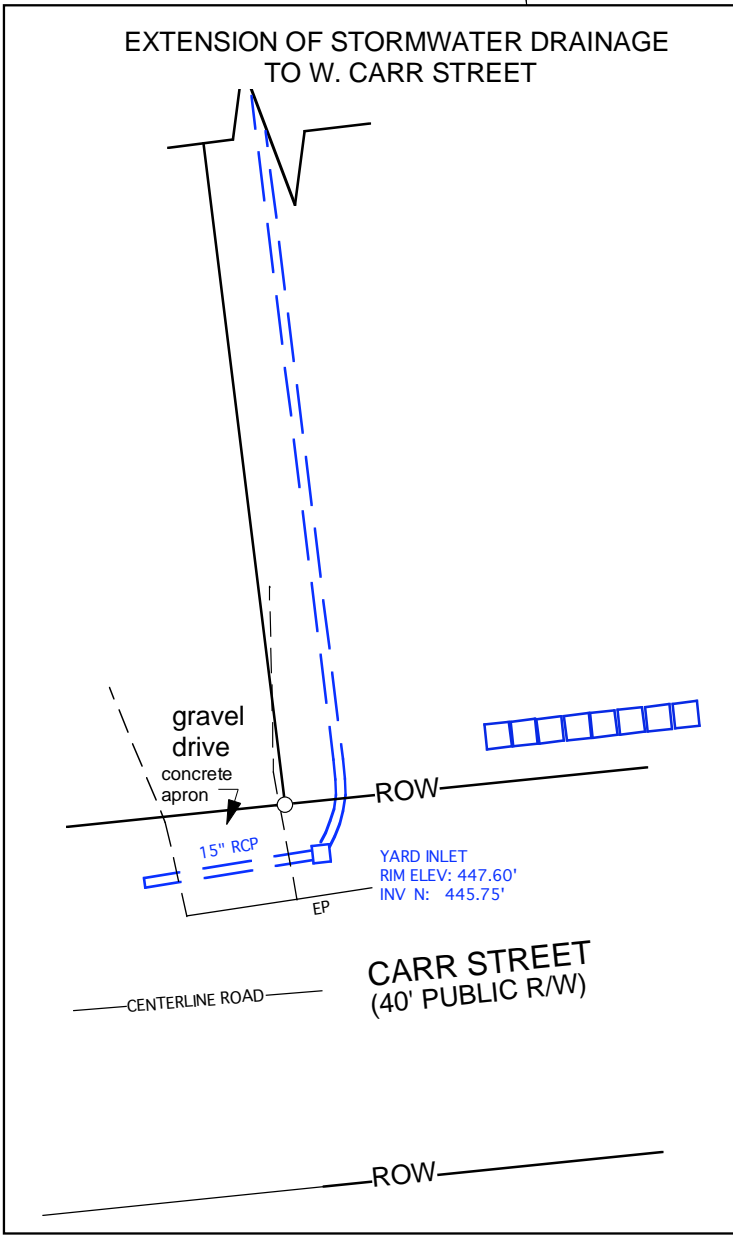


Demolition Notes

- 1 remove existing concrete
- 2 remove existing tree
- 3 remove existing plantings
- 4 remove existing ramp

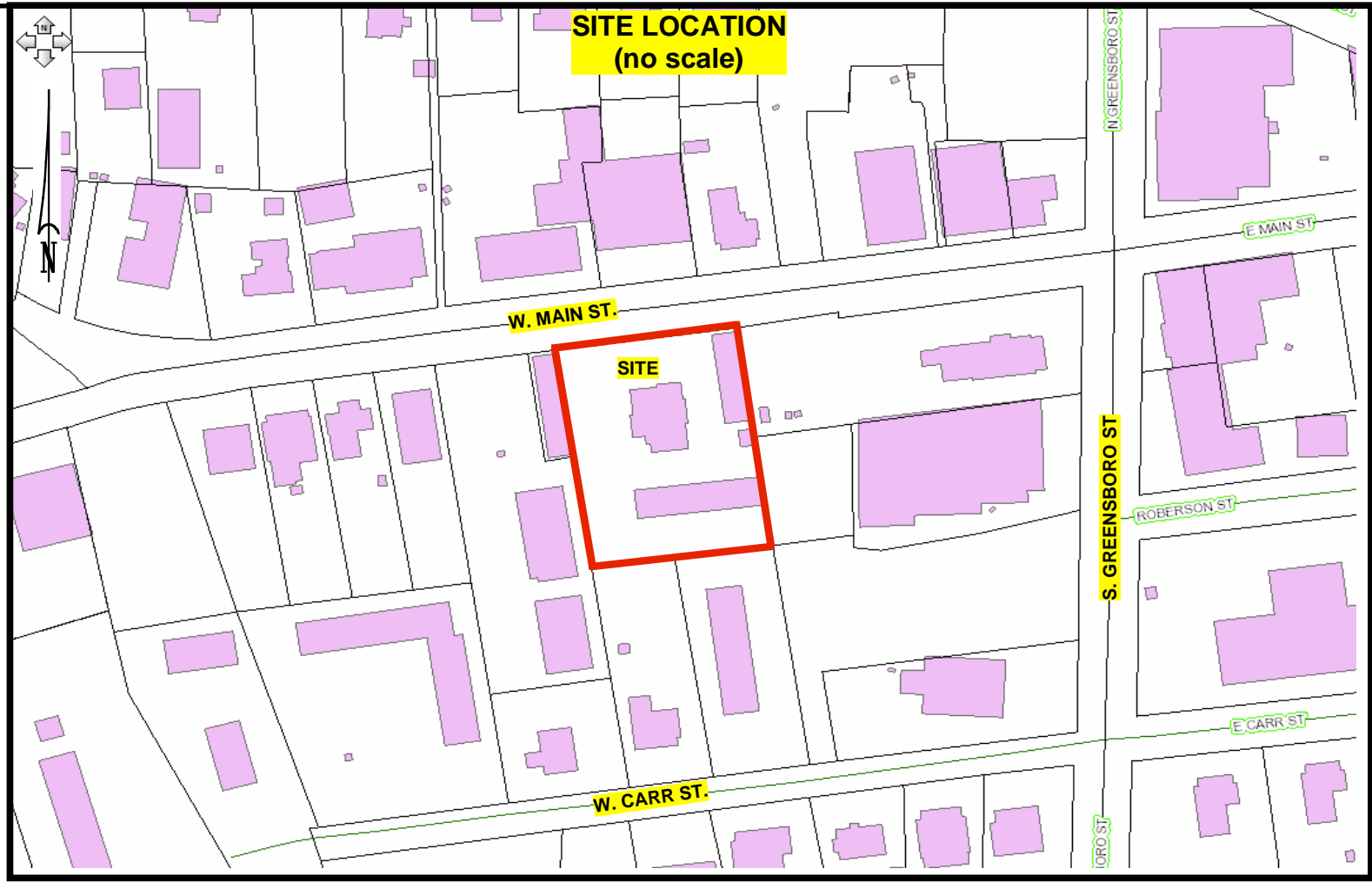
Tree Legend

- A - 8" hardwood, multi
- B - 8" maple
- C - 8" maple
- D - 14" hardwood, multi
- E - 6" hardwood, multi
- F - 24" maple
- G - 8" hardwood, multi
- H - 6" hardwood, multi
- I - 18" cedar
- J - 18" hardwood
- K - 12" cedar
- L - 10" hardwood
- M - 4" hardwood, multi
- N - 4" hardwood, multi
- O - 4" hardwood, multi
- P - 4" hardwood, multi
- Q - (4) crape myrtles



Existing Conditions 1" = 20'

PRELIMINARY-NOT FOR RECORDING OR CONVEYANCE



Project Summary

Owner - Club Nova Community Inc.  
Applicant - Jack Haggerty, Architect Inc.  
Permit Sought - Modification to Conditional Use Permit (no addition of uses)  
Address: 103 W. Main St., Carrboro, NC 27510  
PIN & Tract Size : All proposed work is on Unit 1, 2 and Common Area  
9778862027 - 0.66 ac. / 28,775 s.f.  
9778862027.001 - Unit 1 - 0.195 ac. / 8,477 s.f.  
9778862027.002 - Unit 2 - 0.066 ac. / 2,889 s.f.  
9778862027.003 - Unit 3 - 0.236 ac. / 10,303 s.f.  
Common Area - 0.163 ac. / 7,106 s.f.  
Zoning District: B-IG  
Overlay Zoning Districts: None  
Existing Permitted Use Categories: 1.340 (SRO), 2.110 (retail), 3.110 (office)  
Proposed Uses: No new proposed uses  
Maximum Building Height Permitted: 4 stories  
Building Height: 2 story  
Building Size - Clubhouse - 1,827 s.f. (existing)  
Annex - 1 st. flr. - 1,740; 2nd flr. - 1,740 Total - 3,480 s.f. (existing)  
New Addition to Annex - 1 st. flr. - 791; 2nd flr. - 828 Total - 1,619 s.f. (proposed)  
Total Annex Area - 5,099 s.f. ( new and proposed)  
Building Setbacks - B-1-g - no property line setbacks, except 30' from street centerline, 10' from rear if adjoining property zoned R-7.5

Parking Summary

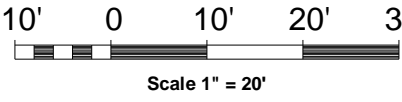
Required (presumptive)  
Clubhouse - 2,000 use, retail (Thrift Shop)- 1,827 s.f./ 1 space for 300 gross square feet 6 spaces  
Annex (incl. new Addition) - 3,000 use, office (CN project space) - 5,071 s.f./ 1 space for 400 gross square feet 13 spaces  
Apartments - 1.340 (apartments - SRO) 24 units/ 1 space for every 4 units 6 spaces  
Total Presumptively Required 25 spaces  
Provided 8 standard spaces  
1 compact space  
1 H/C w/ aisle  
10 parking spaces on site  
Total Provided on Site 19 spaces  
Total Satellite Parking - off-site parking agreements will be finalized and a parking justification letter will be submitted prior to Joint Advisory Board meeting.  
Total Parking Provided 6 total

Miscellaneous Project Notes

Owner will maintain property in accordance with Carrboro Land Use Ordinance Section 15-67 so that all facilities described in this document can be used or will perform in manner intended.  
Developer/Owner/Contractor is required to schedule and coordinate an on-site Pre-Construction Meeting prior to site disturbance w/ representatives of all approving applicable agencies.  
Developer/Owner/Contractor is required to provide appropriate and sufficient controls to alleviate depositing mud, stone and other construction related materials on public roadway surfaces. Any materials deposited on the roadway shall be removed promptly either manually, mechanically and/or street washing.  
All construction vehicles, equipment and related materials cannot be placed, stored and/or kept within any portion of the public right of way at any time. All on-site materials shall be secured and confined to the lot under construction.  
All outdoor lighting is required to meet the applicable requirements of Article XV of the Town of Carrboro Land Use Ordinance  
Fire lane striping, as needed, will be coordinated with the Fire Marshal prior to the issuance of a CO per Chapter 12 of the Carrboro Town Code.  
An all-weather travel surface must be in place on the roadway prior to receiving building permits.  
Per §15-67; The recipient of any zoning, special use, conditional use or sign permit or his successor, shall be responsible for maintaining all common areas, improvements or facilities required by this chapter or any permit issued in accordance with its provisions, except those areas, improvements or facilities with respect to which an offer of dedication to the public has been accepted by the appropriate public authority. As illustrations, and without limiting the generality of the foregoing, this means that private roads and parking areas, water and sewer lines, and recreational facilities must be properly maintained so that they can be used in the manner intended, and required vegetation and trees for screening, landscaping, or shading must be replaced if they die or are destroyed.

