

PLAN SUBMITTAL DATES

SITE PLAN SUBMITTAL 1: APRIL 08, 2020

201 N. GREENSBORO

CARRBORO, NORTH CAROLINA

OWNER

CKE III LLC
16122 MOREHEAD
CHAPEL HILL, NC 27517
919-491-1633
CONTACT: EDWARD LAMMAS

APPLICANT / CONSULTANTS

LANDSCAPE ARCHITECT:
COULTER JEWELL THAMES PA
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: JEREMY ANDERSON

CIVIL ENGINEER:
COULTER JEWELL THAMES PA
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: PRESTON ROYSTER

ARCHITECT:

CLINE DESIGN
125 N. HARRINGTON STREET
RALEIGH, NC 27603
919-833-6413
CONTACT: CARL WINSTEAD

SUMMARY INFORMATION

PARCEL 1:
ADDRESS: 201 N. GREENSBORO ST.
PIN: 9778864587
ACREAGE: 0.33 AC
ZONING: B1(C)

LOTS:

ZONING:
EXISTING:
PROPOSED:

OVERLAY:

TOTAL SITE AREA:

AREA OF DISTURBANCE:

SITE AREA IN 100 YEAR FLOOD PLAIN:

BUILDING DATA:
EXISTING BUILDINGS:
PROPOSED BUILDINGS:

HEIGHT:

LAND USE:
EXISTING:

PROPOSED:

LANDSCAPE SCREENING:
REQUIRED:

VEHICULAR PARKING:
REQUIRED:
USE 2.1 (RETAIL)
(JOINT USE PARKING REDUCTION)

USE 3.1 (OFFICE)
(JOINT USE PARKING REDUCTION)

USE 8.0 (RESTAURANT)
(JOINT USE PARKING REDUCTION)

(JOINT USE PARKING REDUCTION)

PROPOSED:

BICYCLE PARKING:
REQUIRED:
USE 2.1 (RETAIL)
USE 3.1 (OFFICE)
USE 8.1 (RESTAURANT)

TOTAL

PROPOSED

TOTAL

IMPERVIOUS SURFACE:
EXISTING:
PROPOSED:

PARCEL 2:
ADDRESS: 100 CENTER ST.
PIN: 9778862555
ACREAGE: 0.20 AC
ZONING: B2

2

B1(C) AND B2
NO CHANGE

DOWNTOWN NEIGHBORHOOD PROTECTION

23,211 SF / 0.53 AC

18,592 SF / 0.43 AC

0 AC; FEMA MAP# 3710977800K, EFFECTIVE NOVEMBER 17, 2017

0 / 0 SF
1 / 16,186 SF

3 STORIES
42'-0" (45'-4" TO PARAPET)

VACANT AND PARKING

2.11, 2.12, 2.15, 2.21, 2.22 (RETAIL)
3.1, 3.25 (OFFICE)
5.13, 5.30, 5.40 (CULTURAL AND SOCIAL)
6.11 (ENTERTAINMENT)
8.1, 8.2, 8.5, 8.6, 8.7 (RESTAURANT)
18.0 (TOWER AND RELATED STRUCTURES)
19.1 (OPEN AIR MARKET)
27.0 (COMBINATION USES)

RE: SD-0.0

1 SPACE PER 300 SF GROSS FLOOR AREA
2,500 / 300 = 9 SPACES
9 / 1.2 = 8 SPACES

1 SPACE PER 400 SF GROSS FLOOR AREA
10,000 / 400 = 25 SPACES
25 / 1.2 = 21 SPACES

1 SPACE PER 100 SF GROSS FLOOR AREA
2,500 / 100 = 25 SPACES
25 / 1.2 = 21 SPACES

59 MINIMUM SPACES REQUIRED
50 MINIMUM SPACES REQUIRED

41 SPACES TOTAL
2 ADA
17 COMPACT (41%)
22 STANDARD

1 SPACE PER 10 AUTOMOBILE SPACES; MIN. 5 = 1 SPACE (8 SPACES / 10 = 1)
1 SPACE PER 10 AUTOMOBILE SPACES; MIN. 5 = 3 SPACES (25 SPACES / 10 = 3)
1 SPACE PER 10 AUTOMOBILE SPACES; MIN. 5 = 3 SPACES (25 SPACES / 10 = 3)

7 SPACES

8 SPACES (4 RACKS) UNCOVERED
6 SPACES (3 RACKS) COVERED (100% OF REQUIRED)
14 SPACES

20,087 sf (0.46 ac) = 86.5%
20,068 sf (0.46 ac) = 86.5%

TOWN OF CARRBORO NOTES

1. PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT THE APPLICANT SPECIFICALLY PROVIDE FOR CORRUGATED CARDBOARD RECYCLING, ADDRESSING COMPLIANCE WITH ORANGE REGIONAL LANDFILL CARDBOARD RECYCLING REQUIREMENTS. WITHOUT PROVISION OF ONSITE CARDBOARD RECYCLING COLLECTION, THE OWNER MUST PROPOSE AN ALTERNATE METHOD OF CARDBOARD RECYCLING

2. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A DECONSTRUCTION ASSESSMENT CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF (JEFF SCOUTEN OR MATT TAYLOR 919.968.2788) CONCERNING BUILDINGS TO BE REMOVED FROM THIS SITE.

3. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.

4. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.

5. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PREDEMOLITION / PRECONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.

6. DEVELOPER/OWNER IS REQUIRED TO SCHEDULE AND COORDINATE AN ONSITE PRECONSTRUCTION MEETING PRIOR TO SITE DISTURBANCE WITH REPRESENTATIVES OF ALL APPROVING APPLICABLE AGENCIES.

7. DEVELOPER/OWNER/CONTRACTOR IS REQUIRED TO CONSTRUCT AND MAINTAIN A CONSTRUCTION ENTRANCE FOR THE PROJECT SITE IN ACCORDANCE WITH ORANGE COUNTY EROSION CONTROL STANDARDS FOR CONSTRUCTION ENTRANCES. ALL MUD, STONE OR OTHER DEBRIS DEPOSITED UPON THE ADJOINING ROADWAY SURFACES SHALL BE REMOVED PROMPTLY. MECHANICAL SWEEPING OR WASHING MAY BE REQUIRED.

8. DEVELOPER/OWNER/CONTRACTOR SHALL INSTALL AND MAINTAIN APPLICABLE WORK ZONE SIGNAGE IN ACCORDANCE WITH NCDOT STANDARDS FOR ALL ADJOINING PUBLIC STREET CONNECTIONS OR ACTIVITIES WITHIN A PUBLIC RIGHT-OF-WAY. SIGNAGE SHALL BE MOUNTED AND SECURED ON SIGNPOST UNLESS THE WORK REQUIRES THE USE OF TEMPORARY SIGNAGE THAT IS REMOVED DAILY.

9. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND RELATED MATERIALS CANNOT BE PLACED, STORED AND/OR KEPT WITHIN ANY PORTION OF THE PUBLIC RIGHT OF WAY AT ANY TIME. ALL ONSITE MATERIALS SHALL BE SECURED AND CONFINED TO THE LOT UNDER CONSTRUCTION.

10. ADD NOTE FOR FINAL PLAN: "NO PLANTINGS EXCEEDING A MATURE HEIGHT OF 30 INCHES, SHEDS, FENCES OR BUILDING STRUCTURES OR MODIFICATION OR ALTERATION OF THE DRAINAGE SYSTEM OR EASEMENT IS NOT PERMITTED WITHOUT APPROVAL FROM THE TOWN OF CARRBORO ZONING DIVISION."

11. ALL INSTALLED BMPs MUST BE CERTIFIED BY THE ENGINEER OF RECORD AS CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND THAT ASBUILT CONSTRUCTION PLANS WILL BE SUBMITTED TO ORANGE COUNTY.

12. SUBMITTAL OF THE TRAFFIC CONTROL PLAN FOR PEDESTRIAN AND BICYCLIST SHALL BE SUBMITTED AT THE CONSTRUCTION PLAN REVIEW STAGE. THE MUTCOMMANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) SHALL BE THE REFERENCED FOR DESIGNING THE WORK ZONE AND REROUTING OF PEDESTRIANS AND BICYCLIST. REFERENCE MUTCO TRAFFIC CONTROL FOR WORK ZONES; CHAPTER 60.01 TRAFFIC CONTROL FOR PEDESTRIANS AND WORKERS AND CHAPTER 9 TRAFFIC CONTROL FOR BICYCLIST.

GENERAL NOTES

1. TOPOGRAPHIC AND PROPERTY INFORMATION BASED ON SURVEY BY TRIANGLE SURVEYORS DATED JAN 16, 2019

2. THIS PROJECT IS SERVED BY EXISTING OWASA PUBLIC WATER AND SEWER IN NORTH GREENSBORO ST.

3. AN ALL WEATHER TRAVEL SURFACE MUST BE IN PLACE PRIOR TO RECEIVING A BUILDING PERMIT.

4. THE APPLICANT SHALL PROVIDE TO THE ZONING DIVISION, PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY, MYLAR AND DIGITAL ASBULTS FOR THE STORMWATER FEATURES OF THE PROJECT. DIGITAL ASBULTS SHALL BE IN DXF FORMAT AND SHALL INCLUDE A BASE MAP OF THE WHOLE PROJECT AND ALL SEPARATE PLAN SHEETS. ASBUILT DXF FILES SHALL INCLUDE ALL LAYERS OR TABLES CONTAINING STORM DRAINAGE FEATURES. STORM DRAINAGE FEATURES SHALL BE CLEARLY DELINEATED IN A DATA TABLE. THE DATA WILL BE TIED TO HORIZONTAL CONTROLS.

5. OPERATIONS AND USES ALLOWED BY THIS PROJECT WILL BE PERFORMED IN COMPLIANCE WITH THE "GOOD NEIGHBOR" STANDARDS CONTAINED IN ARTICLE XI, SECTIONS 15161 THROUGH 15169 OF THE TOWN OF CARRBORO LAND USE ORDINANCE.

6. ANY SIGNAGE SHOWN IS FOR REPRESENTATIONAL PURPOSES ONLY AND ANY PROPOSED SIGNAGE WILL REQUIRE A SIGN PERMIT FROM THE TOWN OF CARRBORO

7. FIRE LANE STRIPING WILL BE COORDINATED WITH THE CARRBORO FIRE MARSHALL PRIOR TO THE ISSUANCE OF THE C.O. PER CHAPTER 12 OF THE CARRBORO TOWN CODE.

8. THE APPLICABLE CODE FOR THIS BUILDING IS THE 2018 NORTH CAROLINA FIRE CODE (NCFC), OR THE MOST CURRENT EDITION IN EFFECT AT THE TIME OF CONSTRUCTION. THE INTERNATIONAL FIRE CODE (IFC) WITH NORTH CAROLINA AMENDMENTS.

9. TRASH COLLECTION WILL BE COLLECTED BY THE TOWN OF CARRBORO. THE PLAN PROPOSES A 8 CY MSW DUMPSTER THAT MAY REQUIRE AN INCREASED COLLECTION FREQUENCY. THE FREQUENCY WILL BE DETERMINED DURING NORMAL OPERATION OF THE OVERALL DEVELOPMENT, BUT IT IS ANTICIPATED THAT THE COLLECTION FREQUENCY WILL BEGIN AT TWICE (2X) A WEEK.

10. CONCRETE SIDEWALKS ADJACENT TO THE PUBLIC ROW WILL INCLUDE BRICK BORDER TREATMENTS AS OUTLINED IN THE DOWNTOWN DESIGN GUIDELINES

11. ANY NEW DRIVEWAY WILL REQUIRE A DRIVEWAY PERMIT FROM THE TOWN OF CARRBORO.

12. A SEPARATE MASTER SIGN PERMIT WILL BE REQUIRED.

VICINITY MAP

SCALE: NTS

LIST OF SHEETS

SD-0.0 COVER SHEET SURVEY

SD-1.0 EXISTING CONDITIONS AND DEMOLITION PLAN

SD-2.0 SITE PLAN

SD-3.0 GRADING, DRAINAGE, AND EROSION CONTROL PLAN

SD-5.0 UTILITY PLAN

SD-6.0 LIGHTING PLAN

SD-7.0 LANDSCAPE PLAN

SD-8.0 DETAILS

SD-8.1 DETAILS

SD-8.2 DETAILS

A2.0 EXTERIOR ELEVATIONS

APPROVAL STAMPS

Project

201 N. GREENSBORO

201 N Greensboro St.
Carrboro Township,
Orange County,
North Carolina

PINS:
9778863587, 9778862555

Job Number 1869

Drawn ED

Checked JSA, PR

Date 04.08.2020

Revisions 07.24.2020 - COMMENTS

10.13.2020 - COMMENTS

10.05.2021 - COMMENTS

02.15.2022 - COMMENTS

CONDITIONAL USE PERMIT NOT ISSUED FOR CONSTRUCTION

Sheet Title

COVER SHEET

Sheet Number

SD-0.0

ARCHITECTURAL STANDARDS

1. THE PROPOSED THREE STORY BUILDING IS DESIGNED AS A MIXED USE PROJECT WITH THE FIRST FLOOR DEDICATED TO RETAIL FUNCTIONS AND THE UPPER TWO FLOORS FOR BUSINESS/OFFICE. THERE ARE THREE FIRST FLOOR RETAIL BAYS THAT FRONT GREENSBORO STREET.

SECTION 15-178.A.1 REQUIRES THAT PRIMARY ENTRANCES ORIENTED TO THE RIGHT OF WAY BE ARTICULATED BY EITHER A DETACHABLE AWNING OR A RECESS. TWO OF THE RETAIL BAYS ALONG GREENSBORO HAVE SUSPENDED AWNINGS AND THE GREENSBORO AND WEAVER CORNER RETAIL BAY HAS AN ENTRY DOOR RECESSED UNDER THE BUILDING CORNER. THE UPPER TWO FLOOR OFFICE AREA IS ACCESSED FROM A LOWER LEVEL LOBBY LOCATED ADJACENT TO THE SURFACE PARKING LOT AT THE BUILDING REAR. THIS ENTRY ALSO HAS AN OVERHEAD AWNING. THE AWNINGS ARE DESIGNED TO BE SUSPENDED BY OVERHEAD CABLES AND EACH RETAIL BAY IS ARTICULATED WITH A 6 INCH RECESS FROM THE MASONRY PLANE.

