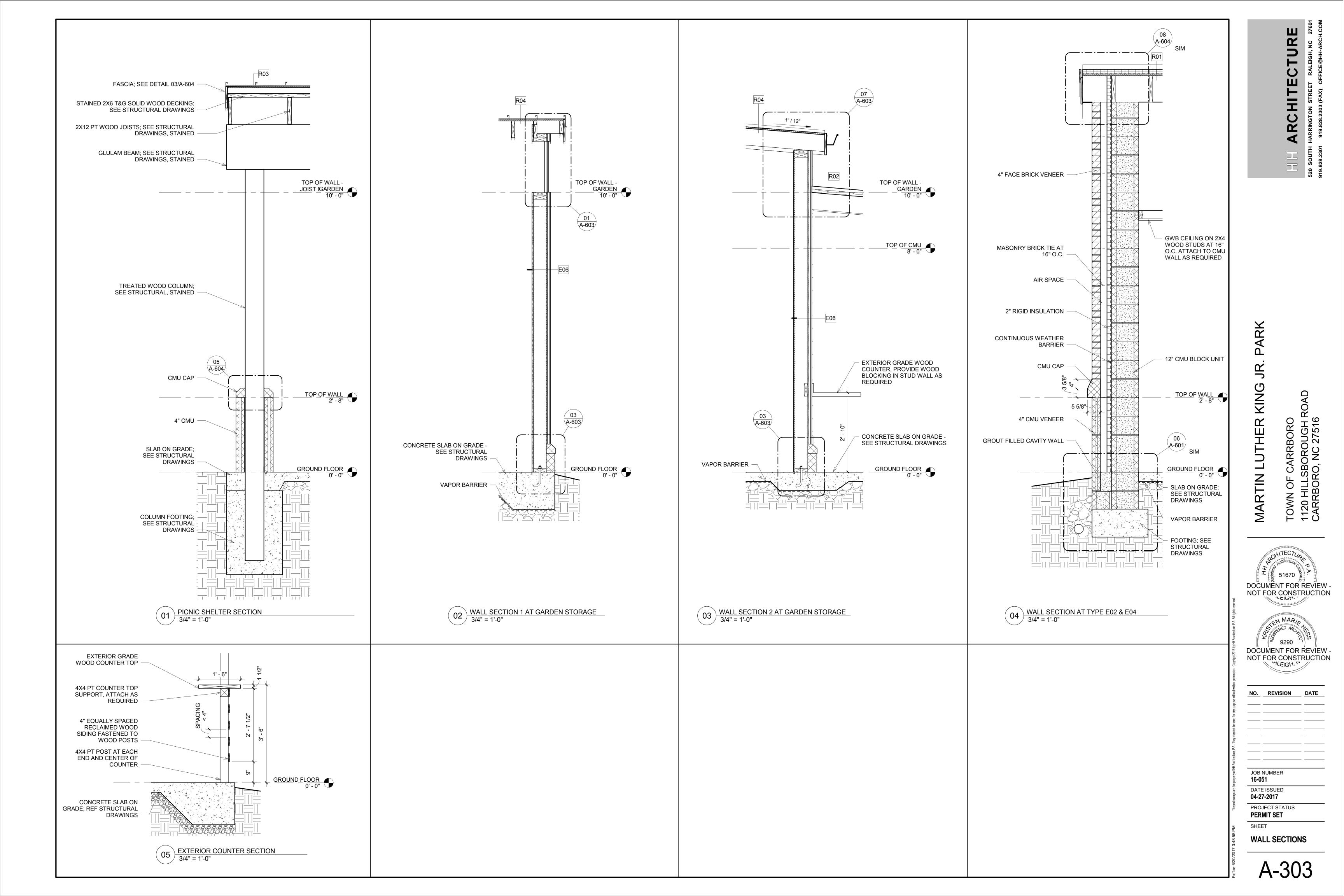
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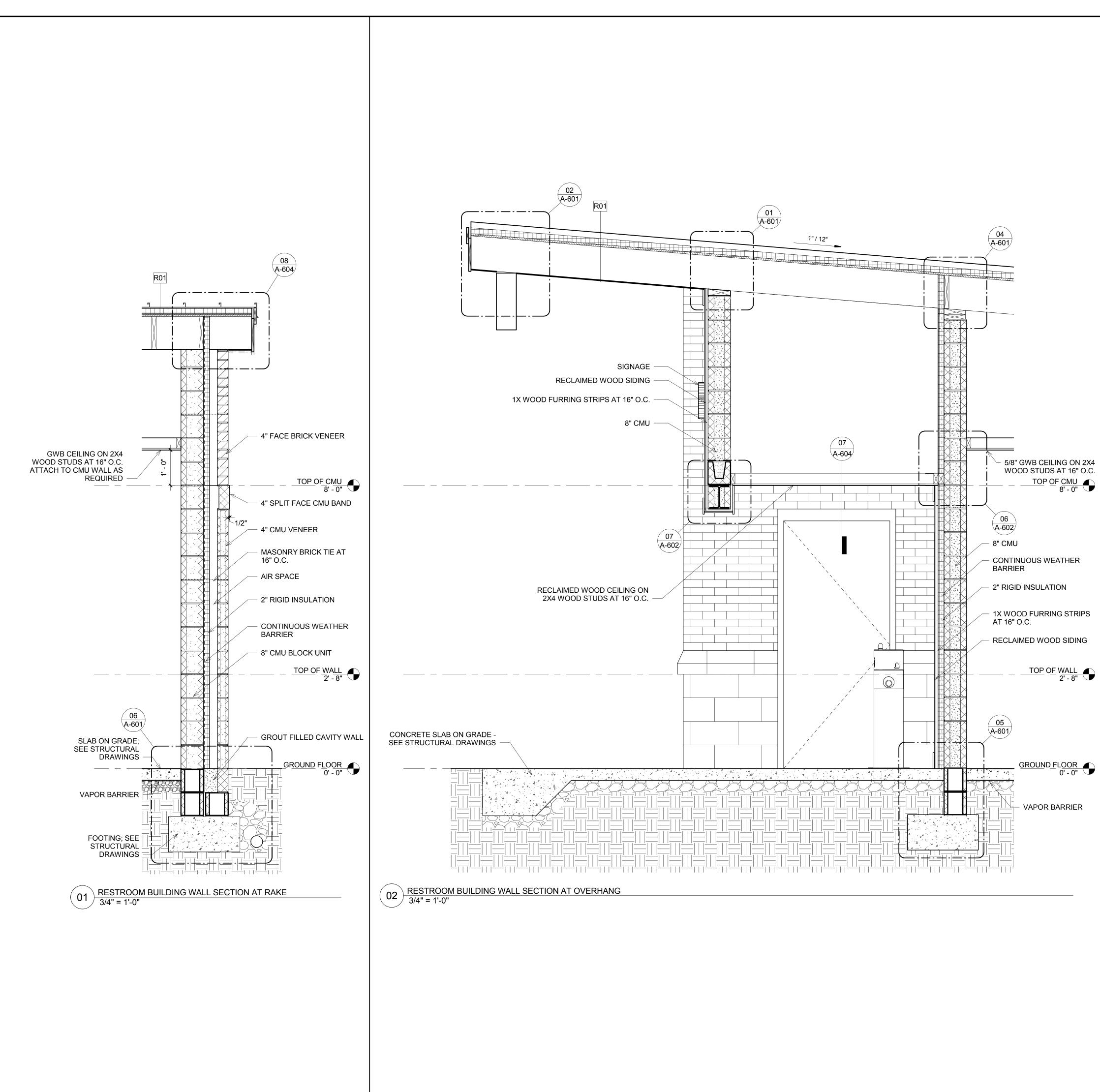
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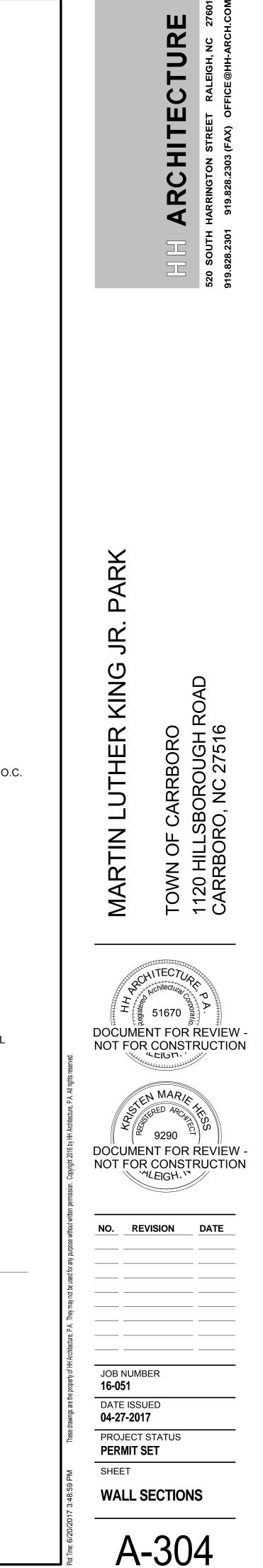


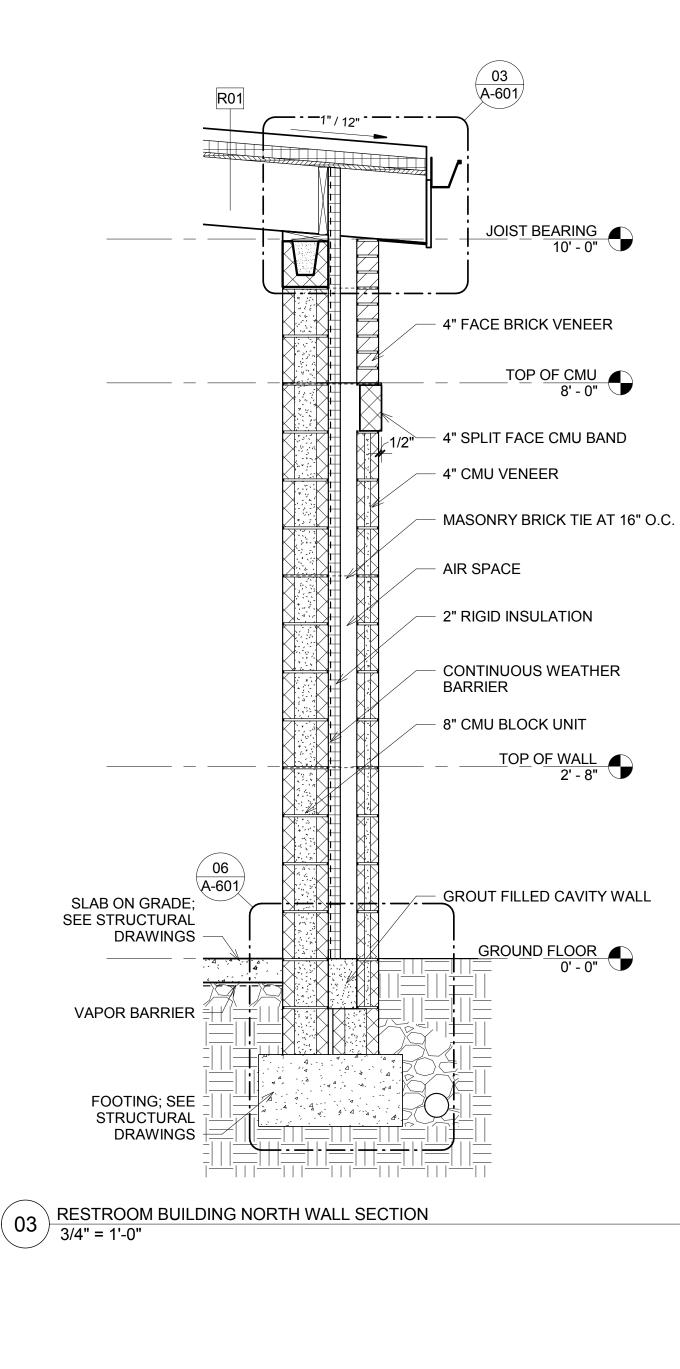


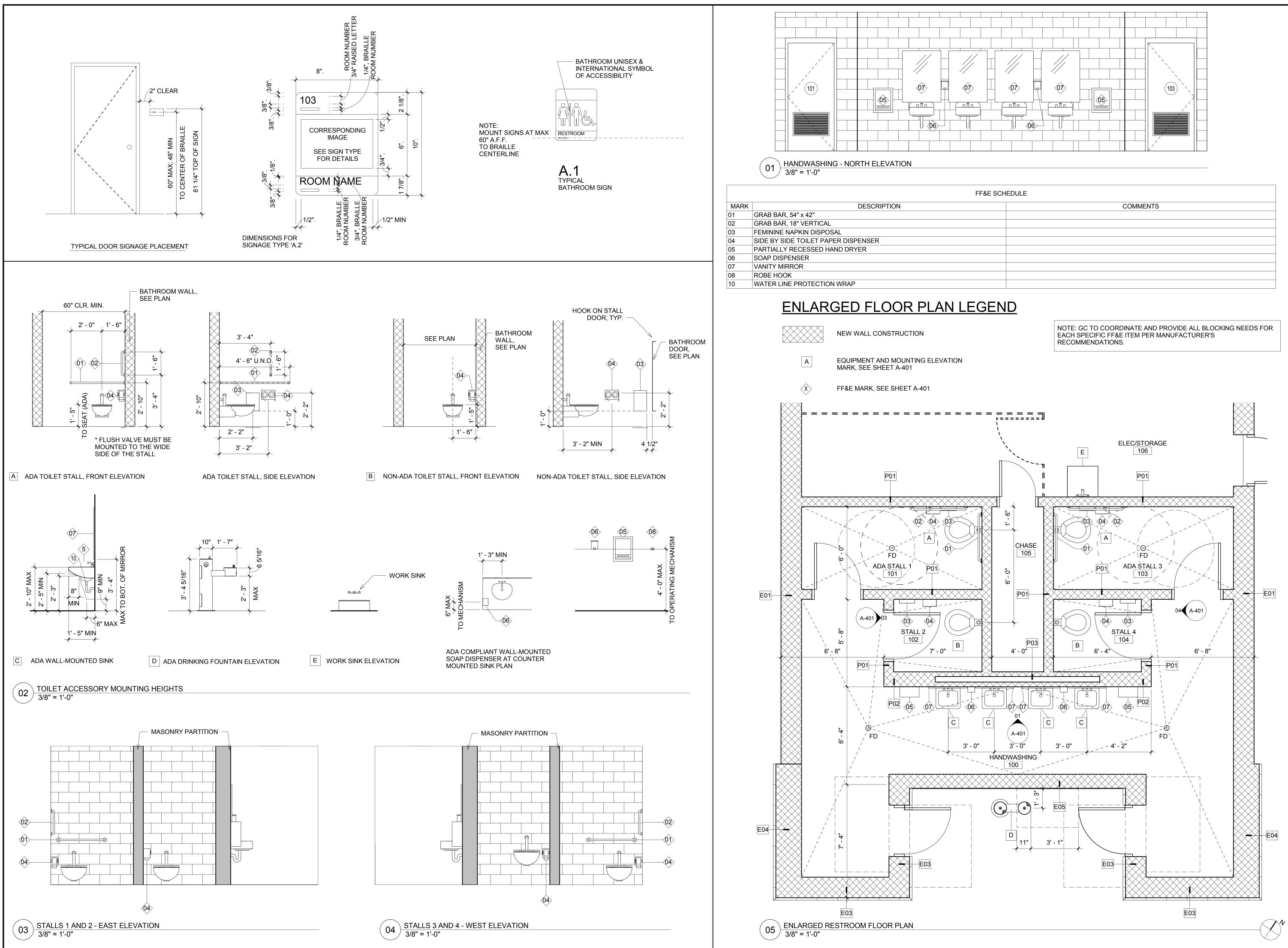












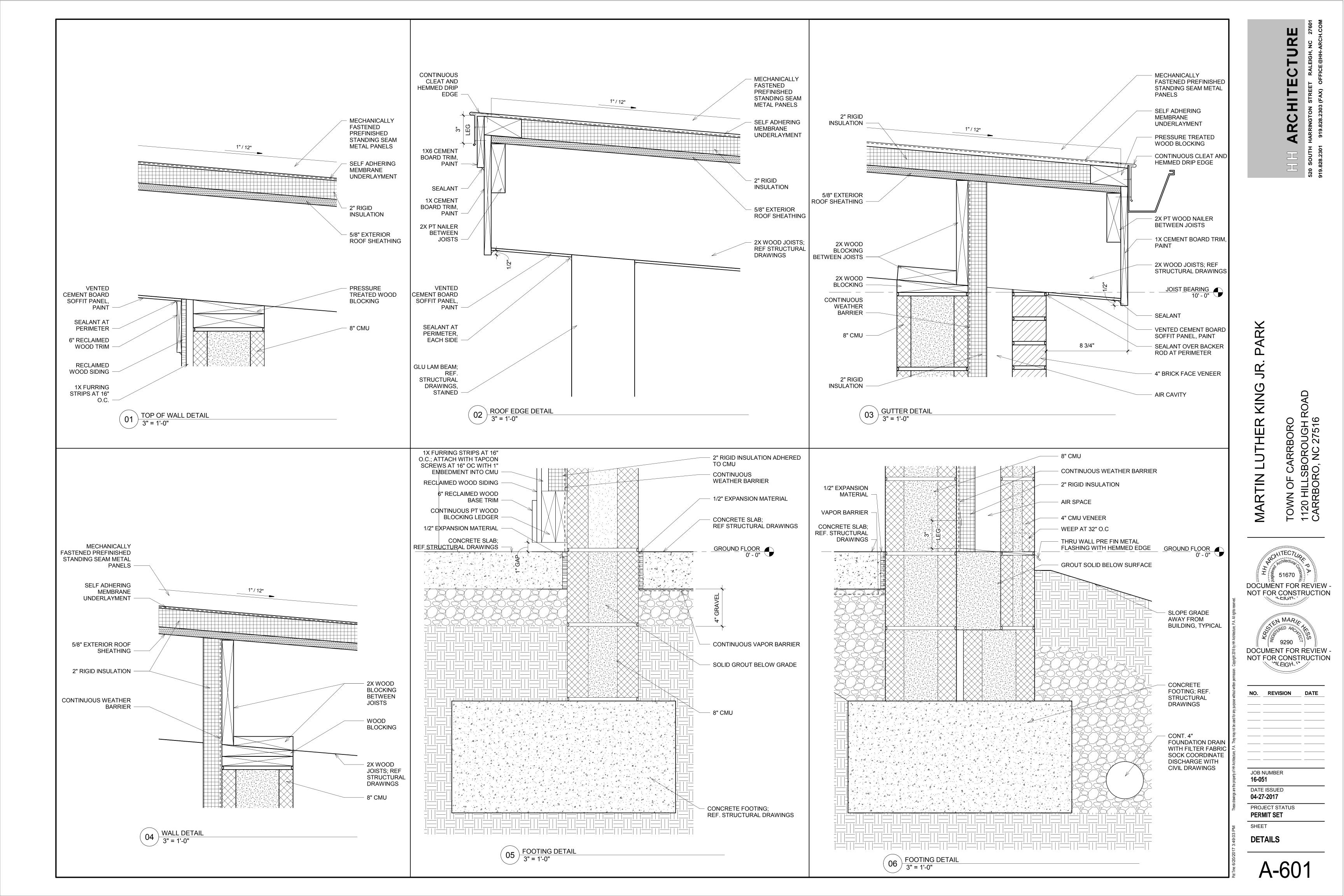


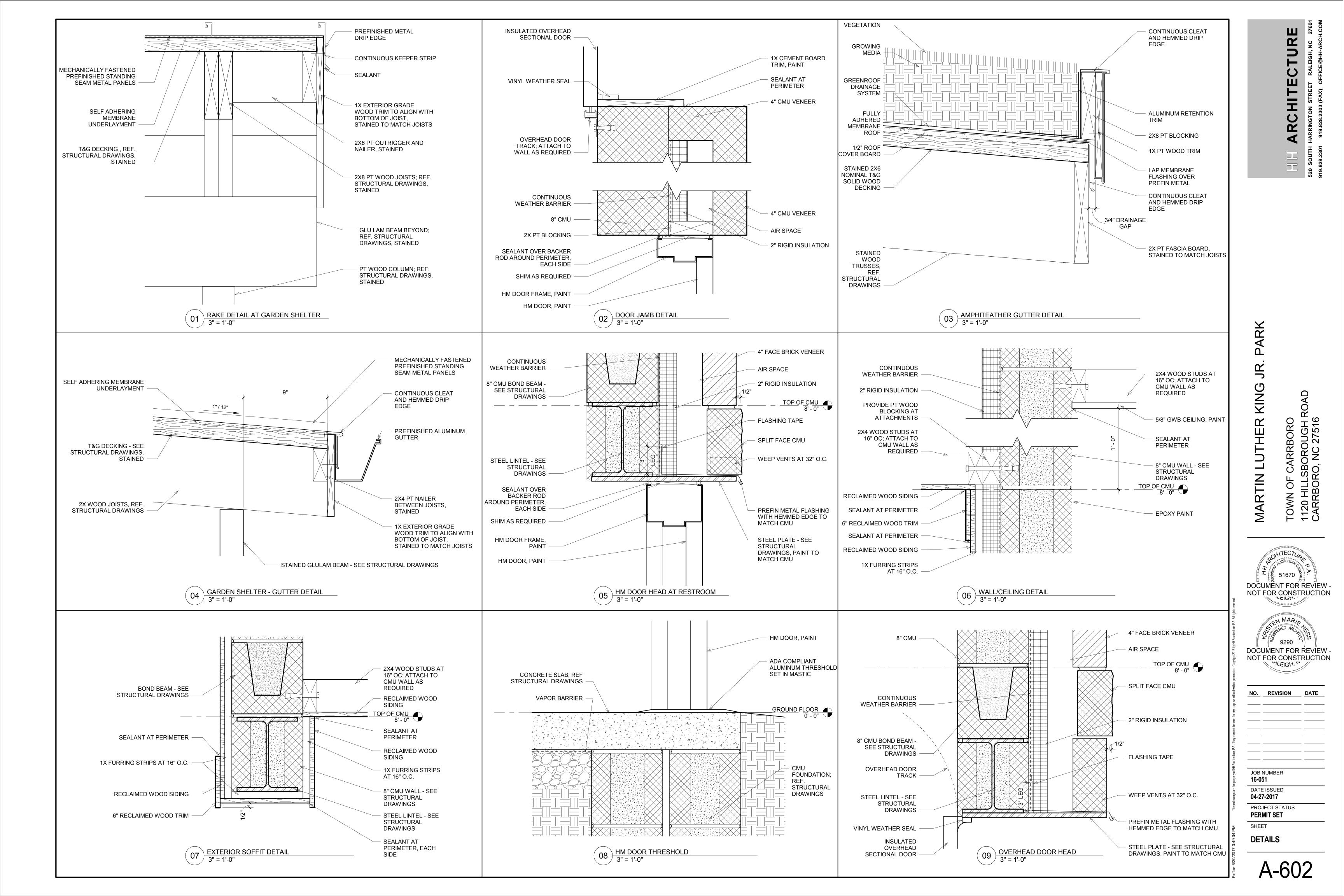
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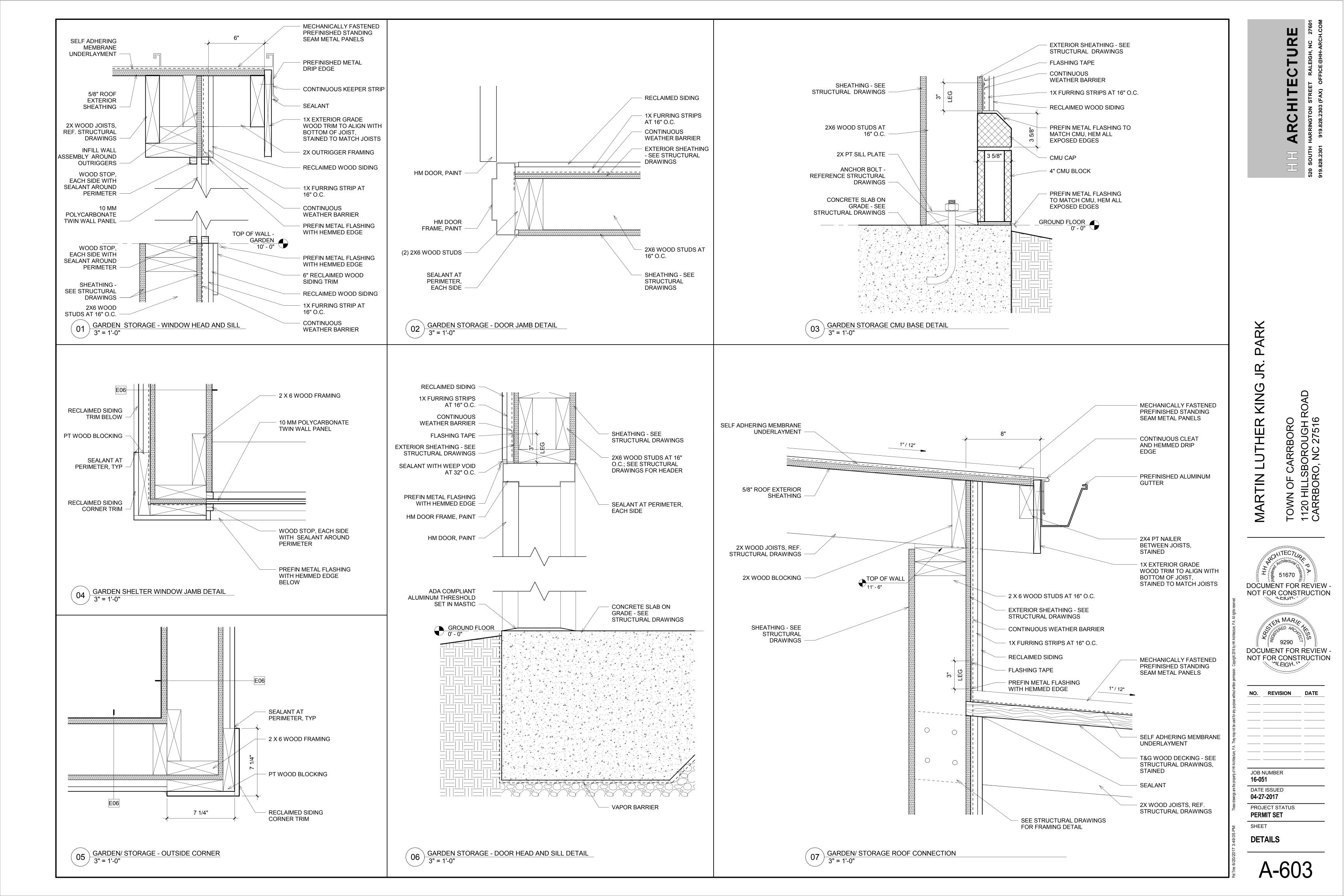
& FF&E SCHEDULE

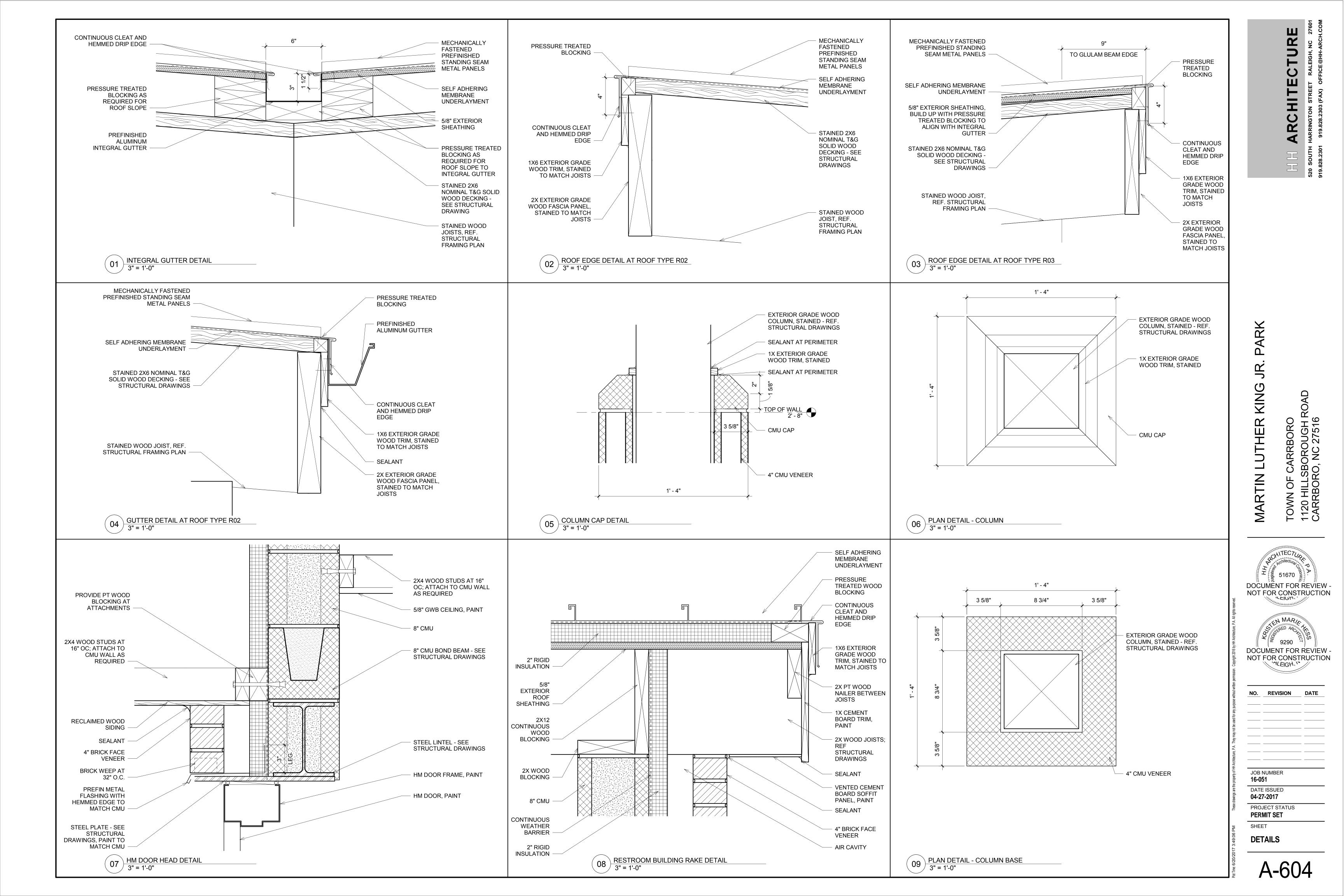
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INTERIOR ELEVATIONS









