

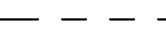
1. APPLICANT ELECTS TO PROVIDE RECYCLING SERVICES TO RESIDENTS/TENANTS OF THIS PROPERTY IN LIEU OF BUILDING A RECYCLING STATION CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS. THE SITE WILL NOT RECEIVE PUBLIC RECYCLING SERVICE AND NOW OR IN THE FUTURE UNLESS SUCH A RECYCLING STATION IS CONSTRUCTED OR CONTINGENCY FOR SUCH A STATION IS INCLUDED ON THE DEVELOPMENT PLANS.
2. APPLICANT MUST REQUIRE AT THE LEAST THE SAME LEVEL OF SERVICE (CURRENT OR FUTURE) TO ITS RESIDENTS AS THAT PROVIDED BY ORANGE COUNTY.
3. COUNTY FEES FOR RECYCLING AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROJECT/PROPERTY WILL NOT BE WAIVED.
4. APPLICANT AGREES TO ENTER INTO A SERVICE AGREEMENT WITH A PRIVATE SOLID WASTE/RECYCLING COLLECTION CONTRACTOR THAT IS ACCEPTABLE TO ORANGE COUNTY. FURTHER, THE AGREEMENT SHALL PROVIDE FOR THE COLLECTION AND RECYCLING OF COMBUSTIBLE GARBAGE AND HOUSEHOLD WASTE, UNWASHED RECYCLABLES AND AN EXECUTED COPY OF THE AGREEMENT SHALL BE PROVIDED TO AND APPROVED BY ORANGE COUNTY PRIOR TO APPROVAL OF FINAL CONSTRUCTION PLANS FOR THE PROPERTY/PROJECT.

DETAIL REFERENCE		#
	B4 C5001	1
A2 C5001		2
	A1 C5001	3
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A4 C5002		6
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	A4 C5002	15
A4 C5002		16

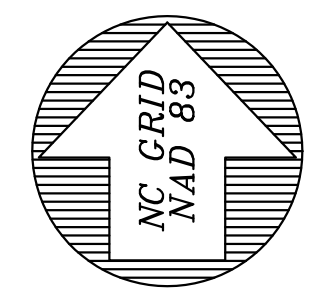
APPLICANT:		CASA	
PROPERTY OWNER:		GREENSTREET BUILDERS, INC.	
PROPERTY ADDRESS:	806 MERRITT MILL RD.	802 MERRITT MILL RD.	
PIN NUMBERS:	9778930153	9778931183	
DEED REFERENCES:	DB 4964 PG 476	DB 4964 PG 476	
EXISTING ZONING:	R-7.5		
PROPOSED ZONING:	R-2		
EXISTING USE:	VACANT		
PROPOSED USE:	1.330 MULTI-FAMILY APARTMENTS		
NET LAND AREA (NLA)	86,833 SF (1.99 AC)		
<u>RESIDENTIAL DENSITY SUMMARY:</u>			
DWELLING UNITS (DU) ALLOWED	12 (1 DU / 7,500 SF NLA)		
DU ALLOWED W/AFFORDABLE BONUS	18 (MAX. 150% OF ALLOWED)		
DU PROPOSED	24 (ALL AFFORDABLE)		
PROPOSED FLOOR AREA	±25,000 SF		
<u>VEHICLE PARKING SUMMARY:</u>		TOTAL	ACCESSIBLE
REQUIRED	±24	1 (VAN)	
PROPOSED (CARRBORO SIDE ONLY)	35	4 (1 VAN)	
PROPOSED (OVERALL SITE)	66	8 (2 VAN)	
*1 SPACE REQUIRED PER AFFORDABLE UNIT.			
<u>BICYCLE PARKING SUMMARY:</u>			
REQUIRED (1.5 SPACES PER UNIT)	36 (50% COVERED)		
PROPOSED	**16 (4 EA. Ⓢ LOWER LEVEL STAIRWELLS) **2 (Ⓢ MAIL KIOSK) 18 (9 INVERTED "U" UNCOVERED)		
TOTAL	36 (**18 COVERED)		
<u>IMPERVIOUS SUMMARY:</u>			
EXISTING	0 SF (0.000 AC)		
POST DEVELOPED TOTAL	±27,500 SF (0.631 AC)		
NET IMPERVIOUS INCREASE	±27,500 SF (0.631 AC)		

1. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE TOWN OF CARRBORO AND NCDOT STANDARDS AND SPECIFICATIONS.
2. TRUNCATED DOME ARE REQUIRED AT ALL CROSSWALKS AND RAMPS.
3. THE TOWN OF CARRBORO, ITS ASSIGNS OR THE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
4. NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED UNTIL ALL REQUIRED PUBLIC IMPROVEMENTS ARE COMPLETED.
5. CONSTRUCTION TO OCCUR IN A SINGLE PHASE.
6. FIRE LANE STRIPING TO BE COORDINATED WITH THE CARRBORO FIRE MARSHALL PRIOR TO THE ISSUANCE OF A CO PER CHAPTER 12 OF THE CARRBORO TOWN CODE.
7. PER THE NC FIRE PROTECTION CODE, AN ALL WEATHER HARD SURFACE ACCESS SHALL BE IN PLACE PRIOR TO BUILDING CONSTRUCTION.
8. SOLID WASTE & RECYCLING COLLECTION TO BE PROVIDED FOR BY A PRIVATE VENDOR.

SYMBOL / ABBREVIATION

EXISTING	PROPOSED	DESCRIPTION
		IRON PIPE/PROPERTY CORNER
		BUILDING SETBACK
		SIGN SETBACK
		PROPERTY LINE
		RIGHT-OF-WAY
		EASEMENT
		EPHEMERAL STREAM
		STREAM BUFFER
		CU-REZONING/CUP AREA
		OPEN SPACE

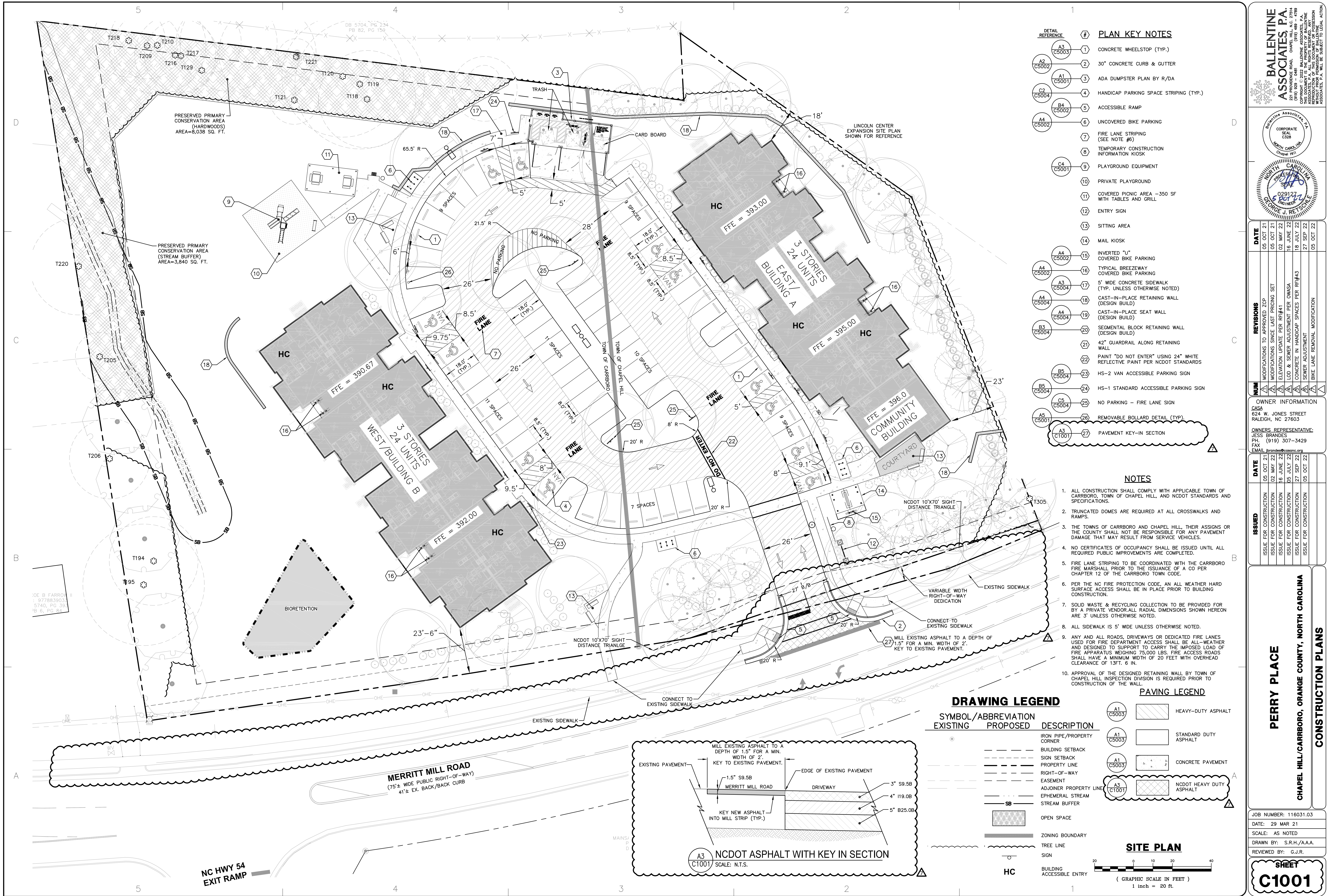
1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE (WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS) SHALL BE LICENSED BY ORANGE COUNTY.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL ATTEND A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.