2. THE FOLLOWING ARE THE TRANSPARENCY CALCULATIONS FOR THE TWO BUILDING FAÇADES WITH STREET FRONTAGE:

GREENSBORO STREET
GROUND FLOOR RETAIL TRANSPARENCY: 60%
LEVEL 2/3 TRANSPARENCY: 42%

WEAVER STREET
GROUND FLOOR RETAIL TRANSPARENCY: 60%
LEVEL 2/3 TRANSPARENCY: 42%

SEE EXHIBIT "A" FOR ADDITIONAL INFORMATION.

3. AS DESIGNED, THE BUILDING PARAPET ELEVATION FACING GREENSBORO AND WEAVER STREETS IS 45'-4" AND THE CORNER BUILDING ELEMENT IS 50'-4". THE BUILDING IS ORIENTED WITH BOTH SOUTH-FACING RIGHT OF WAY (WEAVER STREET) AND AN EAST-FACING (GREENSBORO STREET), AT THE REQUIRED SEPTEMBER 21, NOON SUN PLACEMENT, OF THE AVAILABLE 1,742 SQUARE FEET OF SIDEWALK AREA, 507 SQUARE FEET IS IN THE SHADE FOR A 71% SHADE-FREE AREA. SEE EXHIBIT "B" FOR ADDITIONAL INFORMATION.

4. PER THE SUBMITTED SITE PLAN, THE PROPOSED BUILDING OCCUPIES THE CORNER OF GREENSBORO AND WEAVER STREETS. SURFACE PARKING FOR THE PROJECT IS LOCATED WITH ACCESS FROM WEAVER STREET. THE PARKING AREA IS SCREENED FROM GREENSBORO STREET BY THE PROPOSED BUILDING. THE SECTION OF THE SURFACE PARKING AND PROPERTY IS SCREENED WITH LANDSCAPING FOR THE BALANCE OF WEAVER STREET THAT IS NOT OCCUPIED BY THE BUILDING.

5. THE PROPOSED BUILDING IS 59'-2 1/2" WIDE. ALONG THE WEAVER STREET FRONTAGE THE LONGEST FAÇADE IS 33'-0". TWO ADDITIONAL SETS OF BUILDING FAÇADE CHANGES ALONG WEAVER STREET TOTAL 23'-2". IN ADDITION TO THE BUILDING SETBACKS, THE BUILDING FAÇADES ARE ARTICULATED WITH RHYTHMS OF GLASS AND STOREFRONT PATTERNS, RETAIL BAYS, SUSPENDED AWNINGS, AND INDIVIDUAL ENTRANCES FOR THE VARIOUS RETAIL BAYS THAT HAVE DIRECT ACCESS FROM THE PUBLIC SIDEWALKS. BUILDING MATERIALS ARE PLANNED TO BE VARIED WITHIN THE EXTERIOR ELEVATIONS. ALTHOUGH THE PROPOSED BUILDING HAS A FLAT ROOF, THE PARAPET LINES ARE VARIED TO PROVIDE AN ARTICULATION OF THE BUILDING CORNICE LINES.

ADDITIONALLY THE GREENSBORO STREET FAÇADE IS ARTICULATED WITH BUILDING PLANE CHANGES, STOREFRONT RHYTHM AND MATERIAL CHANGES VERTICALLY AND HORIZONTALLY.

6. THE PREDOMINATE PROPOSED EXTERIOR BUILDING MATERIALS ARE MASONRY AND GLASS. THE CONCEPT ELEVATIONS INDICATE THAT THE UPPER FLOOR FACET FACING GREENSBORO MAY BE EITHER METAL PANEL OR A CONTRASTING MASONRY. THE GREENSBORO/WEAVER STREET CORNER IS A COMBINATION OF METAL PANEL AND GLASS. THE METAL PANEL SYSTEMS WILL UTILIZE A CONCEALED FASTENER SYSTEM AND NOT EXPOSED.

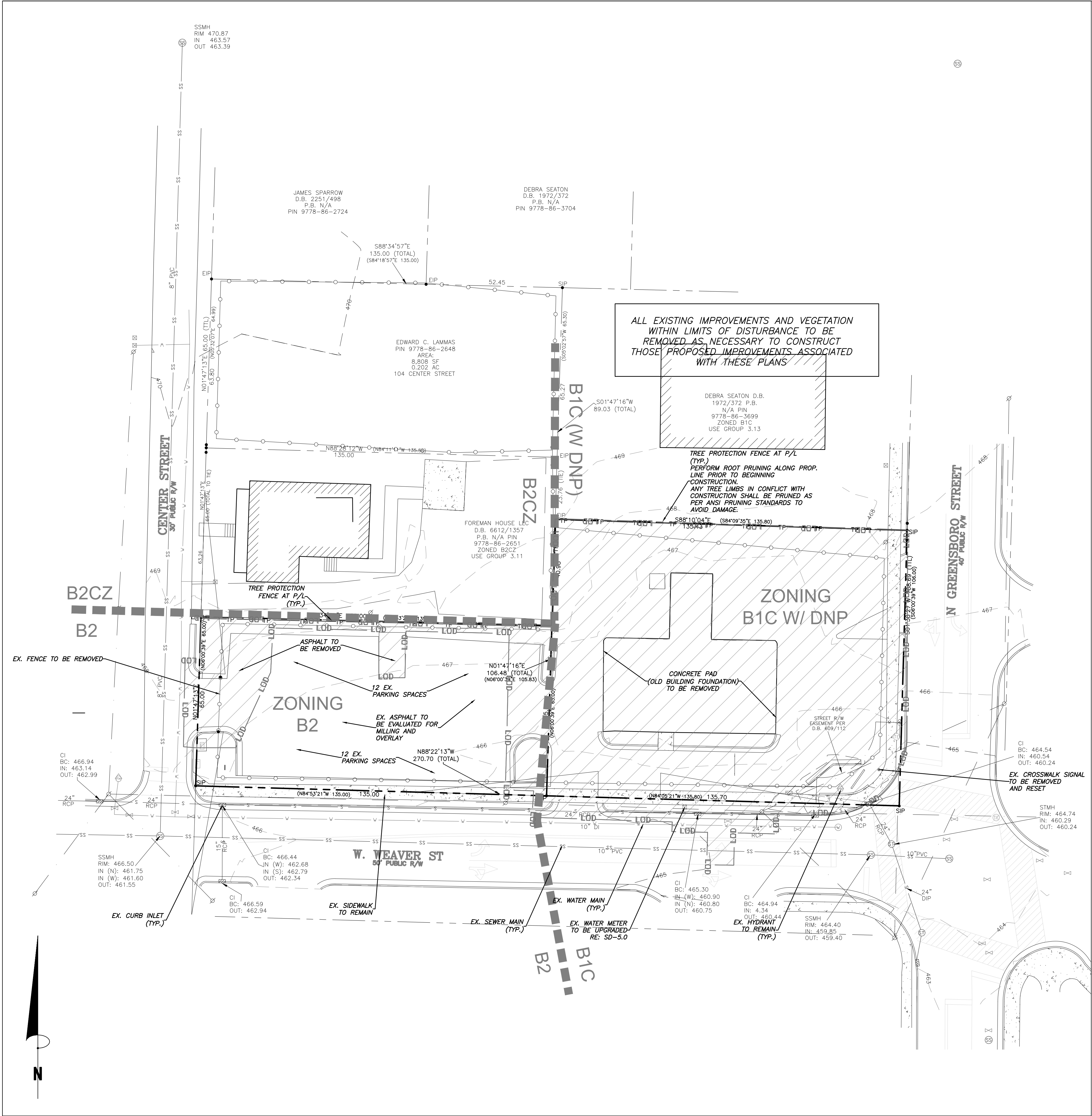
PHASING

1. THIS PROJECT WILL BE COMPLETED WITHIN A SINGLE PHASE.

RESOURCE ORDINANCE COMPLIANCE

FLOODPLAIN PROTECTION:
STEEP SLOPE PROTECTION:
WETLANDS PROTECTION:
STREAM BUFFERS:
TREE COVERAGE AREA:

NO FLOOD PLAIN AS PER EFFECTIVE FEMA MAP# 3710977800K (NOVEMBER 17,2017).
NO STEEP SLOPES ON SITE.
NO WETLANDS ON SITE.
NO STREAM BUFFERS ON SITE.
EXEMPT FROM TREE COVERAGE (ON TIER)



EXISTING CONDITIONS / DEMOLITION NOTES

1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
2. SEE SITE LAYOUT PLAN C2.0 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS OFFSITE. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
3. UTILITIES: SEE UTILITY PLANS. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
4. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
5. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO CITY OF DURHAM STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
6. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
7. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES. DOCUMENT ANY EXISTING DAMAGE WITH OWNER PRIOR TO BEGINNING WORK.
8. ALL EXISTING BUILDINGS AND PAVEMENT SHALL BE REMOVED AND/OR REPLACED.
9. PER ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
10. PER ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
11. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
12. IF EXISTING STRUCTURES ON SITE ARE NOT RELOCATED, A DECONSTRUCTION ASSESSMENT WILL NEED TO BE CONDUCTED BY JEFF SCOUTEN, OCSWM, TO DETERMINE IF THERE ARE MATERIALS THAT CAN BE DIVERTED AWAY FROM THE LANDFILL OR OTHERWISE REUSED.
13. EXISTING WATER AND SEWER SERVICE CONNECTION TO BE ABANDONED PER OWASA STANDARDS AND SPECIFICATIONS.

ENGINEERING - PLANNING LANDSCAPE ARCHITECTURE

Coulter Jewell Thames PA

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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

BPG | Beacon Properties Group

02.15.2022

Project
201 N. GREENSBORO

201 N Greensboro St.
Carrboro Township,
Orange County,
North Carolina

PINS:
9778863587, 9778862555

Job Number 1869

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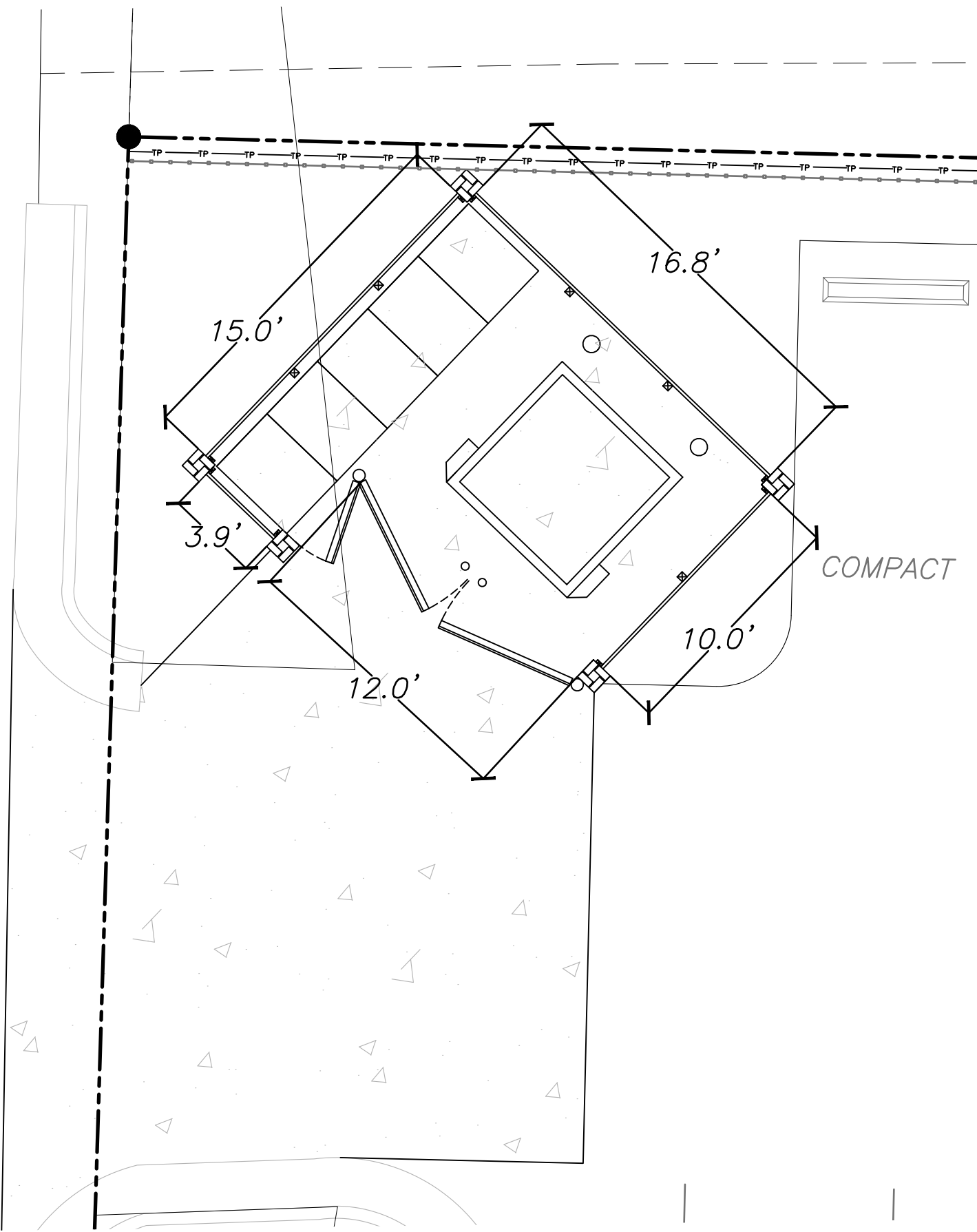
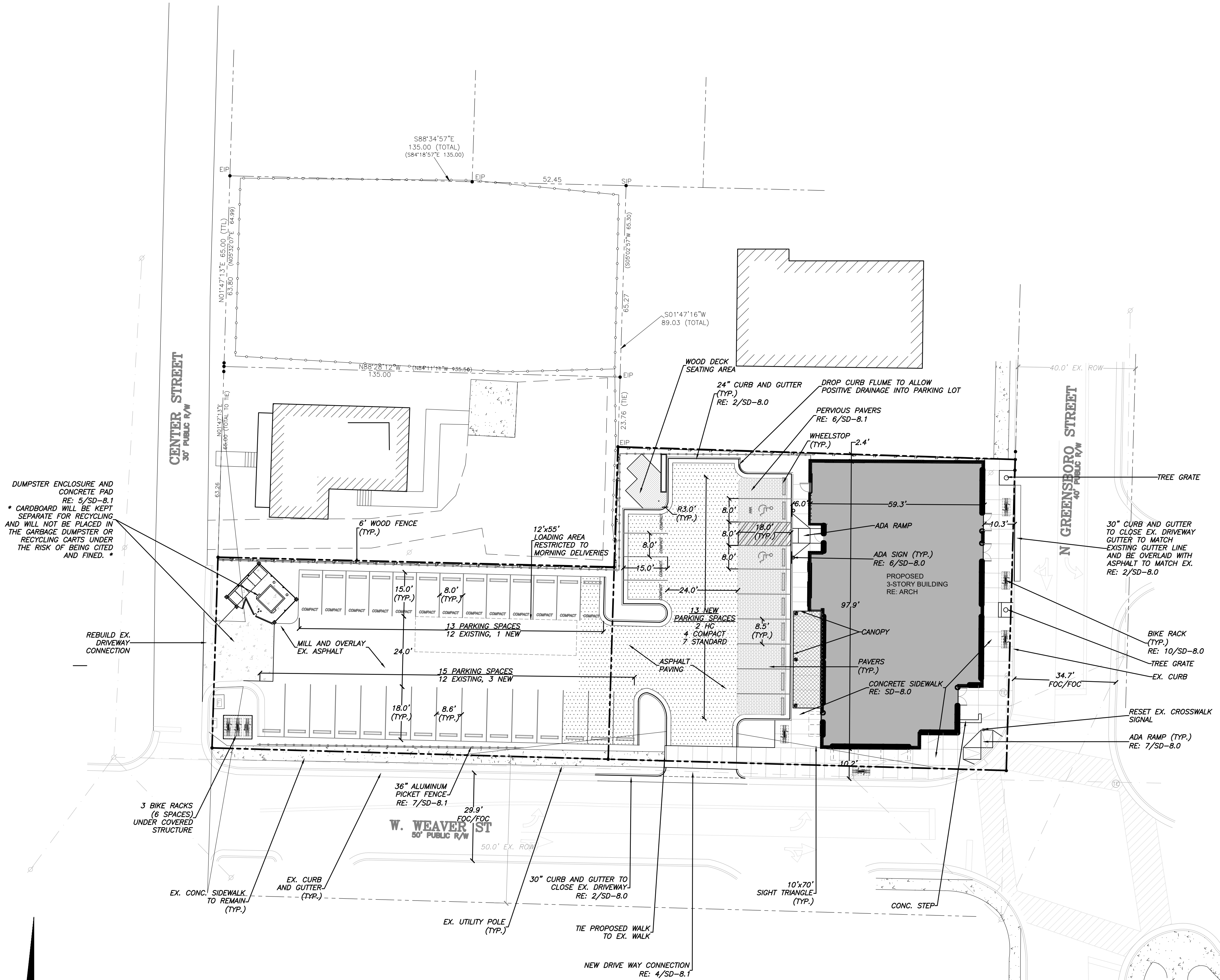
CONDITIONAL USE PERMIT
NOT ISSUED
FOR CONSTRUCTION