PLUMBING ABBREVIATIONS

Ø #	ROUND; DIAMETER; PHASE	IN	INCH
	POUNDS; NUMBER	INV	INVERT
А	COMPRESSED AIR	KW	KILOWATT
AAV	AIR ADMITTANCE VALVE	LP	LOW PRESSURE
ACFM	ACTUAL CUBIC FEET PER MINUTE	LPG	LIQUID PETROLEUM GAS
AFC	ABOVE FINISHED CEILING	MA	MEDICAL AIR
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
AFG	ABOVE FINISHED GRADE	MBH	1000 BRITISH THERMAL UNITS PER HOUR
AFH	ANTI-FREEZE HYDRANT	MCA	MINIMUM CIRCUIT AMPS
ALT	ALTERNATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL; ARCHITECT	MFG	MANUFACTURING
AUTO	AUTOMATIC	MFR	MANUFACTURER
AV	ACID VENT	MH	MANHOLE
AW	ACID WASTE	MIN	MINIMUM
BAS	BUILDING AUTOMATION SYSTEM	MOCP	MAXIMUM OVER CURRENT PROTECTION
BFF	BELOW FINISHED FLOOR	MP	MEDIUM PRESSURE
BP	BACKFLOW PREVENTER	MRT	MOTOR RATED TOGGLE SWITCH
BHP	BRAKE HORSEPOWER	MS	MOTOR STARTER
BOS	BOTTOM OF STEEL	MS/D	COMBINATION MOTOR STARTER & DISCONNECT
BOP	BOTTOM OF PIPE	MTD	MOUNTED
BTU	BRITISH THERMAL UNIT	Ν	NITROGEN
BTUH	BRITISH THERMAL UNIT PER HOUR	N.C.	NORMALLY CLOSED
С	CELSIUS	NO	NITROUS OXIDE
CD	CONDENSATE DRAIN	N.O.	NORMALLY OPEN
CFH	CUBIC FEET PER HOUR	NIC	NOT IN CONTRACT
CI	CAST IRON	NTS	NOT TO SCALE
CLG	CEILING	0	OXYGEN
CO	CLEAN OUT	OC	ON CENTER
CO2	CARBON DIOXIDE	OD	OUTSIDE DIAMETER, OVERFLOW (EMERGENCY)
CONC	CONCRETE		DRAIN
CPVC	CHLORINATED POLYVINYL CHLORIDE	ODL	OVERFLOW (EMERGENCY) DRAIN LEADER
CTR	CENTER	OSD	OPEN SIGHT DRAIN
CU	COPPER	Р	PUMP
CUFT	CUBIC FOOT; CUBIC FEET	PD	PRESSURE DROP; PUMPED DISCHARGE
CUYD	CUBIC YARD	PRV	PRESSURE REDUCING VALVE; PRESSURE RELIEF
CW	COLD WATER		VALVE
DDC	DIRECT DIGITAL CONTROLS	PSI	POUNDS PER SQUARE INCH
DI	DUCTILE IRON	PSIA	POUNDS PER SQUARE INCH ABSOLUTE
DIA	DIAMETER	PSIG	POUNDS PER SQUARE INCH GAUGE
DIW	DEIONIZED WATER	PVC	POLYVINYL CHLORIDE
DIV	DIVISION	QTY	QUANTITY
DN	DOWN	RD	ROUND; ROOF DRAIN
DWG	DRAWING	RDL	ROOF DRAIN LEADER
EA	EACH	RECIRC	RECIRCULATING
EFF	EFFICIENCY	REINF	REINFORCING
LII			
ELEV	ELEVATION	REV	REVISION
ELEV ELEC	ELEVATION ELECTRICAL		REVISION ROOF LEADER
elev Elec Equip	ELEVATION ELECTRICAL EQUIPMENT	REV RL RO	REVISION ROOF LEADER REVERSE OSMOSIS
ELEV ELEC	ELEVATION ELECTRICAL EQUIPMENT ELECTRIC WATER COOLER	REV RL	REVISION ROOF LEADER REVERSE OSMOSIS REVOLUTIONS PER MINUTE
elev Elec Equip Ewc Ewh	ELEVATION ELECTRICAL EQUIPMENT ELECTRIC WATER COOLER ELECTRIC WATER HEATER	REV RL RO RPM RPZ	REVISION ROOF LEADER REVERSE OSMOSIS
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PLUMBING PIPING SYMBOLS

PIPE SIZE AND SYSTEM IDENTIFICATION

DOMESTIC COLD WATER

DOMESTIC HOT WATER SUPPLY

DOMESTIC HOT WATER RETURN

SANITARY, SOIL OR WASTE VENT

EXISTING DOMESTIC COLD WATER

VALVE (REFER TO SPECIFICATIONS)

CALIBRATED BALANCING VALVE

BUTTERFLY VALVE

GATE VALVE

GLOBE VALVE

CHECK VALVE

PLUG VALVE

BALL VALVE

GAS COCK

Y-TYPE STRAINER

BASKET STRAINER

PIPE TURNING UP

PIPE CAP

PIPE UNION

PIPE ANCHOR

PRESSURE GAUGE

THERMOMETER

STEAM TRAP

SHOCK ABSORBER

FLOOR DRAIN

ROOF DRAIN

FLOOR CLEANOUT

WALL CLEANOUT

GRADE CLEANOUT

HOSE BIBB/WALL HYDRANT

PLUMBING FIXTURE DESIGNATION

PETES PLUG (P & T PORT)

PIPING TO BE DEMOLISHED

EXISTING PIPING

NEW PIPING

FLOOR SINK

HUB DRAIN

PUMP

AIR ADMITTANCE VALVE

PIPE TURNING DOWN

CONCENTRIC REDUCER

ECCENTRIC REDUCER

PIPE ALIGNMENT GUIDE

FLEXIBLE PIPE CONNECTION

DIRECTION OF FLOW IN PIPE

WATER HAMMER ARRESTER OR

SLOPE PIPE IN DIRECTION OF ARROW

PIPE CONNECTION AT BOTTOM OF MAIN

BACKFLOW PREVENTER

2-WAY CONTROL VALVE

3-WAY CONTROL VALVE

PRESSURE REDUCING VALVE

PRESSURE RELIEF VALVE

EXISTING DOMESTIC HOT WATER SUPPLY

EXISTING DOMESTIC HOT WATER RETURN

EXISTING SANITARY, SOIL OR WASTE VENT

BALANCING VALVE (REFER TO SPECIFICATIONS)

(SEE ABBREVIATIONS FOR SYSTEM TYPES)

#" SYSTEM	
#" SYSTEM ====	

____ <u> </u>₩– ____**X**___ _ —К⊁— _____ ____ _____ _____ **___** ____ — — — — \bigotimes O 0 ÷ 0 0 \sim <u>P-#</u>

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PLUMBING GENERAL NOTES:

- COORDINATE WORK WITH OTHER TRADES PRIOR TO PURCHASE AND INSTALLATION OF ANY PIPING, OR 1. EQUIPMENT. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
- REFER TO THE ARCHITECTURAL PLANS FOR DIMENSIONS. DO NOT SCALE THESE DRAWINGS. 2.
- ALL PIPING LAYOUTS AND LOCATIONS SHOWN ARE DIAGRAMMATIC AND DO NOT INDICATE ALL FITTINGS 3. REQUIRED TO COMPLETE WORK. COORDINATE THE PIPING LAYOUT WITH ALL CONTRACTORS PRIOR TO INSTALLATION, INCLUDING CONDUITS AND CABLE TRAYS. PROVIDE ALL PIPING OFFSETS REOUIRED FOR THE COMPLETE INSTALLATION OF THE SYSTEM WHETHER OR NOT THE OFFSETS ARE INDICATED ON THE PLANS. INSTALL PIPING HIGH ENOUGH TO AVOID LIGHTS, CONDUIT AND MISCELLANEOUS PIPING, BUT LOW ENOUGH TO ALLOW FOR EASY ACCESS TO SYSTEM BALANCING DEVICES. DO NOT BLOCK ACCESS TO DEVICES.
- 4. LOCATE PIPING AND EQUIPMENT SUCH THAT ACCESS PANELS MAY BE FULLY OPENED (VIA TILE CEILING) FOR SERVICING VALVES. COORDINATE LOCATION WITH LIGHTING FIXTURES OR ANY OTHER EQUIPMENT.
- COORDINATE WORK WITH OTHER TRADES PRIOR TO PURCHASE AND INSTALLATION OF EQUIPMENT AND 5. MATERIALS. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- INSTALL ALL EQUIPMENT WITH THE MANUFACTURER'S RECOMMENDATION AND CODE REQUIRED 6. CLEARANCES. INSURE ALL ITEMS FURNISHED WILL FIT IN THE SPACE AVAILABLE. MAKE NECESSARY FIELD MEASUREMENTS TO ASCERTAIN SPACE REQUIREMENTS AND FURNISH AND INSTALL SUCH SIZES AND SHAPES OF EQUIPMENT THAT ARE THE TRUE INTENT AND MEANING OF THE PLANS AND SPECIFICATIONS. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PURCHASE AND INSTALLATION.
- COORDINATE EXACT SIZE AND LOCATION OF ALL PENETRATIONS THROUGH THE ROOF WITH ALL 7. TRADES.
- COORDINATE LOCATIONS AND ELEVATIONS OF ALL EXPOSED ITEMS WITH ARCHITECTURAL PLANS, 8. ELEVATIONS, AND DETAILS. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: SENSORS, WALL DEVICES, CONTROL PANELS, AND ALARMS.
- FURNISH 24"x24" ACCESS DOORS (UNLESS OTHERWISE INDICATED) AT ALL MAINTENANCE ITEMS THAT 9. ARE CONCEALED; SUCH AS EQUIPMENT, VALVES, SENSORS, ETC. COORDINATE EXACT LOCATIONS WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
- 10. THE SIZE OF COLD AND HOT WATER PIPE RUNOUTS TO FIXTURES SHALL BE THE SAME AS THE POTABLE WATER CONNECTIONS LISTED IN THE PLUMBING FIXTURE SCHEDULE, UNLESS NOTED OTHERWISE.
- 11. THE SIZE OF SANITARY WASTE AND VENT PIPING TO FIXTURE SHALL BE THE SAME AS WASTE AND VENT CONNECTIONS LISTED IN THE PLUMBING FIXTURE SCHEDULE, UNLESS NOTED OTHERWISE.

WATER & SANITARY LOAD SUMMARY				
BUILDING AREA DESIGNATION	RESTROOM BLDG			
SANITARY (FIXTURE UNITS)	22.5			
WATER (FIXTURE UNITS)	51.25			
WATER DEMAND (GPM)	49.4			

PLUMBING DRAWING LIST

NO. P001 P101 P102 P300

P400

TITLE STANDARDS, SYMBOLS & ABBREVIATIONS RESTROOM FLOOR PLANS

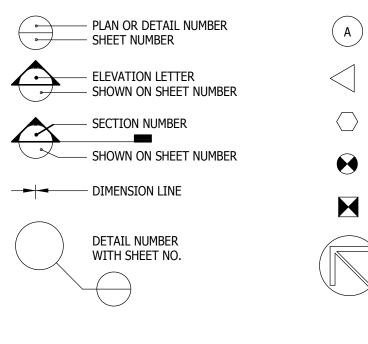
SHELTER FLOOR PLANS DETAILS SCHEDULES

ELECTRICAL SYMBOLS

VFD
\square
\boxtimes_{I}
Ξη
⊡ŋ ^{NF}
PNL
S

VARIABLE FREQUENCY DRIVE MOTOR STARTER COMBINATION MOTOR STARTER/DISCONNECT FUSED DISCONNECT NON-FUSED DISCONNECT DISCONNECT, EXISTING OR BY OTHERS POWER PANEL, EXISTING OR BY OTHERS TOGGLE SWITCH

GENERAL SYMBOLS

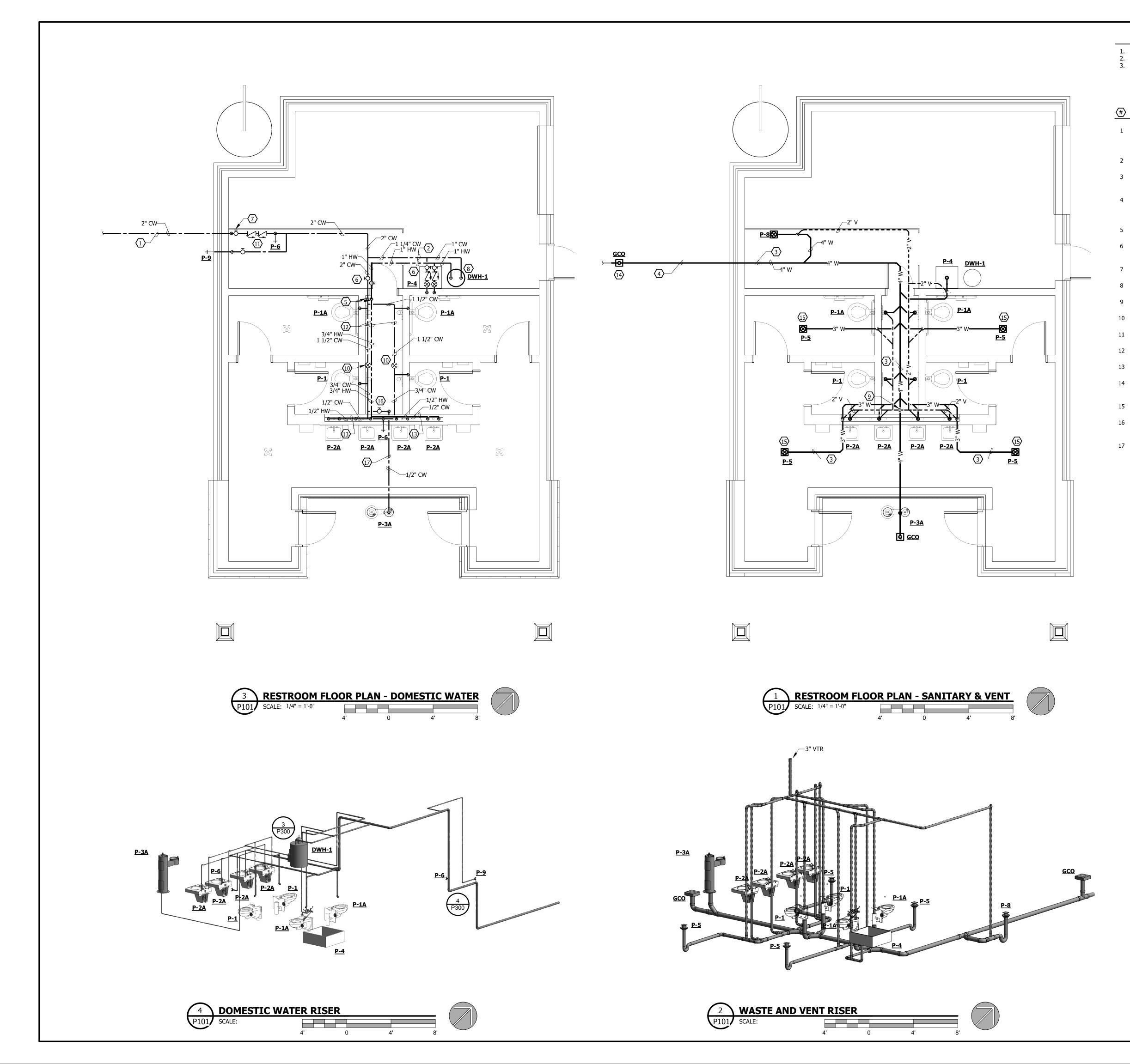


COLUMN NUMBER OR LETTER DRAWING REVISION NUMBER KEYED NOTE NUMBER CONNECT TO EXISTING REMOVE TO THIS POINT NORTH ARROW

Т T Stanford 1620 Midtown Place Raleigh, NC 27609 NC License C-1719 tel 919.832.8118 fax 919.832.8120 stanfordwhite.com PARK JR KING THER \mathbf{C} 2 \cap ñ $\boldsymbol{\alpha}$ $\boldsymbol{\alpha}$ MARTIN \mathbf{O}

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		JOB NUMBER 16-051
	These drawings are the property	DATE ISSUED JUNE 20, 2017
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SW Project No: 0622-01-00-1/	Plot Time: 6/20/2017 3:19:15 PM	SHEET STANDARDS, SYMBOLS & ABBREVIATIONS
SW Project	Plot Time: 6/20/2C	P001

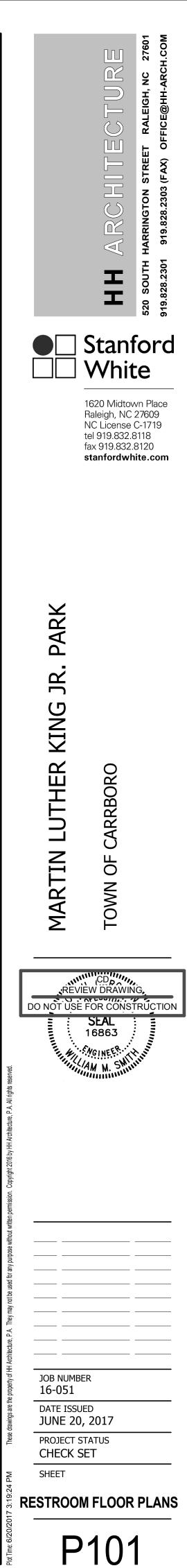


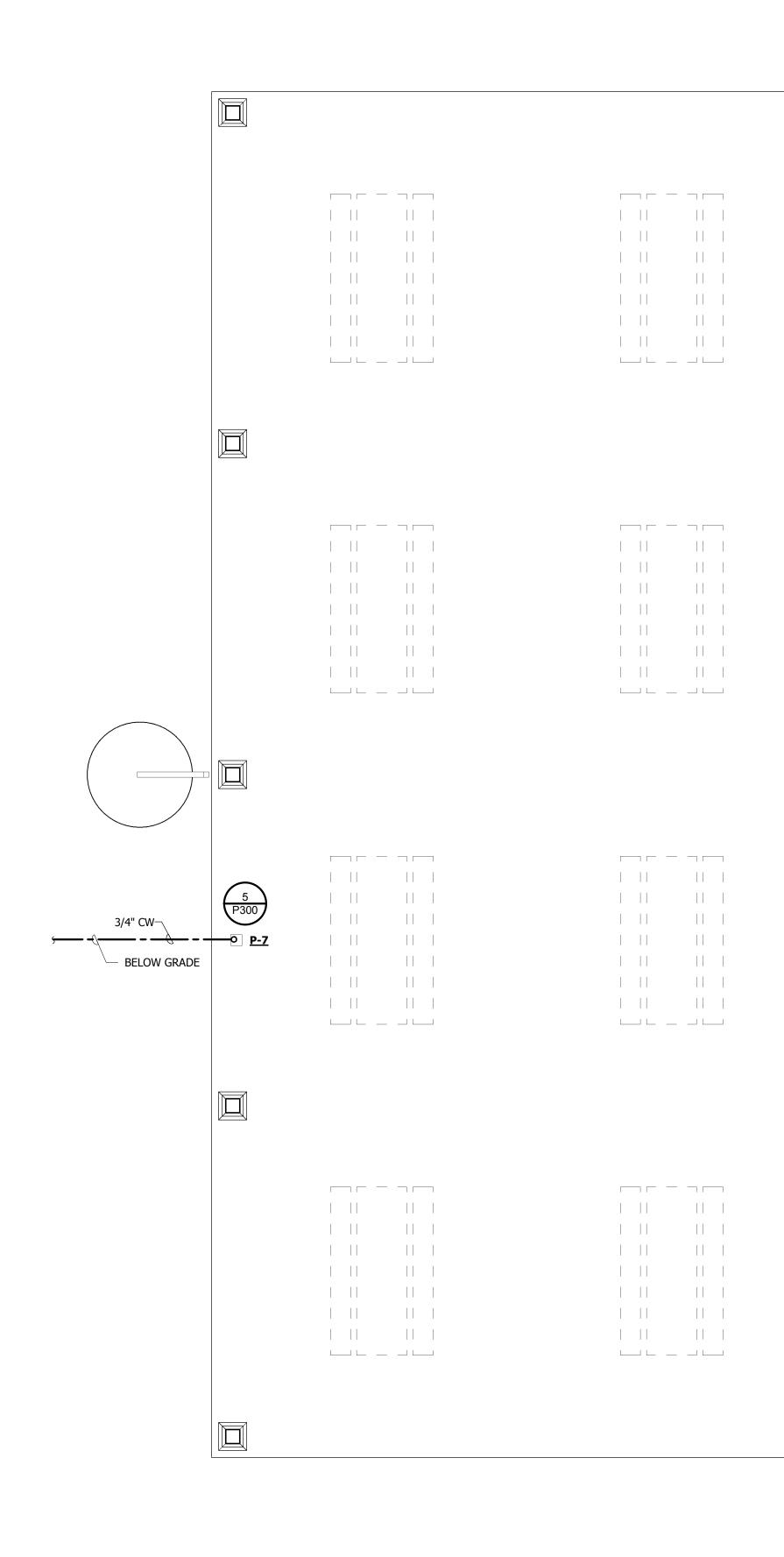
GENERAL NOTES

- ALL WASTE PIPING IS BELOW FLOOR UNLESS NOTED OTHERWISE.
- ALL VENT PIPING IS 2" UNLESS NOTED OTHERWISE. FIXTURE REPRESENTATION ARE FOR REFERENCE ONLY. SEE PLUMBING FIXTURE SCHEDULE FOR EXACT FIXTURE.

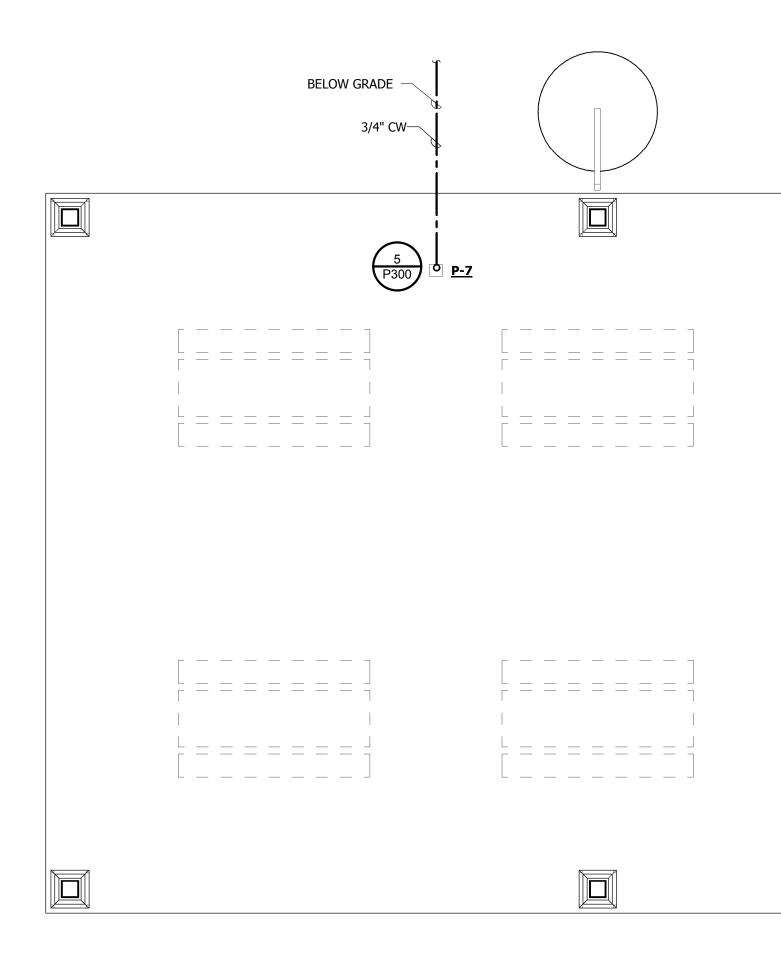
KEY NOTES TO P101

- 1 NEW DOMESTIC WATER SERVICE PIPING BELOW GRADE EXTENDED 10' BEYOND EXTERIOR WALL OF BUILDING. COORDINATE CONNECTION LOCATION WITH EXTERIOR DOMESTIC WATER SERVICE (REFER TO CIVIL DRAWINGS).
- 2 ABOVE CEILING. COORDINATE EXACT LOCATION/HEIGHT WITH OTHER TRADES (HVAC, ETC.)
- 3 PIPING BELOW FLOOR. COORDINATE EXACT LOCATION AND ELEVATION WITH OTHER TRADES AND UTILITIES.
- 4 SANITARY WASTE BUILDING DRAIN BELOW GRADE. EXTEND 10' BEYOND EXTERIOR WALL OF BUILDING. INSTALL CLEANOUT FLUSH WITH GRADE OR WALK. COORDINATE CONNECTION LOCATION AND ELEVATION WITH EXTERIOR BUILDING SEWER (REFER TO CIVIL DRAWINGS).
- 5 DROP PIPING TIGHT TO WALL.
- 6 LOCATE VALVES TO BE EASILY ACCESSIBLE FROM REMOVABLE CEILING TILE OR CEILING ACCESS DOOR..
- 7 INTERIOR WATER MAIN SHUTOFF VALVE.
- 8 WATER HEATER. SEE DETAIL.
- 9 3" VENT UP THROUGH ROOF.
- 10 BELLOWS TYPE WATER HAMMER ARRESTOR.
- 11 RPZ STYLE BACKFLOW PREVENTER. SEE DETAIL 4/P300.
- 12 DOMESTIC WATER PIPING LOW IN CHASE.
- 13 DOMESTIC WATER PIPING IN CHASE WALL.
- 14 SANITARY SEWER MAIN OUT BY UTILITY CONTRACTOR. CONNECTION TO BUILDING MAIN BY PLUMBING CONTRACTOR.
- 15 SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF FLOOR DRAIN.
- 16 LOCATE VALVES TO BE EASILY ACCESSIBLE IN CHASE. COORDINATE EXACT LOCATION AND ELEVATION WITH OTHER TRADES AND UTILITIES.
- 17 COLD WATER PIPING BELOW GRADE. COORDINATE EXACT LOCATION AND ELEVATION WITH OTHER TRADES AND UTILITIES.