Sheet Index (C-3 & C-4 contain standard Town of Carrboro and NCDOT construction details. These sheet will be submitted at construction plan review.)

- EC-1 - Existing Conditions, Demolition Notes, Project Notes
- SP-1 - Enlarged Site Plan, Shading & Screening Notes
- C-1 - Site Modifications - Drainage
- C-2 - Site Modifications - Utilities
- C-5 - Erosion Control
- A-2 - Preliminary Floorplans
- A-3 - Preliminary Elevations



2 foot contour interval

LEGEND

- stream buffer
- spot elevations - existing
- spot elevations - proposed
- exis ing on ours
- proposed on ours
- planting screening
- deciduous tree
- roof drain
- dis urbed area
- tree protection fence
- sil fence
- check dam
- bio garden
- power pole
- fire hydrant
- gas pipe
- RCP (SW)
- stormwater
- sanitary sewer
- water
- bicycle rack
- stormwater detention
- Denotes Approx Tree Line

All topographic and boundary information is from survey drawings provided by Freehold Surveyors dated various 2012-2014 and from field measurements. A guarantee of accuracy is not implied or intended. Prior to beginning field activities, contractor should verify locations of all existing easements, utilities, structures, and other appurtenances both aboveground and below. I will be contractor's responsibility to report deviations from design drawings. Contractor will be responsible for repairs to damages and site restoration.

PRELIMINARY NOT FOR CONSTRUCTION

SGI Technical Services

200 North Greensboro Street Suite B 13A  
Carrboro, NC 27510  
phone: (919) 942 7612 fax: (919) 942 3647  
email: stevena@sgitech.net

Project Name

CLUB NOVA ADDITION and SITE WORK CUP Modification

Developer/Owner/Applicant

CLUB NOVA Community INC.  
103 W. MAIN ST.  
CARRBORO, NC 27510

Drawing Title

EXISTING CONDITIONS

Revisions

Number	Description	Date
submittal 1	initial submittal	Oct 2013
submittal 2	second submittal	May 2014
submittal 3		

Drawn by

SAA

Checked by

Sheet

Date

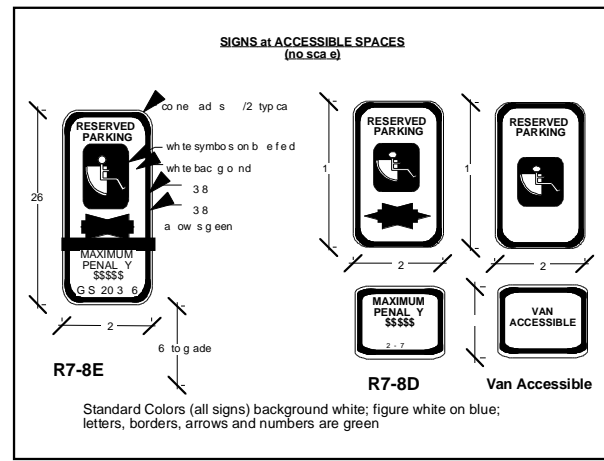
23 April 2014

Scale

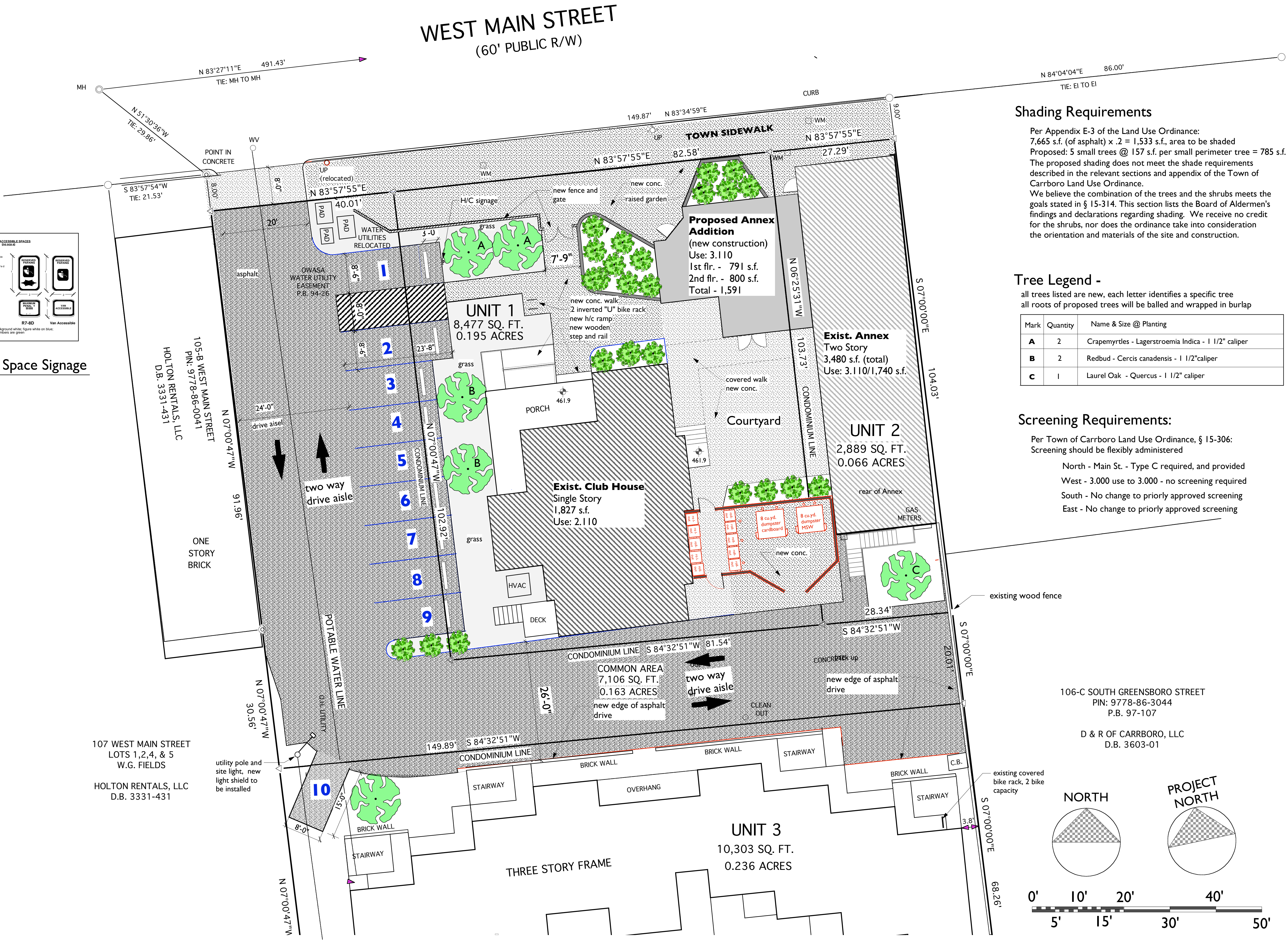
1"=20'

EC-1





Accessible Space Signage



Site Plan - 1" = 10'

Shading Requirements

Per Appendix E-3 of the Land Use Ordinance:  
7,665 s.f. (of asphalt) x .2 = 1,533 s.f., area to be shaded  
Proposed: 5 small trees @ 157 s.f. per small perimeter tree = 785 s.f.  
The proposed shading does not meet the shade requirements described in the relevant sections and appendix of the Town of Carrboro Land Use Ordinance.  
We believe the combination of the trees and the shrubs meets the goals stated in § 15-314. This section lists the Board of Aldermen's findings and declarations regarding shading. We receive no credit for the shrubs, nor does the ordinance take into consideration the orientation and materials of the site and construction.

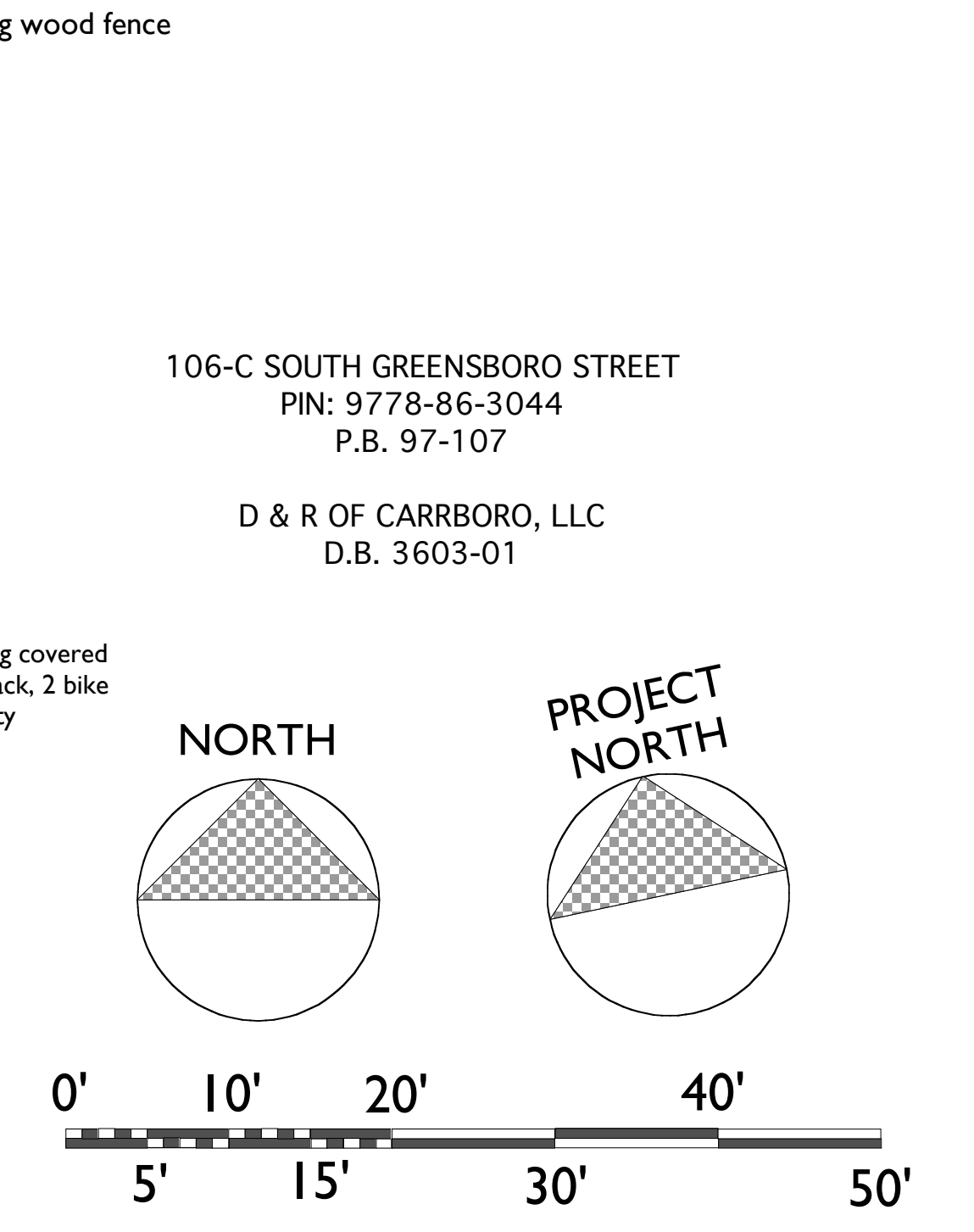
Tree Legend -

all trees listed are new, each letter identifies a specific tree  
all roots of proposed trees will be balled and wrapped in burlap