Sheet Title
**EXISTING CONDITIONS/
DEMOLITION
PLAN**

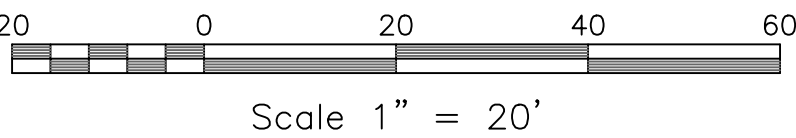
Sheet Number
SD-1.0

SITE PLAN NOTES

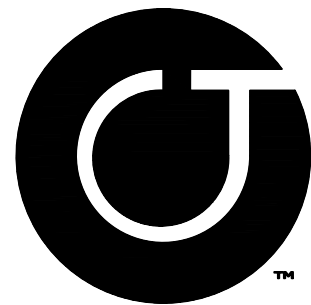
1. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
2. DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
3. LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
5. THE SITE WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 -2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
6. FIRE LANES ARE TO BE MARKED IN ACCORDANCE WITH TOWN GUIDELINES (PAVEMENT MARKINGS AND SIGNAGE). FIRE LANE SIGNAGE READING NO PARKING - FIRE LANE, WITH RED LETTERS ON WHITE REFLECTIVE BACKGROUND, AND OF STANDARD NO PARKING SIGN CHARACTERISTICS, NEEDS TO BE USED.
7. AN AS-BUILT SURVEY OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNEE, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODE PRIOR TO CO ISSUANCE.



1 / SD-2.0
SITE PLAN
SCALE: 1" = 20'



2 / SD-2.0
DUMPSTER PAD DETAIL
SCALE: 1" = 4'



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ARCHITECTS LIC # C-104

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Group



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201 N.
GREENSBORO

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Sheet Title

SITE PLAN

Sheet Number

SD-2.0

Coulter
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NC BOARD OF EXAMINERS FOR
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LIC # C-1028
NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104

BPG

Beacon Properties
Group

Project

201 N.
GREENSBORO

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Sheet Title

GRADING,
STORM
DRAINAGE, &
EROSION
CONTROL PLAN

Sheet Number

SD-3.0

GRADING & STORM DRAINAGE NOTES

GRADING NOTES:

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CARRBORO STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION CONFERENCE WITH THE TOWN OF CARRBORO PLANNING DEPARTMENT AND A REPRESENTATIVE OF THE OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
- ALL BANKS, SWALES AND FILL SLOPES SHALL BE NO STEEPER THAN 2.5:1 MAXIMUM. CUT SLOPES SHALL BE NO STEEPER THAN 2:1.
- ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
- ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
- CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CARRBORO STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- SEE THE COVER SHEET FOR NOTES REGARDING IMPERVIOUS SURFACE.

CONSTRUCTION SEQUENCE

PRE CONSTRUCTION

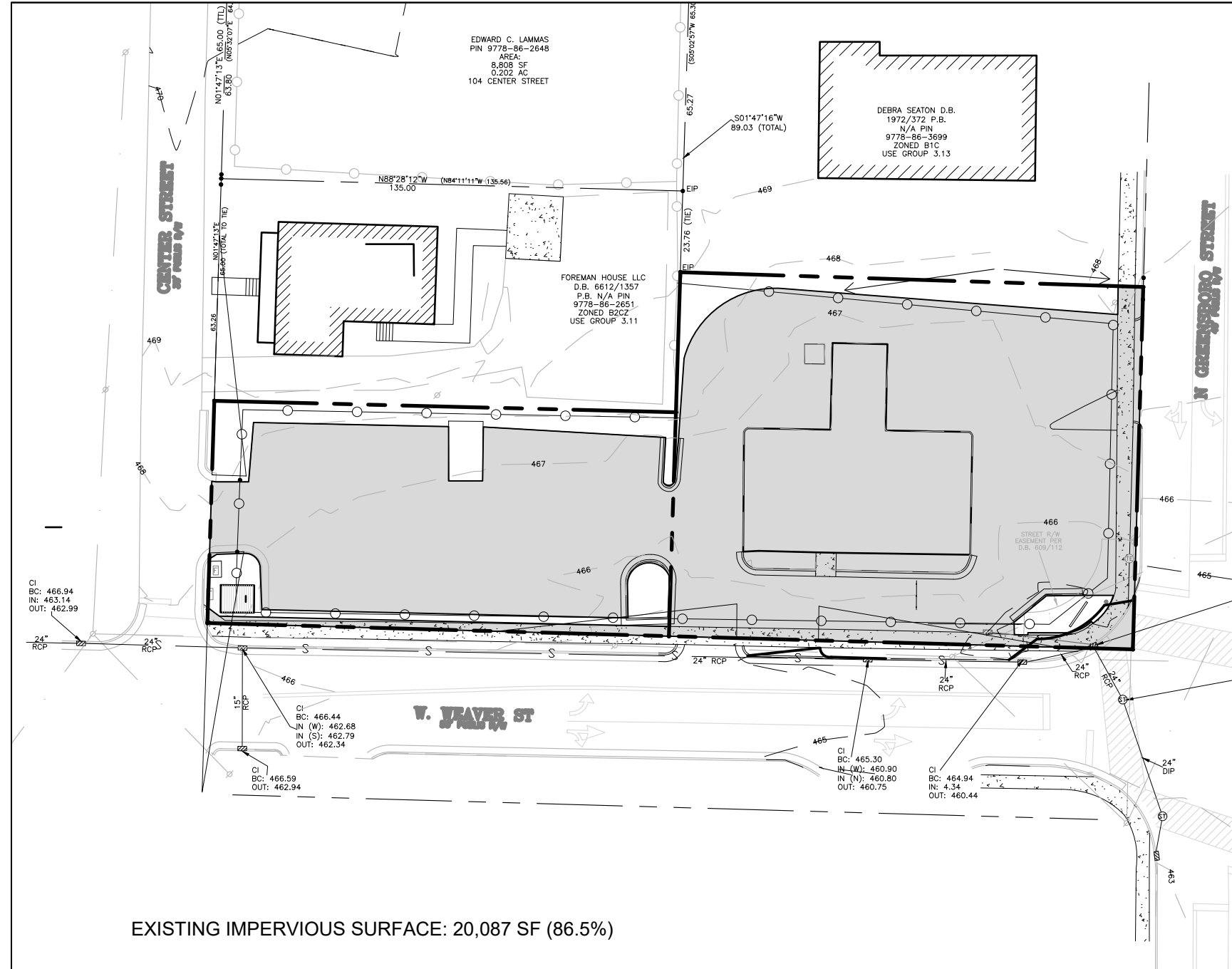
- VERIFY THAT ALL APPROVALS AND PERMITS NECESSARY TO BEGIN AND COMPLETE THE PROJECT ARE IN HAND. APPROVAL AND PERMITS MUST BE OBTAINED PRIOR TO DISTURBANCE SO THAT WORK WILL NOT BE INTERRUPTED OR DELAYED DUE TO THE LACK OF APPROVED PLANS.
- SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE BEFORE STARTING DEMOLITION, CLEARING OR GRADING WITH THE OWNER, CONTRACTOR RESPONSIBLE FOR GRADING AND EROSION CONTROL, PERSON RESPONSIBLE FOR SUPERVISING IMPLEMENTATION OF THE EROSION CONTROL PLAN, AND THE ORANGE COUNTY EROSION CONTROL INSPECTOR.
- INSTALL A RURAL TYPE MAILBOX ON THE SITE TO HOLD A COPY OF THE APPROVED EROSION CONTROL PLAN AND TO PROVIDE A PLACE FOR THE INSPECTOR(S) TO LEAVE INSPECTION REPORTS, COMPLIANCE NOTICES, ETC. PLACE THE MAILBOX IN A CONVENIENT LOCATION, SUCH AS AT THE ENTRANCE TO THE SITE OR NEXT TO THE CONSTRUCTION TRAILER. EROSION CONTROL PERSONNEL WILL LEAVE CORRESPONDENCE IN THE BOX AND RAISE THE RED FLAG IF PERSONNEL RESPONSIBLE FOR EROSION CONTROL CANNOT BE LOCATED ON THE SITE. SITE PERSONNEL SHOULD CHECK THE BOX DAILY.

CONSTRUCTION

- INSTALL GRAVEL CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCE. INSTALL INLET PROTECTION AROUND EXISTING INLETS. CLEAR AND DEMO AREAS SHOWN INSIDE OF THE LIMITS OF DISTURBANCE AS NECESSARY TO BEGIN CONSTRUCTION. LIMIT DISTURBANCE TO AREAS NECESSARY FOR CONSTRUCTION ACTIVITIES AT THAT TIME. STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE.
- DEMO EXISTING UTILITIES AS SHOWN AND CONSTRUCT NEW STORM DRAINAGE. INSTALL INLET PROTECTION AROUND NEW INLETS IMMEDIATELY AFTER CONSTRUCTION. SEAL ALL JUNCTION BOXES FROM STORMWATER INTAKE FROM SURFACE. SEAL ANY INLETS TO STORMWATER STRUCTURES NOT PROTECTED BY INLET PROJECTION.
- MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY ONE TIME.
- IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE APPROVED EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
- INSPECT AND MAINTAIN THE EROSION CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY. REFER TO THE INSTRUCTIONS IN THE EROSION CONTROL PLAN FOR SPECIFIC INSTRUCTIONS FOR EACH DEVICE. THE PERSON RESPONSIBLE FOR EROSION CONTROL IS ALSO RESPONSIBLE FOR TAKING THE INITIATIVE IN INSPECTING AND MAINTAINING THESE DEVICES. DO NOT WAIT FOR EROSION CONTROL PERSONNEL TO POINT OUT THE NEED FOR REPAIR AND MAINTENANCE. KEEP MUD AND DEBRIS OFF THE PUBLIC STREET AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN!!
- PERMANENTLY STABILIZE ALL DISTURBED AREAS. REFER TO SEEDING SCHEDULE FOR TYPES OF STABILIZATION TO BE USED.
- WHEN CONSTRUCTION IS COMPLETED, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES AFTER THE DRAINAGE AREA ABOVE HAS BEEN SUFFICIENTLY BEEN STABILIZED TO RESTRAIN EROSION. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT AND THE DEBRIS FROM THE DEVICES, AND STABILIZE THE LOCATION.
- ARRANGE A FINAL INSPECTION WITH THE EROSION CONTROL INSPECTOR TO CONFIRM THAT ALL REQUIREMENTS OF THE APPROVED EROSION CONTROL PLAN HAVE BEEN COMPLETED.