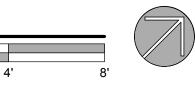




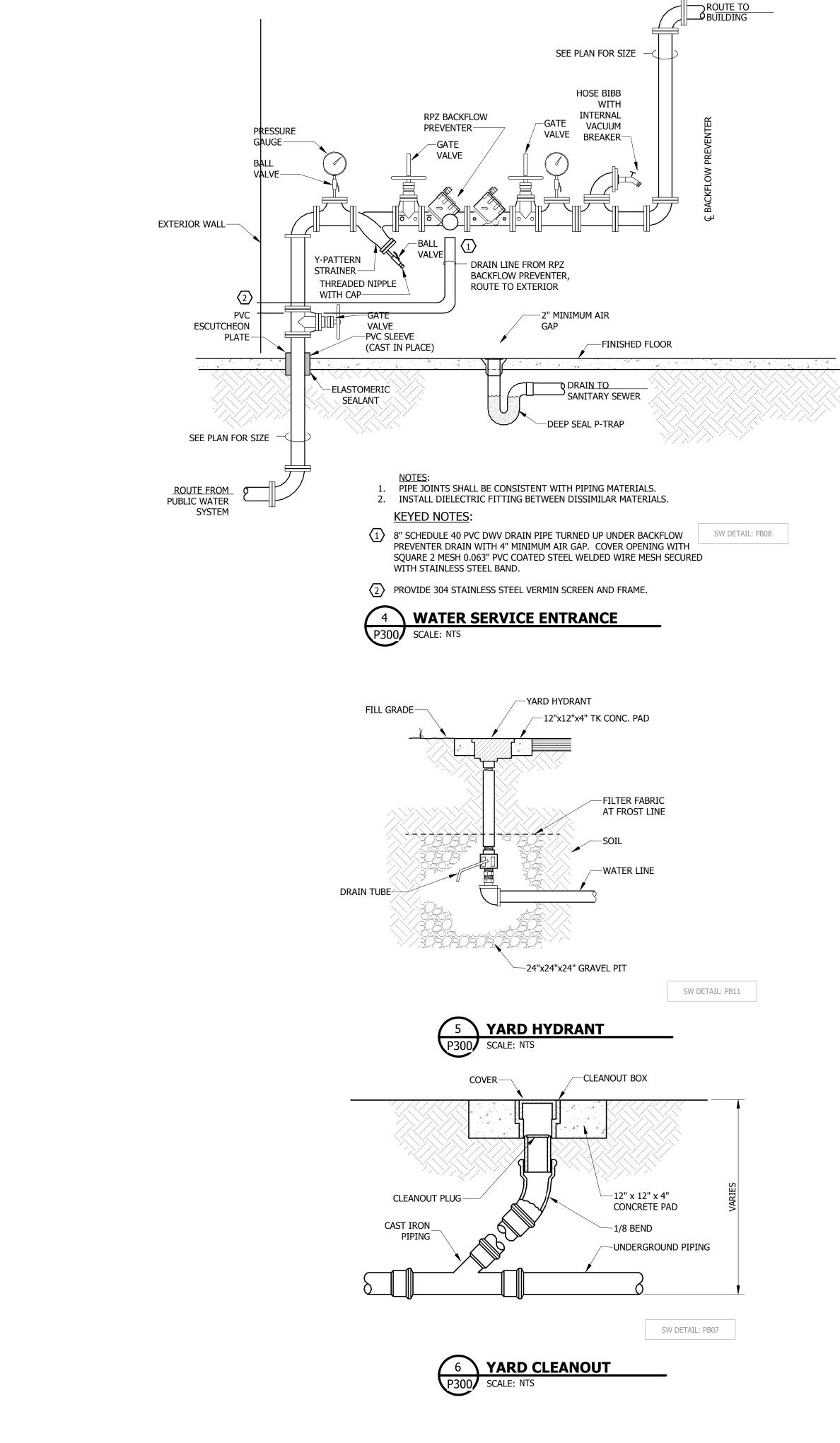








		Bases 393 Control of the Action of the
		TOWN OF CARBORO
	DO NO	REVIEW DRAWING REVIEW DRAWING TUSE FOR CONSTRUCTION SEAL 16863
	7 Stanford White, Inc. 22-01-00-17 31 PM These drawings are the property of HH Architecture, P.A. They may not be used for any purpos HI OU II OU	E ISSUED IE 20, 2017 JECT STATUS ECK SET



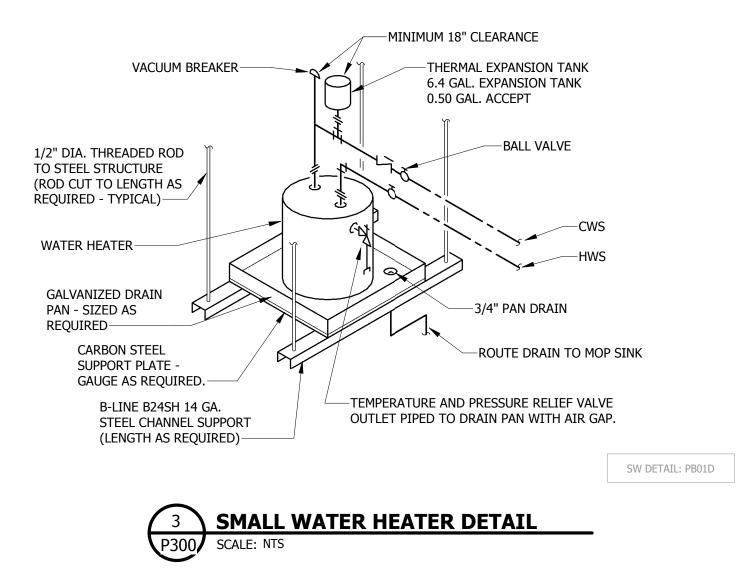


TABLE A - WORKIN	NG CLEARAN	CES			
VOLTAGE TO		MINIMUM	I CLEAR DIST	ANCE (FE	ET)
GROUND NOMINAL	CONDITION	1	2	3	-
0-150		3	3	3	
151-600		3	3 1/2	4	

WHERE THE CONDITIONS ARE AS FOLLOWS:

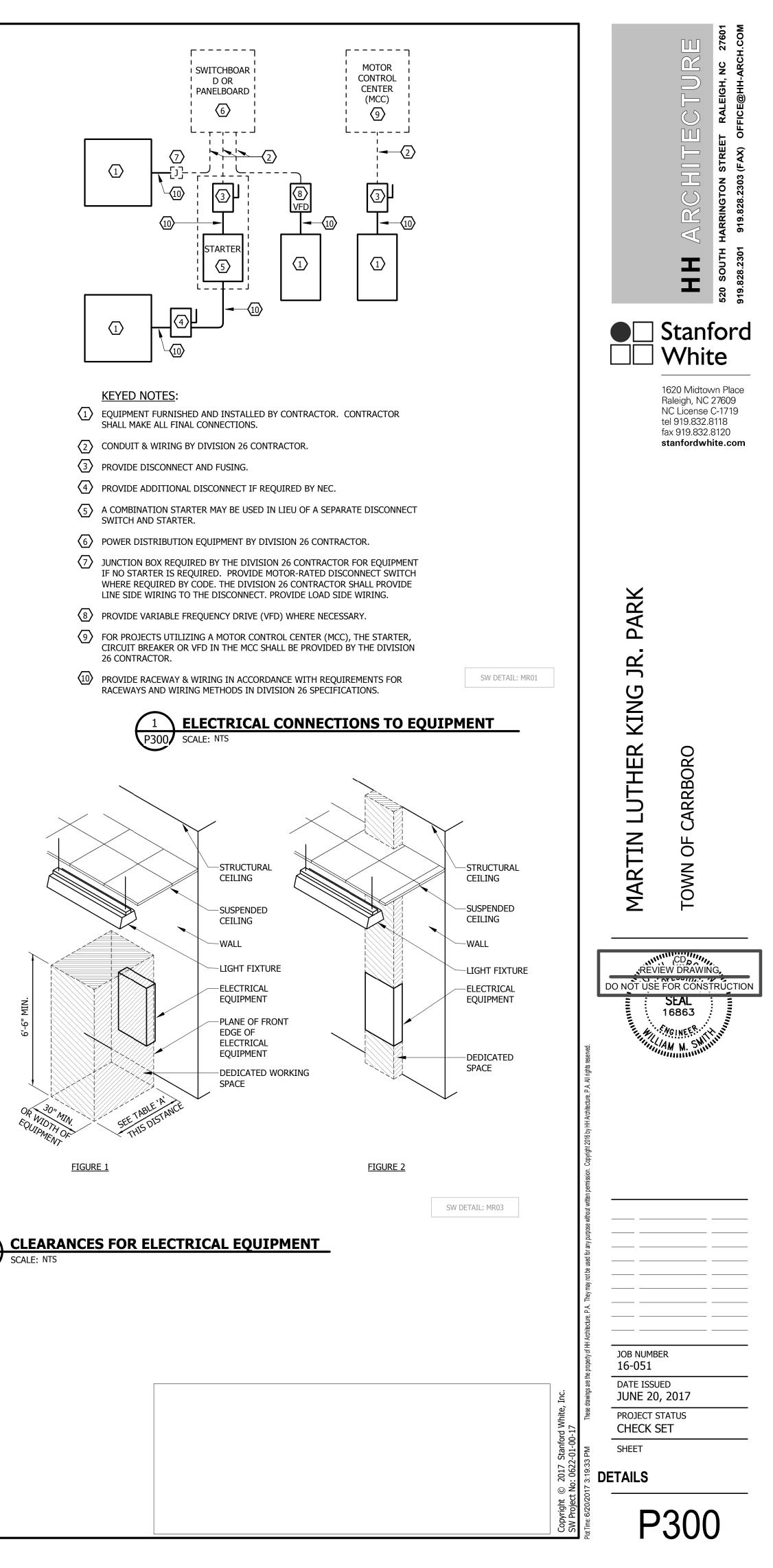
1. EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE OR UNGROUNDED PARTS ON THE OTHER SIDE OF THE WORKING SPACE, OR EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SUITABLE WOOD OR OTHER INSULATING MATERIALS. INSULATED WIRE OR INSULATED BUSBARS OPERATING AT NOT OVER 300V SHALL NOT BE CONSIDERED LIVE PARTS.

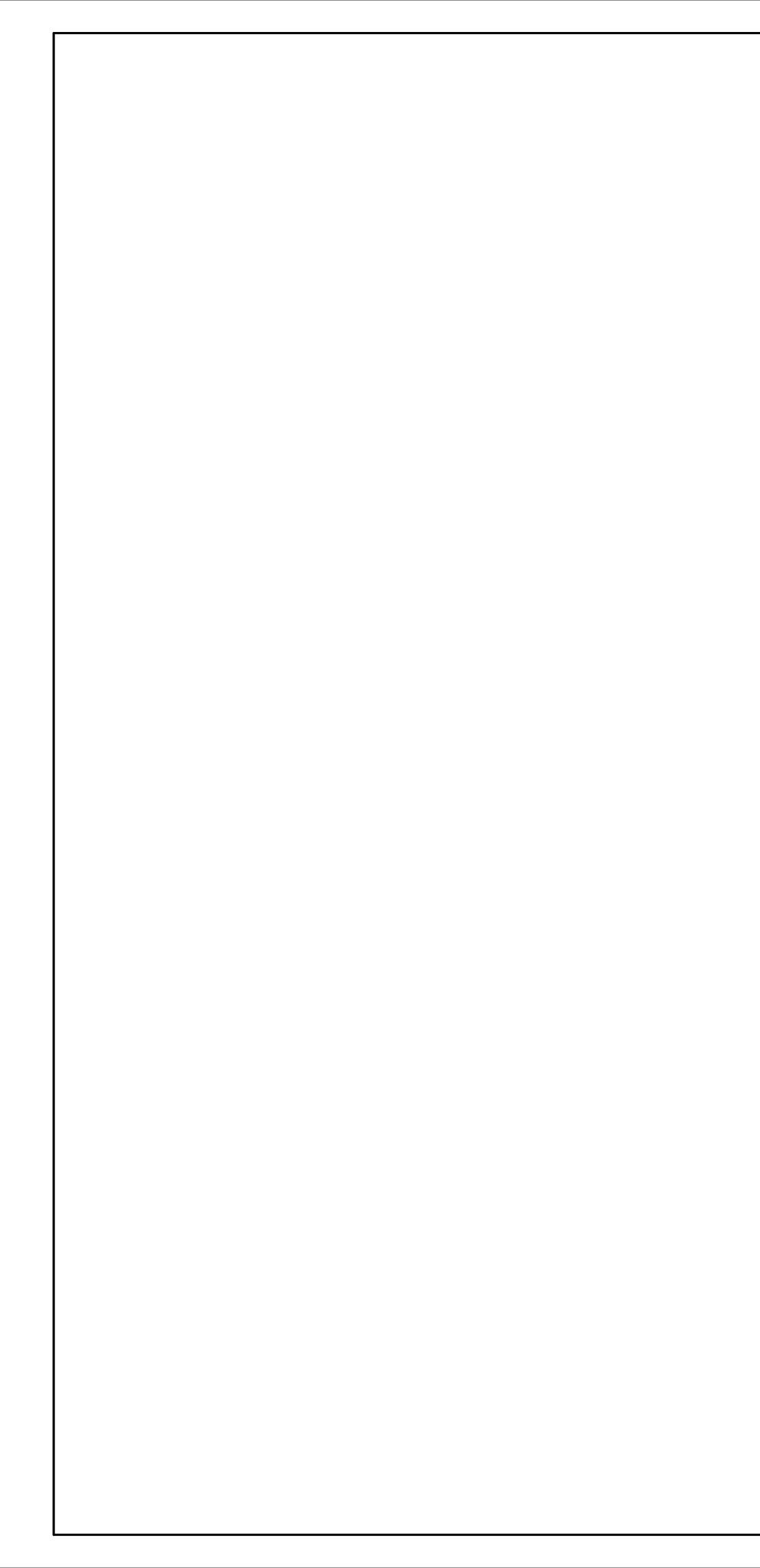
- 2. EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE.
- 3. EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE (NOT GUARDED AS PROVIDED IN CONDITION 1), WITH THE OPERATOR BETWEEN.

NOTES:

- 1. THESE FIGURES ILLUSTRATE THE WORKING CLEARANCE AND DEDICATED SPACE AROUND ELECTRICAL EQUIPMENT AS REQUIRED BY NEC SECTION 110-26.
- 2. DEDICATED SPACE RUNS TO A HEIGHT OF 6'-0" ABOVE EQUIPMENT. DEDICATED SPACE CONTINUES THROUGH SUSPENDED CEILING OR UP TO STRUCTURAL CEILING. ANY FOREIGN SYSTEMS TO THE ELECTRICAL EQUIPMENT SHALL NOT RUN WITHIN THIS SPACE. (FIGURE 2)







			PLUMBING FIXTURE SCHEDU	_E				
٩G	ADA	FIXTURE DESCRIPTION	BASIS OF DESIGN	POTABL CONNE	E WATER	R WASTE CONNE	AND VENT CTIONS	MOUNTING HEIGHTS REMARKS
				COLD	HOT	WASTE	VENT	
		WATER CLOSET	MURDOCK MODEL 1000 COMPACT REAR MOUNTED, OFF-FLOOR, 14 GAGE, TYPE 304 STAINLESS STEEL, SEAMLESS WELDED CONSTRUCTION, WALL FLANGE IS STRUCTURALLY REINFORCED, EXTERIOR HAS SATIN FINISH, INTERIOR HAS SANITARY HIGH POLISH FINISH, ENLONGATED BOWL, 1.6 GPF.	-	-	4"	2"	MINIMUM COLD WATER RUNOUT TO WATE CLOSET TO BE 1-1/4"
		FLUSH VALVE	MURDOCK MODEL 1150-9-ULF, CONCEALED TOILET FLUSH VALVE, VACUUM BREAKER, NON-HOLD OPEN PUSHBUTTON, CONSTRUCTION IS BRONZE WITH CHROME PLATED EXPOSED PARTS, 1.6 GPF.	1"	-	-	-	-
		SEAT	PROVIDED WITH WATER CLOSET.	-	-	-	-	
4	YES	WATER CLOSET	MURDOCK MODEL 1000 COMPACT REAR MOUNTED, OFF-FLOOR, 14 GAGE, TYPE 304 STAINLESS STEEL, SEAMLESS WELDED CONSTRUCTION, WALL FLANGE IS STRUCTURALLY REINFORCED, EXTERIOR HAS SATIN FINISH, INTERIOR HAS SANITARY HIGH POLISH FINISH, ENLONGATED BOWL, 1.6 GPF.	-	-	4"	2"	MINIMUM COLD WATER RUNOUT TO WATE CLOSET TO BE 1-1/4"
		FLUSH VALVE	MURDOCK MODEL 1150-9-ULF, CONCEALED TOILET FLUSH VALVE, VACUUM BREAKER, NON-HOLD OPEN PUSHBUTTON, CONSTRUCTION IS BRONZE WITH CHROME PLATED EXPOSED PARTS, 1.6 GPF.	N 1"	-	-	-	-
		SEAT	PROVIDED WITH WATER CLOSET.	-	-	-	-	
A	YES		ACORN MODEL # 1951-9-H1-GT-TPT-TE, 18" x 18" FRONT MOUNT STAINLESS STEEL LAVATORY WITH RECTANGLE BOWL, 16 GAGE, TYPE 304 STAINLESS STEEL, SEAMLESS WELDED, EXTERIOR POLISHED TO SATIN FINISH, INTERIOR OF BOWL SATIN FINISH, LAVATORY DECK SHALL HAVE INTEGRAL AIR-CIRCULATING SELF DRAINING SOAP DISH, STAINLESS STEEL TRAP ENCLOSURE	-	-	2"	2"	
		FAUCET AND DRAIN	CHICAGO FAUCET 3500-E2805ABCP, SINGLE HANDLE FAUCET, CHROME PLATED METAL CONSTRUCTION, VANDAL RESISTANT, 4" SPOU CSA AND IAPMO LISTED ASME A112.18.1 CERTIFIED, 4" CENTERS, 0.5 GPM AERATOR.	T, 1/2"	1/2"	-	-	
		THERMOSTATIC MIXING VALVE	CHICAGO FAUCET 122-ABNF, BRONZE BODY, STANDARD 1/2" NPT THREADED INLET AND OUTLET, UNION CONNECTIONS.	1/2"	1/2"	-	-	
		P-TRAP ASSEMBLY	PROVIDE WITH LAVATORY.	-	-	-	-	34" AFF
		LAVATORY SUPPLIES (2 REQUIRED)	McGUIRE MANUFACTURING CO., INC. MODEL LFH2165-N5, LEAD-FREE, HEAVY PATTERN, CHROME PLATED BRASS ANGLE STOP WITH BRASS STEM, 1/2" IPS x 3/8" OD COMPRESSION, 5" CAST BRASS NIPPLE, WHEEL HANDLE, FLEXIBLE CHROME PLATED COPPER RISER, CHROME PLATED BRASS WALL FLANGE.	1/2"	1/2"	-	-	
		PIPING INSULATORS	McGUIRE MANUFACTURING CO., INC. MODEL PW2000 SEAMLESS INSULATOR, MOLDED CLOSED CELL VINYL, 3/16" THICK, WHITE COVER FOR TRAP, TAILPIECE, WALL BEND AND TWO (2) SUPPLIES.	S -	-	-	-	
A	YES	WATER FOUNTIAN	MURDOCK GR SERIES MODEL GRM44-NP2-IGM, BARRIER FREE PEDESTAL MOUNTED, VANDAL RESISTANT, BI-LEVEL ROUND DRINKING FOUNTIAN, 18 GAGE, 304 STAINLESS BOWLS MOUNTED INTO 12 GAGE HEAVY DUTY STAINLESS STEEL PEDESTAL, BUBBLERS TO BE POLISHED STAINLESS STEEL, NON-POLLUTABLE FREEZE RESISTANT 2 VALVES, INGROUND 14" MOUNTING.	1/2"	-	2"	2"	AS RECOMMENDED BY MANUFACTURER FOR ADA COMPLIANCE
		MOP RECEPTOR	FIAT MODEL TSB-3001, 32" x 32" x 12" WITH 6" DROP FRONT, STAINLESS STEEL CAPS ON ALL CURBS, 3" INTEGRAL STAINLESS STEEL DRA BODY FOR CAULKED CONNNECTION, STAINLESS STEEL STRAINER, POLISHED TERRAZZO OF BLACK AND WHITE CHIPS CAST IN GRAY PORTLAND CEMENT.	AIN -	-	3"	2"	
		FAUCET AND ACCESSORIES	FIAT MODEL 830AA FAUCET WITH VACUUM BREAKER, INTEGRAL STOPS, WALL BRACE, PAIL HOOK AND 3/4" HOSE THREAD SPOUT; FIAT MODEL 832-AA HOSE AND STAINLESS STEEL BRACKET; FIAT MODEL 889-CC STAINLESS STEEL MOP HANGER; FIAT MSG3232 STAINLESS STEEL WALL GUARDS. INSTALL CHECK AND BALL VALVES IN WATER SUPPLY PIPES IN ACCESSIBLE LOCATIONS.		3/4"	-	-	FAUCET 36" AFF
		FLOOR DRAIN	ZURN MODEL ZN415S, 6" x 6" FLOOR/SHOWER DRAIN, DURA-COATED CAST IRON BODY, MEMBRANE CLAMP WITH ADJUSTABLE COLLAR "TYPE S" POLISHED NICKEL BRONZE, LIGHT-DUTY STRAINER.	, _	-	3"	2"	-
		HOSE BIBB	WOODFORD MODEL 24, ANTI-SIPHON, VACUUM BREAKER PROTECTED, METAL WHEEL HANDLE, 3/4" MALE HOSE THREAD OUTLET.	3/4"	-	-	-	18" AFF
			MURDOCK MODEL M-V475 3/4" FREEZE HYDRANT, FLUSH MOUNTED BOX HYDRANT WITH HINGED LID AND VACCUM BREAKER, 3 FOOT BURY DEPTH.	3/4"	-	-	-	-
i		FLOOR DRAIN	ZURN MODEL Z540, 12" DIAMETER FLOOR DRAIN, DURA-COATED CAST IRON BODY, MEMBRANE CLAMP, SEEPAGE PAN AND COMBINATION MEMBRANE FLASHING CLAMP, MEDIUM DUTY STRAINER, CAST IRON SEDIMENT BUCKET.	- NC	-	4"	2"	-
			ZURN MODEL Z1300, "ANTI-SIPHON" AUTOMATIC DRAINING, NON-FREEZE WALL HYDRANT FOR FLUSH INSTALLATION; INTEGRAL BACKFLOW PREVENTER, BRONZE CASING, NICKEL BRONZE BOX AND HINGED COVER WITH OPERATING KEY LOCK AND "WATER" CAST ON COVER.	3/4"	-	-	-	24" AFG

DE	SIGNATION	DWH-1	
SE	RVICE	DOMESTIC	
ΤY	PE	TANK	
ΤE	MPERATURE SETTING (F)	120	
ST	ORAGE CAPACITY (GAL)	19	
RE	COVERY (GPH)	11	
с	No. OF ELEMENTS	1	
ШШ	CAPACITY PER ELEMENT (W)	2500	
ш	VOLTAGE/PHASE	240/1	
1.	DTES: RECOVERY IS BASED ON 80° TEMF PROVIDE EXTERNAL DISCONNECT	PERATURE RISE. SWITCH FOR SINGLE POINT OF CO	DNNECTION.

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	MARTIN LUTHER KING JR. PARK	TOWN OF CARRBORO	
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HVAC ABBREVIATIONS

HVAC

INV

ISP

KW

LAT

IΡ

LPG

LPR

LPS

LWT

MAX

MBH

MFR

MIN

MRT

MS

MS/D

MTD

MUA

MVD

N

N.C.

NIC

NO

N.O.

NPSH

NTS

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PD

PI

PHWP

PICV

PR

PNL

PPH

PRV

PSI

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PVC

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RECIRC

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VFD

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WB

WG

W/O

XT

T'STAT

SECT

SHWP

SPEC

PCHWP

OBD

KWH

LB/HR

ROUND; DIAMETER; PHASE

AIR CHANGES PER HOUR

ABOVE FINISHED CEILING

ABOVE FINISHED FLOOR

ABOVE FINISHED GRADE

ARCHITECTURAL; ARCHITECT

BUILDING AUTOMATION SYSTEM

AIR HANDLING UNIT

BOILER BLOWDOWN

BOILER FEED WATER

BRAKE HORSEPOWER

BACKFLOW PREVENTER

BRITISH THERMAL UNIT

CELSIUS; COMMON PORT

CONDENSER WATER PUMP

CONDENSER WATER RETURN

CONSENSER WATER SUPPLY

CUBIC FEET PER HOUR

CHILLED WATER PUMP

CUBIC FEET PER MINUTE

CHILLED WATER RETURN

CHILLED WATER SUPPLY

CLEAN OUT; CARBON MONOXIDE

COEFFICIENT OF PERFORMANCE

COPPER; CONDENSING UNIT

CUBIC FOOT; CUBIC FEET

CABINET UNIT HEATER

CHLORINATED POLYVINYL CHLORIDE

DUCT MOUNTED SMOKE DETECTOR

DUAL TEMPERATURE WATER RETURN

DUAL TEMPERATURE WATER SUPPLY

DIRECT DIGITAL CONTROLS

DIFFERENTIAL PRESSURE

ENTERING AIR TEMPERATURE

EXTERNAL STATIC PRESSURE

FINISHED FLOOR ELEVATION

ENTERING WATER TEMPERATURE

EXHAUST; EXHAUST AIR; EXHAUST FAN

EMERGENCY STOP SWITCH

DIRECT EXPANSION

CONDENSATE DRAIN

CHEMICAL FEED

CAST IRON

CONCRETE

CENTER

CUBIC YARD

COLD WATER

DUCTILE IRON

DRY BULB

DIAMETER

DRAWING

EFFICIENCY

ELEVATION

ELECTRICAL

EOUIPMENT

EXISTING

EXPANSION

FAHRENHEIT

FAN COIL UNIT

FIRE DAMPER

FLAT ON BOTTOM

FUEL OIL RETURN

FUEL OIL SUPPLY

FEET PER MINUTE

FEET PER SECOND

FIRE/SMOKE DAMPER

GENERAL CONTRACTOR

GREASE EXHAUST AIR

GALLONS PER MINUTE

HAZARDOUS EXHAUST

HAND-OFF-AUTOMATIC

HIGH PRESSURE STEAM

HORIZONTAL

HUMIDISTAT

HEIGHT

HEATING

HIGH PRESSURE

HUB DRAIN; HEAT DETECTOR

GALLONS PER HOUR

FUEL OIL VENT

FEET; FOOT NATURAL GAS

GAUGE

GALLON

FLAT ON TOP

FLOOR

FLEXIBLE

EACH

DOWN

CARBON DIOXIDE

COOLING TOWER

CEILING

BRITISH THERMAL UNIT PER HOUR

BOTTOM OF DUCT

BOTTOM OF PIPE

BOTTOM

BELOW FINISHED FLOOR

ACTUAL CUBIC FEET PER MINUTE

POUNDS; NUMBER

COMPRESSED AIR

ACCESS DOOR

ALTERNATE

AUTOMATIC

ACID WASTE

ACID VENT

AIR SEPERATOR

ACFM

ACH

AD

AFC

AFF

AFG

AHU

ALT

ARCH

AUTO

AS

AV

AW

BAS

BFF

BFW

BHP

BOD

BOP

BOT

BTU

BTUH

CD

CDWP

CDWR

CDWS

CF

CFH

CFM

CHWP

CHWR

CHWS

CI

CLG

CO2

CONC

COP

CPVC

CTR

CUFT

CUH

CUYD

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HORIZ

FL

EQUIP

DDC

CU

CT

CO

BP

BBD

ELE	ECT	R]	IC/	٩L	S	Y

	VFD	VARIABLE FREQUENCY DRIV
HEATING, VENTILATION AND AIR CONDITIONING HEATING WATER RETURN		MOTOR STARTER
HEATING WATER SUPPLY	$\boxtimes_{\mathbf{I}}$	COMBINATION MOTOR STAF
HEAT EXCHANGER INDIRECT DRAIN; INSIDE DIAMETER	Ē	FUSED DISCONNECT
INCH	СЪђ ^{NF}	NON-FUSED DISCONNECT
INVERT INTERNAL STATIC PRESSURE	·	DISCONNECT, EXISTING OR
KILOWATT	PNL	POWER PANEL, EXISTING O
KILOWATT HOUR LEAVING AIR TEMPERATURE		
POUNDS PER HOUR	S	TOGGLE SWITCH

PIPING SYMBOL

#" SYSTEM

_____ #" SYSTEM _____

____()_____

_____K_____

X-----

_____K >___

PIPE	SIZE	AND	SY:
(SEE	ABBR	EVIA	TIC

THERMOMETER STEAM TRAP DIRECTION OF FLOW IN PIPE PETES PLUG (P & T PORT) BACKFLOW PREVENTER EXISTING PIPING

PIPING TO BE DEMOLISHED NEW PIPING

PUMP

| | | | | | | |

GENERAL SYMBOLS

HIGH PRESSURE CONDENSATE RETURN

- PLAN OR DETAIL NUMBER (A)SHEET NUMBER ELEVATION LETTER SHOWN ON SHEET NUMBER \bigcirc SHOWN ON SHEET NUMBER DETAIL NUMBER WITH SHEET NO.
- COLUMN NUMBER OR LETTER DRAWING REVISION NUMBER KEYED NOTE NUMBER CONNECT TO EXISTING REMOVE TO THIS POINT
- NORTH ARROW

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HWR	HEATING WATER RETURN
HWS	HEATING WATER SUPPLY
HX	HEAT EXCHANGER
ID	INDIRECT DRAIN; INSIDE

MAXIMUM

MANHOLE

MINIMUM

MOUNTED

NITROGEN

MAKE UP AIR

MANUFACTURER

MEDIUM PRESSURE

MOTOR STARTER

NORMALLY CLOSED

NOT IN CONTRACT

NORMALLY OPEN

NOT TO SCALE

OUTSIDE AIR

ON CENTER

PI IMP

PANFI

POINT

OUANTITY

ROUND

RETURN AIR

RECIRCULATING

RELIEF; RELIEF AIR

RELATIVE HUMIDITY

REFRIGERANT LIQUID

REVOLUTIONS PER MINUTE

REDUCED PRESSURE ZONE

SUPPLY FAN; SOUARE FEET

SECONDARY HOT WATER PUMP

STAINLESS STEEL; SANITARY SEWER

UNDERWRITERS LABORATORIES INC.

