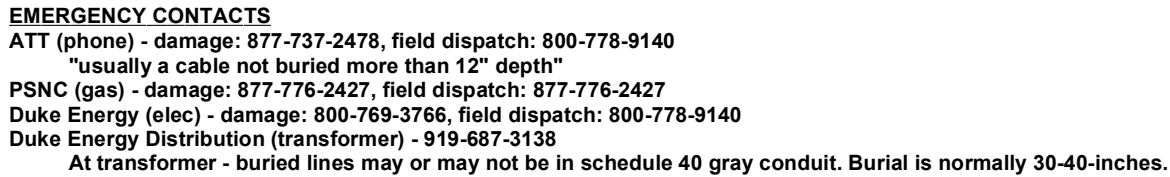


CONTACT the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.



Pizzeria Mercato

408 West Weaver Street, Carrboro, NC 27510

CUP-CONSTRUCTION PLAN

DEVELOPER/OPERATOR:
Mr. Ben Barker
B-Cubed Enterprises, LLC
704 Chapel Hill Creamery Rd.
Chapel Hill, NC 27516
ph: (919) 942-7272

PROPERTY OWNER:
Christopher Martin & Francine Warwick
JMCW Investments, LLC
2808 Summerwind Road
Chapel Hill, NC 27516
ph:

DESIGNER:

Tise Keister Architects, PA
Don Tise, Architect
 119 E. Franklin Street, #300
 Chapel Hill, NC 27514
 phone: (919) 967-0158
 email: dtise@tisekiester.com

CIVIL ENGINEER:

SGI Technical Services
Steven A. Addy, P.E.
 200 North Greensboro Street Suite B-13A
 Carrboro, NC 27510
 phone: (919) 942-7612 fax: (919) 942-3647
 email: stevensa@sgitech.net

SURVEYOR:

Freehold Land Surveys
Charles R. Billings, P.L.S.
 113 West. Main St
 Carrboro, NC 27510
 phone: (919) 929-8090
 email: cbillings@freeholdlandsurveys.com



SUBMITTALS-REVISIONS

[illegible]

SHEET INDEX

sheet #

Cover	Cover Sheet
EC-1	Existing Conditions survey
SP-1	Site Plan, Parking and Landscaping
C-1	Utilities
C-2	Specifications and Details

PRELIMINARY - NOT FOR CONSTRUCTION

SUMMARY INFORMATION
(site)

ADDRESS: 408 West Weaver St Carrboro, NC
OWNER: JMCW Investments, LLC
PIN: 977-8763-549
DESCRIPTION-AREA: Lots 1&2
TRACT SIZE: 11,224-sf (0.258-ac)
ZONING: B2
FLOOR AREA (existing one-story building): ~2,900-sf
FLOOR AREA (proposed building): ~2,900-sf (no new building construction proposed)
EXISTING USE (CUP): Retail 2.112, 2.120
PROPOSED USE (CUP modification): Restaurant 8.100, 8.200, 8.500

SETBACKS: street ROW to building - 15-ft
street ROW to freestanding sign - 7.5-ft
lot boundary to building - 10-ft
lot boundary to freestanding sign - 10-ft

SUMMARY INFORMATION
(parking)

PARKING REQUIREMENTS:
 interior service: 1 space per 100-gsf=30 spaces (reduced to 29)
PARKING SHOWN: 19 shown on site + 10 bicycles + 10 satellite spaces
 west side - 8 total
 6 standard (8.5'x19')
 2 accessible (16'x24')
 east side - 11 total
 6 standard (8.5'x19')
 4 compact (8'x15')
 1 motorcycle (4' width)
 bicycle rack - 10 capacity (30'x6')

10 satellite parking spaces are available between 6 pm and 11 pm at 212 W. Main St.

SUMMARY INFORMATION
(construction)

TOTAL EXISTING IMPERVIOUS SURFACE: 10,350-sf (0.238-ac)
 building: 2,969-sf
 pavement: 7,381-sf
 pre-development percentage impervious surface: 92.2%
 approximately 215-sf concrete to be added
 post-development percentage impervious surface: 94.1%

No exterior building construction is proposed.