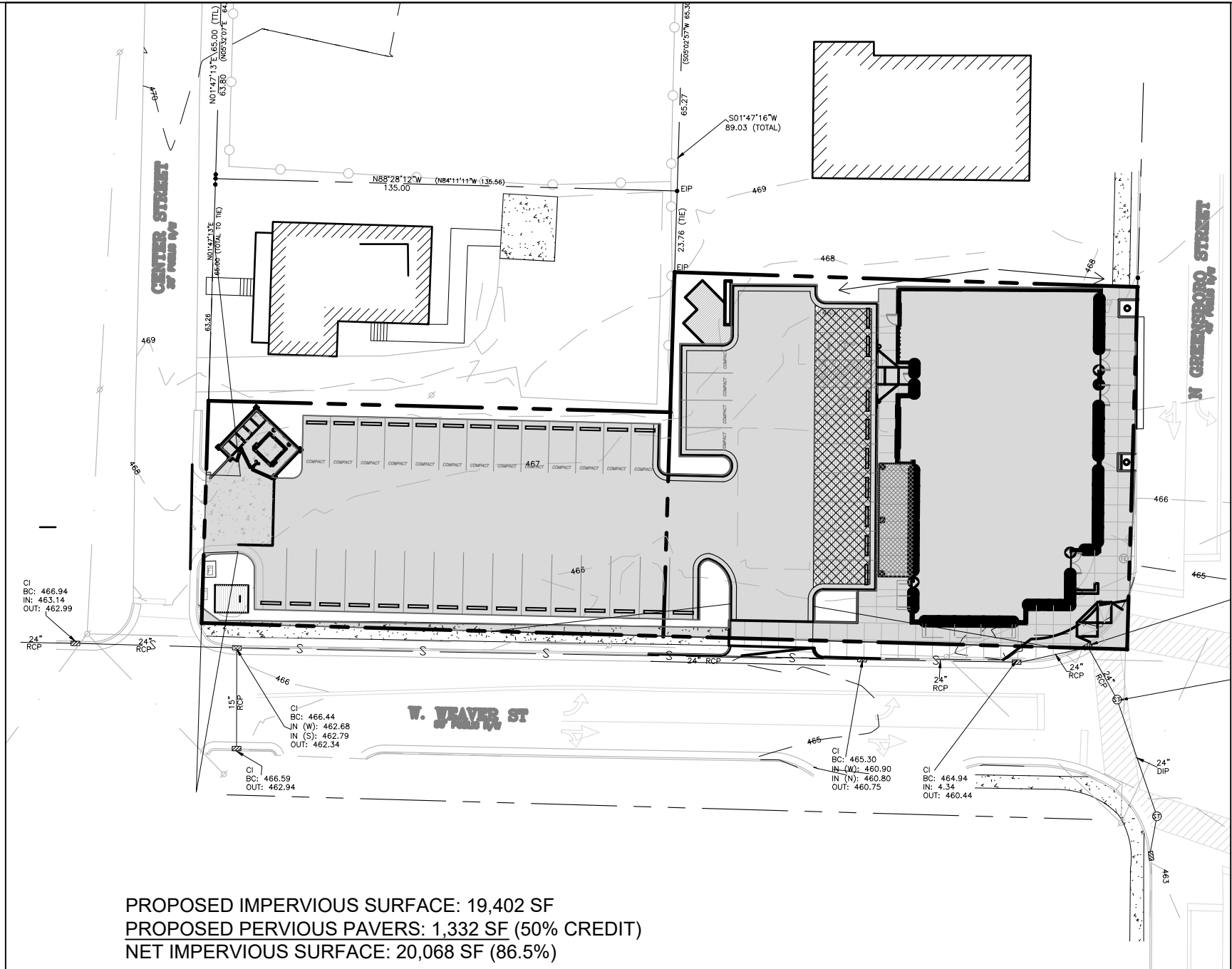
PERMEABLE PAVERS

- SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE BEFORE STARTING SITE CONSTRUCTION WITH THE OWNER, CONTRACTOR RESPONSIBLE FOR GRADING AND EROSION CONTROL, PERSON RESPONSIBLE FOR SUPERVISING CONSTRUCTION OF PERMEABLE PAVERS AND ENGINEER. ALL PERMEABLE PAVEMENT AREAS ARE TO BE CLEARLY MARKED ON THE SITE.
- ENSURE ACCEPTABLE CONDITIONS FOR CONSTRUCTION. ADJACENT AREAS SHOULD BE GRADED TO DRAIN AWAY FROM PAVERS AND SITE SHOULD BE STABILIZED WITH VEGETATION OR OTHER APPROPRIATE COVER TO PREVENT EROSION AND CONTAMINATION WITH SEDIMENTS. NO CONSTRUCTION TRAFFIC IS TO PASS OVER PERMEABLE PAVESITE DURING INSTALLATION.
- EXCAVATE IN DRY SUBGRADE CONDITIONS AND AVOID EXCAVATING IMMEDIATELY AFTER STORMS WITHOUT A SUFFICIENT DRYING PERIOD. DO NOT ALLOW EQUIPMENT TO CROSS THE PAVEMENT AREA AFTER EXCAVATION HAS BEGUN. OPERATE EXCAVATION EQUIPMENT FROM OUTSIDE THE PAVEMENT AREA OR FROM UNEXCAVATED PORTIONS OF THE AREA USING AN EXCAVATION STAGING PLAN. USE EQUIPMENT WITH TRACKS RATHER THAN TIRES TO MINIMIZE SOIL COMPACTION WHEN EQUIPMENT ON THE SUBGRADE SURFACE IS UNAVOIDABLE. DIG THE FINAL 9 TO 12 IN. BY USING THE TEETH OF THE EXCAVATOR BUCKET TO LOOSEN SOIL AND DO NOT SMEAR THE SUBGRADE SOIL SURFACE. FINAL GRADING OR SMOOTHING OF THE SUBGRADE SHOULD BE DONE BY HAND IF POSSIBLE. MINIMIZE THE TIME BETWEEN EXCAVATION AND PLACEMENT OF THE AGGREGATE.
- TEST SOIL SUBGRADE INFILTRATION RATE BETWEEN EXCAVATION AND PLACEMENT OF AGGREGATE. TESTING TO BE PERFORMED BY AN APPROPRIATELY QUALIFIED PROFESSIONAL. IF TESTING INDICATES THE INFILTRATION RATE THAT PROVIDES A 72-HOUR DRAWDOWN IS NO LONGER POSSIBLE, RIP OR TRENCH SUBGRADE FURTHER TO RESTORE INFILTRATION RATE.
- PLACE GEOTEXTILES AND GEOMEMBRANE (IF APPLICABLE). PLACE CATCH BASINS, OBSERVATION WELLS AND UNDERDRAIN SYSTEM.
- PLACE AND COMPACT AGGREGATE BASE. INSPECT ALL AGGREGATES AND ENSURE THEY ARE FREE OF FINES. REMOVE ANY ACCUMULATED SEDIMENT ON FINISHED SUBGRADE PRIOR TO PLACING AGGREGATE BASE. SLOPES AND ELEVATIONS SHALL BE CHECKED ON SOIL SUBGRADE PRIOR TO PLACEMENT, TO ENSURE THEY CONFORM TO PLANS AND SPECIFICATIONS.
- INSTALL EDGE RESTRAINTS AND BARRIERS. ENSURE DESIGN AND INSTALLATION ARE CONSISTENT PRIOR TO PLACEMENT OF BEDDING.
- INSTALL BEDDING AND PAVERS. CONTRACTOR IS TO FOLLOW SPECIFICATIONS AND MANUFACTURER INSTRUCTIONS FOR THE PLACEMENT OF PERMEABLE PAVERS. THE BEDDING COURSE IS TO BE PLACED IN ACCORDANCE WITH MANUFACTURER OR INDUSTRY GUIDE SPECIFICATIONS.



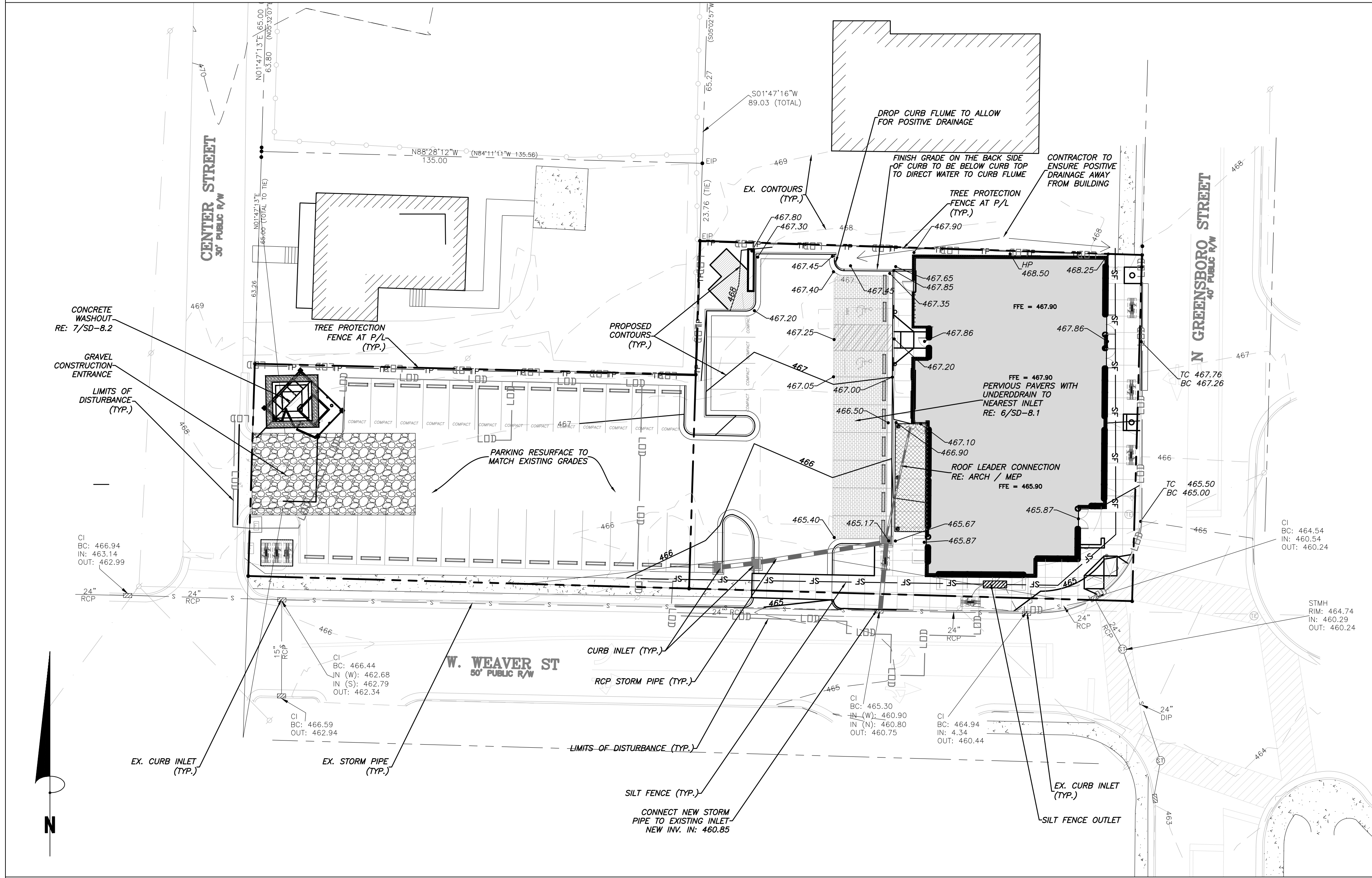
EXISTING IMPERVIOUS SURFACE: 20,087 SF (86.5%)

1 / SD-3.0
EXISTING IMPERVIOUS SURFACE COVER
SCALE: 1" = 40'



PROPOSED IMPERVIOUS SURFACE: 19,402 SF
PROPOSED PERVIOUS PAVERS: 1,332 SF (50% CREDIT)
NET IMPERVIOUS SURFACE: 20,068 SF (86.5%)

1 / SD-3.0
PROPOSED IMPERVIOUS SURFACE COVER
SCALE: 1" = 40'



2 / SD-3.0
GRADING, STORM DRAINAGE, AND EROSION CONTROL PLAN
SCALE: 1" = 20'

20 0 20 40 60
Scale 1" = 20'

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LIC # C-1209
NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104

BPG | Beacon Properties Group



Project
201 N.
GREENSBORO

201 N Greensboro St.
Carrboro Township,
Orange County,
North Carolina

PINS:
9778863587, 9778862555

Job Number 1869

Drawn	ED
Checked	JSA, PR
Date	04.08.2020
Revisions	07.24.2020 - COMMENTS
	10.13.2020 - COMMENTS
	10.05.2021 - COMMENTS
	02.15.2022 - COMMENTS