Mark	Quantity	Name & Size @ Planting
A	2	Crapemyrtles - Lagerstroemia Indica - 1 1/2" caliper
B	2	Redbud - Cercis canadensis - 1 1/2" caliper
C	1	Laurel Oak - Quercus - 1 1/2" caliper

Screening Requirements:

Per Town of Carrboro Land Use Ordinance, § 15-306:  
Screening should be flexibly administered  
North - Main St. - Type C required, and provided  
West - 3.000 use to 3.000 - no screening required  
South - No change to priorly approved screening  
East - No change to priorly approved screening



Jack Haggerty, Architect  
205 W. Main St., Ste 213, Carrboro, NC 27510  
919 967 -5191 jack@jackhaggertyarchitect.com

Addition and sitework for  
Club Nova Community Inc  
103 W. Main St.  
Carrboro, NC  
owner: Club Nova Community Inc., T. 919 967-6985, F. 919 968-2522

Modification to an  
Existing  
Conditional  
Use Permit

Oct. 2, 2013  
April 18, 2014  
SP-1



General Notes

1. Prior to any construction within the right-of-way, owner will secure permit from NCDOT and/or Town of Carrboro.
2. Disturbed areas within rights-of-way shall be repaired (by contractor) as specified by NCDOT and/or Town of Carrboro DPW.
3. Owner will maintain property in accordance with Carrboro Land Use Ordinance Section 15-67 so that all facilities described in this document can be used or will perform in manner intended.
4. Property owner will store large construction vehicles and equipment on site owner's property.
5. Owner/Developer will coordinate pre-construction meetings with applicable local approving agencies prior to site disturbance.
6. Existing driveway turnouts shall be removed and replaced per Town of Carrboro specifications for 6" vertical curb with standard 24" gutter. Sidewalks will be repaired/replaced/installed in accordance with Town standards. Town Department of Public Works shall be contacted in advance of all removals for inspections (DPW, David Poythress 968-7716). Driveway permits, obtainable from DPW, and/or NCDOT, as applicable, will be required, prior to installation of new driveways.
7. All damages to Public Infrastructure shall be restored in accordance with Town of Carrboro standards. Approval by Town representative shall be required prior to issuance of CO.
8. Construction vehicles, equipment, and related materials shall not be delivered, temporarily placed or stored within any portion of the public right-of-way. All materials stored on-site shall be confined and secured.
9. Signage will not be part of the project. No sign permit is being sought at this time.

Pavement Repairs

1. NOTE: Adhere to recommended controls for traffic closure whenever construction activities impact or take place upon E. Main St. See typical asphalt pavement repair detail on sheet C-3.
2. All work within E. Main St. R.O.W. shall be reviewed and coordinated with NCDOT and/or Carrboro Public Works. Contact Street Superintendent David Poythress at 919-7432, prior to any disturbance within the public right-of-way.
3. Asphalt cuts shall be sharp and neat. Asphalt pavement and subgrade shall be restored to original or design elevation and condition in accordance with the regulations of the Town of Carrboro Development Ordinance, NCDOT requirements and in cooperation with the TOC Department of Public Works.
4. Subgrade and fill below it must be replaced with suitable, compactable material placed and compacted in maximum 8 inch lifts. Upper 6 inches of subgrade shall be compacted to 100% AASHTO T99 as confirmed by independent test. Fill that is found to be loose, or soft, or composed of unsuitable materials must be replaced.
5. Unless directed otherwise by Department of Public Works, base course shall consist of 8 inch thickness of NCDOT Type ABC crushed stone. Stone shall be free of foreign materials and shall be handled and placed in 4 inch lifts, watered if necessary, and compacted to 100% AASHTO T99 specifications in accordance with NCDOT guidelines.
6. Pavement surfaces shall meet NCDOT specifications for Type 1-2 asphalt or NCDOT approved equivalent. The asphalt shall be handled and placed in a single 2 inch layer in accordance with NCDOT guidelines.

Erosion & Sediment Control

1. Owner/developer is required to adhere to NC Sediment Control Act, the Orange County Soil Erosion and Sedimentation Ordinance and Sections 15-262 and 15-264 of the TOC LUO. Owner/Developer shall provide site controls to prevent off-site sediment migration including temporary stone construction entrances to minimize or eliminate transport of sediments from site to public right-of-way. Public road and sidewalk surfaces shall be continually maintained and kept clear of debris and sediments.
2. During construction activities, owner/contractor shall install temporary Dandy Curb Bags or approved equivalent inlet protection devices at each area inlet or catch basin that may intercept surface runoff from the construction site. Note: protect all inlets that may be affected around site perimeter.
3. During construction activities, owner/contractor shall install temporary Check Dams in roadside ditches that may intercept surface runoff from the construction site.
4. Construction entrances shall be constructed as shown in detail on sheet C-3.
5. Collected runoff or groundwater water that is pumped from site must be discharged through approved sediment filtering bag.

Site Grading and Soil Replacement

1. Subgrade repairs will be necessary where high plasticity or other soils not suitable for supporting structures are encountered.
2. Following removal of existing structures, gravel, asphalt and concrete, a licensed Geotechnical engineer shall direct and approve all excavation and soil repairs/replacement.
3. All soils from either on or off-site that are used as structural fill must be approved by Geotechnical engineer. Adequate soil placement and soil density must be verified by third party testing.
4. Slabs-on-grade support - Minimum 4" thickness stone placed beneath concrete slabs (minimum 6" beneath parking area) shall be ABC, not #57 or #67. No high plasticity soils shall be present within final 12-inches of soil subgrade. Adequate compaction shall be verified by third party.
5. Parking lot paving - Use 2-in thickness 1-2 or equivalent asphalt over minimum 8-in stone base. In traffic aisles or areas subject to light truck traffic, use 3-in thickness 1-2 or equivalent asphalt over minimum 8-in stone base. Pavement in areas subject to heavy truck loading should be 2-in 1-2 asphalt over 2" binder and 8-in ABC.
6. All areas to be paved or re-paved shall be pre-rolled in presence of geotechnical engineer prior to placement of base coarse stone. Soil repair shall be directed by engineer. In all cases, adequate subgrade support and compactive effort shall be verified by third party testing.
7. If dewatering such as trenching, ditching, sumping and/or pumping is required to control surface water and/or groundwater during construction, note 5 under Sediment and Erosion Control will apply.

Pipe, Valve & Inlet Installation

1. All RCP shall be Class III or stronger. Alternate drainage pipe materials must be pre-approved by engineer/architect/TOC.
2. Manufacturer's recommendations for pipe and material loading, unloading, storage, handling and installation are assumed part of this specification.
3. Where feasible, existing stormwater piping may be integrated into new subsurface stormwater system. Pipes, inlets or any other ancillary equipment that might be re-used must be approved in advance by the Town DPW if proposed use is within or connected to the public stormwater drainage system. For other possible re-use, advance approval by owner/architect/engineer will be required.
4. Material and installation requirements as specified in the NC Fire, Plumbing, Mechanical, Electrical and Building Codes will apply.
5. Drainage Structures - Where applicable, all street storm water curb inlet hoods shall have the following message imprinted into the casting - fish logo with "Dump No Waste - Drains to Jordan Lake". Public storm water manholes shall have the following imprinted into the casting - "Town of Carrboro - Entry Permit Required - Storm Water - Danger". Private manholes/covers shall replace "Town of Carrboro" with "Private".
6. All public street water valves, sanitary and storm sewer manhole adjustments and new installations require that concrete stabilization pads be placed around the utility access points within the roadway. Refer to OWASA Stds. 513.02 and 532.06-1.

Handicapped curb cut/sidewalk connections

1. The required detectable truncated zone surfacing within the approach ramp must be red modular truncated dome units set on 4" thick 3000 psi concrete with bedding sand.
2. Slopes of access ramps shall be maximum 12(h):1(v) in all cases.

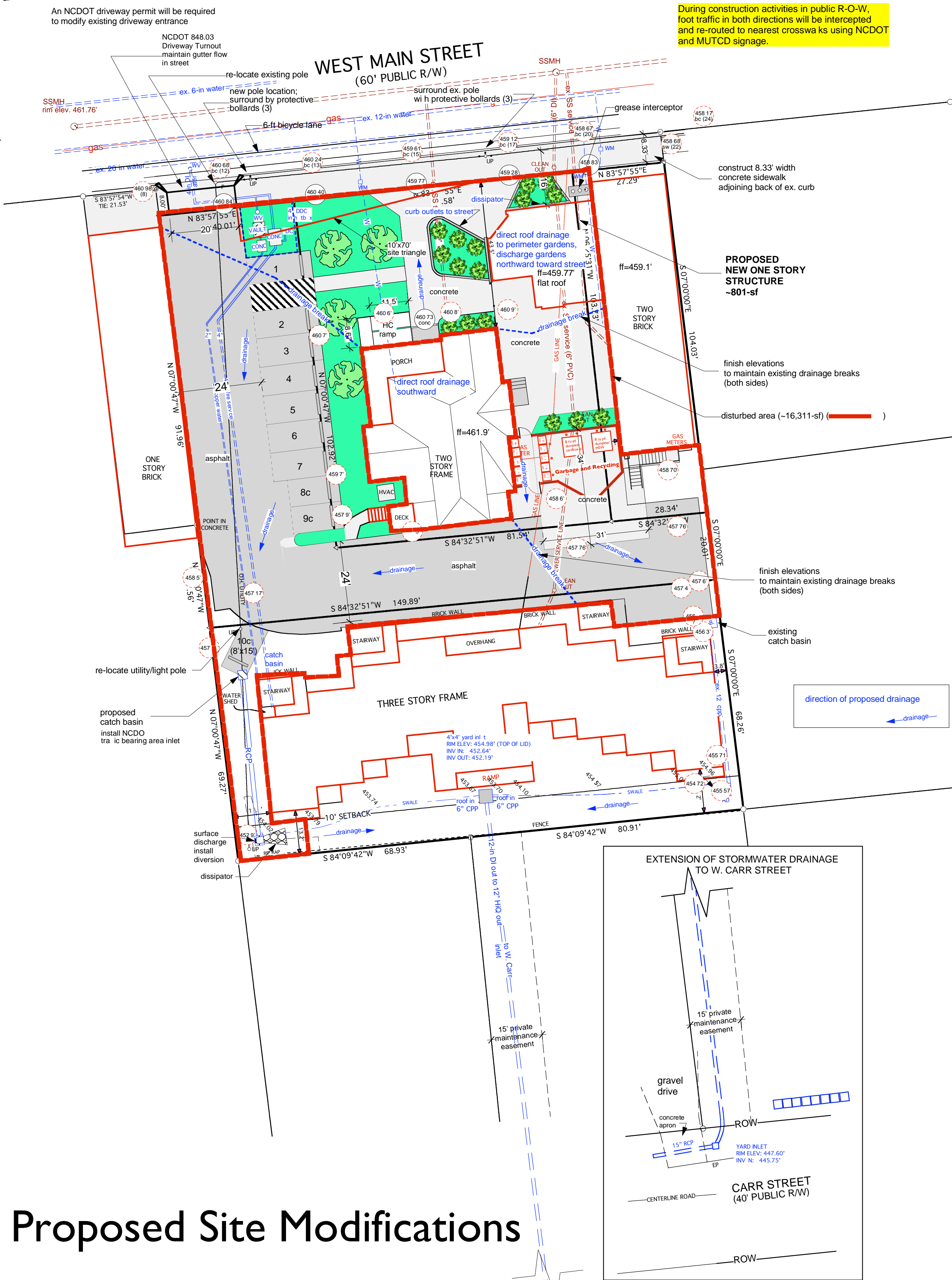
NCDOT

1. All curbs and gutter, drainage, sidewalk, and wheel chair ramps, etc. within the NCDOT right of way shall meet NCDOT standards.
2. No work shall be performed prior to issuance of approved NCDOT encroachment agreements. Encroachment agreements shall be issued upon receipt of approved plans and any necessary performance bonds.