STANDARD CUBIC FEET MER MINUTE

SECONDARY CHILLED WATER PUMP

REFRIGERANT SUCTION

REINFORCING

REVISION

ROOM

RETURN FAN

SUPPLY AIR

SECTION

Smoke Damper

STATIC PRESSURE

STATIC PRESSURE LOSS

SPECIFICATION

SQUARE FEET

TRANSFER AIR

TOP OF DUCT

TOP OF STEEL

THERMOSTAT

UNIT HEATER

TYPICAL

VERTICAL

WET BULB

WITHOUT

WATER GAUGE

EXPANSION TANK

WITH

VENT

TERMINAL UNIT

VENTILATION AIR

VACUUM (SUCTION)

VARIABLE FREQUENCY DRIVE

TOP OF PIPE

TEST AND BALANCE

TOTAL STATIC PRESSURE

STEAM

OXYGEN

LIQUID PETROLEUM GAS

LOW PRESSURE CONDENSATE RETURN

LOW PRESSURE CONDENSATE SUPPLY

1000 BRITISH THEMAL UNITS PER HOUR

COMBINATION MOTOR STARTER AND DISCONNECT

LEAVING WATER TEMPERATURE

MOTOR RATED TOGGLE SWITCH

MANUAL VOLUME DAMPER

NITROUS OXIDE; NUMBER

OPPOSED BLADE DAMPER

PLUMBING CONTRACTOR

PRIMARY HOT WATER PUMP

PUMPED CONDENSATE RETURN

PRESSURE REDUCING VALVE

POUNDS PER SQUARE INCE ABSOLUTE

POUNDS PER SQUARE INCH GAUGE

POUNDS PER SQUARE INCH

PRESSURE INDEPENDENT

POUNDS PER HOUR

POLYVINYL CHLORIDE

PRIMARY CHILLED WATER PUMP

PRESSURE INDEPENDENT CONTROL VALVE

OUTSIDE DIAMETER

PRESSURE DROP

NET POSITIVE SUCTION HEAD

LOW PRESSURE

<u>MBOLS</u>

ABLE FREQUENCY DRIVE	
OR STARTER	
INATION MOTOR STARTER/DISCONNECT	L
DISCONNECT	
R PANEL, EXISTING OR BY OTHERS	24x24
LE SWITCH	
	24/12
IG SYMBOLS	240
	24Ø {
	{}
	►
PIPE SIZE AND SYSTEM IDENTIFICATION	
(SEE ABBREVIATIONS FOR SYSTEM TYPES)	
VALVE (REFER TO SPECIFICATIONS)	<u>#/1'-0"</u>
BALANCING VALVE (REFER TO SPECIFICATIONS)	
CALIBRATED BALANCING VALVE	
BUTTERFLY VALVE	
GATE VALVE	}
GLOBE VALVE	, ₽
CHECK VALVE	
PLUG VALVE	\square
BALL VALVE	
2-WAY CONTROL VALVE	
3-WAY CONTROL VALVE	
PRESSURE REDUCING VALVE	
PRESSURE RELIEF VALVE	
GAS COCK	
Y-TYPE STRAINER	HHHYXXXXXXX
BASKET STRAINER	
PIPE TURNING UP	D
PIPE TURNING DOWN	
PIPE CONNECTION AT BOTTOM OF MAIN	H
PIPE CAP PIPE UNION	
CONCENTRIC REDUCER	
ECCENTRIC REDUCER	
PIPE ALIGNMENT GUIDE	
PIPE ANCHOR	FD FD
FLEXIBLE PIPE CONNECTION	SD SD ▲ SD
	SD — SD FSD
PRESSURE GAUGE	FSD FSD

SLOPE PIPE IN DIRECTION OF ARROW

DUCTWORK SYMBOLS

\square	SUPPLY, VENTILATION, OUTSIDE AIR DUCT SECTION

- RETURN AIR DUCT SECTION
- EXHAUST OR RELIEF AIR DUCT SECTION

RECTANGULAR DUCT DIMENSIONS (IN PLAN WIDTH x HEIGHT INCHES)

- FLAT OVAL DUCT DIMENSIONS
- ROUND DUCT DIMENSIONS
- EXISTING DUCT

(A | 100

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DUCT TO BE DEMOLISHED

NEW DUCT

SLOPE DUCT IN DIRECTION OF ARROW

BELL MOUTH TAP FOR MEDIUM PRESSURE

CONICAL TAP WITH BALANCING DAMPER WITH LOCKING QUADRANT OPERATOR FOR LOW PRESSURE TAKEOFFS

45° TAP WITH BALANCING DAMPER WITH LOCKING QUADRANT OPERATOR

SUPPLY DIFFUSER

RETURN GRILLE

EXHAUST GRILLE

MITERED ELBOW

RADIUS ELBOW

FLEXIBLE DUCT

VOLUME DAMPER WITH MANUAL OPERATOR AND LOCKING QUADRANT

DUCT MOUNTED MOTORIZED DAMPER

DUCT MOUNTED STEAM HUMIDIFIER

DUCT MOUNTED SMOKE DETECTOR

FIRE DAMPER, DAMPER TO MATCH WALL RATING SMOKE DAMPER, DAMPER TO MATCH WALL RATING

COMBINATION FIRE/SMOKE DAMPER, DAMPER TO MATCH WALL RATING

CEILING RADIATION DAMPER, DAMPER TO MATCH CEILING RATING

AIR DISTRIBUTION SYMBOL, LETTER(S) DENOTES TYPE, NUMBER INDICATES CFM

THERMOSTAT OR ROOM SENSOR

HUMIDISTAT OR ROOM SENSOR

HVAC GENERAL NOTES :

- COORDINATE WORK WITH OTHER TRADES PRIOR TO PURCHASE AND INSTALLAT DUCTWORK OR EQUIPMENT. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCRE INSTALLATION.
- REFER TO THE ARCHITECTURAL PLANS FOR DIMENSIONS. DO NOT SCALE THESE
- ALL DUCT AND PIPING LAYOUTS AND LOCATIONS SHOWN ARE DIAGRAMMATIC ALL FITTINGS REQUIRED TO COMPLETE WORK. COORDINATE THE DUCT AND PIE CONTRACTORS PRIOR TO INSTALLATION, INCLUDING CONDUITS AND CABLE TRA AND/OR PIPING OFFSETS REQUIRED FOR THE COMPLETE INSTALLATION OF THE NOT THE OFFSETS ARE INDICATED ON THE PLANS. INSTALL DUCTWORK AND PI AVOID LIGHTS, CONDUIT AND MISCELLANEOUS PIPING, BUT LOW ENOUGH TO AL TO SYSTEM BALANCING DEVICES. DO NOT BLOCK ACCESS TO DEVICES.
- REFER TO THE ARCHITECTURAL REFLECTED CEILING PLANS AND ARCHITECTURA LOCATION OF ALL CEILING AND SIDEWALL AIR DISTRIBUTION AND DEVICES.
- LOCATE UNITS SUCH THAT ACCESS PANELS MAY BE FULLY OPENED (VIA TILE CEI UNIT. COORDINATE LOCATION WITH LIGHTING FIXTURES OR ANY OTHER EQUI
- ALL DUCT DIMENSIONS ARE INSIDE CLEAR. SEE DETAILS AND SPECIFICATIONS REQUIREMENTS.
- COORDINATE WORK WITH OTHER TRADES PRIOR TO PURCHASE AND INSTALLAT MATERIALS. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES IMMEE
- PROVIDE BALANCING DAMPERS WHERE INDICATED ON THE PLANS AND WHERE BALANCING.
- INSTALL ALL EQUIPMENT WITH THE MANUFACTURER'S RECOMMENDATION AND (9. CLEARANCES. INSURE ALL ITEMS FURNISHED WILL FIT IN THE SPACE AVAILABLE FIELD MEASUREMENTS TO ASCERTAIN SPACE REQUIREMENTS AND FURNISH AND AND SHAPES OF EQUIPMENT THAT ARE THE TRUE INTENT AND MEANING OF THE SPECIFICATIONS. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES INSTALLATION.
- 10. COORDINATE EXACT SIZE AND LOCATION OF ALL PENETRATIONS THROUGH THE TRADES.
- 11. COORDINATE LOCATIONS AND ELEVATIONS OF ALL EXPOSED MECHANICAL ITEMS PLANS, ELEVATIONS, AND DETAILS. THESE ITEMS INCLUDE, BUT ARE NOT LIMIT SENSORS, WALL DEVICES, SIDEWALL GRILLES, CONTROL PANELS, AND ALARMS.
- 12. HVAC SYSTEMS FOR THIS PROJECT MUST BE PROTECTED AGAINST EARTHQUAKE BUILDING CODE SUMMARY AND SPECIFICATION SECTION 019923 "GENERAL SEIS FOR SEISMIC RESTRAINT REQUIREMENTS.

		27601 I.COM
	HVAC DRAWING LIST	NC ARCH
TION OF ANY PIPING, REPANCIES PRIOR TO	NO. TITLE H001 STANDARDS, SYMBOLS & ABBREVIATIONS H101 FIRST FLOOR PLAN - DUCTWORK	ECTURE r raleigh, nc 27601
E DRAWINGS.	H300 DETAILS	
AND DO NOT INDICATE IPING LAYOUT WITH ALL AYS. PROVIDE ALL DUCT E SYSTEM WHETHER OR IPING HIGH ENOUGH TO ALLOW FOR EASY ACCESS AL DETAILS FOR EXACT EILING) FOR SERVICING IPMENT. FOR INSULATION TION OF EQUIPMENT AND DIATELY. REQUIRED FOR SYSTEM CODE REQUIRED E. MAKE NECESSARY D INSTALL SUCH SIZES IE PLANS AND PRIOR TO PURCHASE AND	MECHANICAL SUMMARY MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT 2009 ASHRAE FUNDAMENTALS, RALEIGH, N.C., HEATING 956/ COOLING 1% Winter dry bulb: 239F summer dry bulb: Summer dry bulb: 239F summer wet bulb: Summer dry bulb: 799F INTERIOR DESIGN CONDITIONS winter dry bulb: 709F (EXCEPT AS NOTED) summer dry bulb: Summer dry bulb: 729F (EXCEPT AS NOTED) relative humidity: BUILDING HEATING LOAD: 42.3MBH BUILDING COOLING LOAD: N/A	Image: Constraint of the second state of the second sta
E ROOF WITH ALL	MECHANICAL SPACING CONDITIONING SYSTEM UNITARY description of unit: heating efficiency:	
IS WITH ARCHITECTURAL TED TO, THE FOLLOWING:	cooling efficiency: > SEE PLANS AND SPECIFICATIONS size category of unit: > BOILER N/A	
e damage. Refer to SMIC Requirements"	Size category. If oversized, state reason.: CHILLER <u>N/A</u> Size category. If oversized, state reason.:	
	LIST EQUIPMENT EFFICIENCIES: SEE PLANS AND SPECIFICATIONS	PARK

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	y may not be used for any purpose winout written permission. Соругдит zurio by нн Architecture, н.А. Ан пдліз reserved				
	inese drawings are the property of thit Architecture, F.A. They may not de used for any	JOB NUMB 16-051 DATE ISSU JUNE 20 PROJECT S CHECK S	ied , 2017 Status		
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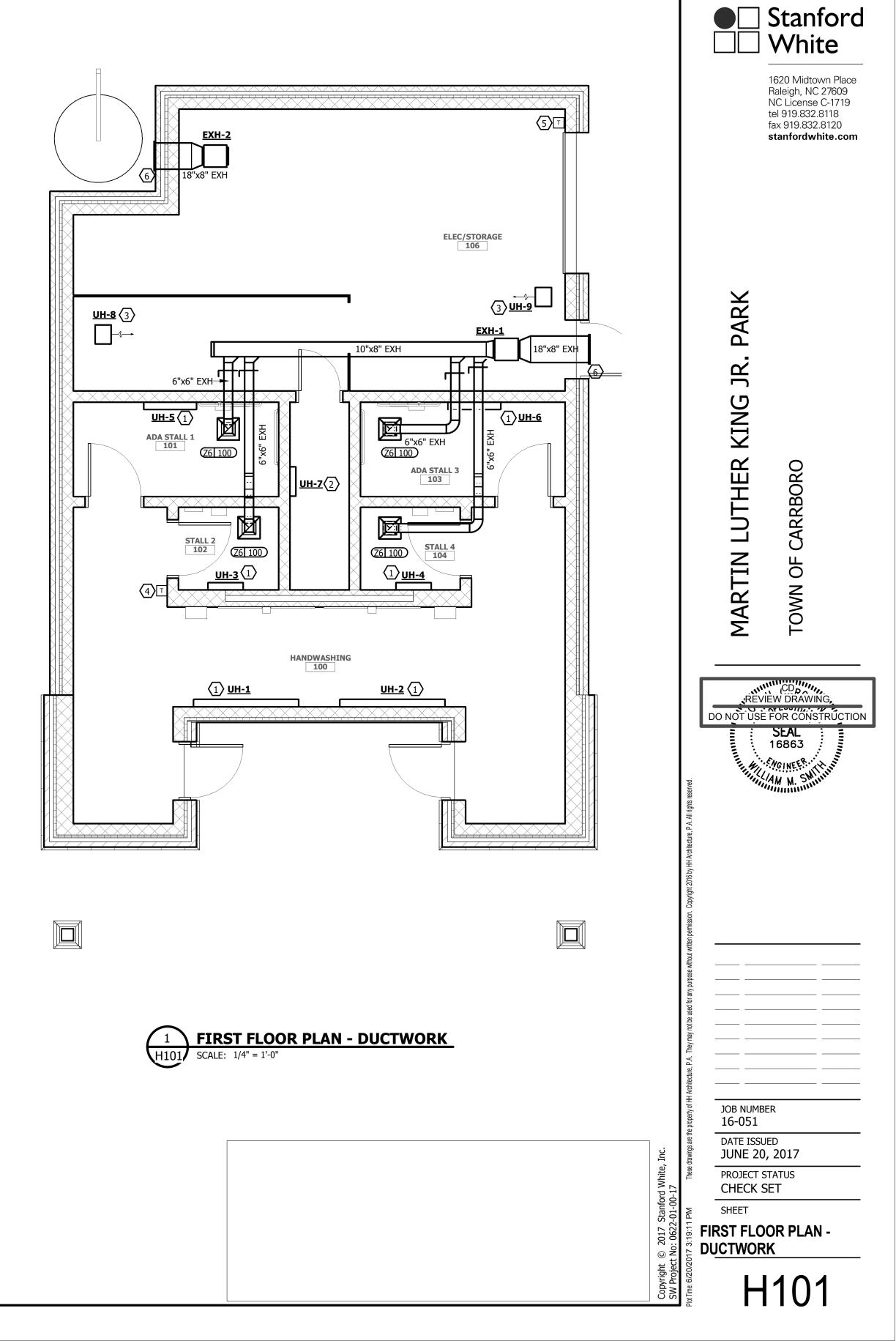
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				FAN	SCHED	ULE				
						FAN SPEED	MOTOR SIZE		MAX SOUND	
DESIGNATION	SERVICE	TYPE	AIRFLOW (CFM)	FAN ESP (IN)	DRIVE TYPE	(RPM)	(HP)	VOLTAGE/PHASE	LEVEL (SONES)	DAMPER TYPE
EXH-1	TOILETS	INLINE	400	0.40	DIRECT	1500	1/6	120/1	5	BACKDRAFT
EXH-2	STORAGE	INLINE	400	0.25	DIRECT	1500	1/6	120/1	5	BACKDRAFT
NOTES: 1. PROVIDE WI 2. EXH-2: PROV		ANIZED FRAME,	WELDED WIRE IN	ILET GUARD.						

			ELEC COIL FAN					
DESIGNATION	SERVICE	TYPE	TEMP RISE (F)	CAPACITY (kW)	VOLTAGE/PHASE	FAN AIRFLOW (CFM)	FAN MOTOR SIZE (HP)	NOTES
UH-1	HANDWASHING	ELECTRIC CONVECTOR	-	1.5	120/1	N/A	N/A	1, 3, 4
UH-2	HANDWASHING	ELECTRIC CONVECTOR	-	1.5	120/1	N/A	N/A	1, 3, 4
UH-3	STALL	ELECTRIC CONVECTOR	-	0.4	120/1	N/A	N/A	1, 3, 4
UH-4	STALL	ELECTRIC CONVECTOR	-	0.4	120/1	N/A	N/A	1, 3, 4
UH-5	ADA STALL	ELECTRIC CONVECTOR	-	0.75	120/1	N/A	N/A	1, 3, 4
UH-6	ADA STALL	ELECTRIC CONVECTOR	-	0.75	120/1	N/A	N/A	1, 3, 4
UH-7	UTILITY	PUMP HOUSE CONVECTOR	-	0.5	120/1	N/A	N/A	4, 5
UH-8	STORAGE	HORIZONTAL FAN FORCED UNIT HEATER	26	3.3	240/1	400		2, 3, 4
UH-9	STORAGE	HORIZONTAL FAN FORCED UNIT HEATER	26	3.3	240/1	400		2, 3, 4

1. UH1-7 BASIS OF DESIGN: BERKO UCJ. 3. PROVIDE WITH INTEGRAL DISCONNECT.

4. PROVIDE WITH INTEGRAL THERMOSTAT. 2. UH8-9 BASIS OF DESIGN: MARKEL UH SERIES. 5. BASIS OF DESIGN: MARKEL RPH SERIES.



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KEY NOTES TO H101

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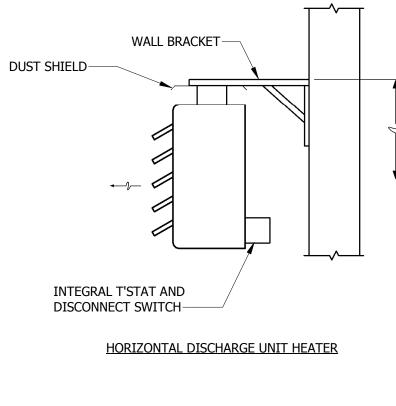
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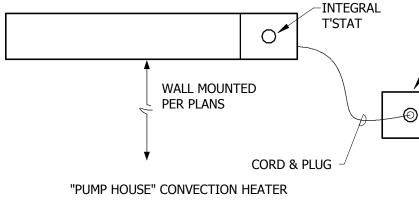
- 1 WALL MOUNT ELECTRIC CONVECTOR. MOUNT TOP OF UNIT AS HIGH AS POSSIBLE WHILE MAINTAINING MANUFACTURER RECOMMENDED CLEARANCE TO CEILING. (ADVISE ENGINEER IF GREATHER THAN 18")
- 2 PUMP HOUSE CONVECTION HEATER. SEE DETAIL. MOUNT APPROXIMATELY 48" AFF (FIELD VERIFY TO AVOID PLUMBING).
- 3 HORIZONTAL DISCHARGE UNIT HEATER. MOUNT TOP OF WALL BRACKET 9'-4" AFF. SEE DETAIL.
- 4 THERMOSTAT 72" AFF. TAMPER PROOF BLANK COVER. REFER TO CONTROLS DETAIL.
- 5 THERMOSTAT 72" AFF. WIRE CAGE COVER.
- 6 18" x 8" WALL CAP. STEEL CONSTRUCTION WITH BLACK ENAMEL FINISH. BUILT-IN BIRDSCREEN AND DAMPER. BASIS OF DESIGN: GREENHECK MODEL WC-8x8.

TABLE A - WORKIN	NG CLEARAN	CES
VOLTAGE TO		MINIMUM C
GROUND NOMINAL	CONDITION	1
0-150		3
151-600		3

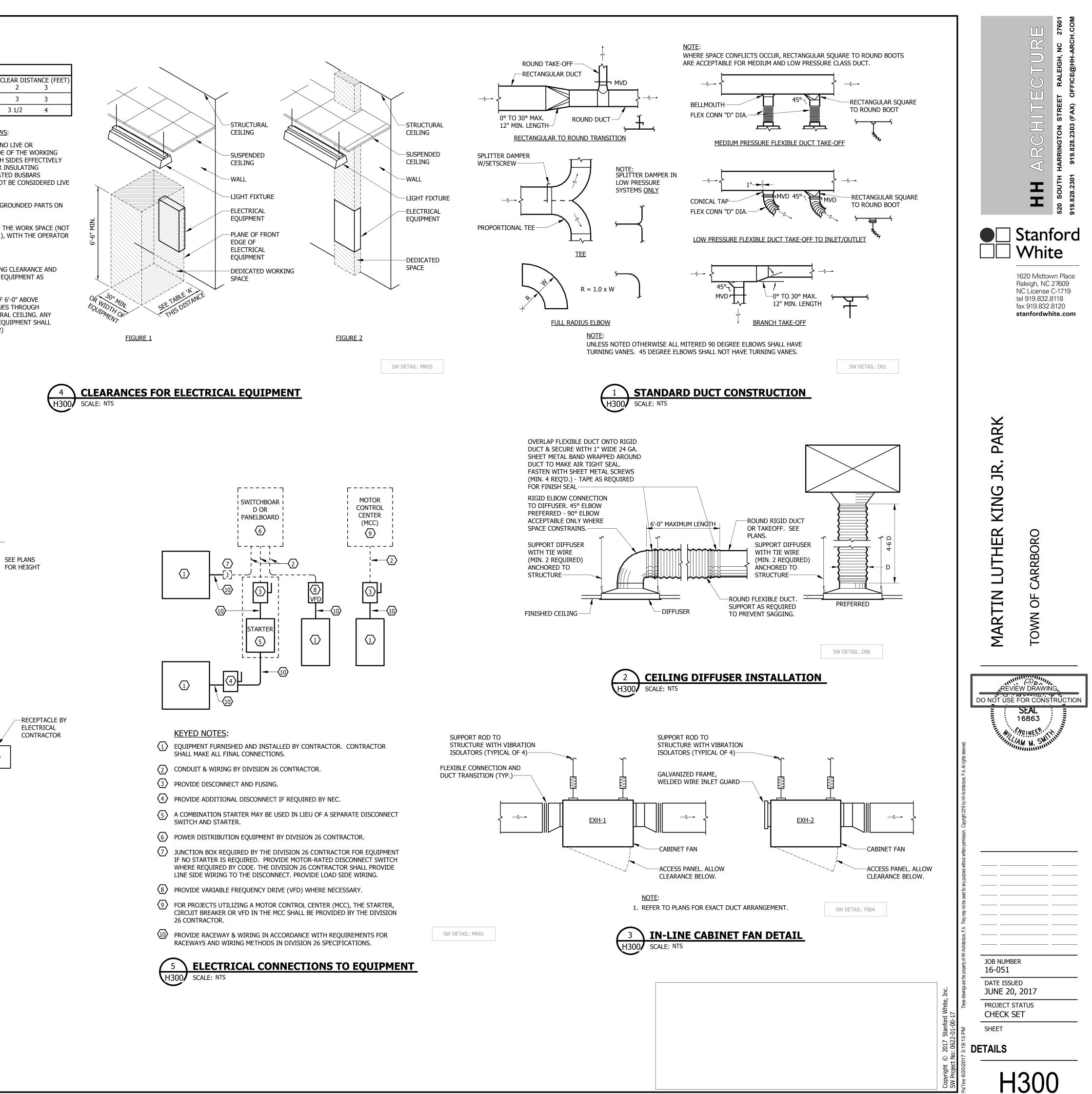
WHERE THE CONDITIONS ARE AS FOLLOWS:

- 1. EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE OR UNGROUNDED PARTS ON THE OTHER SIDE OF THE WORKING SPACE, OR EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SUITABLE WOOD OR OTHER INSULATING MATERIALS. INSULATED WIRE OR INSULATED BUSBARS OPERATING AT NOT OVER 300V SHALL NOT BE CONSIDERED LIVE PARTS.
- 2. EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE.
- 3. EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE (NOT GUARDED AS PROVIDED IN CONDITION 1), WITH THE OPERATOR BETWEEN.
- NOTES:
- 1. THESE FIGURES ILLUSTRATE THE WORKING CLEARANCE AND DEDICATED SPACE AROUND ELECTRICAL EQUIPMENT AS REQUIRED BY NEC SECTION 110-26.
- 2. DEDICATED SPACE RUNS TO A HEIGHT OF 6'-0" ABOVE EQUIPMENT. DEDICATED SPACE CONTINUES THROUGH SUSPENDED CEILING OR UP TO STRUCTURAL CEILING. ANY FOREIGN SYSTEMS TO THE ELECTRICAL EQUIPMENT SHALL NOT RUN WITHIN THIS SPACE. (FIGURE 2)

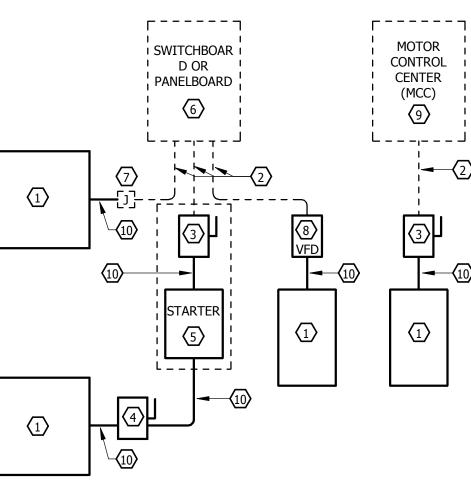


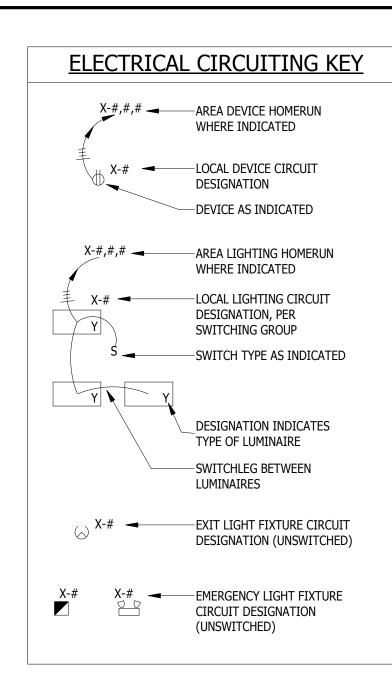






SEE PLANS





ELECTRICAL SYMBOLS

СH	
	WALL MTD LIGHTING FIXTURE AND OUTLET
\odot	PENDENT LIGHTING FIXTURE AND OUTLET
\bigcirc	DOWNLIGHT LIGHTING FIXTURE AND OUTLET
	WALL MTD LIGHTING FIXTURE AND OUTLET
o	CEILING MTD LIGHTING FIXTURE AND OUTLET
\otimes H	WALL MTD EXIT SIGN AND OUTLET, SINGLE FACE. ARROW INDICATES
	DIRECTION.
~	CEILING MTD EXIT SIGN AND OUTLET, DUAL FACE. ARROWS INDICATE
00	DIRECTION.
	EMERGENCY LIGHT BATTERY PACK - TWO HEAD UNIT.
	CEILING MOUNTED EMERGENCY BATTERY LIGHT
D	EMERGENCY LIGHT REMOTE HEAD
	GROUND MOUNTED FLOODLIGHT AND OUTLET
-0	AREA LUMINAIR AND STANDARD
S	FLUSH MTD TOGGLE SWITCH, SPST, 20A, 120/277V
S ₂	FLUSH MTD TOGGLE SWITCH, DPST, 20A, 120/277V
S ₃	FLUSH MTD 3-WAY TOGGLE SWITCH, 20A, 120/277V
S ₄	FLUSH MTD 4-WAY TOGGLE SWITCH, 20A, 120/277V
S _D	FLUSH MTD DIMMER SWITCH, 20A, 120/277V
s _k	FLUSH MTD KEY SWITCH, 20A, 120/277V
S _{OS}	FLUSH MOUNTED OCCUPANCY SENSOR SWITCH, 20A, 120/277V
S ¹	FLUSH MTD LIGHTED HANDLE TOGGLE SWITCH, SPST, 20A, 120V.
σI	LIGHT ON WITH OPEN SWITCH
6	FLUSH MTD TOGGLE SWITCH WITH PILOT LIGHT. LIGHT ON WITH
S _P	CLOSED SWITCH.
S _T	TIMED SWITCH
OS IR	CEILING MTD INFRA-RED OCCUPANCY SENSOR SWITCH, 20A, 120/277V
OS U	CEILING MTD ULTRASONIC OCCUPANCY SENSOR SWITCH, 20A, 120/277V
OS _{DT}	CEILING MTD DUAL TECHNOLOGY (IR, U) OCCUPANCY SENSOR SWITCH,
	20A, 120/277V
PC	PHOTOCELL, 120/277V, 2000W, 1800VA, 600VA LED, UNO
\ominus	FLUSH MTD DUPLEX RECEPTACLE AND OUTLET, 20A, 125V, 3W
\ominus	FLUSH MTD SINGLE RECEPTACLE AND OUTLET, 20A, 125V, 3W
\oplus	FLUSH MTD QUADRUPLEX RECEPTACLE AND OUTLET, 20A, 125V, 3W
	FLUSH MTD DUPLEX RECEPTACLE AND OUTLET, 20A, 125V, 3W, SPLIT
	WIRED WITH TOP OUTLET SWITCHED.
	FLUSH MTD DUPLEX RECEPTACLE AND OUTLET, 20A, 125V, 3W,
	INSTALLED VERTICALLY 4" ABOVE BACKSPASH OR COUNTERTOP IF NO BACKSPASH EXISTS.
4	FLUSH MTD QUADRUPLEX RECEPTACLE AND OUTLET, 20A, 125V, 3W,
	INSTALLED VERTICALLY 4" ABOVE BACKSPASH OR COUNTERTOP IF NO
	BACKSPASH EXISTS.
⊖	FLOOR MTD OUTLET WITH DUPLEX RECEPTACLE AND FITTING, 20A,
х©Н	
	WALL MOUNTED POWER DEVICE, REFER TO SCHEDULES FOR MARK
FB	FLOOR BOX WITH DEVICE(S). REFER TO SCHEDULES FOR MARK
/#	WALL MTD TELECOM OUTLET, REFER TO SCHEDULES FOR MARK
#	FLOOR MTD TELECOM OUTLET, REFER TO SCHEDULES FOR MARK
$\bigoplus_{i=1}^{n}$	CEILING MTD DUPLEX RECEPTACLE AND OUTLET, 20A, 125V, 3W
	CEILING MTD TELECOM OUTLET, REFER TO SCHEDULES FOR MARK
	CEILING MTD DUPLEX RECEPTACLE & TELECOM OUTLET, REFER TO
	SCHEDULES FOR MARK
(SP)	CEILING MTD PUBLIC ADDRESS SPEAKER
V	FLUSH MTD VOLUME CONTROL FOR SPEAKER
TVH	WALL MTD TELEVISION ANTENNA/ELECTRICAL OUTLET
TV	CEILING MTD TELEVISION ANTENNA/ELECTRICAL OUTLET
o l	WALL MTD CLOCK AND OUTLET
\bigcirc^2	CEILING MTD DOUBLE FACE CLOCK AND OUTLET
$\bigcirc +$	WALL MTD ELAPSED TIME CLOCK AND OUTLETWITH SEPARATE
	START/STOP RESET CONTROL MOUNTED BELOW
	PANELBOARD, 250V LEVEL
	PANELBOARD, 600V LEVEL
<u></u> Ж.#,#,#	HOMERUN; ARROW HEADS INDICATE NUMBER OF CIRCUITS, LETTERS AND NUMBERS DESIGNATE PANEL AND CIRCUITS. SHORT TICK MARKS
, <i>j j.</i> .	INDICATE NUMBER OF CURRENT CARRYING PHASE CONDUCTORS. LONG
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ELECTRICAL ABBREVIATIONS