CONDITIONAL USE PERMIT
NOT ISSUED
FOR CONSTRUCTION

Sheet Title

UTILITY PLAN

Sheet Number

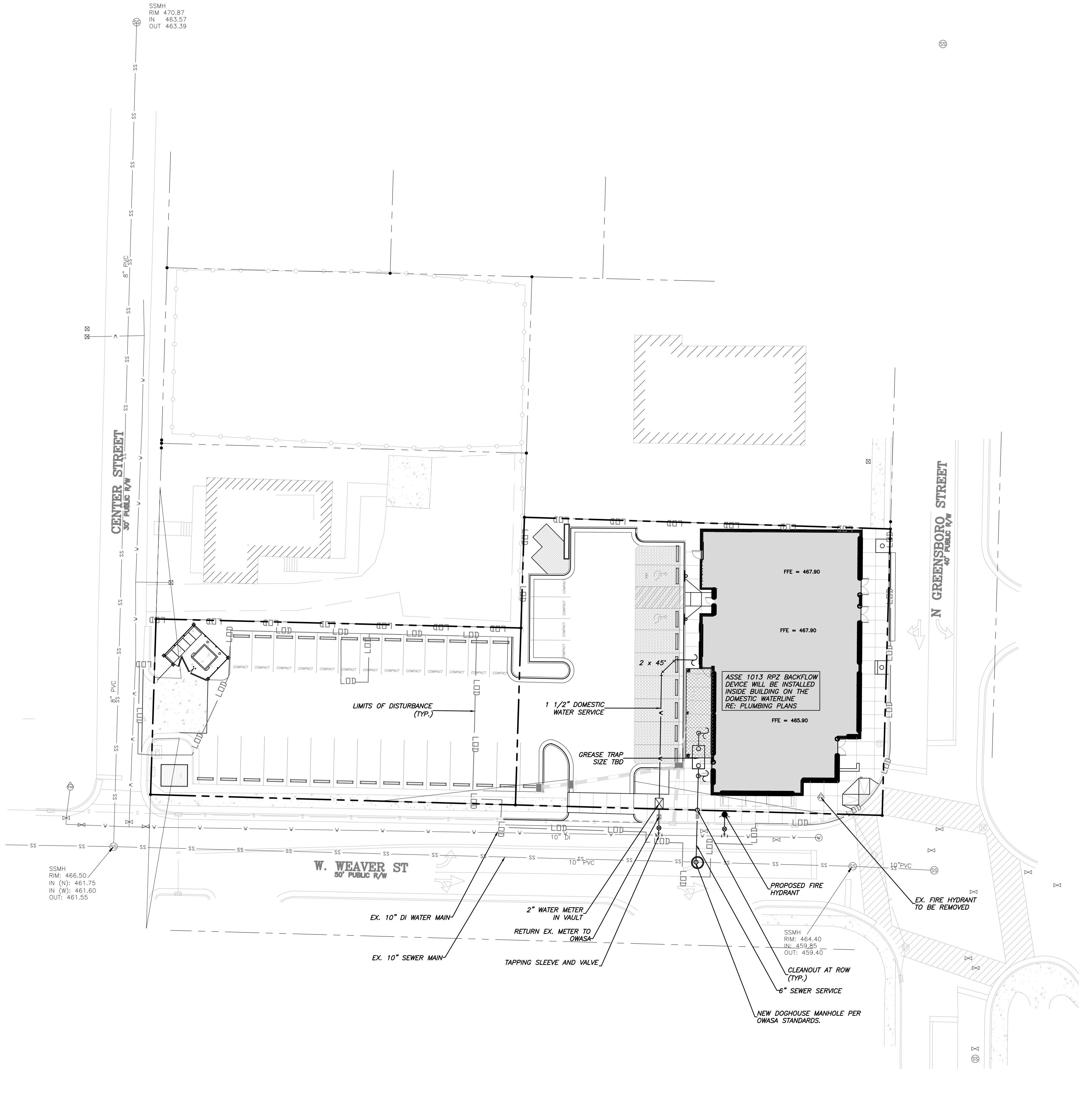
SD-5.0

UTILITY NOTES

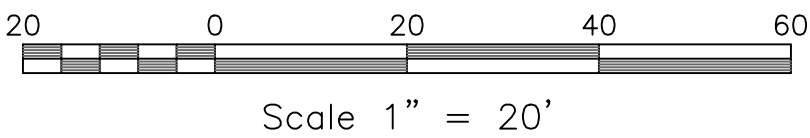
1. PER SECTION 15-246 OF THE CARBORO LUO, ALL UTILITIES SHALL BE PLACED UNDERGROUND.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO MOBILIZATION. REPORT THE RESULTS TO THE ENGINEER OF RECORD.
3. ALL UTILITY WORK SHALL CONFORM TO APPLICABLE TOWN, OWASA AND STATE CODES.
4. 6" SANITARY SEWER WILL BE INSTALLED AT A MINIMUM SLOPE OF 1.0%. 4" SANITARY SEWER WILL BE INSTALLED AT A MINIMUM SLOPE OF 2.0%.
5. CLEANOUTS ON A 4" SANITARY SEWER LATERAL WILL BE INSTALLED AT A MAXIMUM OF 50 FEET APART. CLEANOUTS ON A 6" SANITARY SEWER LATERAL WILL BE INSTALLED AT A MAXIMUM OF 75 FEET APART.
6. ALL CLEANOUTS LOCATED IN ASPHALT WILL BE TRAFFIC BEARING AND WILL WITHSTAND A H-20 LOADING.
8. ALL WATER AND SEWER LINES ARE TO BE PRIVATE UNLESS OTHERWISE NOTED.
9. ALL WATER LINES SHALL HAVE A MINIMUM OF 36" COVER.
10. PVC SANITARY SEWER SHALL HAVE A MINIMUM COVER OF 5 FEET IN STREETS AND 4 FEET IN OUTFALLS.
11. BACKFLOW PREVENTERS ARE REQUIRED ON THIS PROJECT. BACKFLOW PREVENTER INSTALLER MUST OBTAIN A BACKFLOW PREVENTER PERMIT PRIOR TO BEGINNING BACKFLOW PREVENTER INSTALLATIONS. CONTACT THE CROSS-CONNECTION CONTROL OFFICE AT 919-560-4194 TO OBTAIN ADDITIONAL INFORMATION AND INSTALLATION REQUIREMENTS.
12. DOMESTIC BACKFLOW (HIGH HAZARD) - INDICATE TYPE, SIZE, AND LOCATION ON DRAWINGS OF DOMESTIC BACKFLOW; REDUCED PRESSURE BACKFLOW ASSEMBLY (RP2) ASSE #1013 INSTALLED ABOVE GROUND IN AN ASSE #1060 ENCLOSURE OR DIRECTLY INSIDE. WYE STRAINER AND MAIN SHUT-OFF SHALL BE INSTALLED PRIOR TO #1 SHUT OFF OF THE BACKFLOW ASSEMBLY.
13. FIRE DEPARTMENT CONNECTION INLET MUST BE ORIENTED 30 DEGREES TOWARDS GRADE AND BE (1) 5 INCH DIAMETER STORZ CONNECTION AND LOCATED ON THE STREET SIDE OF THE BUILDING.
14. ALL NEW FIRE HYDRANTS MUST BE PROVIDED WITH (2) 2.5 INCH DIAMETER CONNECTIONS.

OWASA CLOSEOUT AND DOCUMENTATION CHECKLIST

- IN ADDITION TO A FINAL INSPECTION APPROVED BY THE OWASA CONSTRUCTION INSPECTOR, THE FOLLOWING DOCUMENTS MUST BE RECEIVED AND APPROVED BY OWASA BEFORE ACCEPTANCE OF THE PROJECT AND THE SETTING OF METERS. THE FOLLOWING SHALL BE SUBMITTED AS A COMPLETE PACKAGE TO THE OWASA ENGINEERING ASSOCIATE FOR THIRD PARTY REVIEW. PARTIAL SUBMITTALS ARE CONSIDERED INCOMPLETE. ALL INCOMPLETE SUBMITTALS WILL BE RETURNED.
- ASSET LETTER - SUBMIT ORIGINAL DOCUMENT ON OWASA STANDARD FORM.
 - LETTER OF DEDICATION - SUBMIT ORIGINAL DOCUMENT ON OWASA STANDARD FORM.
 - RECORD DRAWINGS - CONSTRUCTION DRAWINGS SHALL BE MODIFIED TO REFLECT ACTUAL FIELD INSTALLATIONS. ALL DEH PUBLIC WATER SUPPLY SECTION PERMITTED EXTENSIONS AND DWO PERMITTED EXTENSIONS SHALL BE SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA. SUBMIT THREE COPIES OF THE RECORD DRAWING FOR REVIEW BY THE OWASA ENGINEERING STAFF.
 - DIGITAL SUBMISSIONS - WATER FEATURE DATABASE (MS ACCESS), MANHOLE DATASHEET DATABASE (MS ACCESS), AND RECORD DRAWING (AUTOCAD .DWG FORMAT). CONTACT THE OWASA ENGINEERING TECHNICIANS FOR INFORMATION CONCERNING THIS SUBMITTAL.



1 / SD-5.0
UTILITY PLAN
SCALE: 1" = 20'



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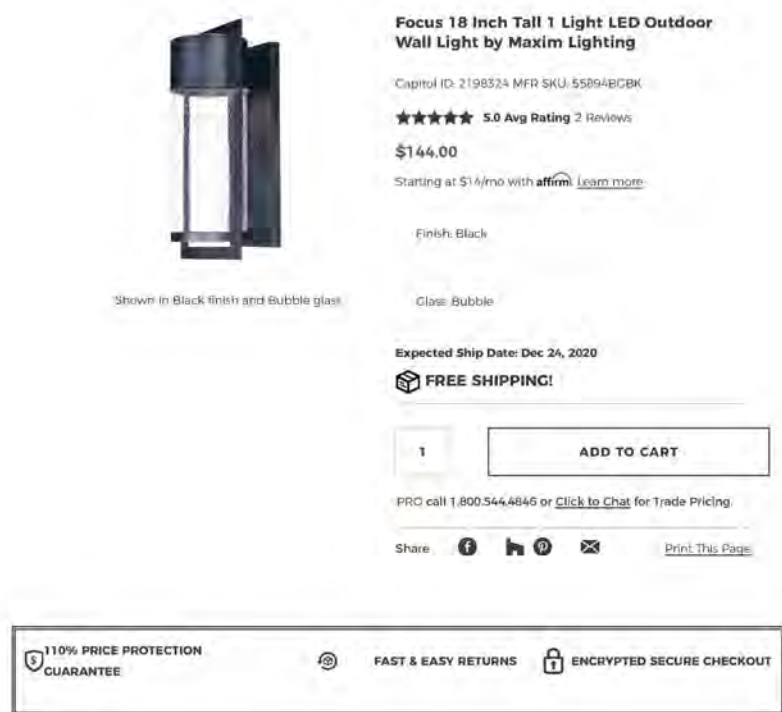
LIGHTING
PLAN

Sheet Number

SD-6.0

LIGHTING NOTES

- MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
- CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES/POLES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
- CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
- ALL ELECTRICAL CONDUIT, LIGHT POLES AND FIXTURES SHALL BE FURNISHED BY THE CONTRACTOR.
- ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
- ALL CONDUITS MORE THAN 30" IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
- ALL JOINTS ARE TO BE SOLVENT WELDED.



WALL SCONCE

Outdoor Lighting
Sanibel LED

The beauty of the stylish Sanibel LED is its remarkable versatility. Its sleek simplicity, with a gently curved bracket that helps cast light downward, is at home virtually anywhere - from more formal traditional neighborhoods to beachfront communities and other casual locales.

LED (Light Emitting Diode) 75 watts, 150 watts

Mounting heights 12', 16', 29'

Color Black

Pole Smooth round concrete

Outdoor Lighting
Sanibel LED

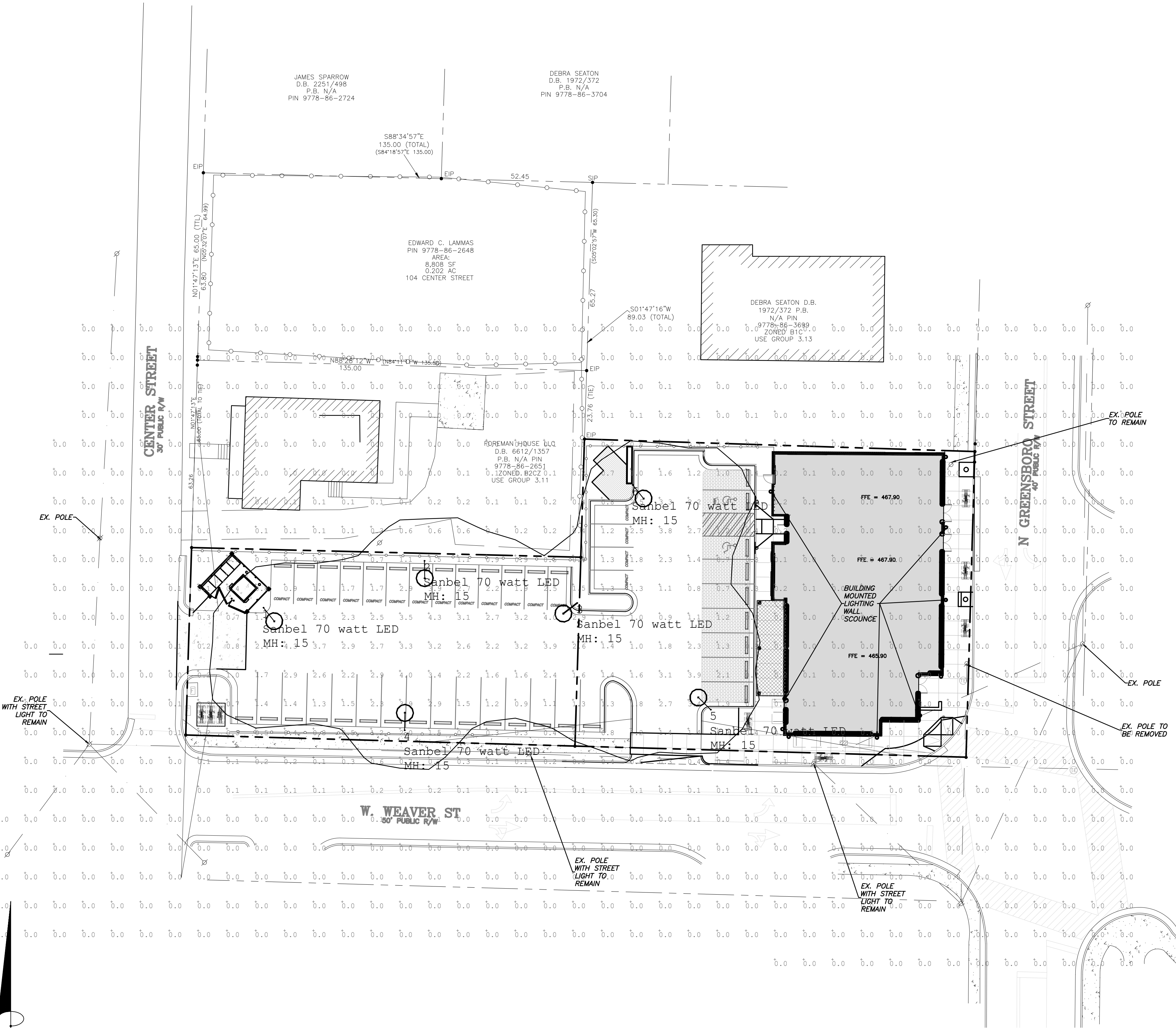
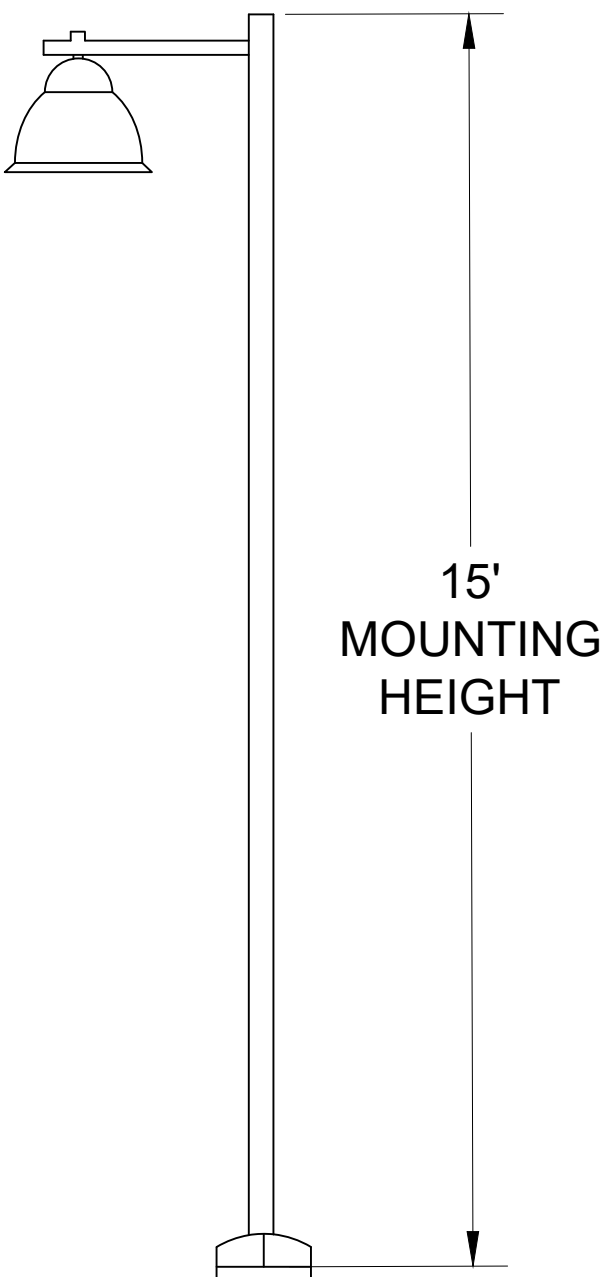
Wattage	BUG Rating	Light Pattern	Lumens	Color Temp
75W	B1-U0-G1	IESNA Type III (down)	6,320	4,000K
150W	B2-U0-G2	III (down)	16,160	