Pre-Construction Meeting

Prior to any demolition or construction activity on the site, applicant will hold a pre-demolition, pre-construction conference that includes representatives of OC Solid Waste, OC Erosion Control Division, NCDOT, Town of Carrboro DPW, Town of Carrboro Inspections and Zoning, the mechanical grading and utility contractors, the Project Engineer and Architect, and other involved parties.

CONTACT the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.



During construction activities in public R.O.W., foot traffic in both directions will be intercepted and re-routed to nearest crosswalks using NCDOT and MUTCD signage.

Site Description

1. Name: Club Nova
2. Address: 103 W. Main St, Carrboro, NC 27510  
owner address: same
3. Parcel ID: PIN #9778862027
4. Area: 0.66-ac +/- (-28,775-sf)
5. Application: CUP
6. Zoning: B1(g)
7. Existing Use: commercial, residential development
8. Soil Type: LuB, Iredell Urban, slopes 1%-8%

Required Setbacks for B1(g) Zone

sides: 0-ft  
front: 30-ft from street centerline  
rear: 10-ft (setback for adjoining zoning district)

DRAINAGE SUMMARY

SITE (no donations): 0.66-ac. (28,775-sf)

pre-development impervious surfaces:  
buildings (3): 9,717-sf  
concrete pads: 146-sf  
pavement (conc.): 9,105-sf  
TOTAL pre-development site impervious: 18,968-sf (66%)  
pre-dev. portion draining to E. Main Street: 2,544-sf

post-development impervious surfaces:  
buildings (4): 10,518-sf  
concrete incl pads: 3,484-sf  
pavement (asph): 7,798-sf  
TOTAL post-development impervious: 21,788-sf (76%)  
post-dev. portion draining to E. Main Street: 2,591-sf

TOTAL increased impervious surface: 2,820-sf  
increased impervious flow southward (W. Carr): 2,773-sf  
increased impervious flow northward (E. Main): 47-sf

TOTAL post-development impervious flow southward: 19,197-sf  
TOTAL post-development impervious flow northward: 2,591-sf

design impervious for 12-in pipe to W. Carr St: 20,771-sf  
post-construction impervious areas flowing to 12" pipe: 19,197-sf

NOTE: Estimated disturbed area is 16,311-sf. According to North Carolina General Statutes and Sections 262 and 264 of the Town of Carrboro LUO, the site owner/developer and contractor are required to mitigate any and all issues related to drainage, sedimentation, and erosion control caused by the proposed project.

NOTE: Prior to issuance of a Certificate of Occupancy, all installed stormwater systems and BMPs must be certified by the Engineer of Record as constructed in accordance with the Approved Construction Plans. Upon completion of project, As-Built Construction drawings must be provided to the Town of Carrboro and to OWASA.

10' 0' 10' 20' 30'

Scale 1" = 20'

2 foot contour interval

LEGEND

- stream buffer
- spot elevations - existing
- spot elevations - proposed
- existing contours
- proposed contours
- planting screening
- deciduous tree
- roof drain
- disturbed area
- tree protection fence
- silt fence
- check dam
- bio garden
- power pole
- fire hydrant
- gas pipe
- stormwater
- sanitary sewer
- water
- bicycle rack
- stormwater detention
- Denotes Approx. Tree Line

All topographic and boundary information is from survey drawings provided by Freehold Surveyors, dated various 2012-2014, and from field measurements. A guarantee of accuracy is not implied or intended. Prior to beginning field activities, contractor should verify locations of all existing easements, utilities, structures, and other appurtenances both aboveground and below ground. It will be the contractor's responsibility to report deviations from design drawings. Contractor will be responsible for repairs to damages and site restoration.

PRELIMINARY NOT FOR CONSTRUCTION

SGI Technical Services

200 North Greensboro Street, Suite B 13A  
Carrboro, NC 27510  
phone: (919) 942-7612 fax: (919) 942-3647  
email: stevena@sgitech.net

Project Name

CLUB NOVA ADDITION  
and SITE WORK  
CUP Modification

Developer/Owner/Applicant

CLUB NOVA  
103 W. MAIN ST.  
CARRBORO, NC 27510

Drawing Title

GRADING and DRAINAGE

Revisions

Number	Description	Date
submittal 1	initial submittal	Oct 2013
submittal 2		
submittal 3		

Drawn by

SAA

Checked by

Sheet \_\_\_\_\_ of \_\_\_\_\_

Date

29 April 2014

Scale

1"=20'

C-1

Proposed Site Modifications

CONTACT the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.



#### NCDOT R-O-W

- Specifications from the latest version of the "Policies and Procedures for Accommodating Utilities on Highway Rights of Way" by NC Division of Highways are applicable to this project. Please refer to this document for information not specifically cited on this drawing. The following list is a summary only and is not intended to be a comprehensive listing of NCDOT requirements and specifications.
- An NCDOT Encroachment Agreement must be obtained by owner/contractor in order to perform work within the E Main St Public R O W (right of way).
- The NCDOT Division Engineer or his representative shall be notified prior to performing work within the Public R O W in order to establish work schedule.
- Materials shall not be stored in the public roadway. Vehicles shall not be parked within the traveled way. There shall be no blockage of drainage.
- NCDOT material requirements are applicable for pipe installations within the E Main St St public R O W. Ductile iron pipe shall be class 50 min. strength. Copper pipe for sizes 3/4" to 2" shall be Type K meeting ASTM specification B 88. Smooth Wall Steel Pipe shall meet AP 5L Grade B specifications. Spiral Welded Steel Pipe shall meet ASTM specification A 211. Circular Black Steel Pipe shall meet ASTM specification A 120 or A 569. Additional materials are listed in the NCDOT document cited in item 1. Materials not specifically listed must be approved in advance by NCDOT. Pipelines that are not of ferrous material shall have locating tape installed.
- Top of pipes installed within public R O W shall be at least 3 ft below the surface.
- Open cuts shall not exceed 10 ft depth. Pipe shall be properly bedded on uncontaminated soil uniformly firm over entire length and shaped to fit pipe for at least 10% of outside diameter. If rock is encountered in excavation, it shall be undercut at least 6 in and backfilled with suitable material. Soil shall be compacted to at least 95% of standard density (ASTM D 1557). Excess excavated material shall be removed and disposed of outside limits of R O W in manner approved by NCDOT.
- All areas disturbed during the construction or maintenance shall be restored to the satisfaction of the Division Engineer or his representative.
- Contractor shall exercise every caution to prevent erosion of soil or off-site migration of sediments or pollutants. NCDOT, NCDENR and Orange County Erosion Control and Mitigation rules apply. Disturbed surfaces shall be restored in manner specified by NCDOT immediately upon completion of disturbing activity.
- 10 x 70 site triangle shall be free of construction and plants greater than 2 ft height.

#### TOWN OF CARRBORO - GENERAL NOTES TO OWNER/CONTRACTORS:

- Per section 15.246 of the LUO, all new utilities as well as relocated utilities must be located underground.
- Per section 15.248 of the LUO, please note that as-built drawings must be submitted to the Town for any utilities installed within the public right of way (water/sewer). All utilities installed by a utility company (electric, gas, cable, telephone) should be shown on as-built drawings maintained by the utility company.
- Coordinate two-lane controls for traffic closure with Town DPW and/or NCDOT whenever construction activities impact or impair traffic on E Main Street. See typical asphalt pavement repair detail.
- All work within the public R O W must be reviewed and coordinated with Carrboro Public Works. Contact Street Superintendent David Poythress at 919-7432 prior to any disturbances within the public right of way.

#### TOWN OF CARRBORO - FIRE DEPARTMENT

- The 2012 North Carolina Fire Code (NCFC) and/or the International Fire Code (IFC) with North Carolina Amendments apply to this project.
- All fire line installations shall comply with OWASA and NFPA 24 Standards.
- NOTIFICATION: Contractor shall notify Fire Marshal at least 24 hours prior to flushing all fire lines. Flushing must be witnessed by fire department personnel.

#### OWASA Construction:

- Sprinkler System, Water Meters, Service Laterals, Pipe Backflow Preventers and ancillary equipment must comply with OWASA specifications for materials and installation.
- Where meters and valves are installed outside of public ROW, an access and maintenance easement must be provided to OWASA.
- If a fire hydrant is to be installed, location must be approved by OWASA. Town and owner sewer service connections to building must be D.P. within OWASA easements but can be PVC outside OWASA easements.
- Use Town recommended two-lane controls for traffic closure if construction activities impact or take place on E Main St. See typical asphalt pavement repair details.
- All public street water valves, sanitary and storm sewer manhole adjustments and new installations require concrete stabilization pads to be placed around the utility access points within the roadway. Refer to OWASA Std 513.02 (water valve) and Std 512.06.1 (sewer and storm detail).
- For water and sewer extensions into the public right of way, Contractor must obtain approved NCDOT Encroachment Agreement prior to any work within the roadway. Contractor shall be responsible for pavement restoration in accordance with NCDOT and/or Town pavement repair specifications.
- Install thrust blocks per OWASA specifications wherever directional changes occur in Water Main.

#### PIPE INSTALLATION:

- Pipe shall be handled, unloaded, stored and installed per manufacturer's instructions. If there is any conflict between manufacturer's recommendations and OWASA specifications, the OWASA rules shall apply unless agreed upon between contractor, manufacturer and OWASA. All pipe and materials shall conform to requirements of NC Building/Plumbing Code and local ordinances. Installation and storage shall be in accordance with NC Building/Plumbing Code and local ordinances. Adhere to manufacturer specifications for storage and installation.
- All work shall conform to the best practices of the trade and standards set forth in the specifications. OSHA regulations and labor practices shall apply especially as regards worker safety in excavations. Contractor is responsible for caving and all damages resulting hereof. Contractor is responsible for establishing correct line and grade between manholes.
- All piping shall have a minimum of 3 ft of cover. Pipes will not be installed with less cover unless arranged in writing with OWASA in advance.
- Where applicable, excavation width shall be at least 24" plus nominal pipe diameter to allow room for making joints.
- When directed by the Project Engineer, the Chief Engineer or OWASA representative, unsuitable material shall be replaced to a suitable depth and width.
- Pipe shall not be placed in water. Removal and proper disposal of water in trenches shall be the responsibility of contractor (see instructions regarding removal of collected water).
- All rock shall be excavated to a minimum depth of 6 in below the barrel of the pipe. At least 6 in clearance shall be provided on each side of pipe for the full depth of the excavation. ASTM #67 washed stone shall be placed in all areas where rock has been excavated.
- Pipe shall be placed per OWASA instructions directly upon stone bedding or approved backfill. In no case shall pipe be brought to grade by blocking under the pipe barrel. Pipe shall be uniformly supported along its entire length. After it has been brought to grade, earth fill shall be placed carefully and tamped to hold pipe in position.
- At end of day's progress, open pipe shall be plugged to prevent entry by water or silt. The pipe cannot be used to remove groundwater from excavation. Collected runoff or groundwater water that is pumped from site must be discharged through approved sediment filtering bag.
- Dechlorination requirements (where applicable) shall be as specified by OWASA.