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	ROUND; DIAMETER; PHASE	LS	LIFE SAFETY
	AMPERES OR AMP METER	LTG	LIGHTING
	ALTERNATING CURRENT	Μ	MOTOR; METERING
	AMP FRAME	MC	METAL CLAD
	ABOVE FINISHED CEILING	MCB	MAIN CIRCUIT BREAKER
	ABOVE FINISHED FLOOR	MCC	MOTOR CONTROL CENTER
	ABOVE FINISHED GRADE	MCP	MOTOR CONTROL PROTECTOR
	AMPERE INTERRUPTING CAPACITY	MCS	MOLDED CASE SWITCH
	ALTERNATE	MH	MANHOLE
	AMERICAN NATIONAL STANDARDS INSTITUTE	MIN	MINIMUM
	ARCHITECTURAL	MLO	MAIN LUG ONLY
	AMP TRIP	N, NEU	NEUTRAL
	AUTOMATIC TRANSFER SWITCH	NEC	NATIONAL ELECTRICAL CODE
	AMERICAN WIRE GAGE	NEMA	NATIONAL ELECTRICAL MANUFACTURERS
	BELOW FINISHED CEILING		ASSOCIATION
	BELOW FINISHED GRADE	NF	NON-FUSED
	CELSIUS; COIL	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
	CIRCUIT BREAKER	NIC	NOT IN CONTRACT
	CLOSED CIRCUIT TELEVISION SYSTEM	NL	NIGHT LIGHT
	CANDELA	NO	NORMALLY OPEN; NUMBER
	CEILING	NOM	NOMINAL
	COAXIAL CABLE	NTS	NOT TO SCALE
	CONTRACTOR	OC	ON CENTER
	CURRENT TRANSFORMER	OL	OVERLOAD
	CABLE TELEVISION	Р	POLE
	COPPER	PB	PULL BOX
	DRAWING	PC	PHOTOCELL
	ELECTRICAL CONTRACTOR	PF	POWER FACTOR
	ENCLOSED CIRCUIT BREAKER	PH	PHASE
	EXHAUST FAN	PNL	PANEL
	EQUIPMENT GRAOUNDING CONDUCTOR	PT	POINT; POTENTIAL TRANSFORMER
	ELECTRICAL	PUN	PER UNIT NAMEPLATE
	EMERGENCY	PVC	POLYVINYL CHLORIDE (CONDUIT)
	ELECTRICAL METALLIC TUBING	RD	ROUND
	EMERGENCY POWER OFF	REV	REVISION
	EXISTNG TO REMAIN	RLA	RATED LOAD AMPS
	ELECTRIC WATER COOLER	RMC	RIDGID METAL CONDUIT
	FIRE ALARM CONTROL PANEL	SN	SOLID NEUTRAL
	FIRE ALARM TERMINATION CABINET	SNAC	SIGNAL NOTIFICATION APPLIANCE CIRCUIT
	FINISHED FLOOR ELEVATION	SP	SURGE PROTECTED
	FLOOR	SPD	SURGE PROTECTED DEVICE
	FULL LOAD AMPS	SPDT	SINGLE POLE DOUBLE THROW
	FLEXIBLE LIQUIDTIGHT CONDUIT	SPST	SINGLE POLE SINGLE THROW
	FLEXIBLE	SPEC	SPECIFICATION
	FLEXIBLE METAL CONDUIT	SQ	SQUARE
	FEET; FOOT	SWGR	SWITCHGEAR
	FUSE	SWBD	SWITCHBOARD
	GAUGE; GAGE	TBB	TELEPHONE BACK BOARD
	GROUND BUS	TELECOM	
	GENERAL CONTRACTOR	TEMP	TEMPERATURE
	GROUNDING ELECTRODE CONDUCTOR	THD	TOTAL HARMONIC DISTORTION
CI	GROUND FAULT (CIRCUIT) INTERRUPTER	TYP	TYPICAL
	GROUND	TV	TELEVISION
	HEAVY DUTY	UL	UNDERWRITERS LABORATORIES INC.
	HANDS-OFF-AUTOMATIC	UNO	UNLESS NOTED OTHERWISE
	HORSEPOWER	V	VOLTAGE; VOLT
	HEATING, VENTILATING & AIR CONDITIONING	VAC	VOLTS ALTERNATING CURRENT
	HERTZ	VDC	VOLTS DIRECT CURRENT
	ISOLATED GROUND	VFD	VARIABLE FREQUENCY DRIVE
	INTERMEDIATE METAL CONDUIT	VOL	VOLUME
	JUNCTION BOX	W/	WITH
		W	WIRE
	KILOVOLT AMPERE	WP	WEATHERPROOF
	KILOWATT HOUD	WG	WIREGUARD
		XFMR	
	LIGHT EMMITING DIODE	XP 7	EXPLOSION PROOF
	LOCKED ROTOR AMPS	Z	IMPEDANCE

1. ALL SYMBOLS AND ABBREVIATIONS MAY NOT BE UTILIZED FOR THIS PROJECT.

- SYMBOLS NOT SHOWN ON THIS ELECTRICAL SYMBOL LEGEND ARE IDENTIFIED ON THE DRAWINGS WHERE THEY OCCUR.
- UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS OR ON THE DRAWINGS, MOUNTING HEIGHT OF DEVICES IS TO BE THE CENTERLINE OF THE DEVICE.
- 4. UNLESS OTHERWISE INDICATED, SWITCHES AND SIMILAR DEVICES ARE TO BE LOCATED 48" AFF; RECEPTACLES ARE TO BE VERTICALLY MOUNTED AT 18" AFF WITH THE GROUNDING TERMINAL ON THE BOTTOM.
- TELEPHONE & DATA OUTLETS ARE TO BE MOUNTED AT 18" AFF UNLESS OTHERWISEINDICATED. "W" INDICATES MOUNTING AT 48" AFF; "C" INDICATES MOUNTING ABOVECOUNTERTOP WITH ALIGNMENT AND HEIGHT AS INDICATED FOR RECEPTACLES SIMILARLY MOUNTED.
- 6. FIRE ALARM PULL STATIONS ARE TO BE VERTICALLY MOUNTED AT 48" AFF.
- FIRE ALARM INDICATING APPLIANCES SHALL BE <u>15 Cd RATING</u>, UNLESS NOTED OTHERWISE ON THE PLANS.
- 8. FIRE ALARM INDICATING APPLIANCES ARE TO BE MOUNTED WITH THE LOWER EDGE OF THE VISUAL ELEMENT AT 6'-8" AFF OR 6" BFC, WHICHEVER IS LOWER. WHERE DUCTWORK, CONDUIT, OR OTHER OBSTRUCTIONS BLOCK DIRECT VIEW OF APPLIANCE, MOUNT 6" BELOW SUCH OBSTRUCTIONS.
- 9. CEILING MOUNTED SMOKE DETECTORS ARE SHOWN IN APPROXIMATE LOCATION. COORDINATE EXACT LOCATION WITH CEILING FEATURES. WALL MOUNTED SMOKE DETECTECTORS ARE TO BE MOUNTED 10" BELOW FINISHED CEILING TO THE CENTER OF DEVICE AND A MINIMUM OF 12" FROM ADJACENT WALLS OR OTHER OBSTRUCTIONS.
- 10. COORDINATE SMOKE DETECTOR AND HEAT DETECTOR LOCATIONS WITH HVAC SUPPLY AND RETURN GRILLES. MAINTAIN 3'-0" CLEARANCE BETWEEN EDGE OF SUPPLY GRILL AND EDGE OF SMOKE DETECTOR.
- 11. UPPER CASE LETTER (OR LETTER/NUMBER COMBINATION) ADJACENT TO FIXTURE OR SWITCH DESIGNATES TYPE. SEE FIXTURE SCHEDULE FOR DETAILS.
- 12. LOWER CASE LETTER ADJACENT TO FIXTURE OR SWITCH DESIGNATES CONTROL RELATIONSHIP.
- 13. NUMBER ADJACENT TO FIXTURE, SWITCH, OR RECEPTACLE DESIGNATES CIRCUIT CONNECTION.
- 14. SINGLE DIAGONAL LINE ACROSS A FIXTURE INDICATES FIXTURE IS UNSWITCHED FOR 24 HOUR OPERATION.

			LIGHTING	G FIXTURE	SCHEDULE			
TYPE MARK	DESCRIPTION	MANUFACTURER	SERIES/MODEL	LUMENS	MOUNTING	FINISH	VOLTAGE	
A	4' SURFACE/PENDANT LED STRIP FIXTURE	COLUMBIA	LCS4-30LW-EU	2,795	SURFACE/PENDANT	WHITE	120V	
В	LED SQUARE SURFACE FIXTURE	LITHONIA	KACM-LED-40C-700-40K-R5-MVOLT	11,688	SURFACE	DARK BRONZE	120V	
C	6" RECESSED LED DOWNLIGHT	HUBBELL	LF6SL-6LFSL20L30KDL	2,000	RECESSED	WHITE	120V	
D	2' SURFACE/PENDANT LED FIXTURE	KENALL	MLHA12-24-F-MW-PP-1-25L40K-DCC-1-DV	2,673	SURFACE/PENDANT	MATTE WHITE	120V	
W	LED WALL-PACK FIXTURE	KENALL	FN9-2-7-DB-16L-40K7-DV	2,598	SURFACE	DARK BRONZE	120V	
Z	EMERGENCY WALL BATTERY PACK	LITHONIA	ELM2-LED	N/A	WALL	WHITE	120V	

FIXTURE SCHEDULE NOTES:

1. THIS FIXTURE SCHEDULE USES MANUFACTURER'S NAMES AS A MEANS TO DESIGNATE A FIXTURE TYPE AND A LEVEL OF QUALITY. THESE MANUFACTURER'S NAMES AND FIXTURE SERIES/MODELS ARE NOT INTENDED AS A BRAND NAME SPECIFICATION.

2. PROVIDE LED DRIVERS SUITABLE FOR FULL RANGE DIMMING, INTERNAL SURGE PROTECTION, CURRENT TOTAL HARMONIC DISTORTION (THD) OF <20% AND A POWER FACTOR >0.90. IN ADDITION, DRIVERS SHALL BE RF SUPPRESSED FOR MINIMUM INJECTION OF OF FEEDBACK INTO SUPPLY LINES. MAXIMUM CURRENT THD AND MINIMUM POWER FACTOR SHALL BE RF SUPPRESSED FOR MINIMUM INJECTION OF OF FEEDBACK INTO SUPPLY LINES. MAXIMUM CURRENT THD AND MINIMUM POWER FACTOR SHALL BE RF SUPPRESSED FOR MINIMUM INJECTION OF OF FEEDBACK INTO SUPPLY LINES. MAXIMUM CURRENT THD AND MINIMUM POWER FACTOR SHALL BE SUBMITTED AS A PART OF THE FIXTURE SUBMITTAL DATA.

3. UNLESS OTHERWISE INDICATED PROVIDE SINGLE DRIVER PER FIXTURE.

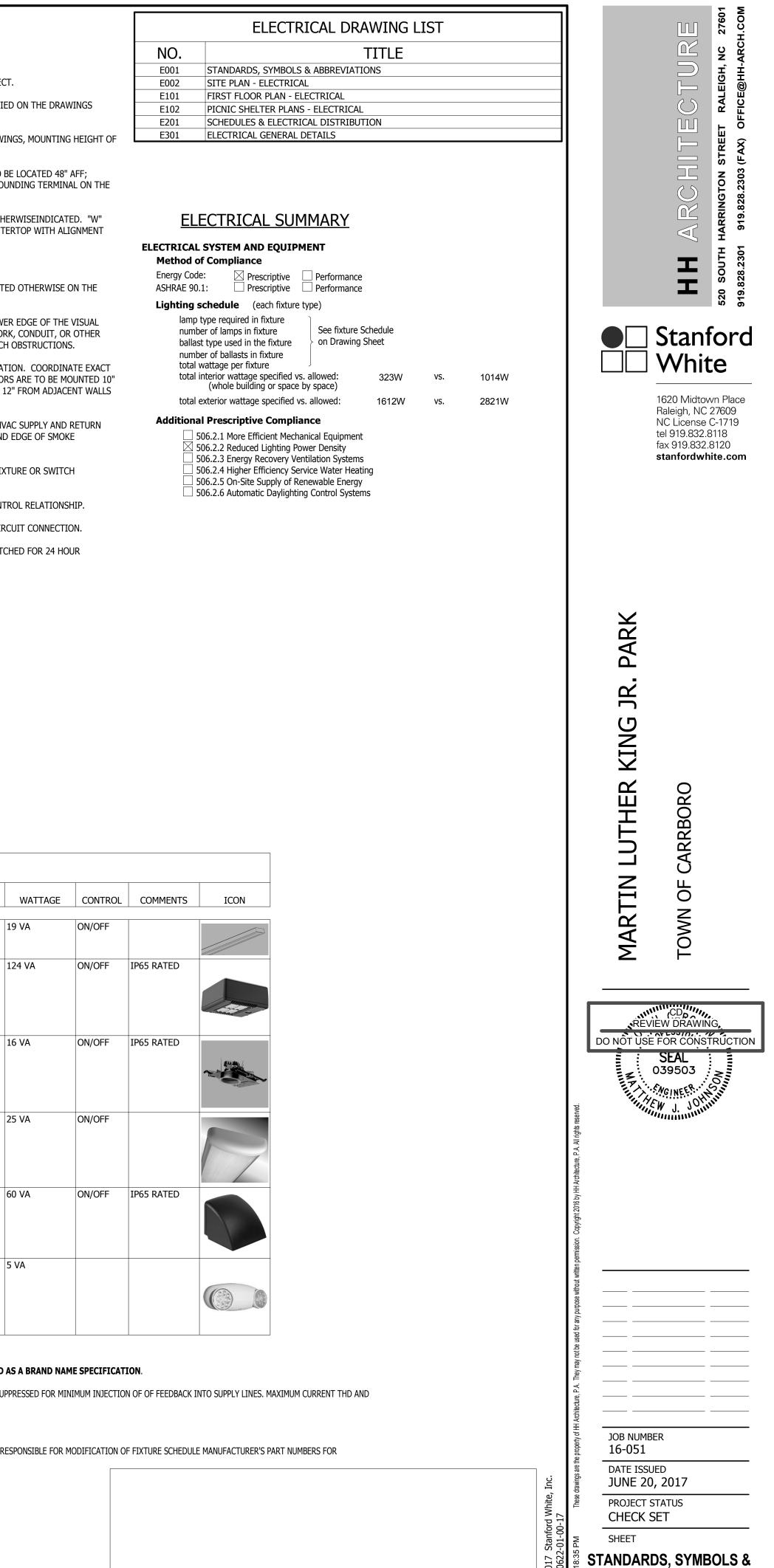
4. PROVIDE MOUNTING FRAME AND RELATED ACCESSORIES FOR ALL FIXTURES AS REQUIRED TO MATCH CEILING CONSTRUCTION. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT CEILING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MODIFICATION OF FIXTURE SCHEDULE MANUFACTURER'S PART NUMBERS FOR PURPOSES OF MATCHING CEILING CONSTRUCTION.

5. EQUIVALENT FIXTURES BY MANUFACTURERS OTHER THAN THOSE LISTED MAY BE SUBMITTED FOR CONSIDERATION.

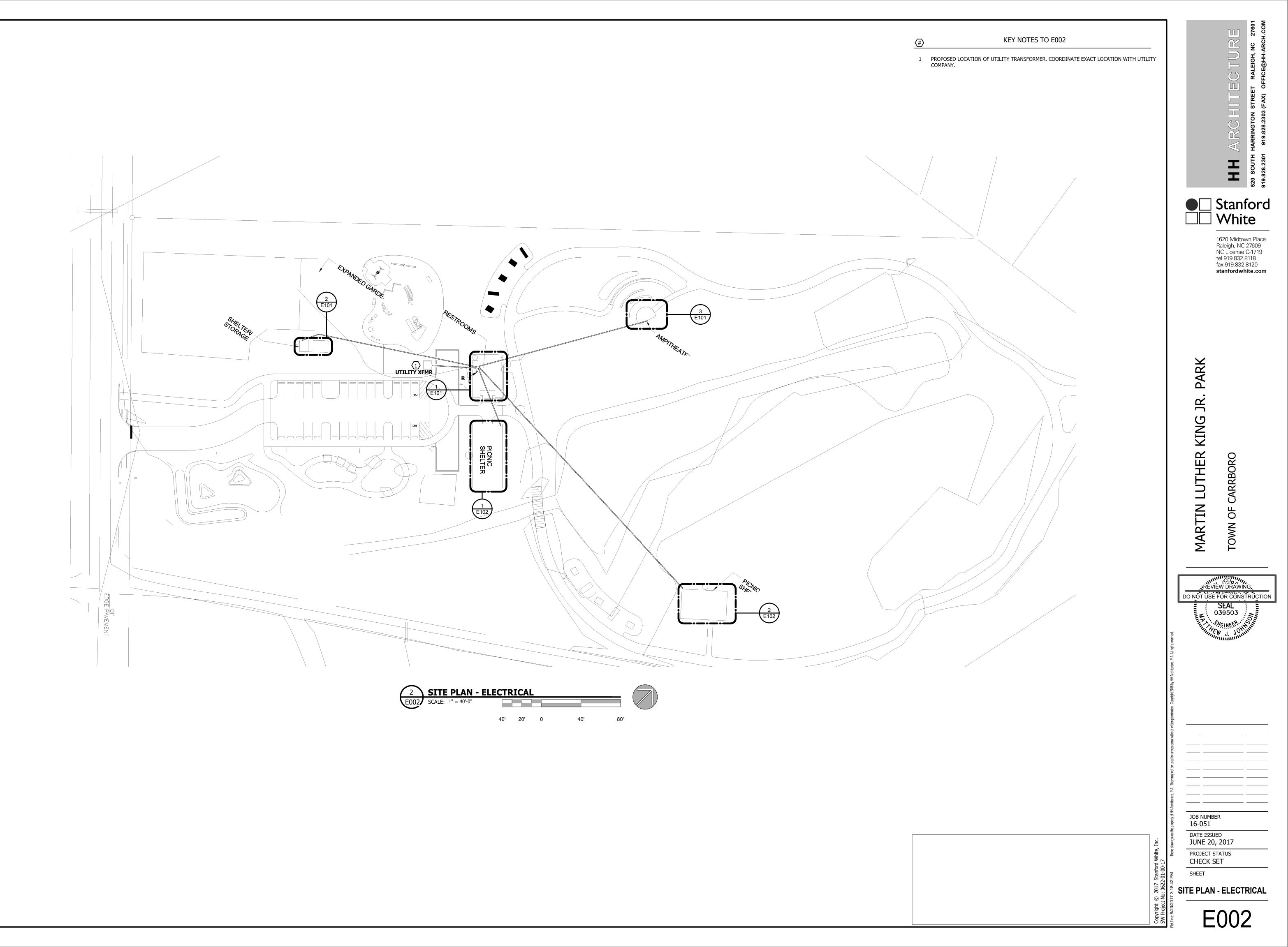
6. PROVIDE DIMMING DRIVERS WHERE DIMMING CONTROLS ARE INDICATED ON THE PLANS.

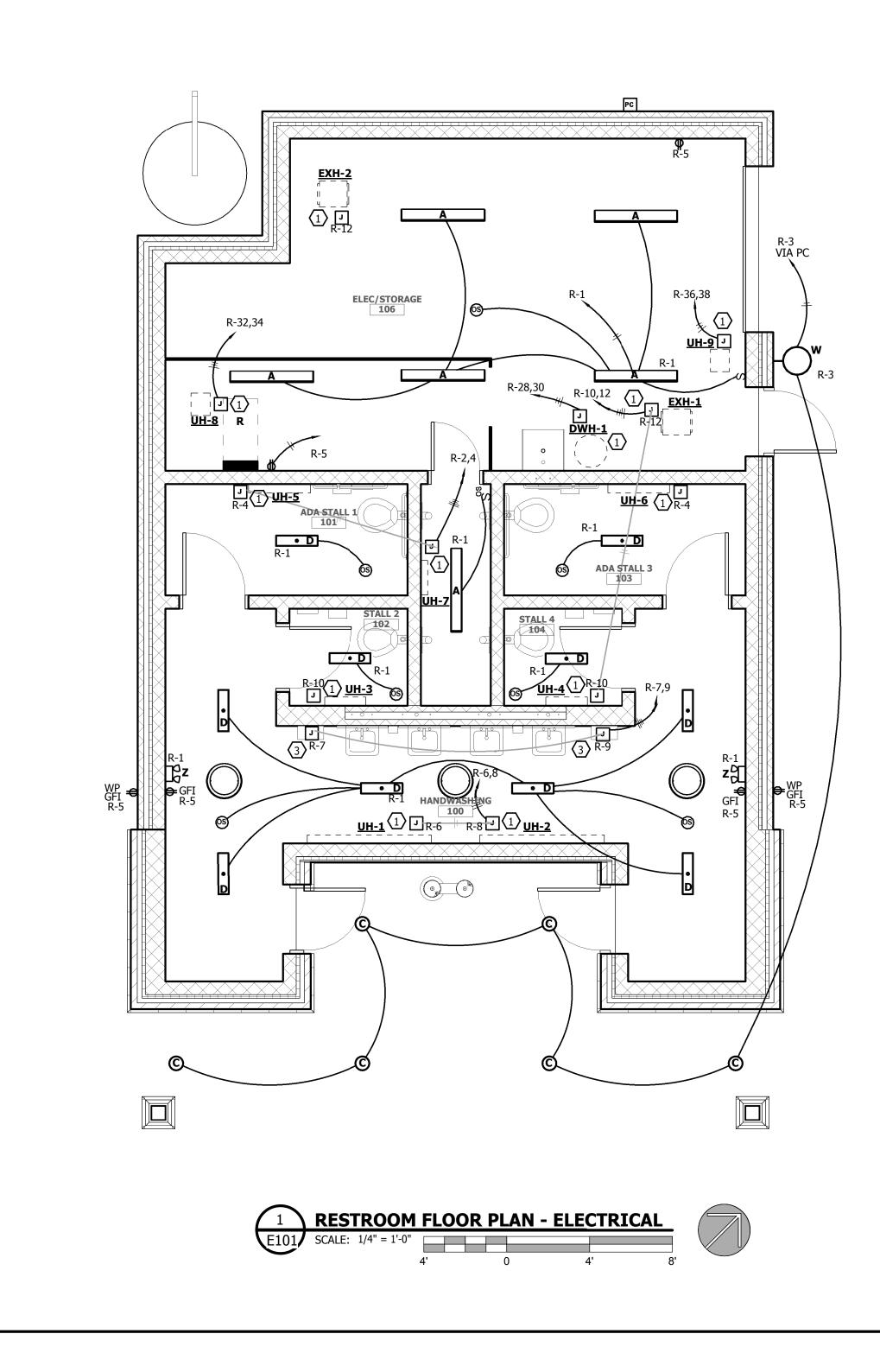
7. FIXTURES SHALL HAVE A COLOR TEMPERATURE OF 4000°K UNLESS NOTED OTHERWISE

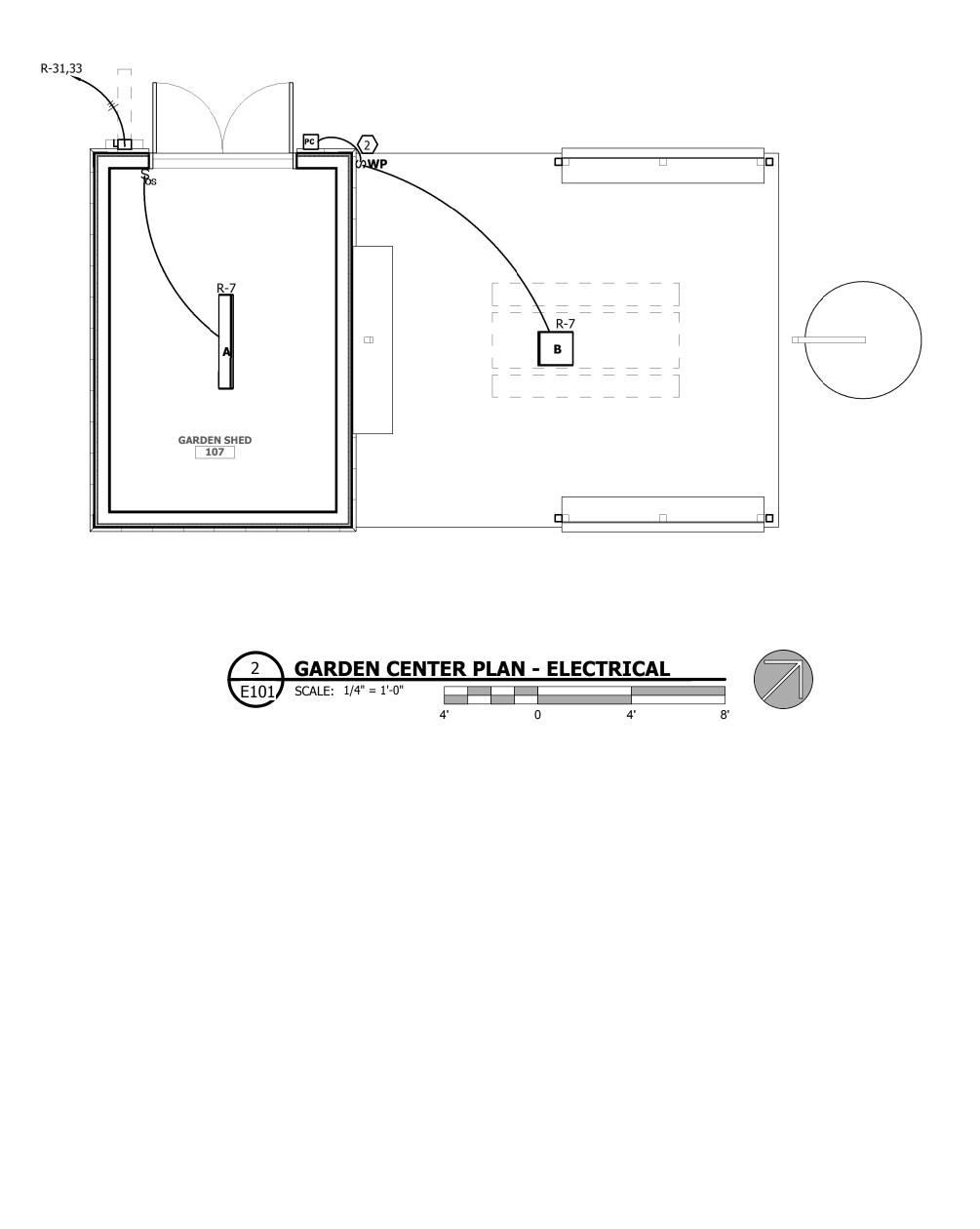
8. FOR LIGHT FIXTURES HAVING LINEAR VISUAL FEATUERS (IE: CENTER BASKET, LOURVERS, ETC), COORDINATE AND ALIGN COMPONENTS IN A SIMILAR DIRECTION CONSISTENTLY ACROSS THE BUILDING SPACES.