Pole available:		
Frame	Mounting height	Color
Smooth round concrete	12', 16', 29'	Black

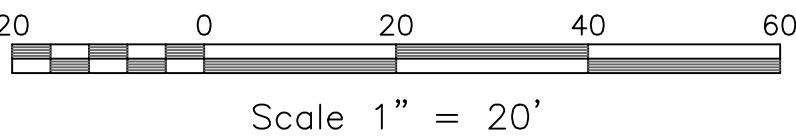
Features	Benefits
Little or no installation cost.	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

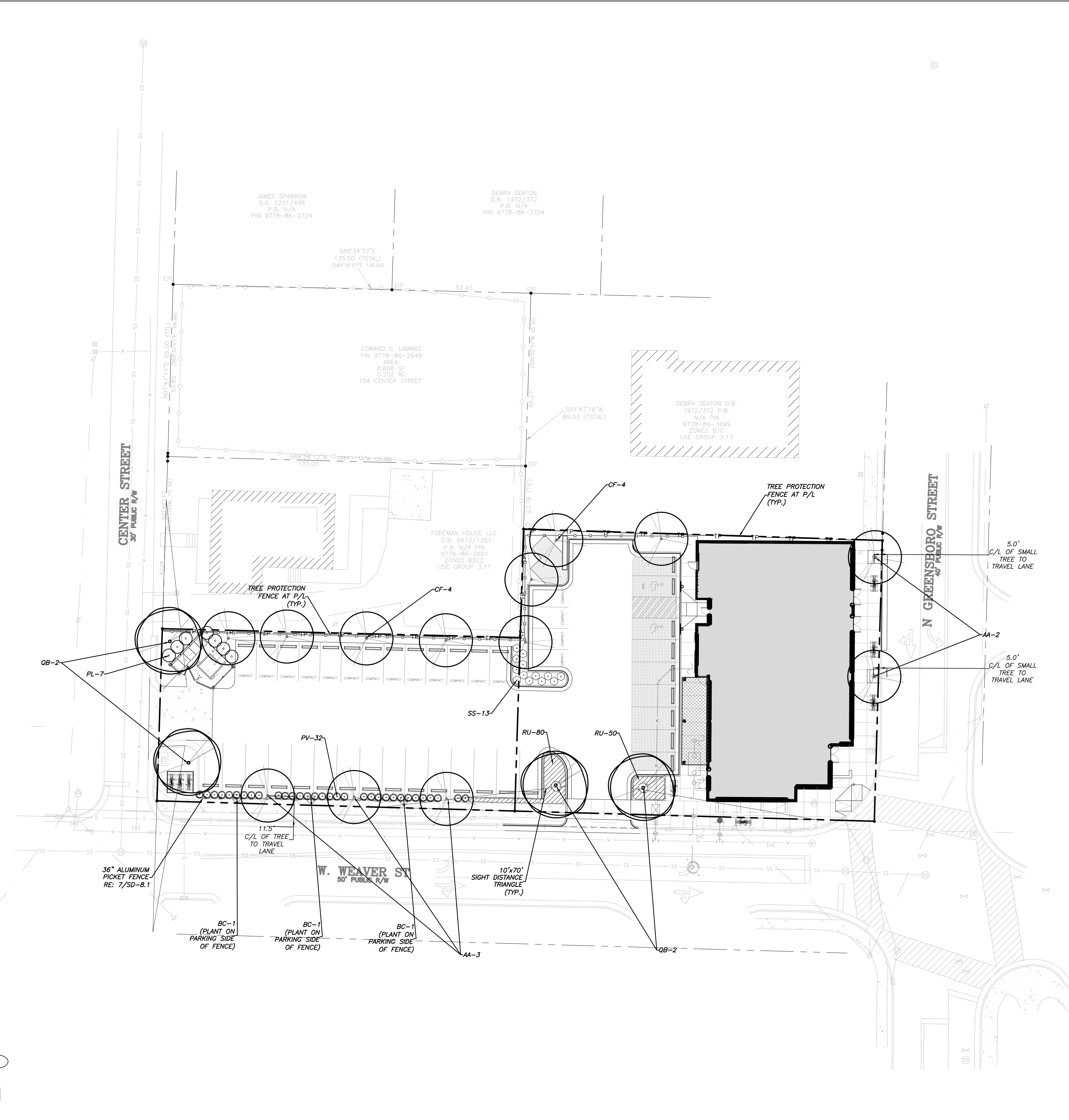
Poles and Features									
Style A	Style B	Style C	Style D	Style E	Style F	Style G	Style H	Style I	Style J
12' Ht.	16' Ht.	29' Ht.	12' Ht.	16' Ht.	29' Ht.	12' Ht.	16' Ht.	29' Ht.	12' Ht.
1" Dia.	1" Dia.	1" Dia.	1" Dia.	1" Dia.	1" Dia.	1" Dia.	1" Dia.	1" Dia.	1" Dia.
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POLE FIXTURE

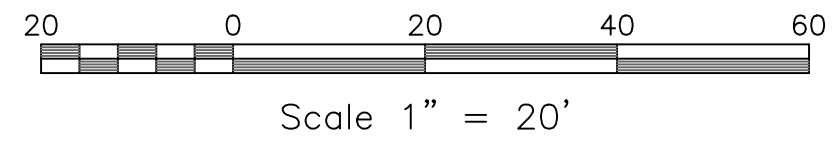


1 / SD-6.0
LIGHTING PLAN
SCALE: 1" = 20'





1 / SD-7.0
LANDSCAPE PLAN
SCALE: 1" = 20'



LANDSCAPE NOTES

1. LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
3. IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
4. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
7. IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
8. CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
9. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
10. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
11. MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
12. ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
13. IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
14. ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.

SCREENING CALCULATIONS

PROPOSED USE = 2,100 (RETAIL) AND 3,100 (OFFICE)
EX. ADJACENT. USE = 3,110 (HAIR SALON) AND 3,130 (DENTISTRY)
PROPOSED 3,000 USE TO ADJ. R.O.W. = TYPE C "BROKEN SCREEN"
TYPE C "BROKEN SCREEN" = SMALL TREES PLANTED 30' ON CENTER
WEAVER STREET = 270 LF R.O.W. - 24' DRIVE AND 55' BUILDING FRONTAGE = 191 LF / 30 = 6 SMALL TREES REQUIRED. 3 SMALL TREES AND 3 LARGE TREES PROVIDED.
GREENSBORO STREET = 106 LF R.O.W. - 99' BUILDING FRONTAGE = 7 LF / 30 = 1 SMALL TREE REQUIRED. 2 SMALL TREES PROVIDED.
5 SMALL TREES AND 3 LARGE TREES PROVIDED

MOTOR VEHICLE ACCOMMODATION CALCULATIONS

REQUIRED 35% SHADING
PROPOSED MOTOR VEHICLE ACCOMMODATION AREA = 11,768 SF
11,768 x 0.35 = 4,119 SF
EXISTING TREES = 0 SF
SCREENING TREES = 1,256 SF (8 SMALL TREES)
REQUIRED SHADING = 2,863 SF
2,863 / 707 = 4 TREES REQUIRED/PROVIDED

TREE CANOPY COVERAGE CALCULATIONS

REQUIRED 15% OF GROSS LAND AREA
GROSS LAND AREA = 23,211 SF
23,211 x 0.15 = 3,482 SF
EXISTING TREES = 0 SF
PROPOSED TREES = 6,000 SF (9 TREES)



PLANT SCHEDULE

PLANT SCHEDULE							
KEY	QTY.	BOTANICAL NAME	COMMON NAME	Cal*	HT*	ROOT	REMARKS
DECIDUOUS TREES							
CF	8	<i>Cornus florida</i>	Flowering Dogwood	2.5"	-	B&B	Full, Match, Straight leader
AA	5	<i>Amelanchier arborea</i> 'Autumn Brillance'	Downey Serviceberry	2.5"	-	B&B	Full, Match, Single Stem
QB	4	<i>Quercus bicolor</i>	Swamp White Oak	2.5"	-	B&B	Full, Match, Straight leader
DECIDUOUS TREES							
PL	7	<i>Prunus laurocerasus</i> 'Schipkaensis'	Schipka Laurel	-	24"	5 gal.	Full, Match, Straight leader
ORNAMENTAL GRASSES, VINES, & GROUND COVER							
BC	3	<i>Bignonia carpeolata</i>	Crossvine	-	-	1 gal.	Full, Match, Straight leader
PV	32	<i>Panicum virgatum</i>	Switchgrass	-	-	3 gal.	Full, Match, Single Stem
RU	139	<i>Rudbeckia</i> 'Goldsturm'	Black-Eyed Susan	-	-	1 gal.	Full, Match, Straight leader
SS	13	<i>Schizachyrium scoparium</i> 'Prairie Blues'	Little Bluestem	-	-	3 gal.	Full, Match, Straight leader

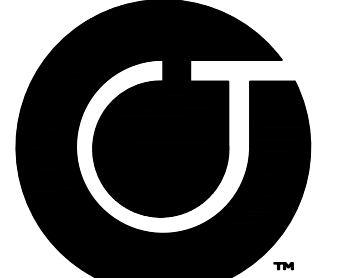
*CA. AND HT. REFERS TO SIZE OF PLANT MATERIAL AT TIME OF INSTALLATION. ALL PLANT MATERIAL SPECIFIED MUST MEET OR EXCEED THE PLANT CAL. AND HT. AT TIME OF INSTALLATION.

*DECIDUOUS CANOPY TREES MUST MEET OR EXCEED MINIMUM CALIPER REQUIREMENTS SHOWN ABOVE TO MEET MINIMUM ORDINANCE REQUIREMENTS.

LEGEND

-  CF (CORNUS FLORIDA)
-  QB (QUERCUS BICOLOR)

ENGINEERING PLANNING LANDSCAPE ARCHITECTURE



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NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

BPG | Beacon Properties Group



Project
201 N.
GREENSBORO

201 N Greensboro St.
Carrboro Township,
Orange County,
North Carolina

PINS:
9778863587, 9778862555

Job Number 1869

Drawn ED
Checked JSA, PR
Date 04.08.2020
Revisions 07.24.2020 - COMMENTS
10.13.2020 - COMMENTS
10.05.2021 - COMMENTS
02.15.2022 - COMMENTS

CONDITIONAL USE PERMIT
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Sheet Title

LANDSCAPE
PLAN

Sheet Number

SD-7.0

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NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104

BPG

Beacon Properties
Group

STATE OF NORTH CAROLINA
DIVISION OF HIGHWAYS
RALEIGH, N.C.

01.15.2022

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201 N. GREENSBORO

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DETAILS

Sheet Number

SD-8.0

STATE OF NORTH CAROLINA
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE

SHEET 1 OF 2
840.02

PLAN

SECTION X-X

SECTION Y-Y

SECTION J-J

SECTION M-M

GENERAL NOTES:

USE CLASS "B" CONCRETE THROUGHOUT.

PROVIDE ALL CATCH BASINS OVER 3'-6" IN DEPTH WITH STEPS 15" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.06.

OPTIONAL CONSTRUCTION - MONOLITHIC POUR, 2" KEYWAY, OR #4 BAR DOMELS AT 18" CENTERS AS DIRECTED BY THE ENGINEER.

USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.

25' REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.02.

USE TYPE "1", "2", "3" AND "4" GRATES UNLESS OTHERWISE INDICATED.

FOR 6'-0" IN HEIGHT OR LESS USE #4 WALLS AND BOTTOM SLAB. OVER 6'-0" TO 16'-0" IN HEIGHT USE 6" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.

CONSTRUCT WITH PIPE CHAINS MATCHING.

CHAMFER ALL EXPOSED CORNERS 1".

DRAWING NOT TO SCALE.

STATE OF NORTH CAROLINA
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE

SHEET 1 OF 2
840.02

ON-SITE (SPILL CURB IF REQUIRED)

WITHIN THE NCDOT ROW

CONTRACTOR JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.

CONTRACTOR JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.

CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 4000 PSI AT 28 DAYS.

ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.

JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ADJUTING SIDEWALK.

EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

STATE OF NORTH CAROLINA
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE SIDEWALK
NTS

SHEET 1 OF 2
840.01

EXPANSION JOINT AT WALL

PLANT VIEW

NOTES:

1. ALL CONCRETE 4000 PSI.

2. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.

3. BROOM FINISH

4. SIDEWALK CROSS SLOPES ARE TO BE A MAXIMUM 1.8%.

STATE OF NORTH CAROLINA
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CURB RAMP
PROPOSED CURB AND GUTTER

SHEET 1 OF 3
848.05

ISOMETRIC VIEW

SECTION A-A

SECTION B-B

PLAN VIEW

NOTES:

1. DETECTABLE WARNING DOMES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE CURB FLOOR AS SHOWN ON THE DETAIL.

2. DETECTABLE WARNING DOMES WILL CONTRAST VISIBLY WITH ADJACENT SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.

3. RAMP WIDTH AREA IS VARIABLE.

4. 4" X 4" CLEAR SPACE, SEE NOTE 10.

5. 4" MIN. CURB BETWEEN RAMP.

6. 4" MIN. FLOOR WIDTH.