#### ORANGE COUNTY (OC) SOLID WASTE:

- By OC ordinance, clean wood waste, scrap metal and corrugated cardboard, all present in construction waste must be recycled.
- By OC ordinance, all haulers of construction waste must be properly licensed.

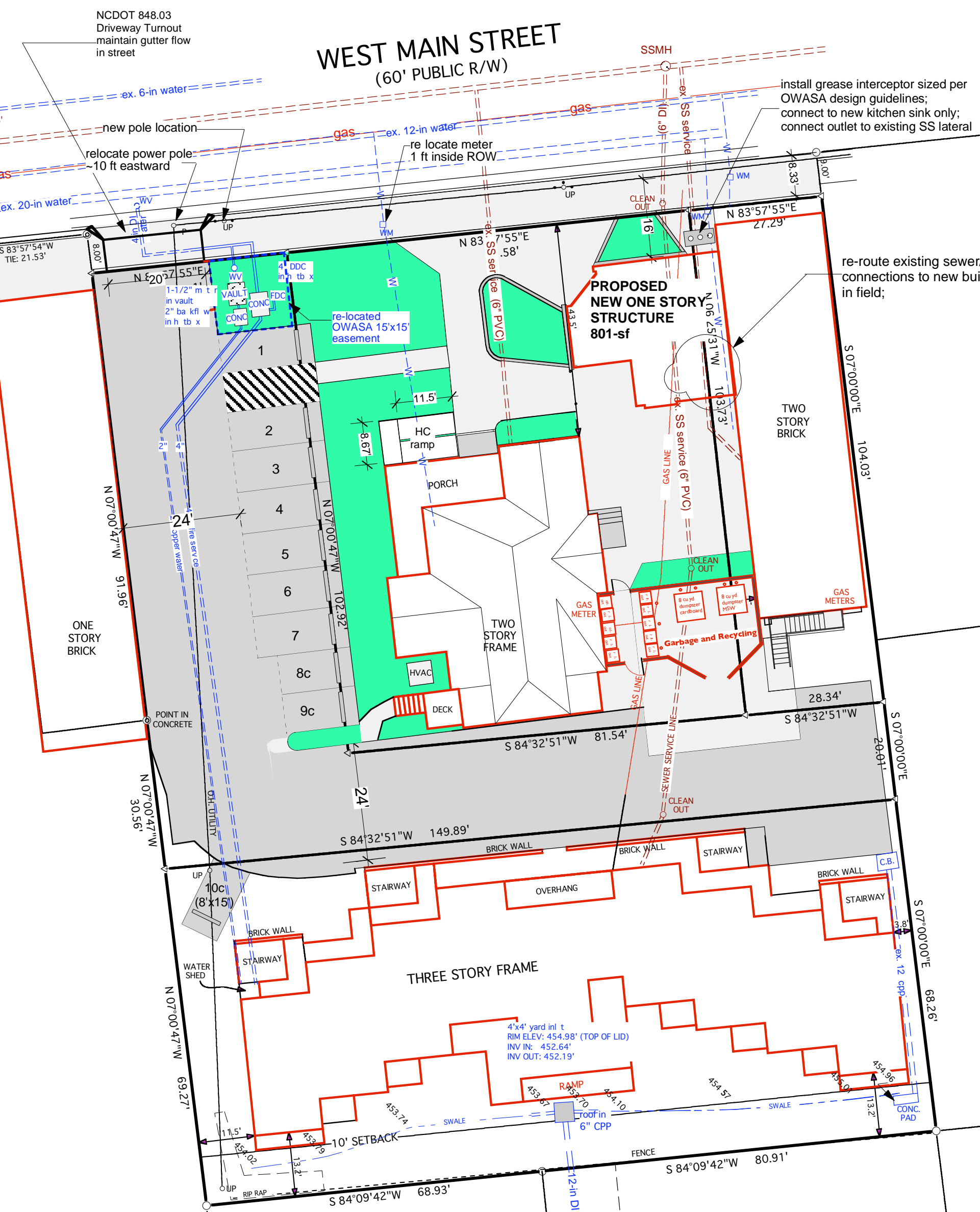
#### Asphalt Pavement Repairs:

- Asphalt cut shall be sharp and neat. Asphalt pavement and subgrade shall be restored to original elevations and condition on site. Repairs within R O W shall be in accordance with NCDOT requirements and the Town of Carrboro Development Ordinance and in cooperation with the Town Department of Public Works.
- Within R O W, subgrade and fill below it must be replaced with suitable, compactible material placed and compacted in maximum 8 inch lifts. Upper 6 inches of subgrade shall be compacted to 100% AASHTO T99 as confirmed by independent test. Fill that is found to be loose or soft or composed of unsuitable materials must be replaced.
- Within R O W, base course shall consist of 8 inch thickness of NCDOT Type ABC crushed stone. Stone shall be free of foreign materials and shall be handled and placed in 4 inch lifts, watered if necessary, and compacted to 100% AASHTO T99 specifications in accordance with NCDOT guidelines. Pavement or pavement repairs in ROW or public streets must be acceptable to NCDOT and Town. Base course may be reduced to six inches in non-driveway or non-accessway areas.
- The pavement surface shall meet NCDOT specifications for Type 2 asphalt or current NCDOT equivalent. The asphalt shall be handled and placed in a single 2 inch layer in accordance with NCDOT guidelines.

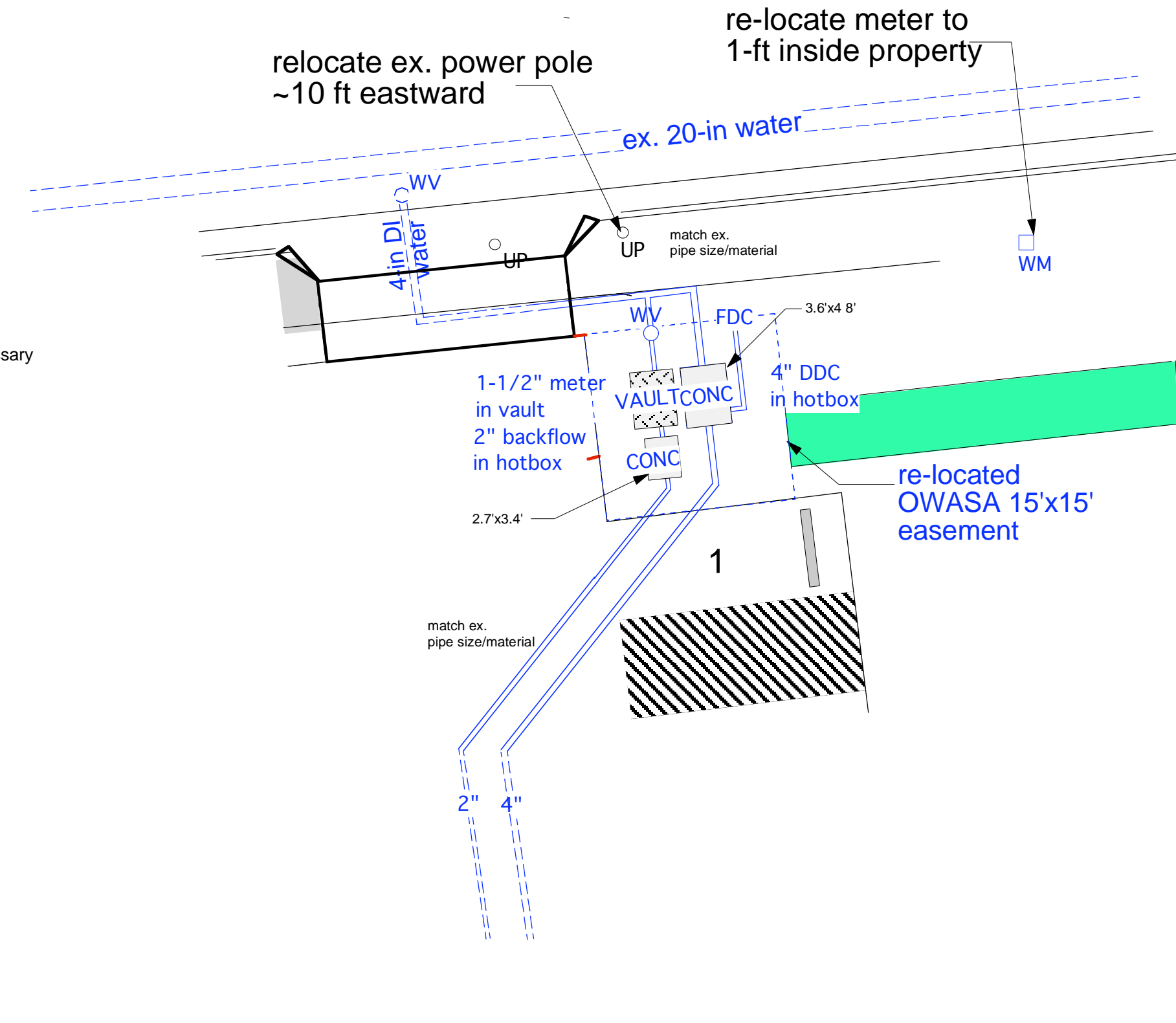
#### Sidewalk Repairs:

- All public sidewalks shall be restored to original width and condition and constructed of concrete in accordance with specifications set forth in Appendix C of the Town of Carrboro LUO, especially C.12 Sidewalks.
- Owner/contractor is responsible for fully restoring all damaged sidewalk, curbing, street surfaces, and damages within the public right-of-way.
- Owner/contractor must discuss sidewalk replacement and installation with NCDOT and Town of Carrboro Department of Public Works, coordinate all finish elevations to restore original preventing conflicts with drainage access, utilities and services.

Approximately 256-ft west to fire hydrant on northern side of Main Street  
Approximately 310-ft west to fire hydrant on southern side of Main Street



#### RELOCATION OF WATER METER and BFPs (scale 1"=10')



#### NOTES:

- Existing Hot-Boxes shall be Re-located.
- Install BFPs in accordance with manufacturer requirements on concrete pads; minimum 4-in thickness, 3000-psi, 1 bar reinforced, air-entrained portland cement concrete over 4-in stone base on compacted subgrade. Follow manufacturer's recommendations for size of concrete pad beneath Hot-Box (recommended pad dimensions - dimensions as existing).
- Existing backflow preventers shall re-located.
- Existing access easement must be modified as specified by OWASA. It must be prepared by Land Surveyor, registered in State of NC.
- Existing meter and BFPs can be re-used provided maintenance and testing requirements mandated by OWASA are satisfied.
- OWASA 1.3.4. Consumer Responsibility**  
The consumer has the primary responsibility of preventing pollutants and contaminants from entering his/her potable water system or the public potable water system. The consumer's responsibility starts at the point of delivery from the public potable water system and includes all of his/her water system. The consumer, at his/her expense, shall install, operate, test, and maintain approved backflow prevention assemblies as directed by OWASA. The consumer shall maintain accurate records of tests and repairs made to backflow prevention assemblies and shall maintain such records for a minimum period of three (3) years. The records shall be on forms approved by OWASA and shall include the list of materials or replacement parts used. Following any repair, overhaul, repiping, or relocation of an assembly, the consumer shall have it tested to ensure that it is in good operating condition and will prevent backflow. Tests, maintenance and repairs of backflow prevention assemblies shall be made by a Certified Backflow Prevention Assembly Tester.