**REVIEW DRAWING
NOT FOR CONSTRUCTION**

$$\begin{array}{l} \text{H: } 1'' = 4' \\ \text{V: } 1'' = 2' \end{array}$$

A-A
C1001



- PLAN KEY NOTES**
- 1 CONCRETE WHEELSTOP (TYP.)
 - 2 30" CONCRETE CURB & GUTTER
 - 3 ADA DUMPSTER PLAN BY R/DA
 - 4 HANDICAP PARKING SPACE STRIPING (TYP.)
 - 5 ACCESSIBLE RAMP
 - 6 UNCOVERED BIKE PARKING
 - 7 FIRE LANE STRIPING (SEE NOTE #6)
 - 8 TEMPORARY CONSTRUCTION INFORMATION KIOSK
 - 9 PLAYGROUND EQUIPMENT
 - 10 PRIVATE PLAYGROUND
 - 11 COVERED PICNIC AREA - 350 SF WITH TABLES AND GRILL
 - 12 ENTRY SIGN
 - 13 SITTING AREA
 - 14 MAIL KIOSK
 - 15 INVERTED "U" COVERED BIKE PARKING
 - 16 TYPICAL BREEZEWAY COVERED BIKE PARKING
 - 17 5' WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
 - 18 CAST-IN-PLACE RETAINING WALL (DESIGN BUILD)
 - 19 CAST-IN-PLACE SEAT WALL (DESIGN BUILD)
 - 20 SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)
 - 21 42" GUARDRAIL ALONG RETAINING WALL
 - 22 PAINT "DO NOT ENTER" USING 24" WHITE REFLECTIVE PAINT PER NCDOT STANDARDS
 - 23 HS-2 VAN ACCESSIBLE PARKING SIGN
 - 24 HS-1 STANDARD ACCESSIBLE PARKING SIGN
 - 25 NO PARKING - FIRE LANE SIGN
 - 26 REMOVABLE BOLLARD DETAIL (TYP.)
 - 27 PAVEMENT KEY-IN SECTION

- NOTES**
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE TOWN OF CARBORO, TOWN OF CHAPEL HILL, AND NCDOT STANDARDS AND SPECIFICATIONS.
 - TRUNCATED DOMES ARE REQUIRED AT ALL CROSSWALKS AND RAMPS.
 - THE TOWNS OF CARBORO AND CHAPEL HILL, THEIR ASSIGNS OR THE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
 - NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED UNTIL ALL REQUIRED PUBLIC IMPROVEMENTS ARE COMPLETED.
 - FIRE LANE STRIPING TO BE COORDINATED WITH THE CARBORO FIRE MARSHALL PRIOR TO THE ISSUANCE OF A CO PER CHAPTER 12 OF THE CARBORO TOWN CODE.
 - PER THE NC FIRE PROTECTION CODE, AN ALL WEATHER HARD SURFACE ACCESS SHALL BE IN PLACE PRIOR TO BUILDING CONSTRUCTION.
 - SOLID WASTE & RECYCLING COLLECTION TO BE PROVIDED FOR BY A PRIVATE VENDOR. ALL RADIAL DIMENSIONS SHOWN HEREON ARE 3' UNLESS OTHERWISE NOTED.
 - ALL SIDEWALK IS 5' WIDE UNLESS OTHERWISE NOTED.
 - ANY AND ALL ROADS, DRIVEWAYS OR DEDICATED FIRE LANES USED FOR FIRE DEPARTMENT ACCESS SHALL BE ALL-WEATHER AND DESIGNED TO SUPPORT TO CARRY THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 75,000 LBS. FIRE ACCESS ROADS SHALL HAVE A MINIMUM WIDTH OF 20 FEET WITH OVERHEAD CLEARANCE OF 13FT. 6 IN.
 - APPROVAL OF THE DESIGNED RETAINING WALL BY TOWN OF CHAPEL HILL INSPECTION DIVISION IS REQUIRED PRIOR TO CONSTRUCTION OF THE WALL.