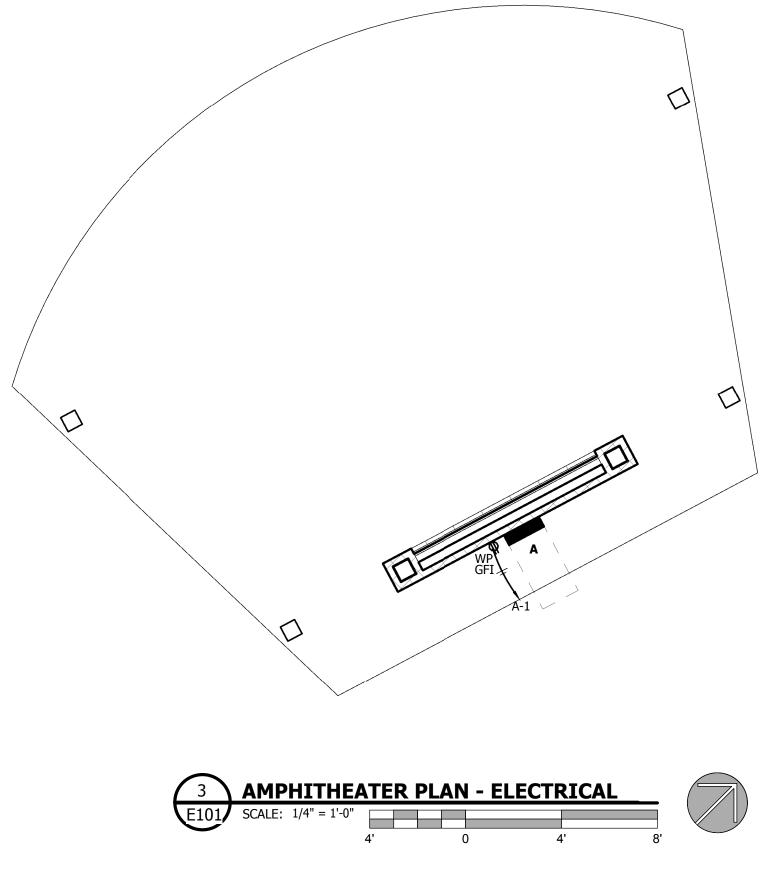


ABBREVIATIONS







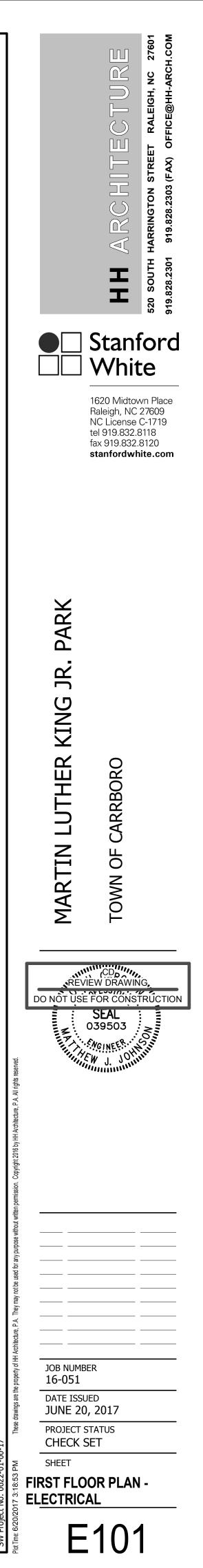


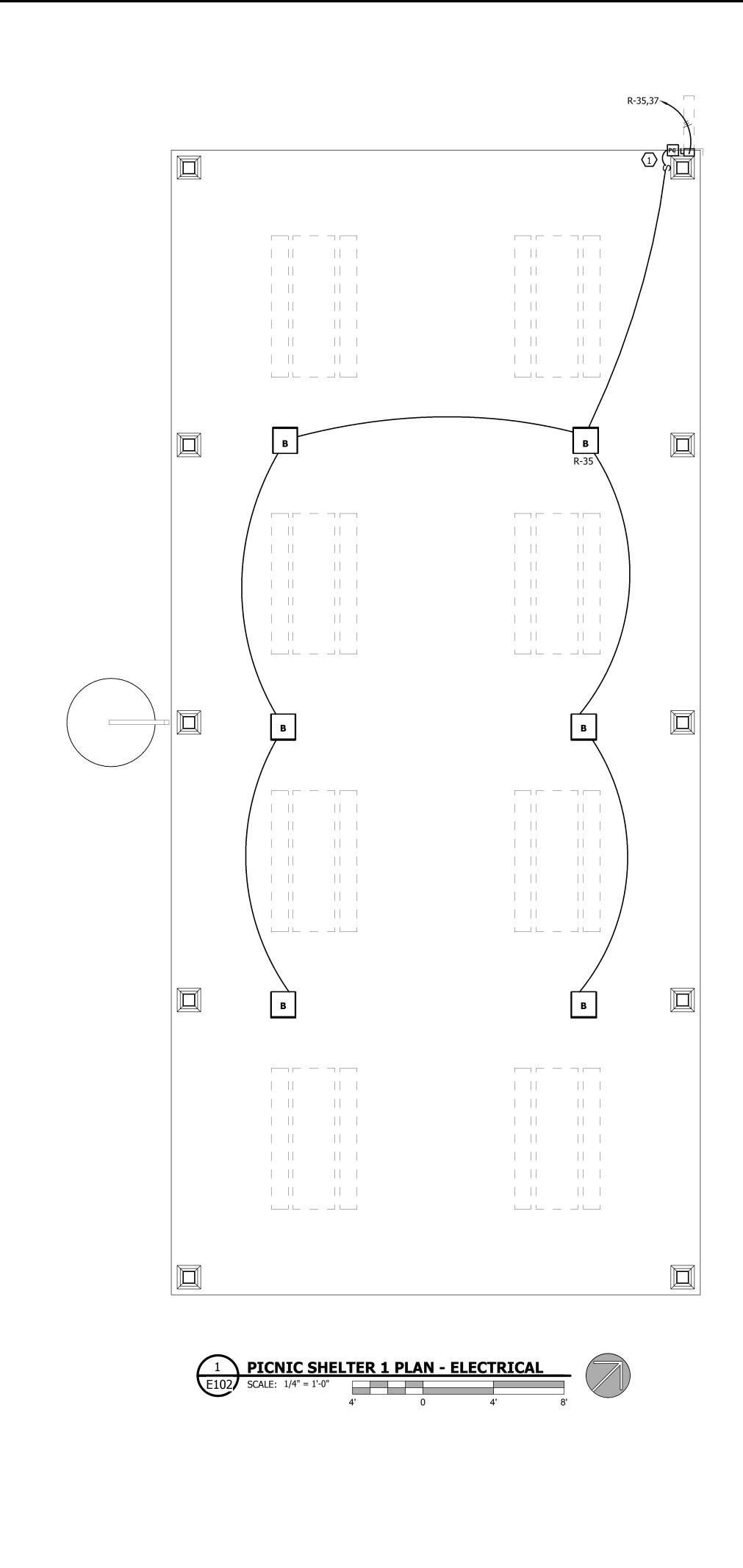
GENERAL NOTES

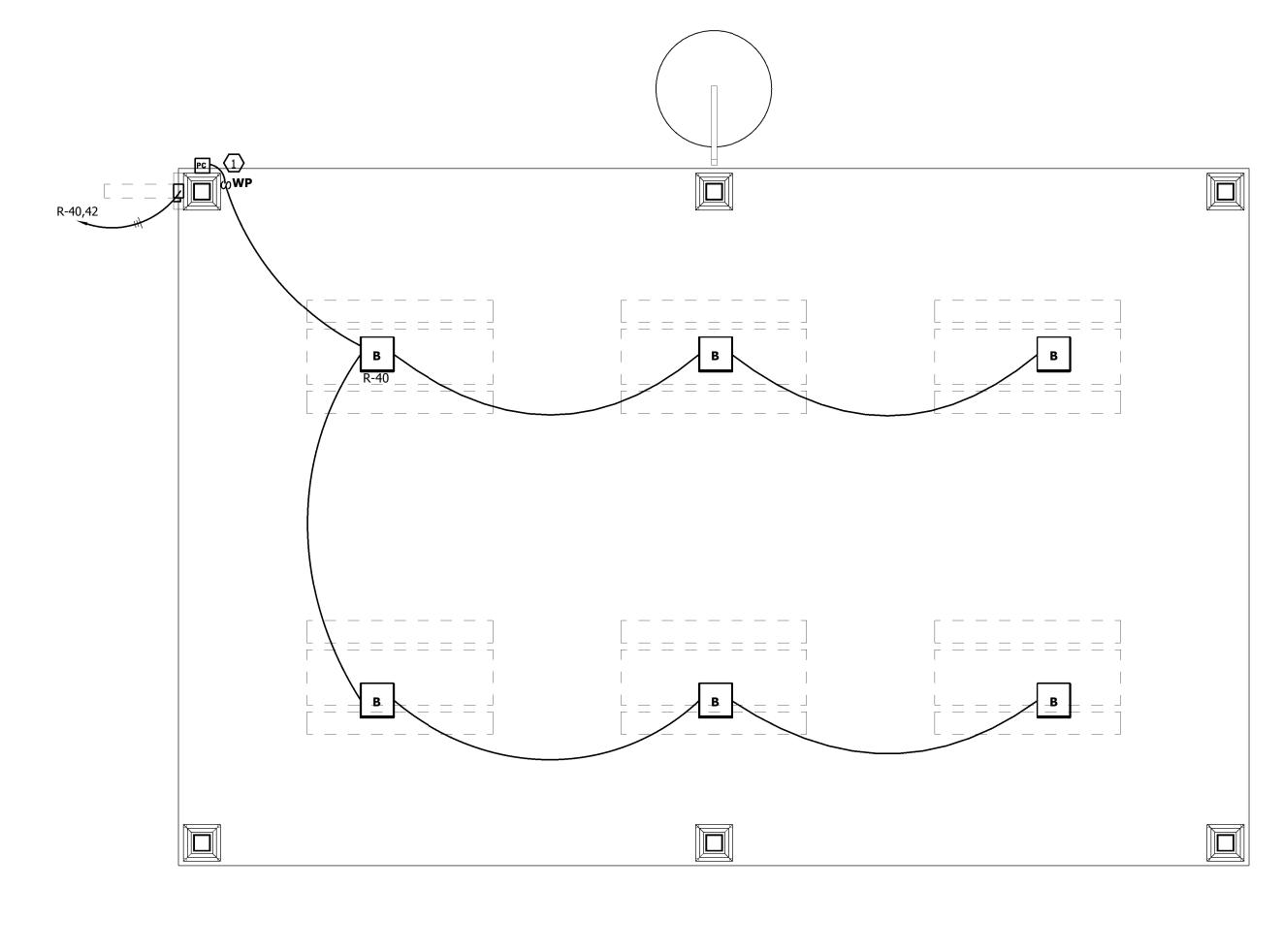
- 1. COORDINATE EXACT LOCATION AND ELECTRICAL REQUIREMENTS OF ALL HVAC AND PLUMBING EQUIPMENT WITH RESPECTIVE CONTRACTORS. NOTIFY ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES.
- 2. COORDINATE EXACT LOCATION AND MOUNTING OF ALL CEILING MOUNTED DEVICES WITH REFLECTED CEILING PLAN PRIOR TO ROUGH IN.
- 3. ALL OCCUPANCY SENSORS WITHOUT INTEGRAL ON/OFF SWITCHES SHALL BE LOW VOLTAGE. PROVIDE POWER PACKS (NOT SHOWN) AS REQUIRED FOR SWITCHING INDICATED.

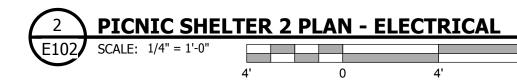
⟨#⟩	KEY NOTES TO E101
1	MAKE CONNECTION TO DISCONNECTING MEANS PROVIDED BY TRADE PROVIDING ASSOCIATED EQUIPMENT.

2 CONNECT PHOTCELL AND SWITCH IN SERIES SUCH THAT BOTH DEVICED NEED TO BE IN THE "ON" POSITION TO ENERGIZE THE LIGHT FIXTURE.

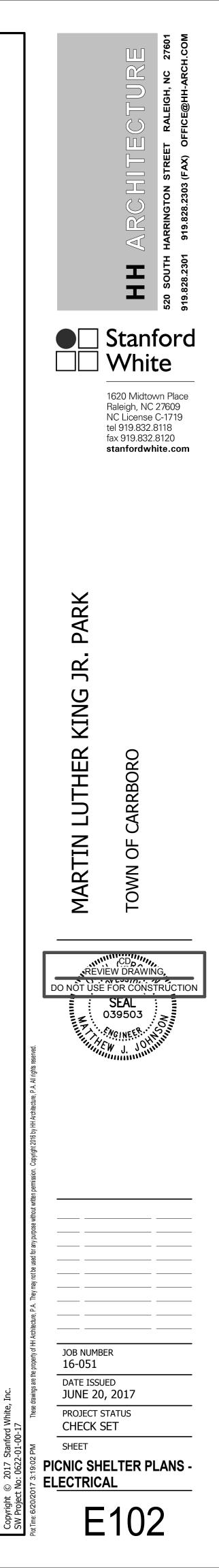








#>	KEY NOTES TO E102
1	CONNECT PHOTCELL AND SWITCH IN SERIES SUCH THAT BOTH DEVICED NEED TO BE IN THE "ON" POSITION TO ENERGIZE THE LIGHT FIXTURE.



PANEL ID: R					V	OL.	TAGE:	120/2	240V	LO	CATION	1:	ELEC	/STOF	RAG	E 10	6	N	MOUNTING:		Surface
					A	MP	S:	200		SO	URCE:		UTILITY XFMR				Г	TYPE:		BOLT ON	
LOAD	N OT E	COND SIZE	GN D SIZ E	NEU SIZE	ø	PO LE	BKR SIZE	CKT NO.	Α (VA)	В (VA)	CKT NO.	BKR SIZE	PO LE	ø	NEU SIZE	gnd Size	COND SIZE	N OT E	LOAD
LIGHTING RESTROOMS		3/4	12	12	12	1	20	1	374	500			2	20	1	12	12	12	3/4		UH-7 (.5kW)
LIGHTING RR EXTERIOR		3/4	12	12	12	1	20	3			396	1500	4	20	1	12	12	-	-		UH-5,6 (0.75kW EACH)
REC RESTROOMS		3/4	12	12	12	1	20	5	1080	1500			6	20	1	12	12	12	3/4		UH-1 (1.5kW)
HANDDRYER 1		3/4	12	12	12	1	20	7			1000	1500	8	20	1	12	12	-	-		UH-2 (1.5kW)
HANDDRYER 2		-	-	12	12	1	20	9	1000	800			10	20	1	12	12	12	3/4		UH-3,4 (0.4kW EACH)
SPARE						1	20	11			0	1056	12	20	1	12	12	-	-		EXH-1,2 (1/6HP EACH)
SPARE						1	20	13	0	0			14	20	1						SPARE
SPARE						1	20	15			0	0	16	20	1						SPARE
SPARE						1	20	17	0	0			18	20	1						SPARE
SPARE						1	20	19			0	0	20	20	1						SPARE
SPARE						1	20	21	0	0			22	20	1						SPARE
SPARE						1	20	23			0	0	24	20	1						SPARE
SPARE						1	20	25	0	0			26	20	1						SPARE
SPARE						1	20	27			0	1250	28	20	2	12	12	12	3/4		DWH-1 (2.5kW)
SPARE						1	20	29	0	1250			30	20	2	12	12	12	3/4		
GARDEN SHED		1	10	10	10	2	20	31			0	1650	32	20	2	12	12	12	3/4		UH-8 (3.3kW)
GARDEN SHED		I		10	10	2	20	33	0	1650			34	20	2	12	12	12	5/4		011-8 (3.3877)
PICNIC SHELTER 1		1	10	10	10	2	20	35 37	0	1650	744	1650	36 38	20	2	12	12	12	3/4		UH-9 (3.3kW)
						_		39			180	744	40				10	10			
A	1					2	60	41	0	0			42	20	2	10	10	10	1		PICNIC SHELTER 2
MAIN BKR: 200			I	PANEL	AIC:		23,000			TOTAL	S		PH	ASE A		PF	IASE E	3			
BUS: N/A			9	SERVI	CE EQ	PT:	Yes			TOTAL	-		1	9.8			11.6				21391 W PANEL TOTA
LUGS: #3/0				SUBFE		- ••	No				PHASE			82 A			97 A	_			
					DX. DI	-		x 6"D x			TIAGE			02 A							

1. REFERENCE ELECTRICAL RISER DIAGRAM FOR FEEDER CONFIGURATION.

PANEL ID: A					V	OL.	TAGE	: 120/2	40V	LO	LOCATION: AMPITHEATER							Ν		Surface		
FANEL ID.	A					MP	S:	60		SO	URCE:		R					٦	YPE:		BOLT ON	, NEMA 3R
LOAD	N OT E	COND SIZE	GN D SIZ E		Ø	PO LE	BKR SIZE	CKT NO.	A ((VA)	В (VA)	CKT NO.	BKR SIZE	PO LE	Ø	NEU SIZE	GND SIZE	COND SIZE	N OT E	LOAD	
REC		3/4	12	12	12	1	20	1	180	0			2	20	1						SPARE	
SPARE						1	20	3			0	0	4	20	1						SPARE	
SPARE						1	20	5	0	0			6	20	1						SPARE	
SPARE						1	20	7			0	0	8	20	1						SPARE	
SPARE						1	20	9	0	0			10	20	1						SPARE	
SPARE						1	20	11			0	0	12								SPACE	
SPARE						1	20	13	0	0			14								SPACE	
SPACE								15			0	0	16								SPACE	
SPACE								17	0	0			18								SPACE	
MAIN BKR: 60				PANEL			10,000	n		TOTA	6			HASE A			HASE	2				
BUS: N/A				SERVI							(kVA)			0.2			0.0	,			180 W	PANEL TOTAL
LUGS: #6				SUBFE			No				PHASE			2 A	_		0.0 0 A				100 11	
				APPRO		м		x 6"D x	30"H				[
NOTES:					л. DI		20 11		00 11													

1. PROVIDE (3) 1" CONDUITS STUBBED OUT OF TOP AND BOTTOI OF PANEL 6" AND CAPPED WITH SCREW ON CAP FOR FUTURE

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KEY NOTES TO E201

1 GROUNDING ELECTRODES, REFER TO SERVICE GROUNDING DETAIL.

2 DO NOT BOND GROUND TO NEUTRAL.

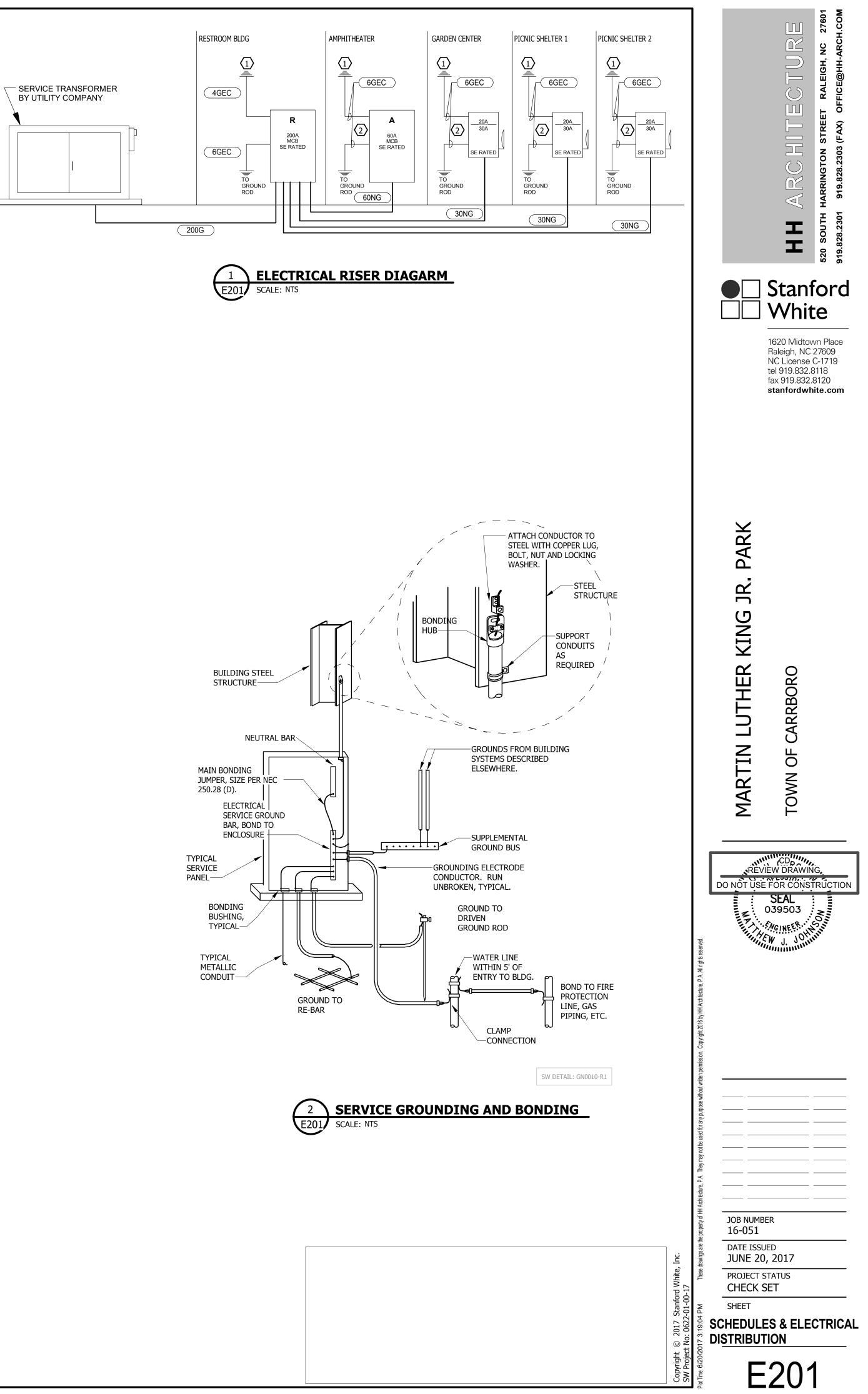
FEEDER SCHEDULE									
Mark	Ampacity	Description							
30NG	35A	2-#10 PHASE, 1-#10 NEU, & 1-#10 GND IN 1" C.							
60NG	65A	2-#6 PHASE, 1-#6 NEU, & 1-#10 GND IN 1" C.							
200G	200A	2-#3/0 PHASE & 1-#3/0 NEU IN 2" C.							
4GEC	N/A	GROUNDING ELECTRODE CONDUCTOR. 1-#4 IN 1/2" RMC. SEE NOTE 3.							
6GEC	N/A	GROUNDING ELECTRODE CONDUCTOR. 1-#6 IN 1/2" RMC. SEE NOTE 3.							

NOTES TO FEEDER SCHEDULE:

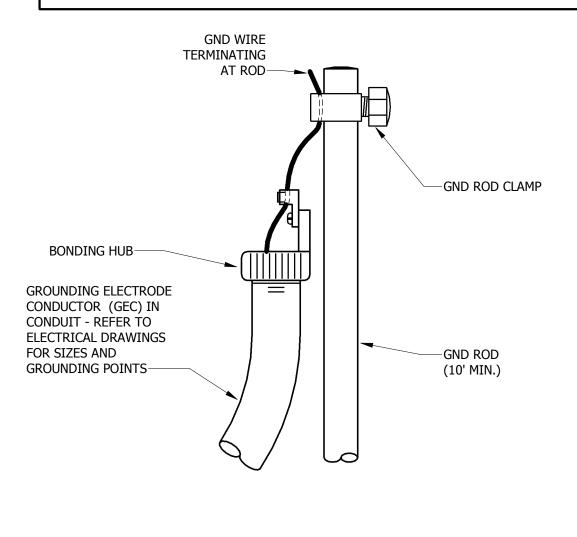
ALL AMPACITIES ARE BASED ON 75° C. RATING. CONTRACTOR IS RESPONSIBLE FOR THE MODIFICATION OF CONDUCTOR SIZES AS NECESSARY TO MEET THE REQUIREMENTS OF NEC 110-14(C) WHERE TERMINATIONS ARE NOT LISTED AND LABELED FOR USE AT 75° C. THIS REQUIREMENT APPLIES TO TERMINATIONS IN BOTH NEW EQUIPMENT AND IN EXISTING EQUIPMENT TO WHICH TERMINATIONS ARE MADE AS A PART OF THIS PROJECT.

DESIGNATION "C" IN THE ABOVE TABLE REFERS TO "CONDUIT". SEE SPECIFICATIONS FOR EXACT TYPE OF RACEWAY REQUIRED. TYPE OF RACEWAY, UNLESS INDICATED IN TABLE OR ELSEWHERE IN THE DRAWINGS, IS TO BE 2. DETERMINED BY USE CONDITIONS.

PROVIDE A BONDING BUSHING AT THE EQUIPMENT END OF THIS CONDUIT RUN AND A BONDING HUB AT THE 3. CONNECTION TO THE GROUNDING ELECTRODE.

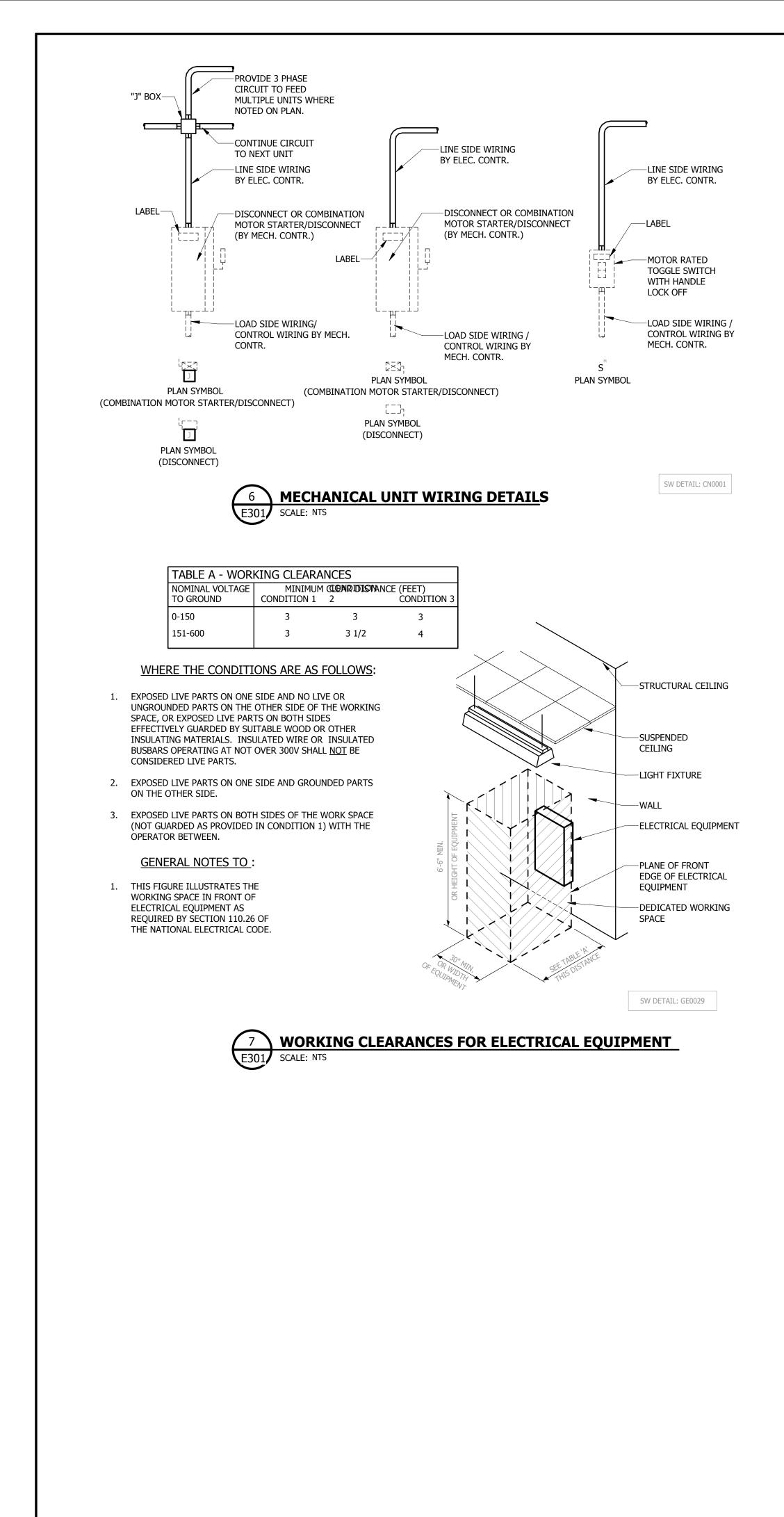


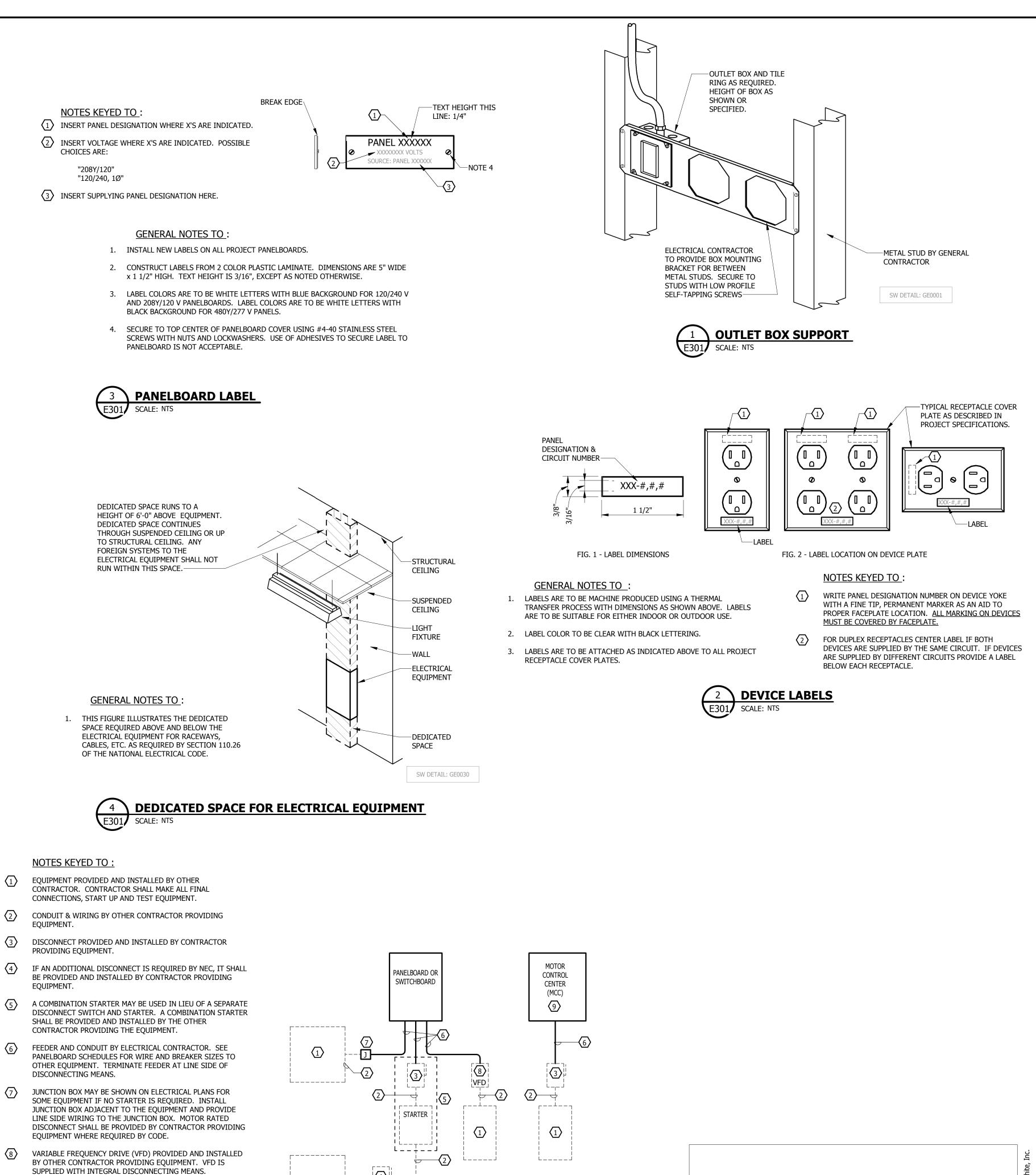
WARNING 1. <u>FIELD VERIFY</u> EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE DRIVING GROUND RODS. 2. <u>DO NOT</u> USE POWER ASSISTED TOOLS TO DRIVE GROUND RODS.