#### 6. OWASA SECTION 9. FIRE PROTECTION SYSTEMS

- 9.1 All connections for fire protection systems connected with the public water system 2" and smaller shall be protected with an approved double-check valve assembly as a minimum requirement. All fire systems using toxic additives or booster pumps shall be protected by an approved reduced pressure principle detector assembly at the main service connection.
- 9.2 All connections for fire protection systems connected with the public water system greater than two 2" shall be protected with an approved double-check detector assembly as a minimum requirement. All fire protection systems using toxic or hazardous additives or booster pumps shall be protected by an approved reduced pressure principle detector assembly at the main service connection.
- 9.3 All existing backflow prevention assemblies 2-1/2" and larger installed on fire protection systems that were initially approved by OWASA shall be allowed to remain on the premises, as long as they are being properly maintained, tested and repaired as required by this Ordinance. However, if the existing assembly must be replaced (once it can no longer be repaired), or in the event of proven water theft through an unmetered source, the consumer shall be required to install an approved double-check detector assembly or reduced pressure principle detector assembly as required by this provision.

- 6c. No framing may begin until fire hydrants (as needed) are operational.
- 6d. Fire suppression systems in existing buildings shall remain. Additional systems are not proposed.
- 6e. Distances to nearest fire hydrants are indicated on sheet C-2 drawing.

#### TOWN OF CARRBORO DPW - PROJECT SPECIFIC INSTRUCTIONS

- Neither NCDOT or Town will accept a patch or partial repair of public sidewalk. Where work under existing sidewalk is necessary, it is required that entire sidewalk panel be removed and replaced.
- Valve box in public sidewalk. Refer to OWASA details 513.01 and 513.02. In Street Location. Use In Street Location detail employing concrete where asphalt is shown. Construct the square concrete valve box pad as shown and incorporate into sidewalk construction using dimensions indicated in OWASA detail.
- An NCDOT Right of Way Encroachment Agreement is required to occupy or perform work within the public right of way (R O W). Contact District Office: Mr. DeAngelo Jones @ 336-570-6833. A three-party encroachment agreement with NCDOT and OWASA will be necessary. A pedestrian and/or traffic control plan will be required.

**NOTE:** Upon completion of installation within public R-O-W, contractor/owner must restore all pavement, sidewalks, ramps, driveways, landscaping, curbs/gutters, and other features within the public R-O-W to condition acceptable to Town of Carrboro, OWASA and NCDOT.

#### NOTIFICATIONS

- (1) Carrboro Fire Department personnel must witness flushing of fire lines. Fire Marshal must be notified at least 24-hrs in advance.
- (2) An NCDOT Right-of-Way Encroachment Agreement is required to occupy or perform work within the public right-of-way (R-O-W). Contact District Office - Mr. DeAngelo Jones @ 336-570-6833.
- (3) All work within the public R-O-W must be reviewed and coordinated with Carrboro Public Works. Contact Street Superintendent David Poythress at 919-7432, prior to any disturbances within the public right-of-way.
- (4) Dechlorination requirements (where applicable) shall be as specified by and pre-arranged with OWASA.

**CONTACT** the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.

10' 0 10' 20' 30'

Scale 1" = 20'

2 foot contour interval

#### LEGEND

- stream buffer
- spot elevations - existing
- spot elevations - proposed
- existing contours
- proposed contours
- planting screening
- deciduous tree
- roof drain
- disturbed area
- tree protection fence
- silt fence
- check dam
- bio garden
- power pole
- fire hydrant
- gas pipe
- stormwater
- sanitary sewer
- water
- bicycle rack
- stormwater detention
- Denotes Approx. Tree Line

All topographic and boundary information is from survey drawings provided by Freehold Surveyors, dated various 2012-2014, and from field measurements. A guarantee of accuracy is not implied or intended. Prior to beginning field activities, contractor should verify locations of all existing easements, utilities, structures, and other appurtenances both aboveground and below. It will be contractor's responsibility to report deviations from design drawings. Contractor will be responsible for repairs to damages and site restoration.

#### PRELIMINARY NOT FOR CONSTRUCTION

#### SGI Technical Services

200 North Greensboro Street, Suite B 13A  
Carrboro, NC 27510  
phone: (919) 942-7612 fax: (919) 942-3647  
email: stevena@sgitech.net

#### Project Name

#### CLUB NOVA ADDITION AND SITE WORK CUP Modification

#### Developer/Owner/Applicant

#### CLUB NOVA 103 W. MAIN ST. CARRBORO, NC 27510

#### Drawing Title

#### UTILITY PLANS

#### Revisions

Number	Description	Date
submittal 1	initial submittal	Oct 2013
submittal 2		
submittal 3		

#### Drawn by

SAA

#### Checked by

Sheet

#### Date

29 April 2014

#### Scale

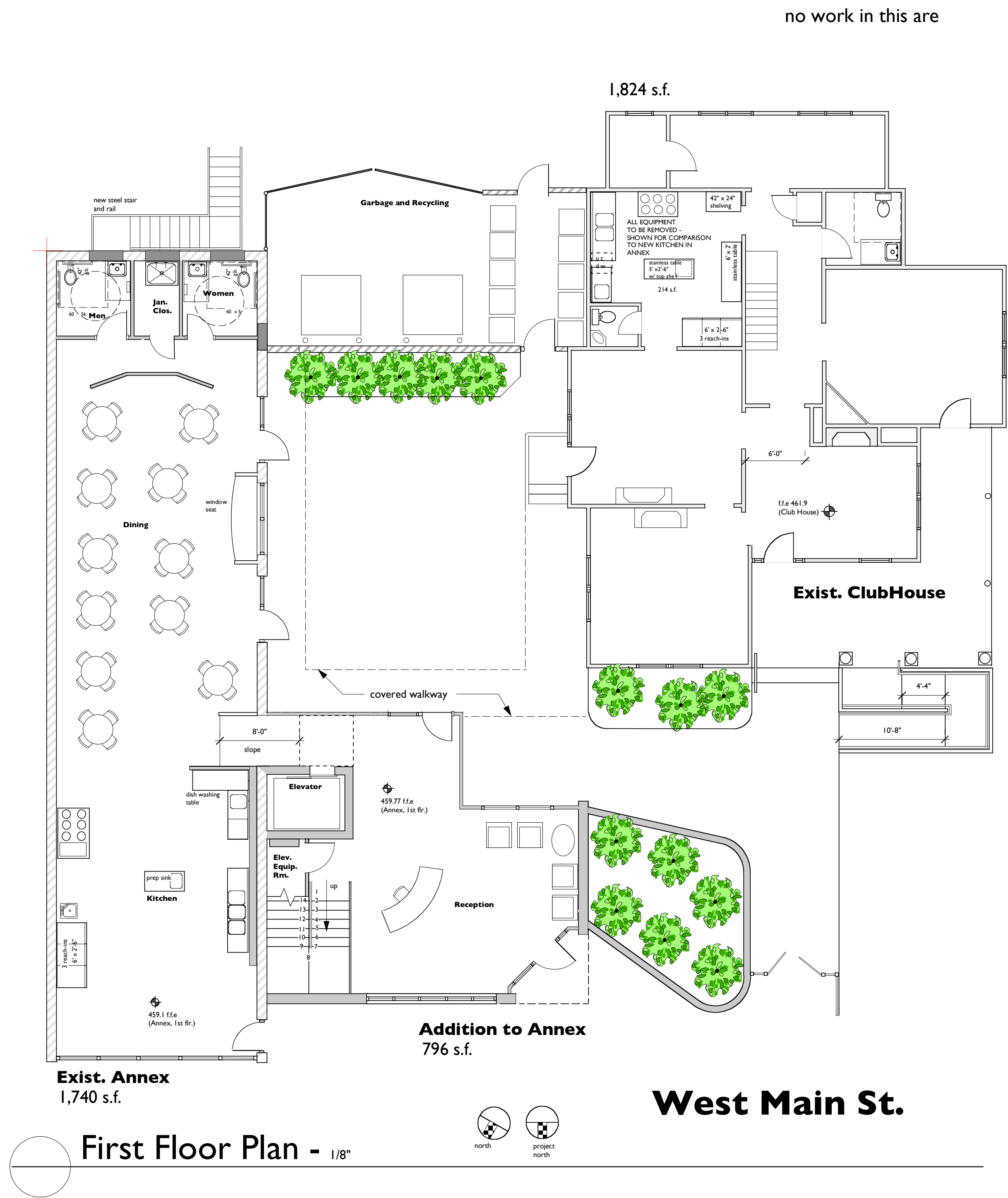
1"=20'