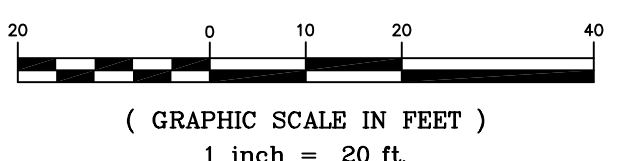
DRAWING LEGEND

SYMBOL/ABBREVIATION	DESCRIPTION
EXISTING	IRON PIPE/PROPERTY CORNER
PROPOSED	BUILDING SETBACK
	SIGN SETBACK
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT
	ADJOINER PROPERTY LINE
	EPHEMERAL STREAM
	STREAM BUFFER
	OPEN SPACE
	ZONING BOUNDARY
	TREE LINE
	SIGN
	BUILDING ACCESSIBLE ENTRY

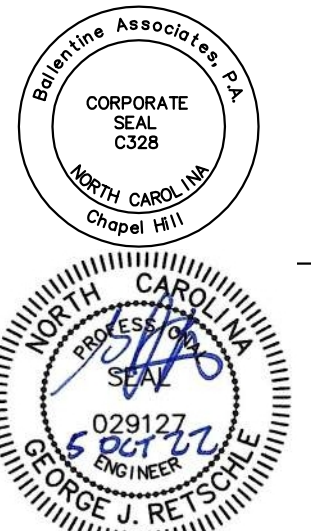
PAVING LEGEND

A1 C5003	HEAVY-DUTY ASPHALT
A1 C5003	STANDARD DUTY ASPHALT
A1 C5003	CONCRETE PAVEMENT
A3 C1001	NCDOT HEAVY DUTY ASPHALT

SITE PLAN



BALLENTINE ASSOCIATES, P.A.
2140 W. JONES STREET
RALEIGH, NC 27603
(919) 929-0481
FAX: (919) 929-0481
WWW.BALLENTINEASSOCIATES.COM



DATE	REVISIONS
05 OCT 21	MODIFICATIONS TO APPROVED ZCP
05 OCT 21	MODIFICATIONS SINCE LAST PRICING SET
02 MAY 22	ELEVATION UPDATE PER RF#41
16 JUNE 22	LOD & SEWER ADJUSTMENT PER OWASA
16 JUNE 22	CONCRETE IN HANDICAP SPACES PER RF#43
18 JULY 22	SEWER ADJUSTMENT
27 SEP 22	BIKE LANE REMOVAL MODIFICATION
05 OCT 22	

OWNER INFORMATION
DAS
624 W. JONES STREET
RALEIGH, NC 27603
OWNERS REPRESENTATIVE:
JESS BRANDES
PH. (919) 307-3429
FAX: (919) 307-3429
EMAIL: jbrandes@ccagnc.org

DATE	ISSUED
05 OCT 21	ISSUE FOR CONSTRUCTION
02 MAY 22	ISSUE FOR CONSTRUCTION
16 JUNE 22	ISSUE FOR CONSTRUCTION
05 JULY 22	ISSUE FOR CONSTRUCTION
27 SEP 22	ISSUE FOR CONSTRUCTION
05 OCT 22	

PERRY PLACE
CHAPEL HILL/CARBORO, ORANGE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS

JOB NUMBER: 116031.03
DATE: 29 MAR 21
SCALE: AS NOTED
DRAWN BY: S.R.H./A.A.A.
REVIEWED BY: G.J.R.

SHEET
C1001