SW DETAIL: CN0002

(9) FOR PROJECTS UTILIZING A MOTOR CONTROL CENTER (MCC), THE STARTER, CIRCUIT BREAKER OR VFD IN THE MCC ARE PROVIDED BY THE ELECTRICAL CONTRACTOR.

E301

SCALE: NTS

ELECTRICAL CONNECTIONS TO EQUIPMENT OF OTHER TRADES

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	HH Architecture, P.A. They may not be used for any purpose without written permission. Copyright 2016 by HH Architecture, P.A. All rights reserved	
	These drawings are the property of HH Architecture, P.A. They may	JOB NUMBER 16-051 DATE ISSUED
11-00-10-220		JUNE 20, 2017 PROJECT STATUS CHECK SET SHEET ELECTRICAL GENERAL
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Phase: 95% CD Submittal

22-Jun-17

Preliminary Opinion of Probable Construction Cost - with phasing

This is an estimate based upon the most current costs available. This estimate is provided for planning purposes only. A certified estimate should be obtained for use in bidding and construction.

Construction ItemTotalConstruction Survey\$6,000.00Construction Entrance\$2,700.00Demolition - curb and gutter at driveway entrance\$598.50221113 Water - budget\$\$51,328.001-1/2" copper water line		
Construction Survey\$6,000.00Construction Entrance\$2,700.00Demolition - curb and gutter at driveway entrance\$598.50 221113 Water - budget \$ 51,328.00 1-1/2" copper water line		
Construction Survey\$6,000.00Construction Entrance\$2,700.00Demolition - curb and gutter at driveway entrance\$598.50 221113 Water - budget \$ 51,328.00 1-1/2" copper water line		
Construction Entrance\$2,700.00Demolition - curb and gutter at driveway entrance\$598.50221113 Water - budget\$51,328.001-1/2" copper water line11-1/2" valve11-1/2" targping Sleeve12" x 6" Tee1** x 8" Reducer1Water Appurtenances and Backflow1Pavement Repair (remove and replace)11-1/2" Water Installation1Water Main Tap1Quick Coupler valve to assist with irrigation1Fire Hydrant1221313 Sewer\$56,580.004" PVC Sewer Line1Tie to Ex. Manhole1Cleanouts1Curb remove and repair1Souder free (1.5" meter)1Road Pavement remove and repair1311000 Site Clearing\$20,420.00Rough Grading (cutfill on site)1Fine Grade1Import (plan on balancing on site)1Respread Topsoli (4") (landscaped areas)33112040 Erosion & Sediment Control\$21,495.00Silt Fence1Tree Protection Fence1Emporary rock dam1Silt Fence Outlet1	Construction Item	Total
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	Temporary Diversion Ditch	



Phase: 95% CD Submittal

22-Jun-17

Preliminary Opinion of Probable Construction Cost - with phasing

This is an estimate based upon the most current costs available. This estimate is provided for planning purposes only. A certified estimate should be obtained for use in bidding and construction.

Construction Item	Total
Temporary Seeding	
Seeding stabilization	
Temporary Sediment Basin	
321216 Asphalt Pavement and signage	\$26,198.66
Parking Lot Surface Course -2" (9.5B) - 12,934 sf	
Roadway Base Course (6" ABC) -12,934 sf	
Parking Stall Striping	
Striping at Handicap Space	
Painted Markings (Stop Bars)	
Directional Arrows	
Handicap Signs	
Crosswalk Striping Allowance	
Misc. Regulatory & Informational Signage	
Decomposed Granite Path	\$43,200.00
Decomposed Granite Path	
add'l path connection to pump tracks - approx. 500 lf	
Natural Stabilizer for all	
321313 Cast-In-Place Concrete	\$49,029.00
Concrete Wheel Stops	
seat walls at amphitheater - cast in place with stone veneer	
Concrete Sidewalk (4" Thick)	
concrete pad for picnic shelters - 2190 sf (2)	
concrete pad for add alt shelter and amphitheater - 1580 sf	
329200 Lawns & Grasses	\$8,775.00
Turfgrass Seeding (Bermuda)	
Pollination, Perennial and Wetland Garden seed mixes	
Switch Grass for stormwater Wetland	
329300 Plants	\$38,625.00
Large Deciduous Canopy Trees - 4"caliper	
Evergreen Canopy Trees - 2.5", 8'	
Deciduous Canopy Trees - 2.5"	
Understory Trees - 2.5"	
Large Shrubs	
Perennial Plugs	
334100 Storm Drainage - Budget	\$49,731.60
Wetland Riser	
Wetland topsoil	
RCP Drain Line - 18" Class III	



Phase: 95% CD Submittal

22-Jun-17

Preliminary Opinion of Probable Construction Cost - with phasing

This is an estimate based upon the most current costs available. This estimate is provided for planning purposes only. A certified estimate should be obtained for use in bidding and construction.

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Bench Bollard (permanent/lit)		
Bollard (permanent/lit)	Bench	
	Water Fountain (dual level)	



Phase: 95% CD Submittal

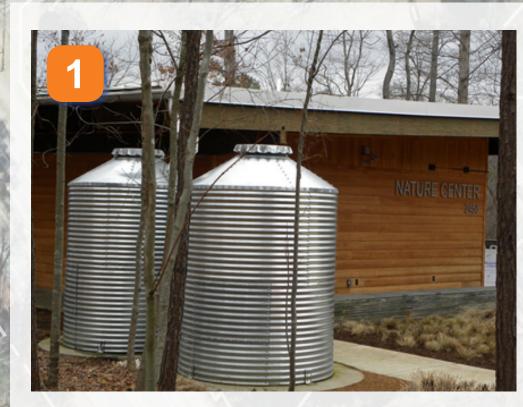
22-Jun-17

Preliminary Opinion of Probable Construction Cost - with phasing

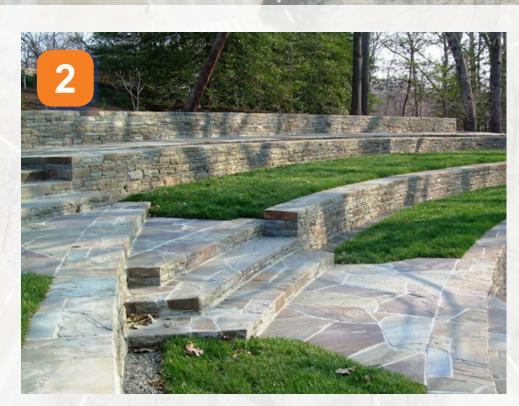
This is an estimate based upon the most current costs available. This estimate is provided for planning purposes only. A certified estimate should be obtained for use in bidding and construction.

Construction Item		Total
Trash Receptacle		
Grill		
inverted U Bike Rack		
Handrail at ramps, stairs, bridge, etc.		
Dog Waste Stations		
Educational Signage		
Little Free Library (donation)		
Picnic Table		
addl fence at garden (screening)		
fence around back of pump track (chain link)		
double vehicular gate at garden		
Grass Pavers with sub-base		
Subtotal	\$	1,202,541.63
5% Mobilization	\$	60,127.08
5% Contingency	\$	60,127.08
TOTAL OPINION OF COST (with contingency)	\$	1,322,795.79
TOTAL PROJECT FUNDING	\$	1,200,000.00
DIFFERENCE	\$	(122,795.79)
	*	1 0 4 2 4 4 4 2 2
PHASE ONE (pre-contingency and mobilization)	\$	1,043,466.63
PHASE TWO (pre-contingency and mobilization)		\$159,075.00

PHASE TWO



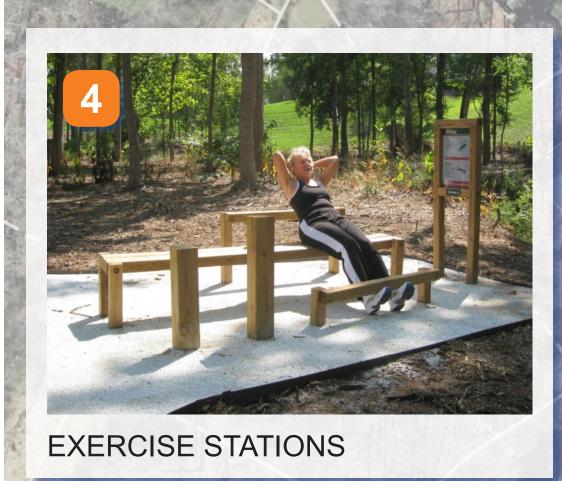
RAINWATER HARVESTING



AMPHITHEATER SEATING



PUMP TRACK





100% PLAN RENDERING - PROPOSED PHASING

- SEPARATE BEGINNER AND INTERMEDIATE PUMP TRACK

MLK JR PARK CARRBORO, NC 100% CD : ILLUSTRATIVE RENDERING - OPTION A







Agenda Item Abstract

File Number:17-230

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Public Hearing on Concept Plan Options for Possible Co-Location of The ArtsCenter and Town of Carrboro Offices and Recreation and Parks programs at 203 South Greensboro Street Property Including Contemplated Orange County Southern Branch Library

PURPOSE: The purpose of this item is to provide the Board of Aldermen with an opportunity to receive public comment on concept plan options for possible co-location of The ArtsCenter and the contemplated Orange County Southern Branch Library at the Town's 203 S. Greensboro Street property. **DEPARTMENT:** Planning and Manager's Office

CONTACT INFORMATION: Trish McGuire, pmcguire@townofcarrboro.org

INFORMATION: On June 20th, the Board of Aldermen received a presentation on the concept plan for the 203 S. Greensboro Street property. Agenda materials are available at this <u>link</u> <<u>https://carrboro.legistar.com/LegislationDetail.aspx?ID=3084136&GUID=676CEE1B-088E-457F-93FB-6CD4076789EC&Options=&Search=></u>. The concept provides for possible co-location of several principle uses including Town offices (specifically those needed for the Recreation and Parks Department), The ArtsCenter, and contemplated Orange County Southern Branch Library. Additional supplemental and related potential uses include a Virtual Justice Center, an initiative of North Carolina Central University School of Law (<<u>http://law.nccu.edu/technology/virtual-justice-project-2/virtual-justice-project/></u>), a seed library (<<u>http://seedlibrarian.com/></u>), WCOM radio (<u>http://wcomfm.org/></u>), and a teen center. A parking deck containing between 280 and 300 spaces is included in the concept plan to provide for the parking generated by the new uses on the property, and to replace and augment the existing surface spaces provided on this property.

As the Town considers this new project, options for obtaining temporary parking spaces to replace those currently on site are being explored and preliminary outreach to secure temporary alternative parking has been made. Some options include use of downtown lots shown to have excess capacity during periods of peak usage and use of outlying tracts. Staff has begun reaching out to property owners and has opened conversations with representatives of UNC-Chapel Hill, and is exploring how transit or other on-demand travel assistance services may support use of the temporary parking areas.

Eighty-eight spaces exist on the site now. Based on recent efforts, the replacement value of these spaces could

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1 File Type: Agendas

be estimated to be \$350 per space/year, and range from \$29,750 to \$44,625 for a 12- to 18-month construction period

Staff has utilized a number of different media approaches to provide outreach for this hearing.

FISCAL & STAFF IMPACT: Fiscal and staff impacts associated with considering this information are minimal.

RECOMMENDATION: It is recommended that the Board of Aldermen receive public comments on the concept plan options.



Agenda Item Abstract

File Number: 17-221

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Public Hearing on Land Use Ordinance Amendments Related to Solar Arrays **PURPOSE:** The purpose of this agenda item is to provide an opportunity for the Board of Aldermen to receive public comment and to consider amendments to the Land Use Ordinance related to roof and ground mounted solar arrays.

DEPARTMENT: Planning

CONTACT INFORMATION: Christina Moon - 919-918-7325, Randy Dodd - 919-918-7326, Marty Roupe - 919-918-7333, Bob Hornik - 919-929-3905

INFORMATION: In the summer of 2016, staff from Orange County and Chapel Hill reached out Carrboro to share information about the SolSmart program, and to invite the Town to collaborate and seek designation. (Information about SolSmart may be found at the following link: .)

As part of its participation, and with guidance and recommendations from a SolSmart Advisor, the Town has undergone an intensive review of the Land Use Ordinance (LUO) to make it more solar friendly, and has taken other steps under the SolSmart categories of permitting, inspections, community engagement, and market development and finance. The completion of this level of work has earned the Town Bronze status in the SolSmart program. (Press release announcing the Town's achievement may be found at <<u>http://www.townofcarrboro.org/CivicAlerts.aspx?AID=679></u>.) The adoption of LUO amendments may promote the Town to Silver or Gold status.

A draft ordinance (Attachment B) has been prepared which establishes new definitions for roof and ground mounted solar arrays and assigns permitting requirements on the basis of size and intensity. If adopted, small-scale solar arrays and solar hot water heaters would be allowed as accessory uses in all zoning districts.

The draft ordinance was presented to the Planning Board, Environmental Advisory Board and Appearance Commission on June 1, 2017, and was referred to the Economic Sustainability Commission and Orange County. Neither the Appearance Commission nor Economic Sustainability Commission had quorums at their meetings. Comments from the Planning Board, Environmental Advisory Board and Orange County are provided (Attachment E).

FISCAL & STAFF IMPACT: Public hearings involve staff and public notice costs associated with

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1 File Type: Agendas

advisory board and Board of Aldermen review.

RECOMMENDATION: Staff recommends that the Board of Aldermen consider the attached resolution finding consistency (Attachment A-1), and the draft ordinance (Attachment B).

Attachment A - 1

A RESOLUTION ADOPTING A STATEMENT EXPLAINING THE BOARD OF ALDERMEN'S REASONS FOR ADOPTING AN AMENDMENT TO THE TEXT OF THE CARRBORO LAND USE ORDINANCE

Draft Resolution No.

WHEREAS, an amendment to the text of the Carrboro Land Use Ordinance has been proposed, which amendment is described or identified as follows: AN ORDINANCE AMENDING THE CARRBORO LAND USE ORDINANCE PROVISIONS RELATED TO SOLAR ARRAYS.

NOW, THEREFORE, the Board of Aldermen of the Town of Carrboro Resolves:

Section 1. The Board concludes that the above described amendment is consistent with the goals and objectives of *Carrboro Vision 2020*, to promote energy conservation and alternative and renewable energy, including passive and active solar

Section 2. The Board further concludes that the above described amendment is reasonable and in the public interest because it clarifies existing requirements and provides for the installation of small roof and ground mounted arrays as an accessory use subject to specific criteria.

Section 3. This resolution becomes effective upon adoption.

This the 27th day of June 2017

A RESOLUTION ADOPTING A STATEMENT EXPLAINING THE BOARD OF ALDERMEN'S REASONS FOR REJECTING AN AMENDMENT TO THE TEXT OF THE CARRBORO LAND USE ORDINANCE

Draft Resolution No.

WHEREAS, an amendment to the text of the Carrboro Land Use Ordinance has been proposed, which amendment is described or identified as follows: AN ORDINANCE AMENDING THE CARRBORO LAND USE ORDINANCE PROVISIONS RELATED TO SOLAR ARRAYS.

THEREFORE, the Board of Aldermen of the Town of Carrboro Resolves:

Section 1. The Board concludes that the above described amendment is not consistent with Town plans and policies.

Section 2. The Board concludes that its rejection of the above described amendment is reasonable and in the public interest because existing regulations are appropriate.

Section 3. This resolution becomes effective upon adoption.

This the 27th day of June 2017.

AN ORDINANCE AMENDING TOWN OF CARRBORO LAND USE ORDINANCE PROVISIONS RELATED TO SOLAR ARRAYS

Draft 5-1-2017

THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO ORDAINS:

Section 1. Section 15-15 (Definitions) of the Carrboro Land Use Ordinance is amended by adding new subsections (113 through 117), as shown below, and renumbering the subsequent subsections accordingly.

(113) SOLAR ARRAY – A photovoltaic cell, module, panel or array that is accessory to the principal use of a property and is designed solely for the purpose of reducing or meeting on-site energy needs. Roof mounted or building integrated arrays must be on a permitted structure, or one that is exempt on the basis of its size. Roof mounted arrays may be no more than 2000 square feet in size. Ground mounted arrays may be no greater than: 500 square feet in R-2 and R-3 districts; 1000 square feet in R-7.5, R-10, and R-S.I.R districts; 2000 square feet in R-15 and R-20 districts; and 5000 square feet in other districts. In addition, ground mounted arrays may be no greater than 50% of the size of the building footprint of the primary structure. Solar water heating panels may also be accessory to the principal use of a property subject to the criteria described above.

(114) SOLAR ARRAY FACILITY - LEVEL 1

Level 1 roof mounted or building integrated arrays must be on a permitted structure. Level 1 ground mounted arrays may be no greater than 50% of the size of the building footprint of the primary structure. In addition, Level 1 roof mounted arrays may not be more than 10000 square feet and Level 1 ground mounted arrays must be not more than: 2000 square feet in R-10 and R-S.I.R; 3000 square feet in R-15 and R-20; and 10000 square feet in other districts.

(115) SOLAR ARRAY FACILITY – LEVEL 2

A Level 2 facility has a solar array (roof-mounted/building integrated or ground mounted) that does not qualify as an accessory or Level 1 facility and is not more than 1 acre.

(116) SOLAR ARRAY FACILITY - LEVEL 3

A Level 3 facility has a solar array greater than 1 acre.

(117) SOLAR WATER HEATER

A solar water heater is a system that uses a solar thermal collector to heat water. A solar water heater may also be accessory to the principal use of a property subject to the criteria described under "solar array" above.

Section 2. Section 15-146 (Table of Permissible Uses) is amended by adding three new use classifications: 17.501, "Solar Array Facility, Level 1," 17.502, "Solar Array Facility, Level 2," and 17.503, "Solar Array Facility, Level 3," allowed with the use of the Designations Z,S,C in the zoning districts shown in the table below.

Use Classification	Solar Array	Zoning Districts					
		R-SIR, SIR2, R10, R-15, R-20	RR, B-1(C), B-1(G), B-2, B-3, B-3-T, B-4, M-1, M-2, CT	C, WR	B-5	WM-3	0, 0/A
17.501	Level 1	Ζ	Ζ	S	Ζ	S	Ζ
17.502	Level 2		S	С	S	С	S
17.503	Level 3		С	С	С	С	C

Section 3. Section 15-150 (Accessory Uses) is amended by adding a new subsection (d), as shown below, and renumbering the subsequent subsections (d), (e) and (f), to (e), (f) and (g):

(d) Without limiting the generality of subsections (a) and (b), the following activities are regarded as accessory to residential and commercial principal uses so long as they satisfy the general criteria set forth above.

- (1) Solar Arrays, and solar water heaters, providing energy for the principal use on the property, in any zoning district.
- (2) The applicant must be able to demonstrate ownership of the subject property or permission by the owner to install the solar device.
- (3) The applicant must prepare and submit a site plan or sketch plan showing the following:
 - a. Installation of the array(s) shall not negatively affect compliance, or any condition of compliance of an existing land use permit or building permit.
 - b. The panels are designed, positioned, and oriented such that concentrated solar radiation or glare shall not be directed onto nearby properties or road rights-of-way, or shall otherwise create a safety hazard.
 - c. All on-site utility lines shall be placed underground.
 - d. The top of any roof mounted devices, located on the principal structure or any accessory structure, shall not exceed the maximum building height for the district in accordance with Section 15-185.
 - e. Ground mounted systems shall not exceed a maximum height of 15 feet from finished grade to the top of the device.
 - 1. The installation of the solar device and associated mechanical equipment shall not affect tree screening or buffer requirements outlined in Article XIX.
 - 2. Mechanical equipment, including batteries or other similar storage devices, shall be located within the required building setbacks as provided for in Section 15-184, and shall be shielded to avoid damage.
 - 3. All solar devices and mechanical equipment, including batteries or other similar storage devices, shall be located outside of the designated open

space, well/septic system areas as identified by Orange County Environmental Health, utility easements, water quality buffers as identified in Section 15-269.5 and Special Flood Hazard Areas.

Section 4. Article XI (Supplementary Use Regulations) is amended by adding a new Section 15-175.11 to read as follows:

Section 15-175.11 Solar Arrays

- (a) In addition to other applicable provisions of this chapter, use classifications 17.501 (Solar Array Level 1 Facility) and 17.502 (Solar Array Level 2 Facility) shall be subject to the following requirements:
 - (1) Installation of the array(s) shall (i) not negatively affect compliance, or any condition of compliance of an existing land use permit or building permit, or (ii) approval shall be subject to the modification of the subject permit.
 - (2) The panels are designed, positioned, and oriented such that concentrated solar radiation or glare shall not be directed onto nearby properties or road rights-of-way, or shall otherwise create a safety hazard.
 - (3) All on-site utility and transmission lines shall, to the extent feasible, be placed underground.
 - (4) A clearly visible warning sign concerning voltage must be placed at the base of all pad-mounted transformers and substations.
 - (5) The height of the array and supporting structures shall not exceed the height requirements of the underlying zoning district where the property is located as described in Section 15-185.
 - (6) Mechanical equipment, including batteries or other similar storage devices, shall be located within the required building setbacks as provided for in Section 15-184, and shall be shielded to avoid damage.
 - (7) All mechanical equipment, including any structure for batteries or storage cells, shall be completely enclosed by a minimum eight (8) foot high fence with a self-locking gate, and provided with a Type A-Screen.
 - (8) All solar devices and mechanical equipment, including batteries or other similar storage devices, shall be located outside of the designated open space, well/septic system areas as identified by Orange County Environmental Health, utility easements, water quality buffers as identified in Section 15-269.5 and Special Flood Hazard Areas.
 - (9) The facility shall have sufficient parking on site to accommodate the number of vehicles likely to be present on a regular basis.
 - (10) The applicant shall submit proof of liability insurance covering bodily injury and property damage demonstrating a minimum coverage limit of \$500,000.00 per occurrence.
- (b) In addition to other applicable provisions of this chapter, use classifications 17.503 (Solar Array Level 3 Facility) shall be subject to all of the requirements of use classifications 17.501 and 17.502 above as well as the following requirements:

- (1) A soils report denoting the types of soil on the property including detail on the compaction necessary to support the proposed development.
- (2) Demonstration of compliance with the decommissioning protocol, described below in paragraphs (a. through f) should the device become damaged, or removed from service.
 - a. The owner/operator of the facility is required to notify the Town Planning Director in writing 60 days prior to the planned cessation or abandonment of the facility for any reason. This notice shall provide the exact date when the use of the facility will cease.
 - b. Documentation shall be provided indicating that the public utility purchasing the power has been made aware of the decision.
 - c. The facility shall be removed within 12 months from the date the applicant ceases use of the facility.
 - d. Once the infrastructure is removed the property, the owner shall obtain the necessary Erosion Control permits to re-stabilize the property. The time frame for completion shall be determined by the Orange County Erosion Control Officer.
 - e. The owner shall provide financial security in form and amount acceptable to the County to secure the expense of dismantling and removing said structures.
 - f. Upon removal of the facility, the Planning Department shall cause a notice to be recorded with the Orange County Registrar of Deeds office indicating that the Conditional Use Permit has been revoked.

Section 5. All provisions of any Town Ordinance in conflict with this Ordinance are repealed.

Section 6. This Ordinance shall become effective upon adoption.

Attachment C



TOWN OF CARRBORO

NORTH CAROLINA

TRANSMITTAL PLANNING DEPARTMENT

DELIVERED VIA: HAND MAIL FAX EMAIL

То:	David Andrews, Town Manager Mayor & Board of Aldermen
From:	Randy Dodd, Environmental Planner
Thru:	Patricia McGuire, Planning Director Christina Moon, Planning Administrator
Date:	June 12, 2017
Subject:	Overview of Town Participation in the DOE SolSmart Program

Summary

This memo is being prepared to provide an overview of the Town's participation in the SolSmart program. Town staff have worked with the SolSmart program and Chapel Hill and Orange County staff to pursue designation as a SolSmart community. Bronze level designation was awarded on April 29, 2017. If the Town amends the Land Use Ordinance (LUO) to address SolSmart criteria, the Town will be in position to receive Gold level designation.

Information

In the summer of 2016, Chapel Hill and Orange County staff invited Carrboro staff to look into participation in the <u>SolSmart</u> program, a new national recognition and no-cost technical assistance effort to help local governments take key steps to address local barriers to solar energy and foster the growth of mature local solar markets. SolSmart is funded and administered under the U.S. Department of Energy <u>SunShot</u> and Solar Powering America by Recognizing Communities (<u>SPARC</u>) initiatives. The program primarily seeks to address "solar soft costs," or business process or administrative costs that can increase the time and money it takes to install a solar energy system — costs which are then passed on to solar customers. Local government procedures such as permitting, planning, and zoning are the source of some soft costs. The view of <u>SolSmart</u> is that local governments are in a unique position relating to soft costs and can take action to promote the use of solar locally. The program is intended to provide high-profile, national recognition for communities that have made it cheaper and easier for solar customers to invest in solar energy. In addition, achieving designation sends a signal to solar companies that a community is "open for solar business". To date, 58 communities have received designation, with Carrboro, Chapel Hill, and Orange County being the only North Carolina communities.

A key element of the program is the opportunity for participating communities to apply to host a SolSmart Advisor – fully-funded, experienced staff recruited to help communities achieve designation. Advisors evaluate existing local government programs and processes and apply industry-leading best practices to keep the community moving toward designation. SolSmart advisors have been chosen for the current cycle to assist 30 communities through engagements lasting up to six months, with advisors receiving stipends. In 2016, the three local jurisdictions jointly applied for an advisor and at the start of 2017, SolSmart chose the North Carolina Clean Energy Technology Center (NCCETC) to serve as the advisor to Orange County, Chapel Hill, and Carrboro, with the work period ending in mid-July.

SolSmart participation and movement towards designation is based on accumulating points under six separate categories. Prerequisites exist for different levels of designation. As part of the initial intake to the program, Carrboro was able to receive credit for 150 points, significant progress toward not only bronze but higher levels of designation. Examples of activities that received credit include: the Carrboro Solarize program, establishment of the Climate and Energy Task Force, completion of the Community Climate Action Plan, installation of the solar array at the Town Commons, documented efficiencies with permitting of photovoltaics, and the ordinance section limiting HOA restrictions on solar. The Town completed several additional steps in the winter/spring of 2017 to achieve the necessary prerequisite credits for bronze designation. The LUO currently has limited provisions directly addressing solar installations; the inclusion of provisions that explicitly allow solar as an accessory use and by right are needed as a prerequisite to silver level designation. It is likely, albeit at the discretion of <u>SolSmart</u>, that adoption of the proposed draft ordinance changes will satisfy this prerequisite and promote the Town to a higher level of designation (potentially gold) because of other credits that have been achieved.

A summary of the crediting for the Town's participation in the program is provided in the appendix.

Recommendation

It is recommended that this memo be included in Public Hearing materials for June 27, 2017.

	Credit Type	Points	Status
Bronze Prerequisites*			
Online checklist detailing permitting process for PV (P-1)	Permitting	Р	Completed
Require no more than one application form for a residential rooftop solar PV project (P-4)	Permitting	5	Completed
Demonstrate that permit fees reflect national best practices (P-5b)	Permitting	5	Completed
Review permitting process for efficiency; reduce processing time to 10 days or less (P-6)	Permitting	10	Completed
Review solar provisions in LUO (PZD-1)	Planning/Zoning/ Development	Р	Completed
Draft proposed LUO changes (PZD-1a)	Planning/Zoning/ Development	5	Completed
Integrate solar and/or shared solar into relevant local plans (PZD-5)	Planning/Zoning/ Development	10	Completed
Provide an online handout with overview of what development regulations allow (PZD-11)	Planning/Zoning/ Development	5	Completed
Silver Prerequisites*			
Implement ordinance adjustments identified through the LUO review (PZD-2)**	Planning/Zoning/ Development	20	Awaiting ordinance update
Provide cross-training of inspection and permitting staff on solar PV (I-1)	Inspections	20	Under review
Gold Prerequisites*			
Provide a permitting pathway for small PV systems turn-around of no more than 3 days (P-2)	Permitting	20	Completed
Other Credits*			
Review solar permit fees (P-5a)	Permitting	5	Completed
(P-8) Train permitting staff on solar best practices.	Permitting	10	Under Review
Train fire and safety staff on best practices (P-9)	Permitting	10	Under review
Solicit procedural recommendations from the solar installer community (P-10)	Permitting	10	Completed
Make permit data accessible to other departments (P-12)	Permitting	5	Under review
Require no more than 2 inspections for accessory-use solar PV (I-2)	Inspections	10	Completed
Complete inspections promptly (I-5)	Inspections	10	Completed
Conduct review of state policies on property/solar system owner's rights to install solar and	Solar Rights	5	Completed
right to sunlight on property. Make this information available (SR-1) Provide consumer protection resources to help with solar PV purchasing decisions (SR-2)	Solar Rights	5	Under review
Engage homeowners associations to discourage restrictive PV requirements (SR-5a)	Solar Rights	10	Completed
Convene an active task force or solar working group (CE-1)	Community Engagement	10	Completed
Create a solar landing page on local government's website (CE-2)	Community Engagement	10	Completed
Support or host a community-group purchase program (CE-4a)	Community Engagement	20	Completed
Host a solar workshop explaining solar PV opportunities and policies (CE-5a)	Community Engagement	5	Completed
Establish partnership with nonprofit (CE-5c)	Community Engagement	5	Completed
Encourage community solar projects or solar PV projects on community facilities (CE-5d)	Community Engagement	5	Completed
Engage community robust discussion around climate, energy, or sustainability plans (CE-5e)	Community Engagement	5	Completed
Provide resources on active installers and/or local incentives for solar (MDF-1)	Market Development & Finance	5	Under review
Complete feasibility analyses of solar installations on public facilities (MDF-4)	Market Development & Finance	10	Under review

Install solar capacity on local facilities (MDF-5)	Market Development & Finance	20	Completed

*: Specific credits needed for bronze are indicated. Silver & gold designation require points beyond prerequisites (100 for silver, 200 for gold).