STORMWATER MANAGEMENT: estimated cost of re-development shall not exceed \$100,000.00 or be greater than 50% of the appraised value of the existing improvements

SOIL TYPE: luB (Iredell-Urban land complex), Group C/D

Project Name:

Pizzeria Mercato CUP-CONSTRUCTION PLAN

Developer/Owner/Applicant:

Drawing Title:

Number	Description	Date
submittal 1	preliminary review by TOC	July 2015
submittal 2		

Drawn by:

by: **SAA**

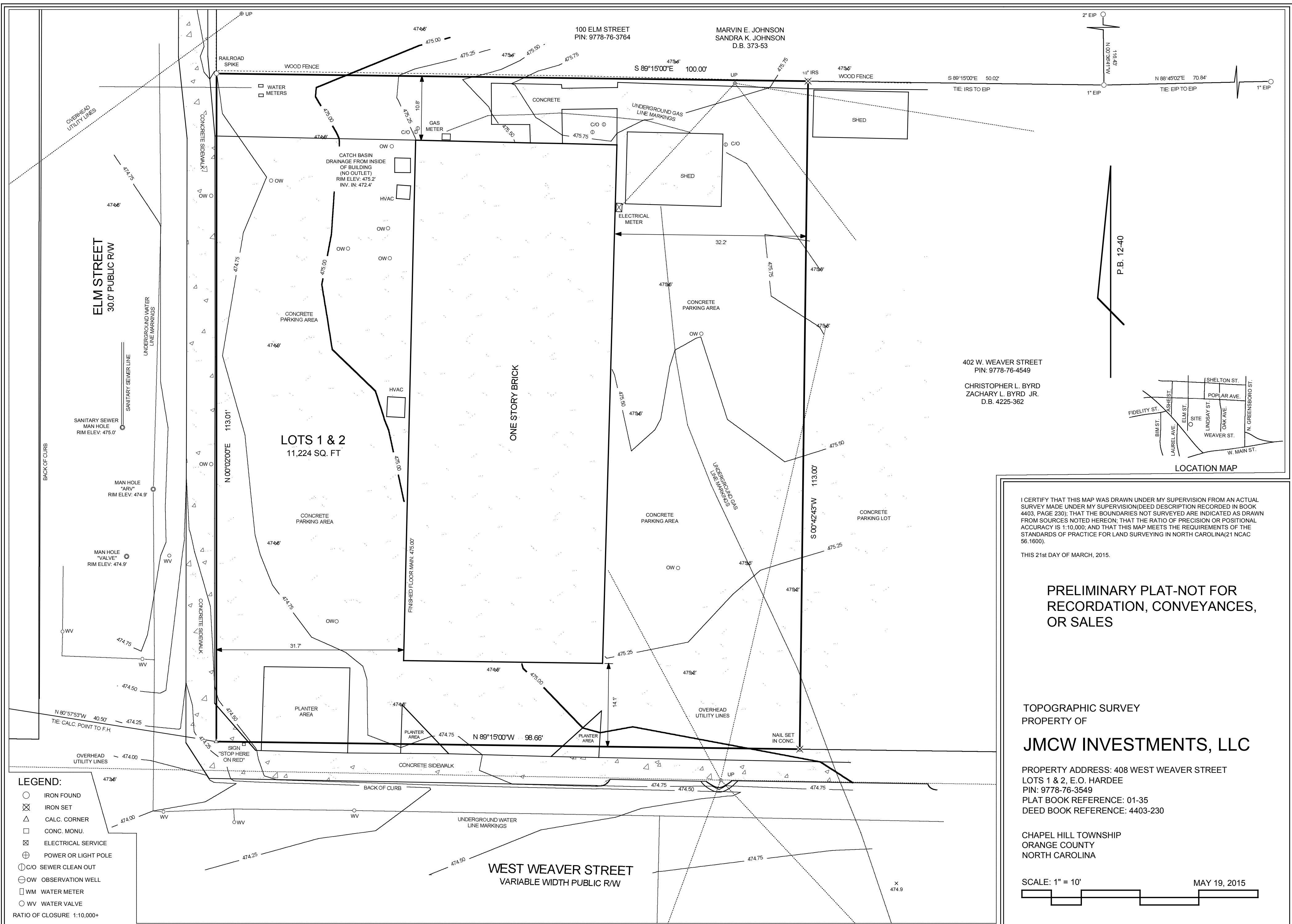
Checked by:

Sheet

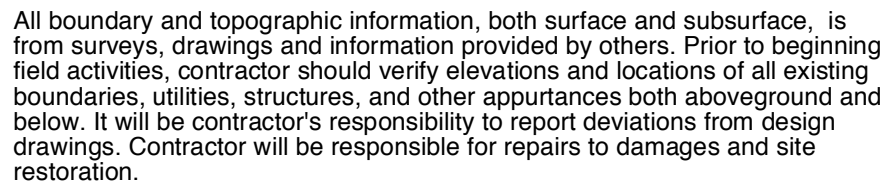
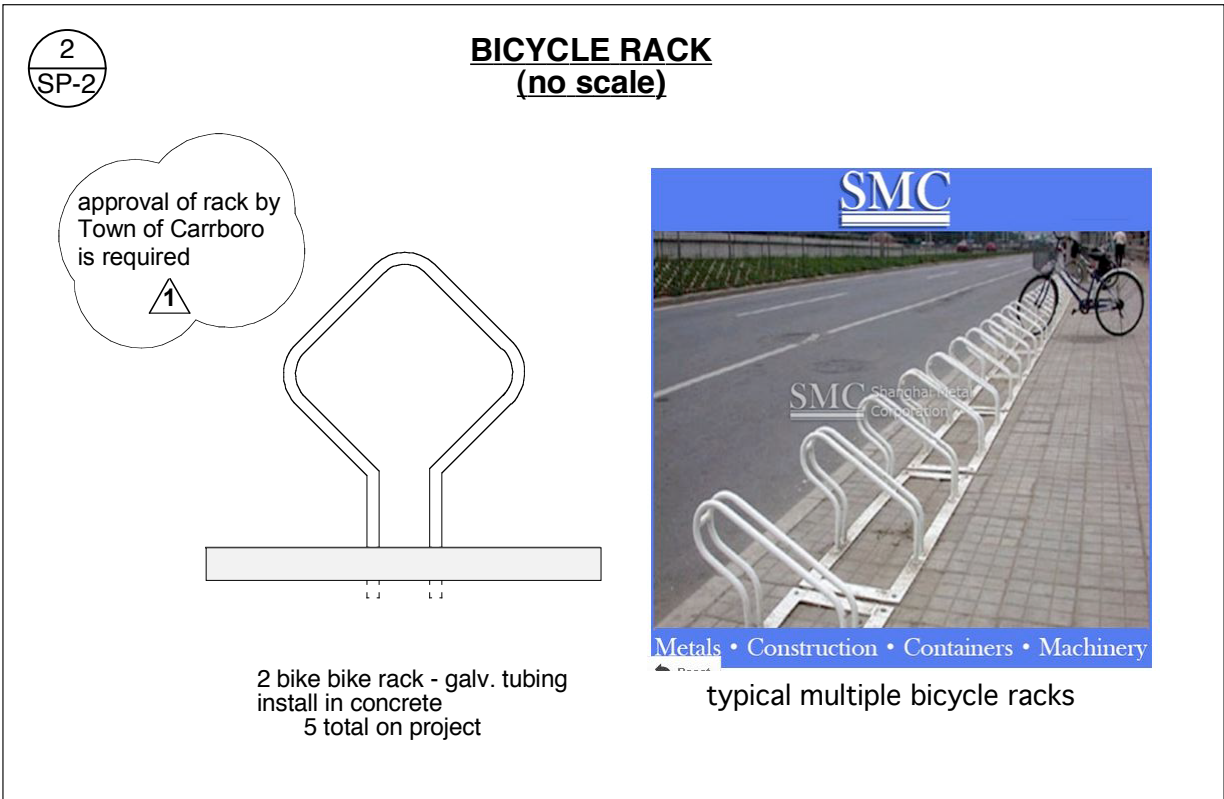
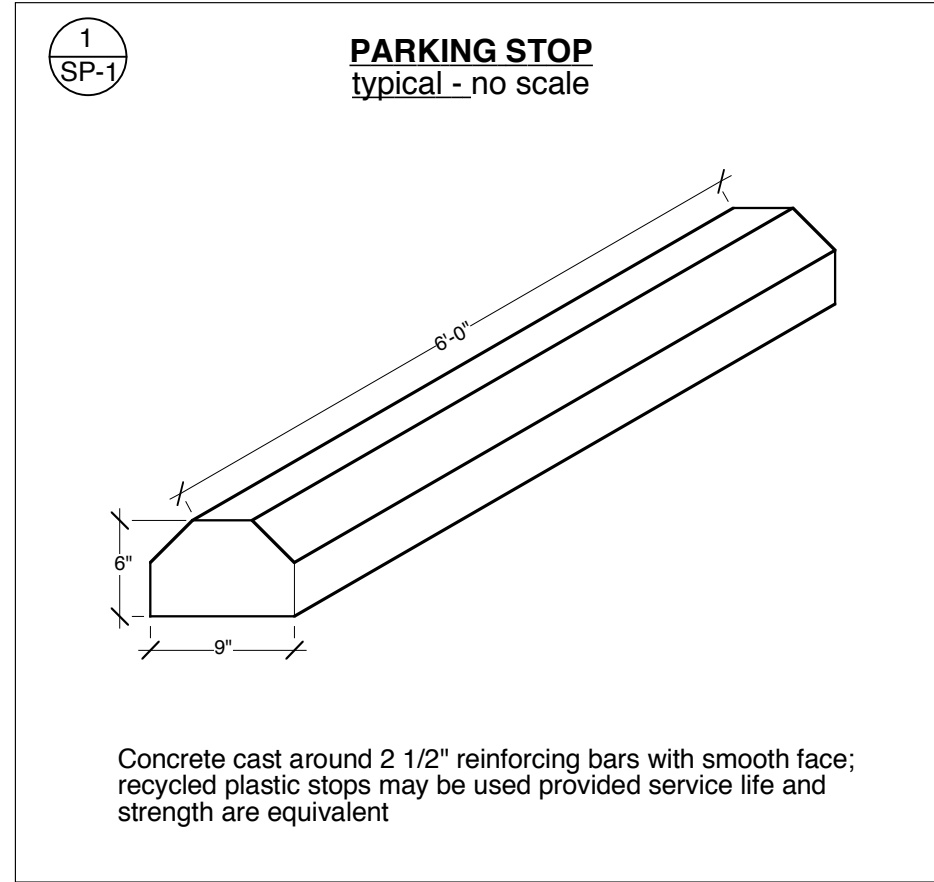
Date: 21 August 2015