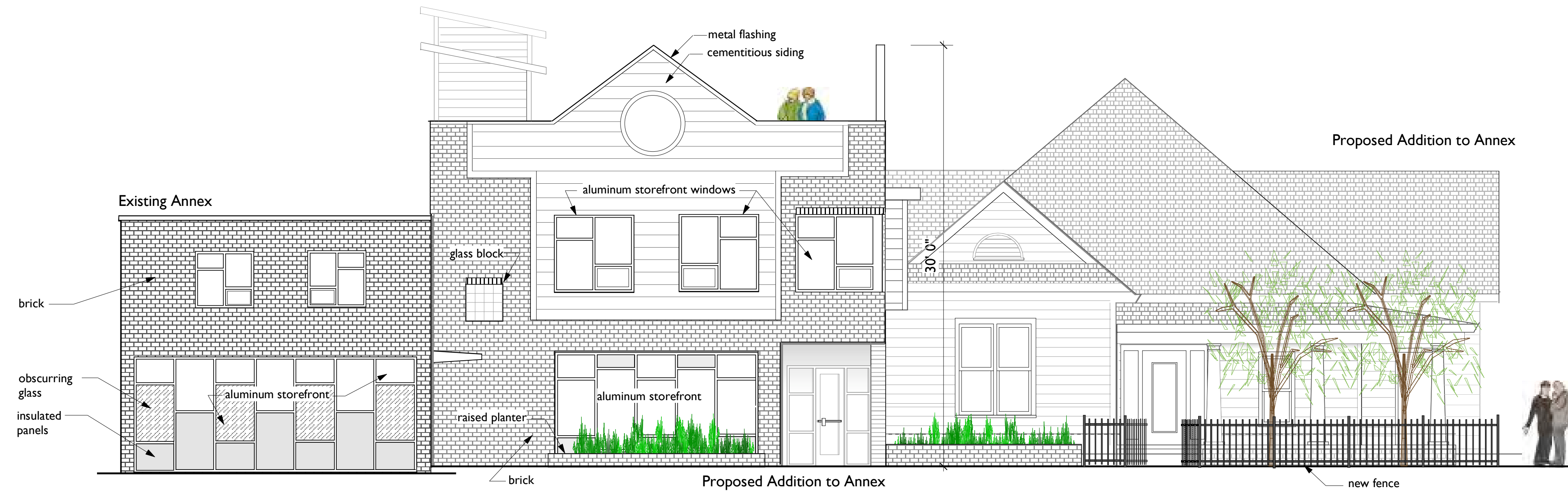
C-2

## BFP & METER RELOCATIONS

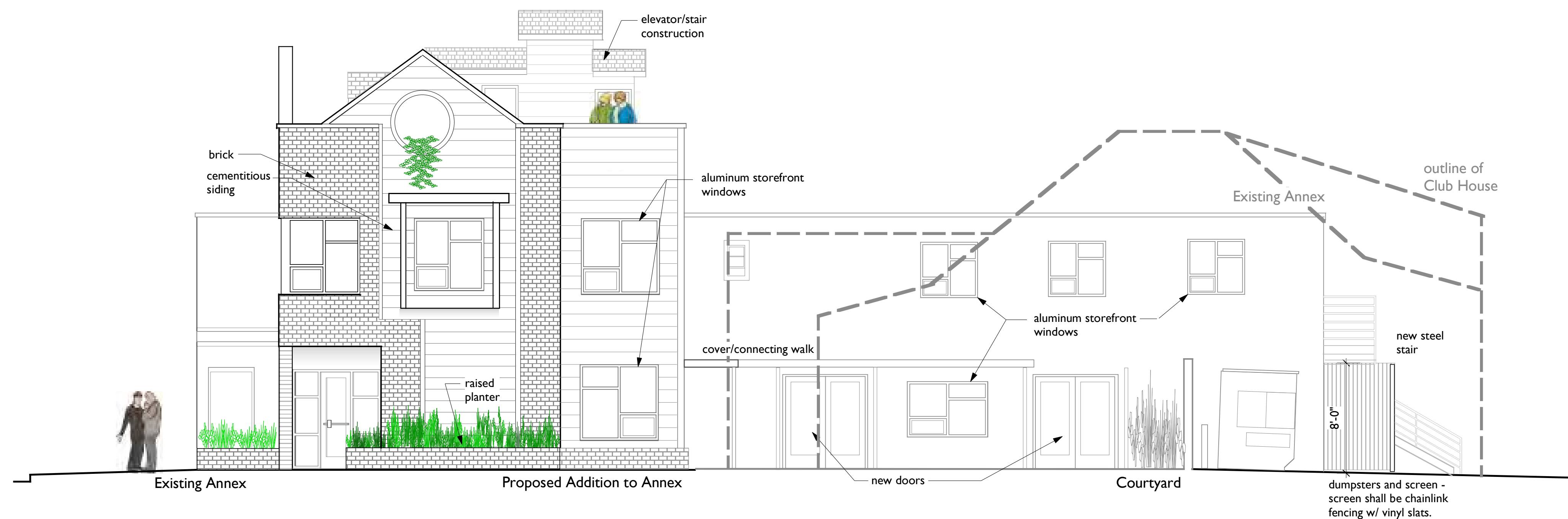
0' 10' 20' 40' 50'



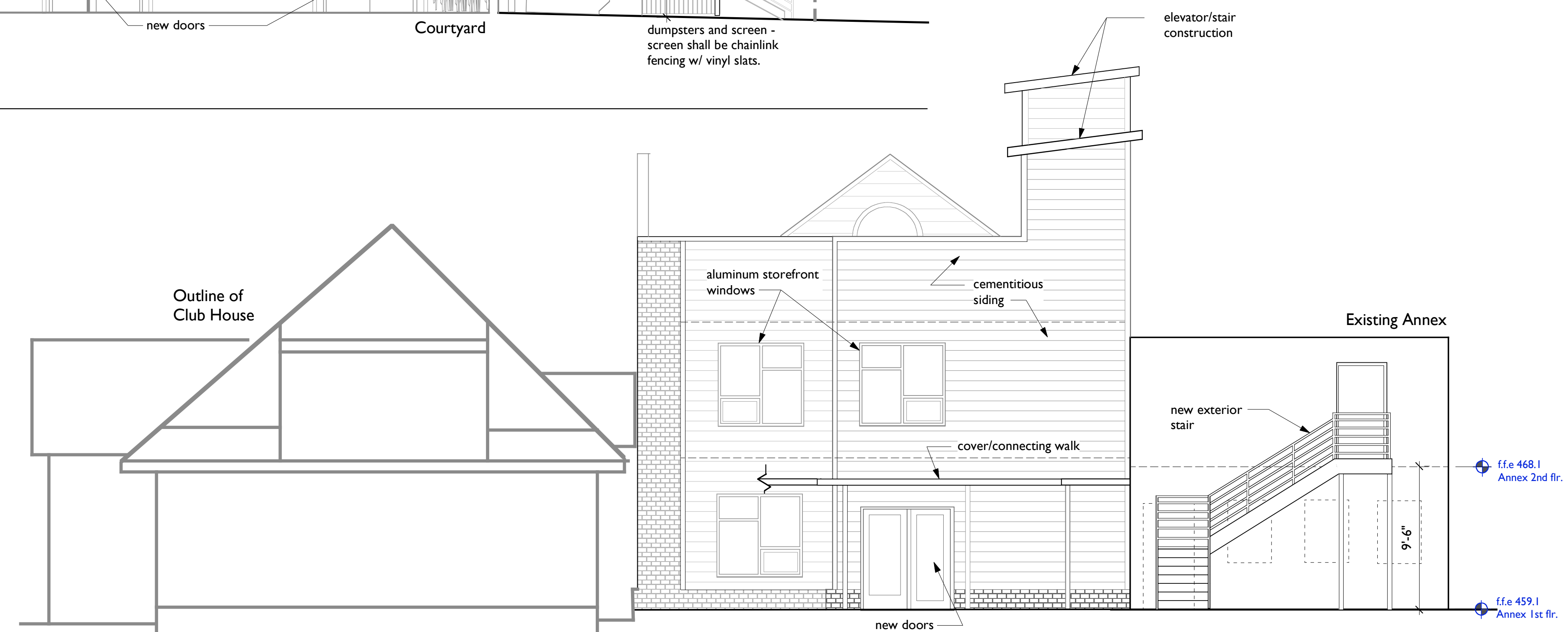




Club Nova - North Elevation - 3/16"



West Elevation - 3/16"



South Elevation - 3/16"

**Jack Haggerty, Architect**  
205 W. Main St., Ste 213, Carrboro, NC 27510  
919 967-5191 jack@jackhaggertyarchitect.com

**Addition and sitework for**  
**Club Nova Community Inc**  
**103 W. Main St.**  
**Carrboro, NC**  
Owner: Club Nova Community Inc., T. 919 967-6985, F. 919 968-2522

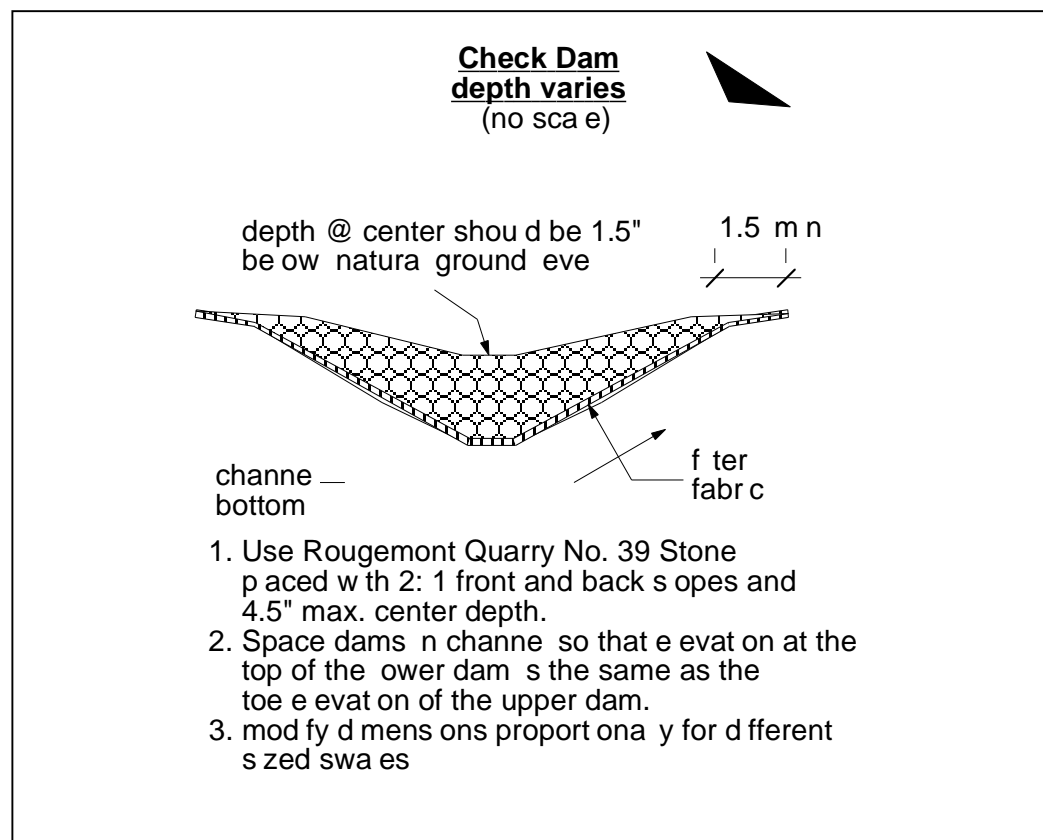
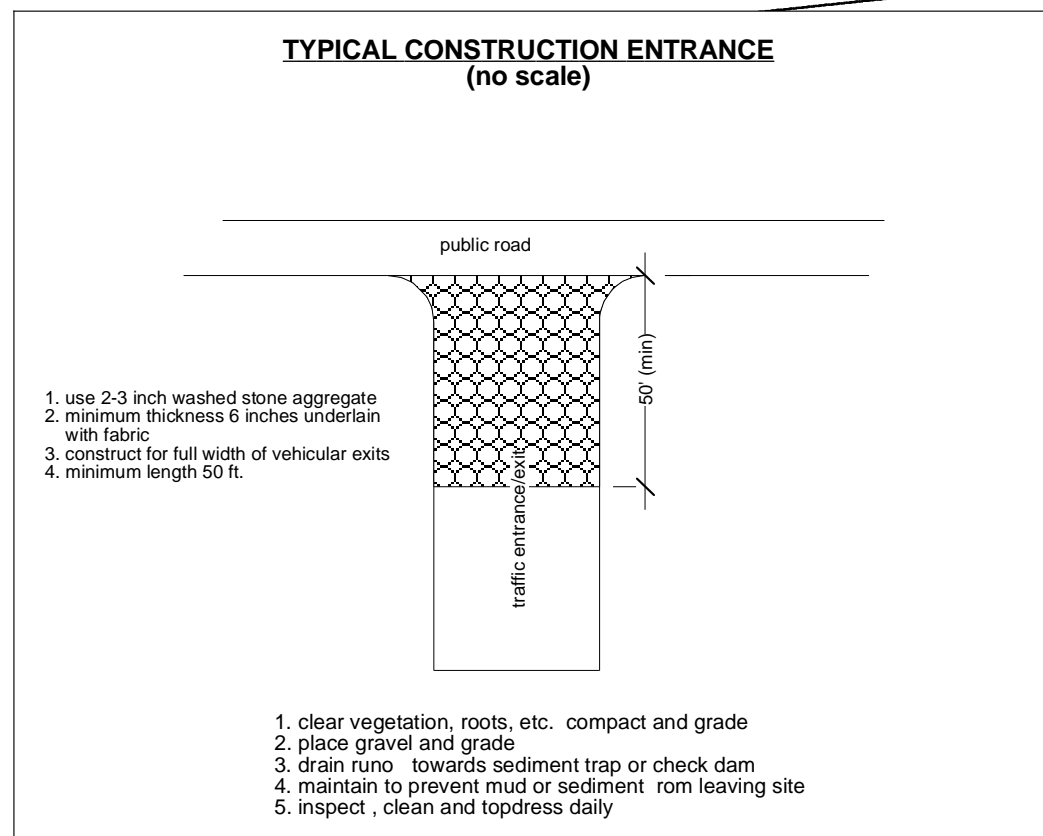
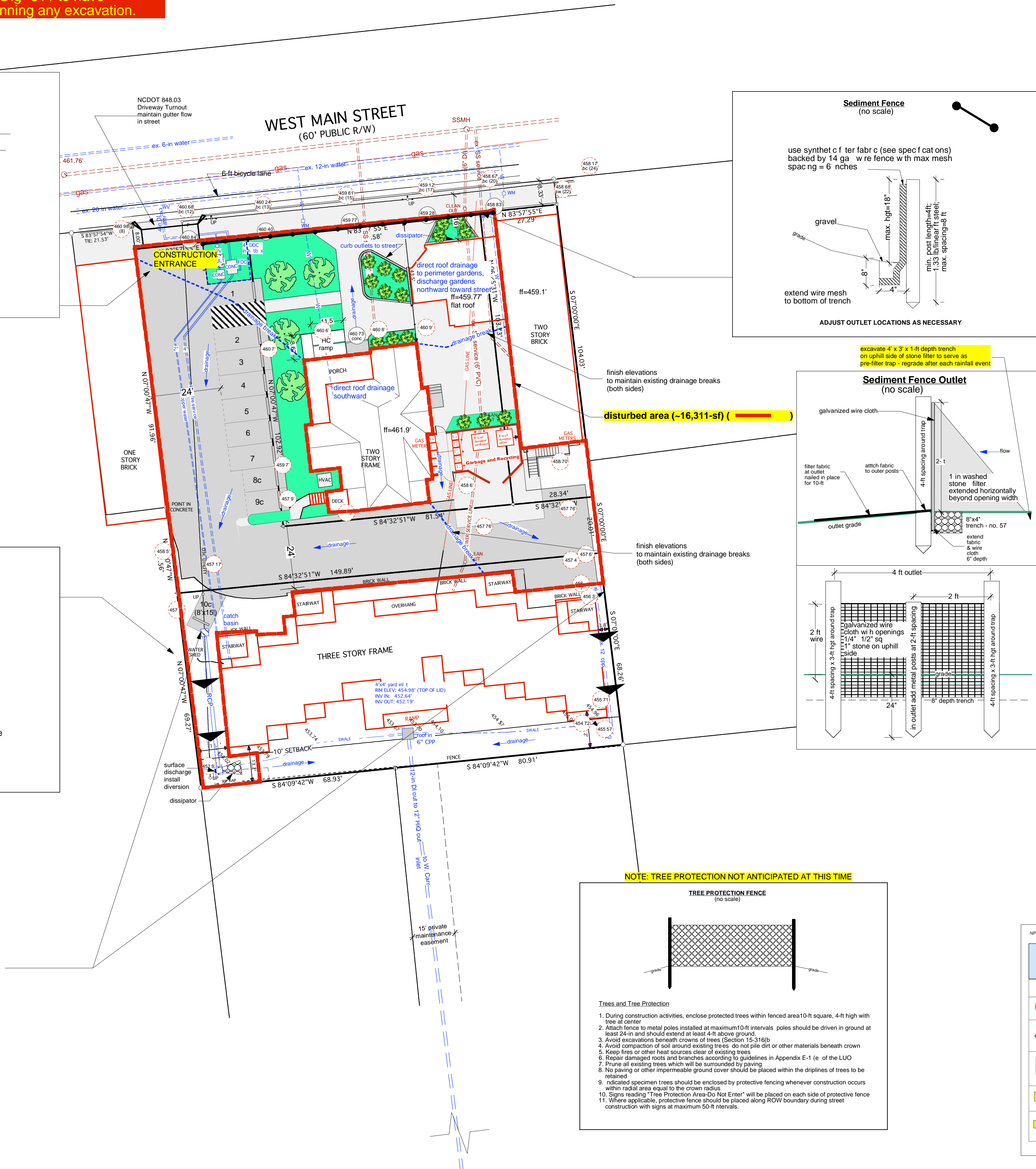
**Modification to an**  
**Existing**  
**Conditional**  
**Use Permit**