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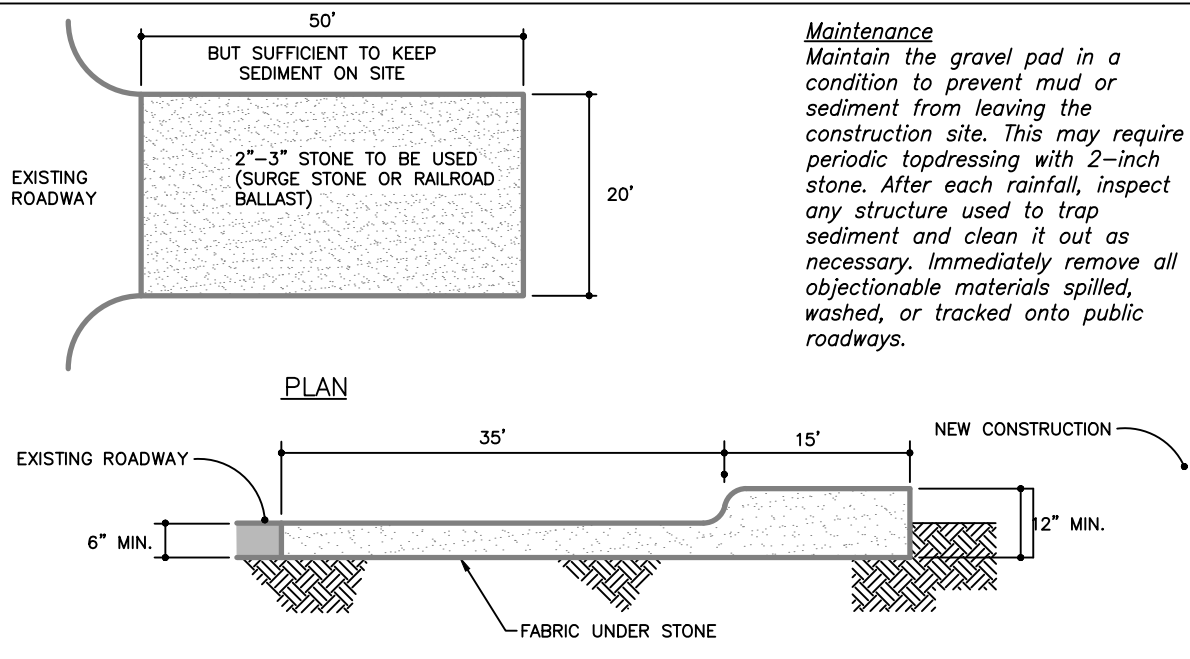
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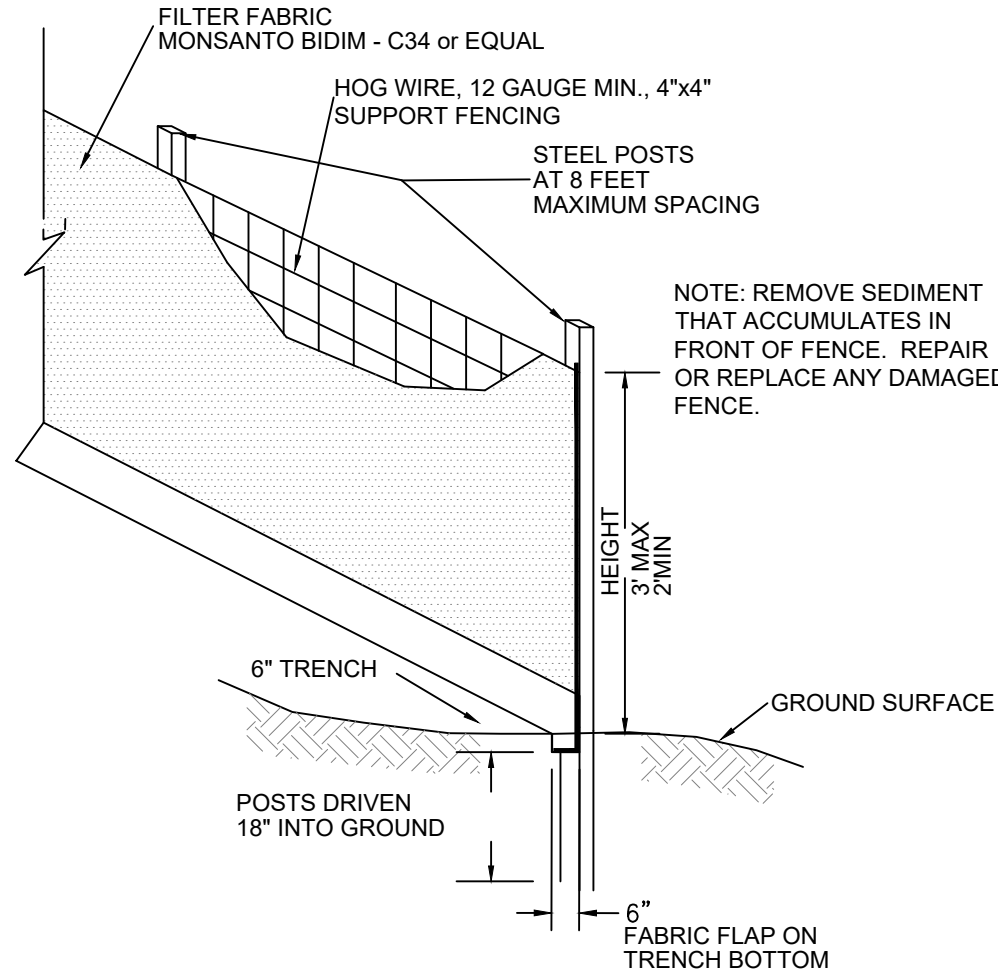
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NOTES:

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.

1 / SD-8.2
GRAVEL CONSTRUCTION ENTRANCE
NTS



Maintenance

1. Inspect sediment fences at least once a week and after each rainfall. Make any required repairs immediately.
2. Should the fabric of a sediment fence collapse, tear, decompose or become ineffective, replace it promptly.
3. Remove sediment deposits as necessary to provide adequate storage volume for the next rain and to reduce pressure on the fence. Take care to avoid undermining the fence during cleanout.
4. Remove all fencing materials and unstable sediment deposits and bring the area to grade and stabilize it after the contributing drainage area has been properly stabilized.

2 / SD-8.2
SILT FENCE
NTS

FALL/WINTER/SPRING TEMPORARY COVER	AUGUST 15 – MAY 1
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	25 lbs/1000 sf
Oat Seed	2 lbs/1000 sf
Rye Grain Seed	1 lbs/1000 sf
Straw Mulch *	100 lbs/1000 sf
SUMMER TEMPORARY COVER	MAY 1 – AUGUST 15
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	15 lbs/1000 sf
Browtop Millet Seed	1 lbs/1000 sf
Straw Mulch *	100 lbs/1000 sf
SPRING/FALL PERMANENT COVER	MARCH 1 – APRIL 30
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	25 lbs/1000 sf
Improved Turf Type Fine Fescue Seed	8 lbs/1000 sf
Straw Mulch	100 lbs/1000 sf
SUMMER PERMANENT COVER	APRIL 1 – AUGUST 15

GRASS

BERMUDAGRASS
BERMUDAGRASS(HYBRID)
CENTIPEDGRASS
ST.AUGUSTINEGRASS
TALL FESCUE
ZOYSIAGRASS

1. OPTIMUM DATE OF PLANTING, SEEDING BEYOND THESE DATES INCREASES THE CHANCE OF FAILURE.
2. POUNDS PER 1000 SQ.FT.
3. BUSHELS PER 1000 SQ.FT.

Seedbed Preparation: Remove rocks, stumps, roots, etc. Apply lime and fertilizer then rip the soil 4 to 6 inches to mix the nutrients into the soil and

Seed temporary cover to stabilize temporary sedimentation control measures and other accomplished. If planting season is not suitable for installation of permanent cover. Contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date.

* Anchor straw mulch by applying an asphalt binder emulsion at a rate of 10 gallons per 1000 SF or install jute, paper or twine netting or excelsior mats staked to ground according to the manufacturer's instructions.

STABILIZATION TIME TABLE

1. All permanent dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3:1 shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but within 7 calendar days from last land-disturbing activity.
2. All other disturbed areas shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but in any event within 14 calendar days from last land-disturbing activity.

*EXPOSED AREAS INCLUDE, BUT ARE NOT LIMITED TO:

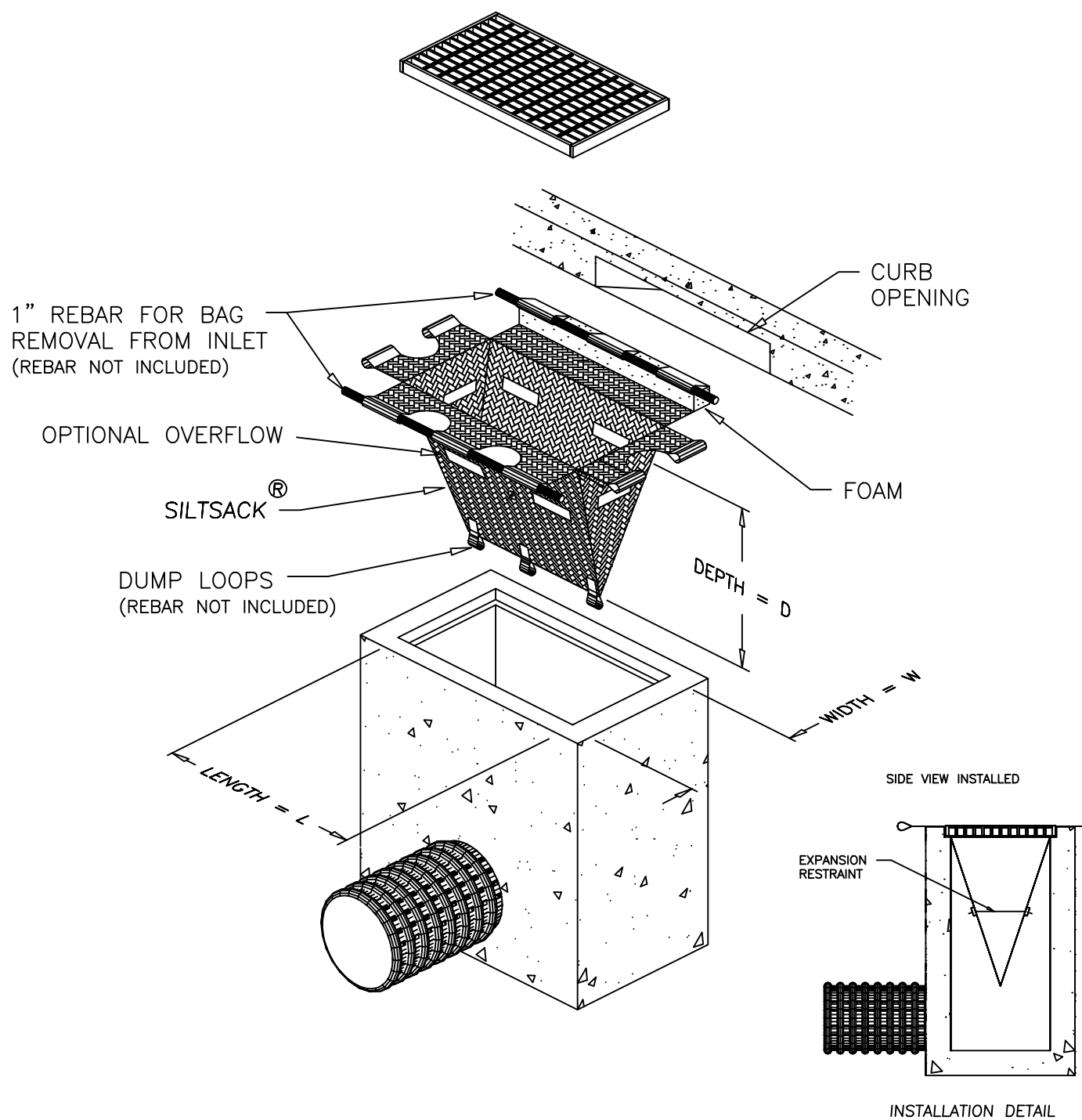
- AREAS CLEARED FOR ROADWAY CONSTRUCTION.
- AREAS CLEARED ON RESIDENTIAL BUILDING LOTS.
- DRAINAGE EASEMENTS AND OPEN DRAINAGE CHANNELS.
- SEDIMENT AND EROSION CONTROL MEASURES (SEDIMENT TRAPS, DIVERSION DITCHES, ETC.) AND THE AREAS ADJACENT TO SUCH MEASURES.

Ground Stabilization*

Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	None
Slopes 3:1 or flatter	7 days	None
All other areas with slopes flatter than 4:1	7 days	None

* "Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable" (Section 11.B(2)(b)).