Scale: 1"=10'

COVER
SHEET



CONTACT the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.



S&G Technical Services
200 North Greensboro Street Suite B-13A
Carrboro, NC 27510
phone: (919) 942-7612 fax: (919) 942-3647
email: stevena@sgitech.net



Pizzeria Mercato
(CUP-CONSTRUCTION)

Developer/Owner/Applicant:
Mr. Ben Barker
B-Cubed Enterprises, LLC
704 Chapel Hill Creamery Rd.
Chapel Hill, NC 27516
ph: (919) 942-7272

SITE PLAN

PARKING & LANDSCAPING

Revisions:

Number	Description	Date
submittal 1	preliminary review by TOC	July 2015
submittal 2	 updates OWASA, TOC	Aug 2015

Drawn by: SAA		SP-1
Checked by:	Sheet <u>3</u> of <u>5</u>	
Date: 20 Aug 2015	Scale: 1"=10'	

EXISTING USE (CUP): Retail 2,112, 2,120
PROPOSED USE (CUP modification): Restaurant 8,100, 8,200, 8,500
PARKING REQUIREMENTS:
 interior service: 1 space per 100-gsf=30 spaces (reduced to 29)
PARKING SHOWN: 19 shown on site + 10 bicycles

west side -	8 total
	6 standard (8.5'x19')
	2 accessible (16'x24')
east side -	11 total
	6 standard (8.5'x19')
	4 compact (8'x15')
	1 motorcycle (4' width)
bicycle rack -	10 capacity (30"x6')

10 satellite parking spaces are allocated between 6 pm and 11 pm at 212 W. Main St.

TOTAL EXISTING IMPERVIOUS SURFACE: 10,350-sf (0.238-ac)
 building: 2,969-sf
 pavement: 7,381-sf
 approximately 215-sf concrete to be added.

STORMWATER MANAGEMENT: estimated cost of re-development shall not exceed \$100,000.00 or be greater than 50% of the appraised value of the existing improvements

SOIL TYPE: luB (Iredell-Urban land complex), Group C/D

SIGNAGE - Signage must be arranged with and permitted by Town of Carrboro.

Landscaping Information - When selecting plant types, note that it will be important to maintain open site lines for drivers exiting Elm St. and for drivers exiting the parking lot.

Proposed plantings
 south side fixed planters - perennial bulbs, herbaceous perennials and small evergreen shrubs
 low profile planters - herbs, seasonal annuals and floriferous fragrant tender perennials

EMERGENCY CONTACTS
ATT (phone) - damage: 877-737-2478, field dispatch: 800-778-9140
 "usually a cable not buried more than 12" depth"
PSNC (gas) - damage: 877-776-2427, field dispatch: 877-776-2427
Duke Energy (elec) - damage: 800-769-3766, field dispatch: 800-778-9140
Duke Energy Distribution (transformer) - 919-687-3138
 At transformer - buried lines may or may not be in schedule 40 gray conduit. Burial is normally 30-40-inches