Oct. 2, 2013  
April 24, 2013

**A-3**



**CONTACT** the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.

[illegible]

## Site Description

### Site Description

1. Name: Club Nova
2. Address:  
103 W. Main St, Carrboro, NC 27510  
owner address: same
3. Parcel ID: PIN #9778862027
4. Area: 0.66-ac +/- (-28,775-sf)
5. Application: CUP
6. Zoning: B1(g)
7. Existing Use: commercial, residential development
8. Soil Type: luB, Iredell Urban, slopes 1%-8%

### Required Setbacks for B1(g) Zone

sides: 0-ft  
front: 30-ft from street centerline  
rear: 10-ft (setback for adjoining zoning district)

## Orange County Solid Waste

1. By OC (Orange County) ordinance, clean wood waste, scrap metal and corrugated cardboard, all present in construction waste must be recycled.
2. By OC ordinance, all haulers of construction waste must be properly licensed.
3. Prior to any demolition or construction activity on the site, applicant will hold a pre-demolition, pre-construction conference that includes OC Solid Waste staff.
4. Note: Trash pickup will be by TOC.

### Soil Export/Disposal

Should it become necessary, soil removed from site will be transported to TBD.

## Erosion and Sediment Controls

- 1 Owner/developer must control erosion in accordance with NC General Statutes. Land disturbing activities shall be conducted in accordance with requirements of NCDENR Land Quality Division and the Orange County Erosion Control Authority. An erosion control permit from OCEC Authority is required if land disturbance exceeds 20,000 sq ft.
- 2 Contractors shall be required to install and maintain erosion control measures where shown.
- 3 Where required, bio retention garden should be constructed after completion of sediment producing activity that could impact future performance
- 4 Developer/contractor shall maintain designated Construction Entrances(s) to prevent and minimize the transportation of mud, stone and other construction related materials. Construction Entrances shall be constructed and silt fence installed where shown. Surfaces shall be removed immediately. Periodic street and/or sidewalk washing or sweeping may be required

## Notes to EROSION CONTROL PLAN

- 1 Disurbed area=-16 311 sf (-0.4 ac )
- 2 f applicable sediment traps shall not be installed within stream buffers or OWASA easements
- 3 f specified details for traps traps emergency spillways etc shall be provided with construct ion plans
- 4 Where required pipe outlets from sediment traps shall not be discharged directly into stream
- 5 Permanent dissipator pads with fabric underlayment will be required at all pipe outlets including roof drains
- 6 Turbid water that is pumped from the site must be passed through a silt sack or other approved sediment filtering device.

## CONSTRUCTION SEQUENCE






- 1 Prior to beginning field activities an on site meeting will be arranged with a representative from the town, the grading contractor, the demolition contractor and all parties involved in land disturbing activities
- 2 Clear only as necessary for installation of on site controls: install construction entrance(s), perimeter silt fences and sediment bag(s), install tree protection fences if required
- TBD
- 9 Final landscaping, planting
- 10 Remove sediment controls

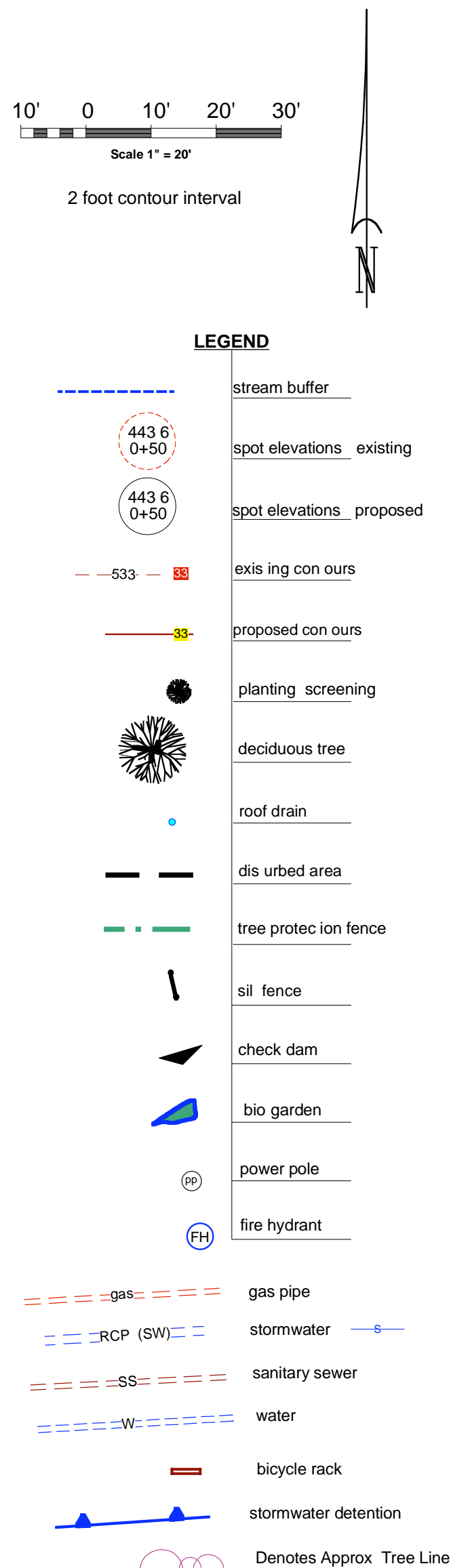
Adjustments to sequence may be necessary to facilitate construction and at all times contractor/owner is responsible for preventing off site migration of sediments and pollutants. Changes to project may necessitate modifications to permit.

STABILIZE ALL DISTURBED SURFACES WITHIN n-DAYS OF DISTURBANCE, AS DESIGNATED IN TABLE USING SEASONALLY APPROPRIATE GRASS AND EXCELSIOR MATTING WITH POLY-NET OR EQUIVALENT MATERIAL.

NPDES Stormwater Discharge Permit for Construction Activities (NCOG)

NCDENR Division of Water Quality

NEW STABILIZATION TIMEFRAMES			
(Effective Aug. 3, 2011)			
SITE AREA DESCRIPTION		STABILIZATION	TIMEFRAME EXCEPTIONS
	Perimeter dikes, swales, ditches, slopes	7 days	None
	High Quality Water (HQP) Zones	7 days	None
	Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
	Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
	All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.



All topographic and boundary information is from survey drawings provided by Freehold Surveyors dated various 2012 2014 and from field measurements. A guarantee of accuracy is not implied or intended. Prior to beginning field activities, contractor should verify locations of all existing easements, utilities, structures, and other appurtenances both aboveground and below. It will be contractor's responsibility to report deviations from design drawings. Contractor will be responsible for repairs to damages and site restoration.

**PRELIMINARY NOT FOR CONSTRUCTION**

**SGI Technical Services**  
200 North Greensboro Street Suite B 13A  
Carrboro NC 27510  
phone: (919) 942 7612 fax: (919) 942 3647  
email: [stevena@sgitech.net](mailto:stevena@sgitech.net)

Project Name

# CLUB NOVA ADDITION and SITE WORK CUP Modification

Developer/Owner/Applicant

**CLUB NOVA**  
103 W. MAIN ST.  
CARRBORO, NC 27510

Drawing Tile

# EROSION PLAN

# LANDSCAPE PROTECTION PLAN

## Revisions

Number	Description	Date
submittal 1	initial submittal	Oct 2013
submittal 2		
submittal 3		

Drawn by **SAA**

Checked by \_\_\_\_\_

Date  
29 April 2014

Scale 1"=20'

**C-5**