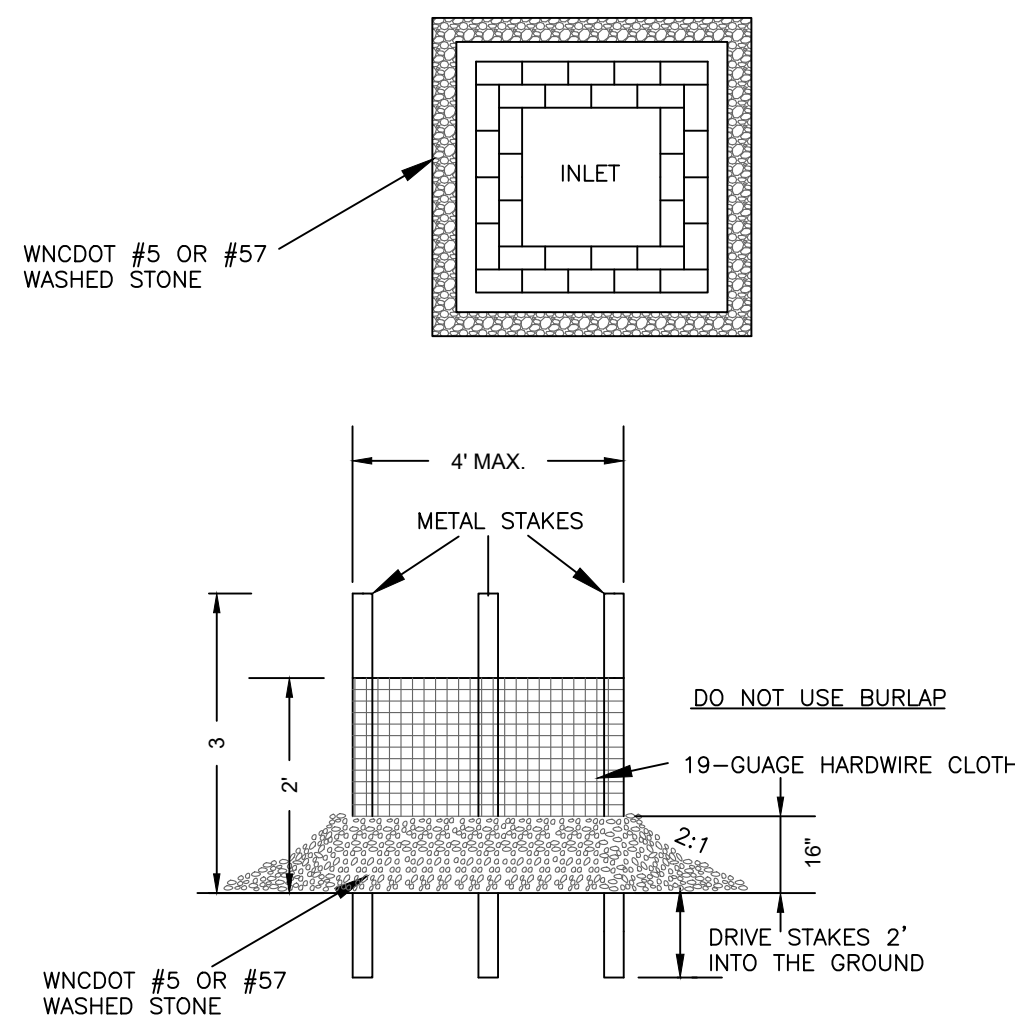
3 / SD-8.2
SEEDING SCHEDULE
NTS



MAINTENANCE

Inspect inlets at least weekly and after each significant (1/8 inch or greater) rainfall event. Clear the mesh wire of any debris or other objects to provide adequate flow for subsequent rains. Take care not to damage or undercut the wire mesh during sediment removal. Replace stone as needed.

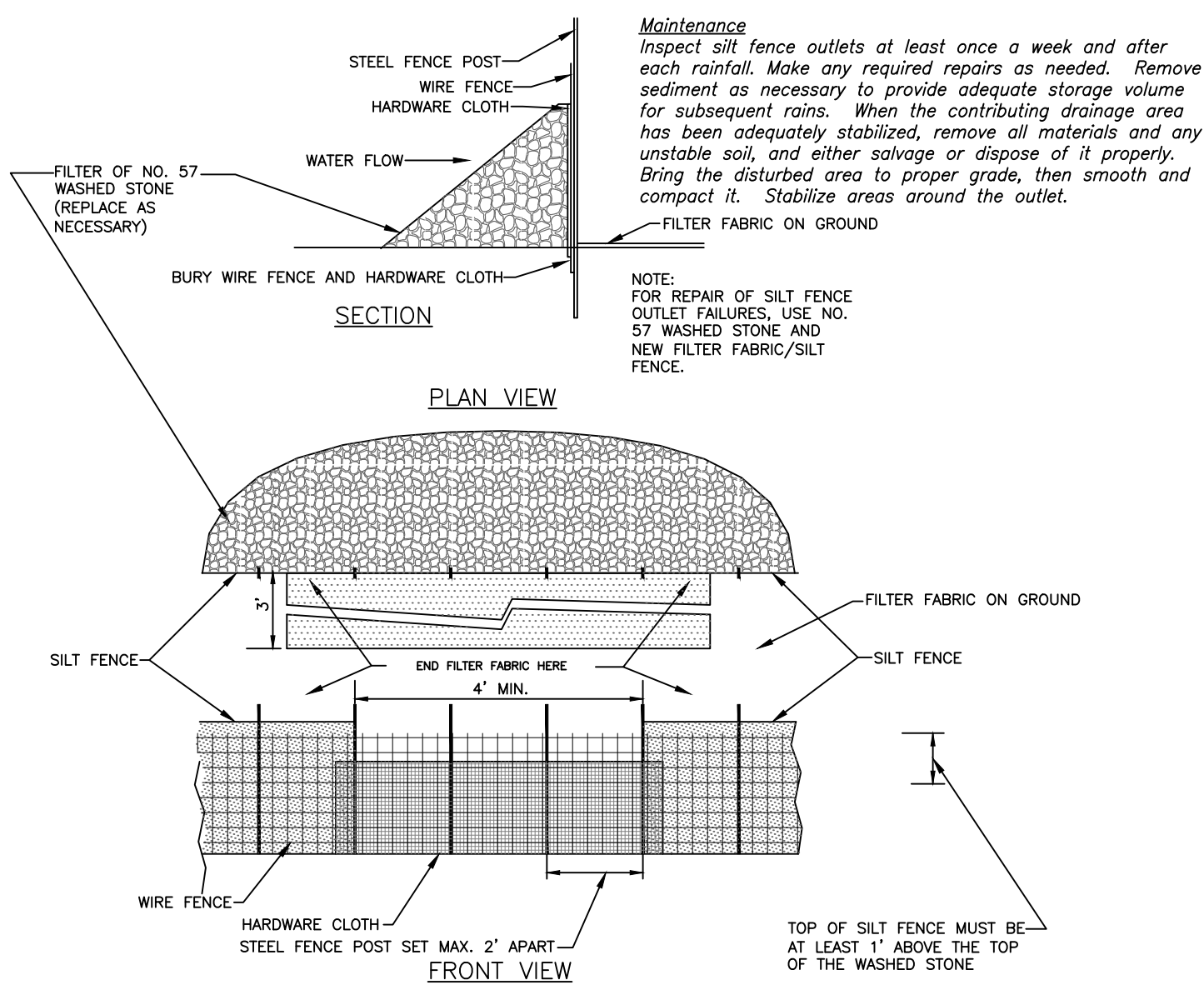
4 / SD-8.2
INLET PROTECTION - TYPE 1
NTS



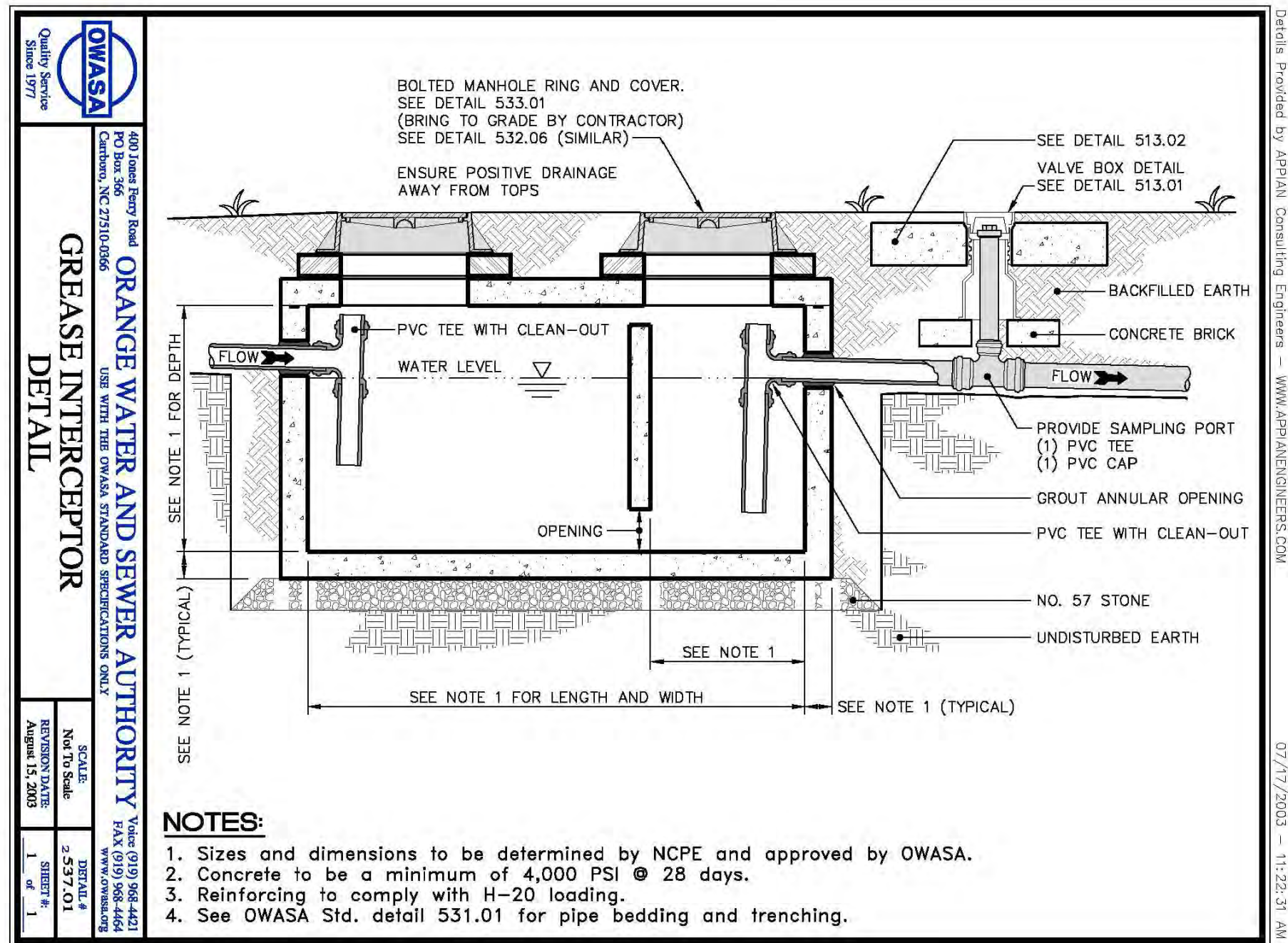
CONSTRUCTION SPECIFICATIONS

1. Uniformly grade a shallow depression approaching the inlet.
2. Drive 5-foot steel posts 2 feet into the ground surrounding the inlet. Space posts evenly around the perimeter of the inlet, a maximum of 4 feet apart.
3. Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle, and bottom. Placing a 2-foot flap of the wire mesh under the gravel for anchoring is recommended.
4. Place clean gravel (NC DOT #5 or #57 stone) on a 2:1 slope with a height of 16 inches around the wire, and smooth to an even grade.
5. Once the contributing drainage area has been stabilized, remove accumulated sediment, and establish final grading elevations.
6. Compact the area properly and stabilize it with groundcover.

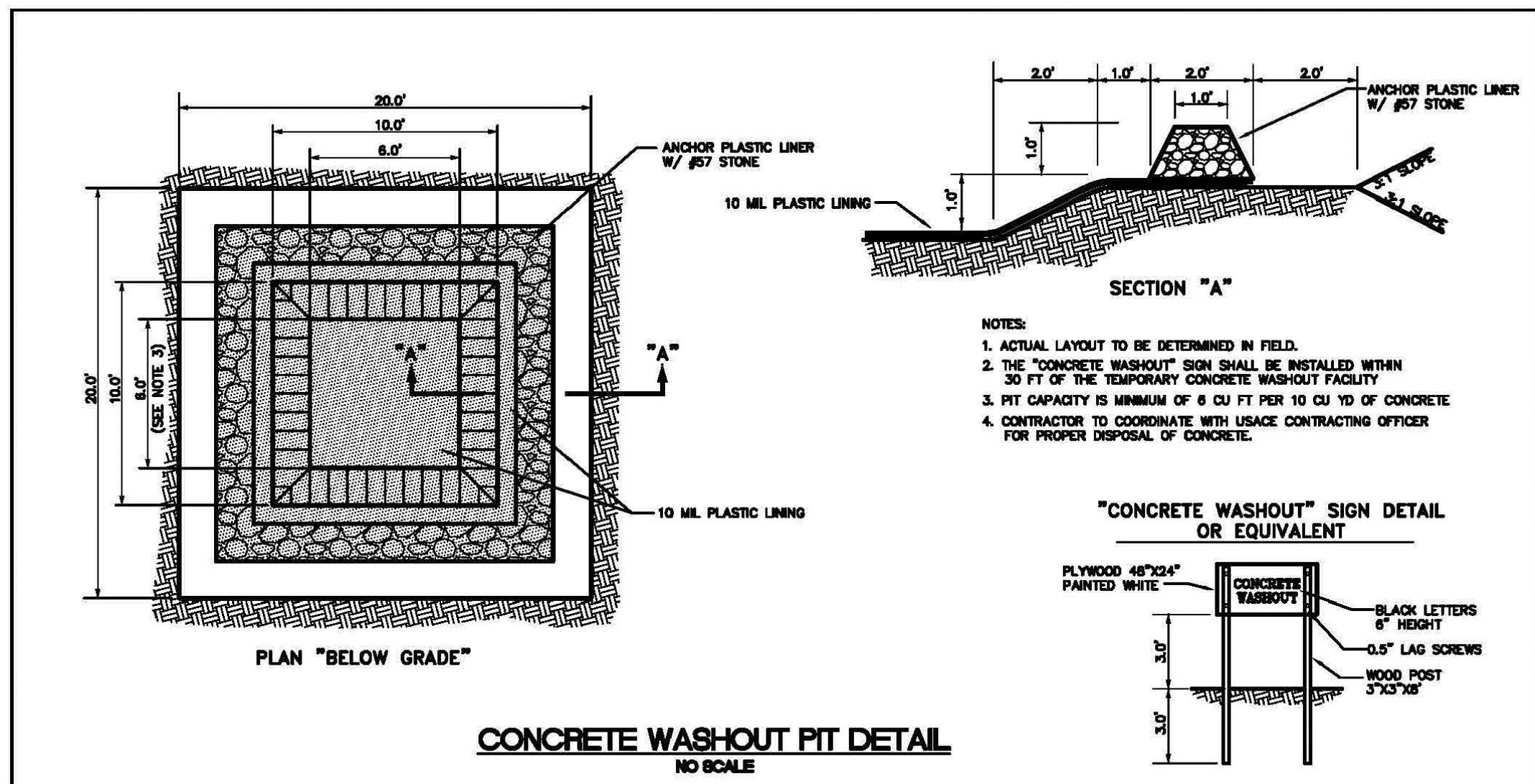
4 / SD-8.2
INLET PROTECTION - TYPE 2
NTS



5 / SD-8.2
SILT FENCE OUTLET
NTS



6 / SD-8.2
GREASE TRAP
NTS



7 / SD-8.2
CONCRETE WASH OUT
NTS



3