P: This credit is required for SolSmart participation, and accrues no points.

Supplemental Information

Proposed Land Use Ordinance Update for Solar Electricity Installations

Why are these changes being proposed? If Carrboro is seeking to be recognized as a solar friendly community, why is more regulation of solar installations needed?

An absence of specific provisions in land use/zoning regulations relating to solar installations can create a sense of uncertainty as to what is permitted. According to the National Renewable Energy Laboratory, many communities indicate that they allow solar installations even though there is no mention of solar in their zoning code. In these instances, the communities without clear land use categories, including definitions and permitting requirements, may find that both the city and the solar energy system owner are vulnerable, for example, if a resident opposes a neighbor's installation or sues the city for allowing a land use that is not defined nor explicitly allowed in their local land use laws. According to the American Planning Association, "a conspicuous silence on the part of local policies, plans, and regulations on the topic of solar energy use constitutes a significant barrier to adoption and implementation of these technologies."¹

Allowing small rooftop and ground mounted solar installations as accessory uses may streamline the process, as small-scale PV systems would not necessarily need a land permit prior to obtaining a building permit. Details regarding permitting requirements for larger systems similarly would help both applicants and the Town consider future installations. The Town's new provisions are designed to clarify solar PV permitting processes and submittal requirements.

In addition, the solar PV market is growing, and is expected to continue to accelerate. These provisions therefore are proactive in the sense of anticipating this growth and avoiding conflicts before they arise, and providing clear thresholds for when zoning, special use, and conditional use permits are required.

The four different categories of solar arrays (accessory use and Levels 1-3) are based on their size/area. How does the area relate to the amount of electricity that can be generated?

As estimated by NC Clean Energy Technology Center staff, with current technology (assuming a 250 watt panel is 18 square feet (sf)), 1 kW of electricity can be generated from a 72 sf roof mounted array. Large ground mounted arrays can end up using up more total area per kW since they can have more void space. It is generally estimated that a 5 kW array (or just over

¹ American Planning Association Planning for Solar Energy Briefing Papers <u>https://planning-org-uploaded-</u> media.s3.amazonaws.com/legacy_resources/research/solar/briefingpapers/pdf/solarpaperscompendium.pdf

350 sf) is a sufficient size to generate the annual onsite electricity use for an average single family residence.²

In practice, what percentage of the solar installations in Carrboro will require a land use permit? For example, how many of the solar arrays that have already been installed in Carrboro would have needed to get a permit if these ordinance provisions had been in place?

Assuming a continuation of the same general pattern of most PV systems being small residential systems (primarily rooftop) and based on the previous question, a small percentage will need a land use permit. Staff have not yet identified a current solar installation in Carrboro that would not fit the requirements for being allowable as an accessory use. As examples, the largest residential system in Carrboro currently is about 20 kW (ground mount) on a large lot and uses roughly 1/10 of an acre. The largest commercial system currently is a rooftop 27 kW system. Therefore, the Level 1 and higher systems requiring permits will only be seen to the degree that Carrboro property owners choose to start installing larger solar arrays, or arrays of the size of the current larger systems on smaller lots.

Where can I see a map of the solar installations that have already occurred in Carrboro?

As of early 2017, there about <u>80 PV installations</u> in Carrboro. Almost all of these are relatively small rooftop systems, with 95% being residential.

What exactly has Carrboro done to be recognized as a bronze level SolSmart community?

Carrboro has achieved credits towards designation in six separate categories and for about 30 different actions, as described in a separate memorandum.

How close is Carrboro to receiving a silver or gold level SolSmart designation?

Because of actions for which Carrboro has already received credit, Carrboro appears to be in position to receive both silver and gold level designation if Land Use Ordinance updates are adopted. Ultimately, designation for silver or gold will be at the SolSmart program's discretion.

What communities have received a SolSmart designation?

As of May, 2017 there are 58 communities in the US that have received SolSmart designation. The list of designees can be seen at <u>http://www.gosparc.org/solsmart-designees/</u>

What provisions are currently in the Land Use Ordinance for photovoltaics?

The following LUO sections have relevant provisions for future photovoltaic installations.

² Note that over time solar panels have become more efficient. In other words, the electricity generated per unit area of collection has increased, and it is anticipated that this trend will continue over time.

Section 15-83.3: Covenants May Not Prohibit Devices that Generate or Conserve Energy.....

This section limits the ability of residential homeowner's associations to prohibit solar installations under State legislative authority granted to Carrboro. It specifically allows the Town to hold final plat approval for a subdivision if the "the covenants or restrictions prohibit..... the orderly installation of solar collectors....." It was passed in 2011, and applies to all subsequent (but not to previously approved) subdivisions.

Sections 15-141.3 and 15-141.4: Conditional Use and Conditional Zoning Districts

Specific solar performance measures are included and can be considered in the establishment of new conditional use and conditional zoning districts.

Section 15-185: Building Height Limitations

This section includes language that may be relevant to rooftop installation for buildings approaching height limitations, and that may limit the total roof area that can be covered by a solar array (15-185(d)).

Section 15-319(b): Modifications to Canopy Coverage Standards

This section allows for relaxation of tree canopy requirements to encourage solar installations.

The Town of Carrboro's Land Use Ordinance (LUO) does not currently include detailed provisions for PV arrays. There are no restrictions or special provisions for: the types and sizes of solar PV permitted or definitions for PV arrays; no specific provisions for PV under permissible or accessory uses; and no PV supplementary use regulations.

Other Information

The policy document <u>Vision 2020</u> does include policy guidance that encourages solar PV. Specific recommendations include:

2.44 Solar power..... should be incorporated into the Town infrastructure.

2.45 The Town should be known as a practitioner of climate change mitigation and adaptation practices.

5.51 The Town's own alternative and renewable energy targets should include passive and active solar.....

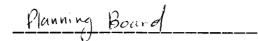
5.55 The Town should encourage and promote efficient generation of renewable energy..... whether through public private partnerships.... or by supporting residential initiatives.....

A <u>Community Climate Action Plan</u> that provides recommendations in support of PV was completed in early 2017.

Attachment E

TOWN OF CARRBORO





301 West Main Street, Carrboro, North Carolina 27510 RECOMMENDATION

THURSDAY, JUNE 1, 2017

Land Use Ordinance Text Amendment Relating to Solar Arrays

Motion was made by <u>Hunt</u> and seconded by <u>Poulton</u> that the <u>Planning Board</u> recommends that the Board of Aldermen <u>approve</u> the draft ordinance.

VOTE:

AYES: (7) Adamson, Hunt, Poulton, Fousher, Rosser, Gaybord-Miles, Kivera ABSENT/EXCUSED: (6) NOES: (c) ABSTENTIONS: (6)

Associated Findings

By a unanimous show of hands, the <u>flanming Board</u> membership also indicated that no members have any financial interests that would pose a conflict of interest to the adoption of this amendment.

Motion was made by Foushee and seconded by Rosser that the flanning Brand of the Town of Carrboro finds the proposed text amendment, is consistent with the goals and objectives of Carrboro Vision2020 to promote energy conservation and alternative and renewable energy, including passive and active solar.

Furthermore, the <u>planning Boand</u> of the Town of Carrboro finds that the proposed text amendment is reasonable and in the public interest because it clarifies existing requirements and provides for the installation of small roof and ground mounted arrays as an accessory use subject to specific criteria.

VOTE: AYES: () Adamson, Hunt, Poulton, Foushee, Rosser, Gauglard-Miles, Fivera ABSENT/EXCUSED: () NOES: (6) Cathi Als 6/1/17 (Date) **ABSTENTIONS: (6)**



TOWN OF CARRBORO

Environmental Advisory Board

301 West Main Street, Carrboro, North Carolina 27510

RECOMMENPATION

THURSDAY, JUNE 1, 2017

Land Use Ordinance Text Amendment Relating to Solar Arrays

Motion was made by Sinclair and seconded by Perera that the EAB recommends that the Board of Aldermen approve the draft ordinance.

In addition, please add language substantially similar to the wording (below), modified from language for tree canopy requirements (Sec. 15-319(b)), to make sure that the screening requirement referred to in Sec. 15-150 (d)(3)(e)(1) provides flexibility to minimize shading of ground mounted arrays that otherwise are permissible for accessory use from required screening in certain circumstances.

"An application for a Solar Array that does not fully comply with screening requirements in Article XIX may still be approved when the application substantially complies with these standards and it is determined that such a deviation promotes solar access for renewable energy generation."

VOTE:

AYES: (O'Connor, Patrick, Perera, Sinclair) ABSENT/EXCUSED: (Hoban, Skelton, Turner) NOES: () ABSTENTIONS: ()

Associated Findings

By a unanimous show of hands, the EAB membership also indicated that no members have any financial interests that would pose a conflict of interest to the adoption of this amendment.

Motion was made by Perera and seconded by Patrick that the EAB of the Town of Carrboro finds the proposed text amendment is consistent with the goals and objectives of *Carrboro Vision2020* to promote energy conservation and alternative and renewable energy, including passive and active solar. Furthermore, the EAB of the Town of Carrboro finds that the proposed text amendment is reasonable and in the public interest because it clarifies existing requirements and provides for the installation of small roof and ground mounted arrays as an accessory use subject to specific criteria.

VOTE:

AYES: (O'Connor, Patrick, Perera, Sinclair) ABSENT/EXCUSED: (Hoban, Skelton, Turner) NOES: () ABSTENTIONS: ()

6/5/2017

Administration (919) 245-2575 (919) 644-3002 (FAX) www.orangecountync.gov

TRANSMITTAL DELIVERED VIA EMAIL

May 26, 2017

Christina Moon, AICP Planning Administrator Town of Carrboro 301 W. Main St. Carrboro, NC 27510

SUBJECT: Joint Planning Review of Proposed Ordinance Amendments

Dear Tina:

Thank you for the opportunity to review the revisions to the following Land Use Ordinance amendments received by us May 24, 2017 and proposed for town public hearing on June 27, 2017:

• An Ordinance Amending Provisions Related to Solar Arrays.

We have reviewed the amendments and find no inconsistency with the adopted *Joint Planning Area Land Use Plan*.

If you have any questions or need additional information, please let me know.

Sincerely,

Perdita Holtz

Perdita Holtz, AICP Planning Systems Coordinator



Agenda Item Abstract

File Number: 17-218

Agenda Date: 6/27/2017

File Type: Agendas

In Control: Board of Aldermen

Version: 1

TITLE:

Exploration of Affordable Housing on Town-Owned Land

PURPOSE: The purpose of this item is for the Board to receive an update on work staff and the Affordable Housing Task Force have been conducting on the exploration of possible affordable housing development strategies on town-owned land.

DEPARTMENT: Town Manager's Office, Planning Department

CONTACT INFORMATION: Nate Broman-Fulks, Assistant to the Town Manager, 919-918-7314, <u>nbroman-fulks@townofcarrboro.org <mailto:nbroman-fulks@townofcarrboro.org></u>; Trish McGuire, Planning Director, <u>pmcguire@townofcarrboro.org <mailto:pmcguire@townofcarrboro.org></u>

INFORMATION: Town staff and the Affordable Housing Task Force have been exploring the potential for affordable housing development on parcels of town-owned land. This agenda item is to provide the Board an update on this work, for the Board to consider continuing to pursue this strategy, and for the Board to provide feedback on preferred methods for moving forward, if desired.

Overview of Exploration

In 2016, staff began exploring the possibility of facilitating development of affordable housing on publiclyowned land. This work began in partnership with Orange County and the Town of Chapel Hill through a regional workgroup. This workgroup established a standard set of criteria for evaluating publicly owned land to assist in determining viability of development on existing parcels. Attachment D has more information on this criteria and the process of identifying potential sites.

Town staff was then able to identify town-owned land that were potentially feasible sites for affordable housing development. Staff has been working with the Affordable Housing Task Force to further analyze sites and explore possibilities for facilitating development. This work has culminated in the identification of three sites in town that appear to be feasible for affordable housing development. These three sites are located on Crest Street, Hill Street, and Pathway Drive.

Attachments A, B, and C are evaluations and descriptions of these sites, along with maps and photographs. Staff will present to the Board the evaluations of these sites and ideas on the potential for affordable housing development each has.

Relationship of Exploration to Affordable Housing Plan

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1 File Type: Agendas

The exploration of the potential for facilitating affordable housing on town-owned land has been pursued as a method to assist in reaching Goal 1.1 and Goal 2.1 of the Town's Affordable Housing Plan. Goals 1.1 and 2.1 are to increase the number of permanently affordable homeownership and rental units in Carrboro. This work is also in line with strategy 2.1B, which calls for staff to work with partners to identify and reserve land for future affordable housing development.

FISCAL & STAFF IMPACT: There is no fiscal impact associated with this agenda item.

RECOMMENDATION: Staff recommends the Board receive the update, provide direction on whether staff should continue to pursue this strategy, and provide feedback on desired methods for moving forward, if the Board wishes to continue pursuing this exploration.





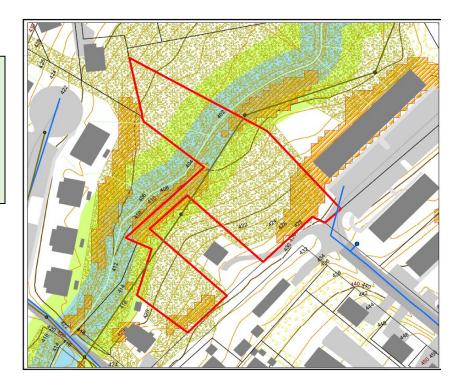
Crest Street

PIN: 9778899390

Size: 1.08 acres

Value: \$308,928

Zoning: R75

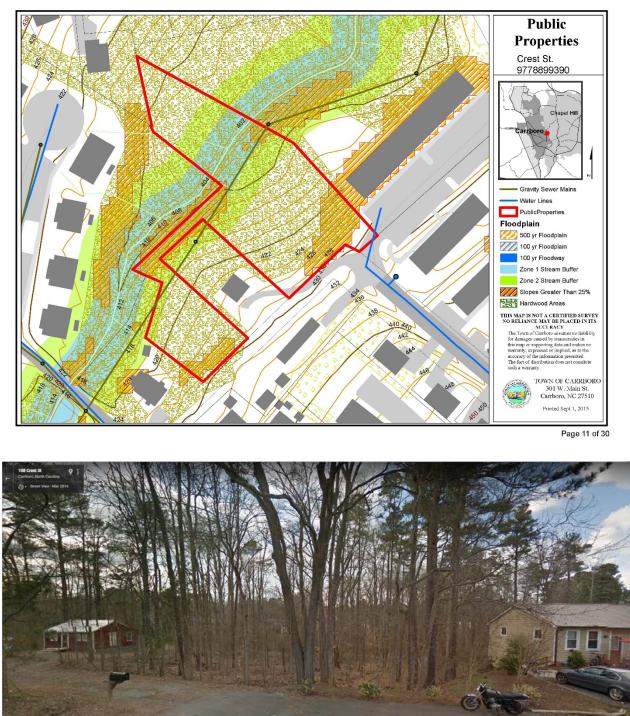


Known assets favorable to	1. All utilities are adjacent to the property	
development	2. Most of the property does not contain significant slopes	
Known issues that could	1. A property currently cuts off a large portion of the property,	
potentially restrict	limiting density	
development or add costs	2. Stream buffer towards the back of the property	
Zoned density	6 units, 9 units with density bonus	
Current uses	Open space	
Future uses currently under consideration	Affordable housing	
Transit	Approximately .4 miles to nearest bus stop	
Relevant Notes	The Town of Chapel Hill conveyed the Crest Street property to the Town of Carrboro in 2003 for the use as affordable housing. The property was part of the Oakwood Public Housing complex before conveyance.	





Map and Photograph of Property



View of site from Crest Street

St at Oak Ave





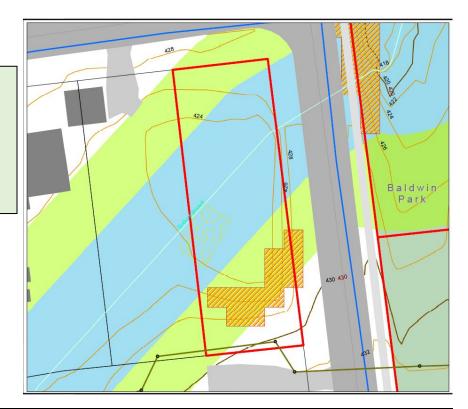
106 Hill Street

PIN: 9778975883

Size: .17 acres

Value: \$17,000

Zoning: R75

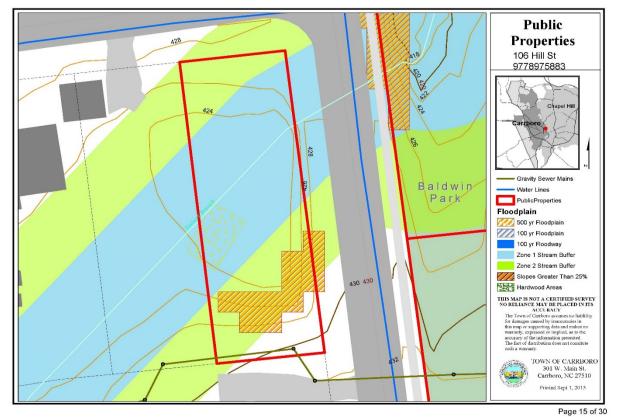


Known assets favorable to development	1. All utilities are adjacent to the property	
Known issues that could potentially restrict development or add costs	 Stream buffer runs through most of the property OWASA easement on property Duke Power easement on property Would require a variance from the Board of Adjustment 	
Zoned density	1	
Current uses	Open space	
Future uses currently under consideration	Affordable housing	
Transit	Approximately .4 miles to nearest bus stop	
Relevant notes	Deeded to the Town in May 2006	





Map and Photograph of Property





View from near the corner of Lloyd St and Hill St





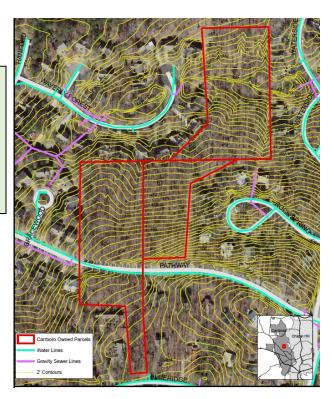
1814-1816 Pathway Drive

PIN: 9779427516, 9779429615, 9779531130

Size: 6.3 acres total

Value: \$261,728

Zoning: R15, RSIR, RSIR2

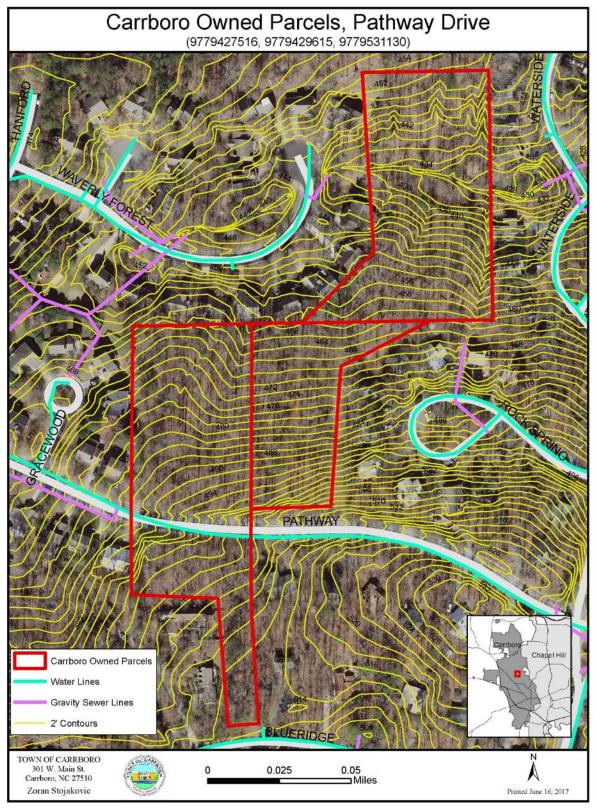


Known assets favorable to development	 All utilities are adjacent to the property Few slope/grading issues Stream buffers only located in the northern most property 		
Known issues that could potentially restrict development or add costs	1. It is anticipated that an in-depth community engagement process would be conducted to assist in determining the scope of potential development on the parcels.		
Zoned density	23 units collectively, 34 units with density bonus collectively		
Current uses	Open space		
Future uses currently under consideration	Affordable housing		
Transit	Approximately .57 miles to nearest bus stop		
Relevant Notes	The 2006 Recreation and Parks Comprehensive Master Plan states that, with the acquisition of MLK Park, none of the Pathway Drive parcels were needed to serve as recreation or park space.		





Map and Photographs of Property









Street view near the center of the properties along the street



Street view on the western portion of the properties along the street







Street view from the eastern portion of the properties along the street



Street view of the portion of the site that crosses over the street

Criteria for Identifying Potential Affordable Housing Sites

Staff started with 47 parcels of land owned by the Town of Carrboro. By applying the below criteria, conducting site visits, and with guidance from the Affordable Housing Task Force, the list has been narrowed down to 5 parcels, or 3 sites with the highest potential for affordable housing development. Parcels from the original 47 were immediately excluded if they fell into any of the following categories:

- 1) Within a conservation easement
- 2) Inside a Long-Term Interest Areas (WASMPBA)
- 3) No water or sewer nearby
- 4) Within 100 year floodplain
- 5) Within dedicated right-of-way
- 6) Parcel completely developed
- 7) Inside Rural Buffer zoning

There might be other restrictions on these parcels that might exclude them from being potential affordable housing locations.



Agenda Item Abstract

File Number: 17-237

File Type: Agendas

Agenda Date: 6/27/2017 In Control: Board of Aldermen Version: 1

TITLE:

Chatham/Orange Joint Planning Task Force - Request for Appointment

PURPOSE: The purpose of this item is for the Board of Aldermen to consider selecting a representative to participate in the Chatham/Orange Joint Planning Task Force. **DEPARTMENT:** Planning

CONTACT INFORMATION: Trish McGuire, 919-918-7332

INFORMATION: Mayor Lavelle received the attached letter dated June 7, 2017 from the Orange County Board of Commissioners (Attachment A). There is renewed interest to reformulate the Chatham/Orange Joint Planning Task Force that was originally formed in 2009.

In 2009, Chatham and Orange Counties developed a task force to discuss topics of mutual interest including transportation, water resources, comprehensive planning, population and employment projections, etc. These quarterly meetings also included other interested parties (via appointments by representative boards) such as the towns and OWASA.

FISCAL & STAFF IMPACT: None noted.

RECOMMENDATION: The staff recommends that the Board consider the request. A resolution (Attachment A) that provides the Board with an opportunity to select a representative to the task force has been prepared for its use.

A RESOLUTION MAKING APPOINTMENT TO THE CHATHAM/ORANGE JOINT PLANNING TASK FORCE

WHEREAS, via a letter to the Town's Mayor, the Orange County Board of Commissioners has notified the Town that the Chatham/Orange Joint Planning Task Force is to be reformed in 2017, and,

WHEREAS, the Orange County Commissioners have requested that the Board of Aldermen consider appointing a representative from the Town,

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO THAT:

SECTION 1: The Board of Aldermen selects the following representative to the Chatham/Orange Joint Planning Task Force: _____

SECTION 2. This resolution shall become effective upon adoption.

MARK DOROSIN, CHAIR PENNY RICH, VICE CHAIR MIA BURROUGHS BARRY JACOBS MARK MARCOPLOS EARL MCKEE RENEE PRICE Orange County Board of Commissioners Post Office Box 8181 200 South Cameron Street Hillsborough, North Carolina 27278



June 7, 2017

Pam Hemminger, Mayor Town of Chapel Hill 405 Martin Luther King Jr. Blvd. Chapel Hill, NC 27514

Lydia Lavelle, Mayor Town of Carrboro 301 W. Main Street Carrboro, NC 27510 John A. Young, Chair Orange Water and Sewer Authority 400 Jones Ferry Road Carrboro, NC 27510

Jennifer Robinson, Chair GoTriangle P.O. Box 13787 Research Triangle Park, NC 27709

Subject: Chatham/Orange Joint Planning Task Force

Dear Sir or Madam,

In 2009, Chatham and Orange Counties developed a task force to discuss topics of mutual interest including transportation, water resources, comprehensive planning, population and employment projections, etc. These quarterly meetings also included other interested parties (via appointments by representative boards) such as the towns and OWASA.

There is renewed interest to reformulate the task force. By virtue of this letter, we invite you to participate by making an appointment to the Chatham/Orange Joint Planning Task Force. The attached memo from the June 6, 2017 Orange County Board of Commissioners meeting elaborates on some of the aspects of the proposed task force. Information regarding the 2009 Chatham/Orange Joint Planning Task Force can be found at the following link http://server3.co.orange.nc.us:8088/WebLink8/DocView.aspx?id=10077&dbid=0.

Thank you in advance for your consideration. If you have any questions, please feel free to call or email Craig N. Benedict, AICP, Planning Director of Orange County. Mr. Benedict can be reached by phone at (919) 245-2575 or by e-mail at cbenedict@orangecountync.gov.

In struggle Mark Dorosin Chair

Enclosures

CC: Bonnie Hammersley, Orange County Manager Craig Benedict, Planning and Inspections Director

www.orangecountync.gov

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INFORMATION ITEM

PLANNING & INSPECTIONS DEPARTMENT Craig N. Benedict, AICP, Director

Current Planning (919) 245-2575 (919) 644-3002 (FAX) www.orangecountync.gov

ORANGE COUNTY NORTH CAROLINA 131 W. Margaret Lane Suite 201 P. O. Box 8181 Hillsborough, NC 27278



MEMORANDUM

- TO: Board of County Commissioners Bonnie B. Hammersley, County Manager
- **FROM:** Craig N. Benedict, AICP, Planning Director
- **DATE:** June 6, 2017
- SUBJECT: Information Item Update on Chatham/Orange Joint Planning Task Force

Please accept the following memorandum regarding the Chatham/Orange Joint Planning Task Force.

Background

In 2009, Chatham and Orange Counties developed a task force to discuss topics of mutual interest including transportation, water resources, comprehensive planning, environmental corridors, and population and employment projections. These quarterly meetings also included other interested parties (via appointments by representative boards) such as the towns and OWASA. The task force was "sunsetted" in 2010, however, because of recently renewed interest, Chatham and Orange County staffs have met over the last few months to discuss the format and reconvening of a new task force.

The suggested parameters of the meetings are tentatively as follows:

- Quarterly meetings: The Task Force's Chair would rotate by host including staff support and summary minutes as necessary.
- Composition (besides Orange and Chatham Counties): Towns of Pittsboro, Chapel Hill, Carrboro, and OWASA appointment (each as necessary for topics of mutual interest)
- Topics of Discussion:
 - · Comprehensive planning including land use and demographics;
 - Traffic and transportation including corridor planning;
 - Public transit including rural systems;
 - Water resources and regulations including Jordan Lake;
 - Economic development;
 - Broadband;

- Affordable housing;
- Environmental areas of joint interest; and
- Legislative agendas

Chatham County will be represented on the task force by Chairman Jim Crawford and Commissioner Mike Dasher. Orange County's representatives will be Vice Chair Penny Rich and Commissioner Mark Marcopolos. Support staff would be present at the task force meetings depending on the topic of discussion scheduled for that meeting. In addition, respective planning staff would organize the task force meetings. There may be meetings where participation is not necessary depending on the topic and as a result some members would not be required to attend those meetings. Information regarding the 2009 Chatham/Orange Joint Planning Task Force can be found at the following link http://server3.co.orange.nc.us:8088/WebLink8/DocView.aspx?id=10077&dbid=0.

Next Steps

In order to proceed with the formation of the Chatham/Orange Joint Planning Task Force, the Board of County Commissioner Chair will be signing a letter for transmittal to the Town of Chapel Hill, the Town of Carrboro, OWASA, and GoTriangle. This letter will provide a brief summary and request for appointments to the task force. Due to a busy budget season, Chatham County staff recommended a late summer or early fall start date for the task force to commence meetings. The initial meeting will fine tune the task force charge at that time.

If you have questions, please contact Perdita Holtz, Orange County Planning Systems Coordinator, by phone at (919) 245-2578 or by e-mail at <u>pholtz@orangecountync.gov</u> or Craig N. Benedict, Orange County Planning Director, by phone at (919) 245-2575 or by e-mail at <u>cbenedict@orangecountync.gov</u>.