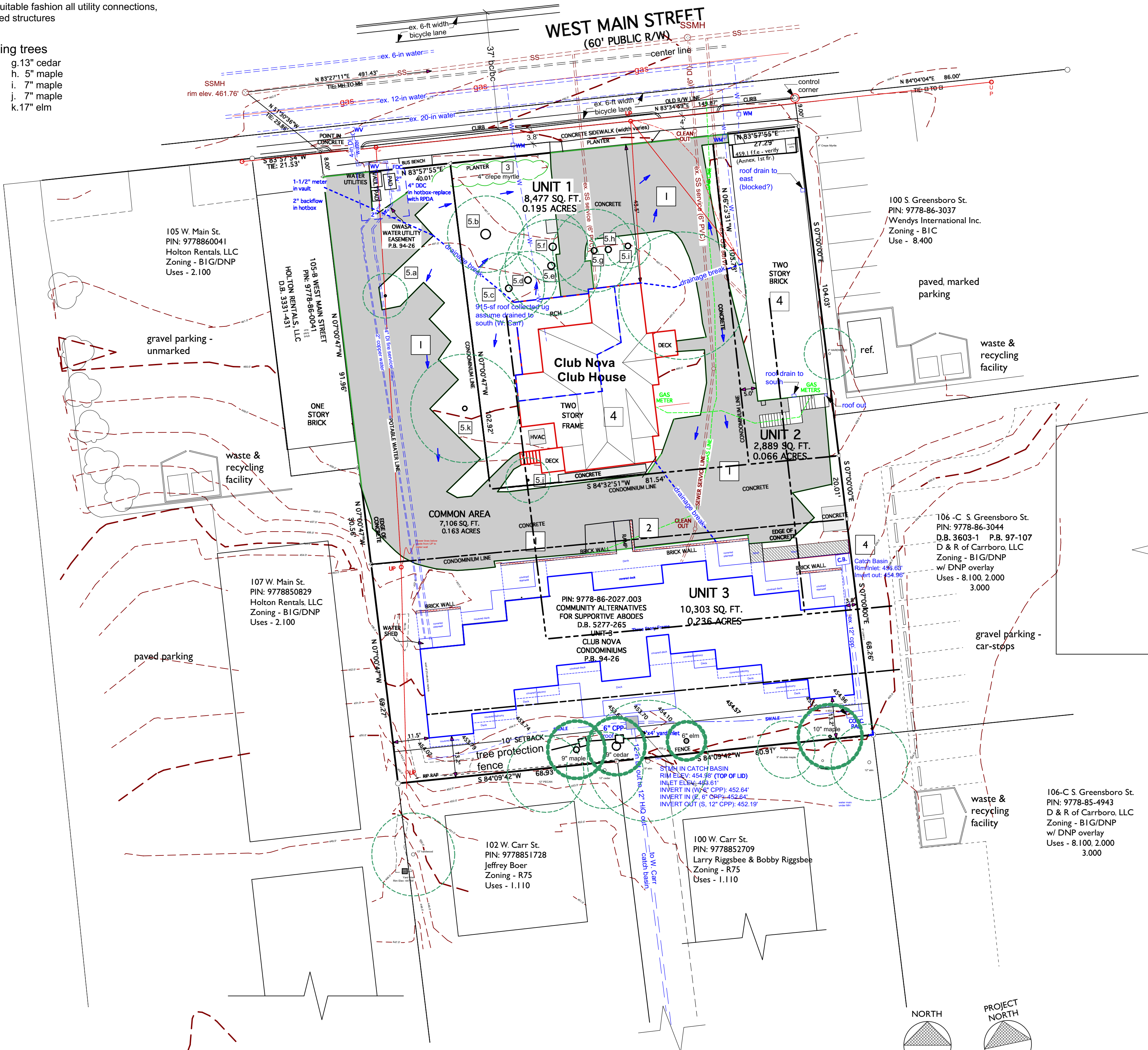


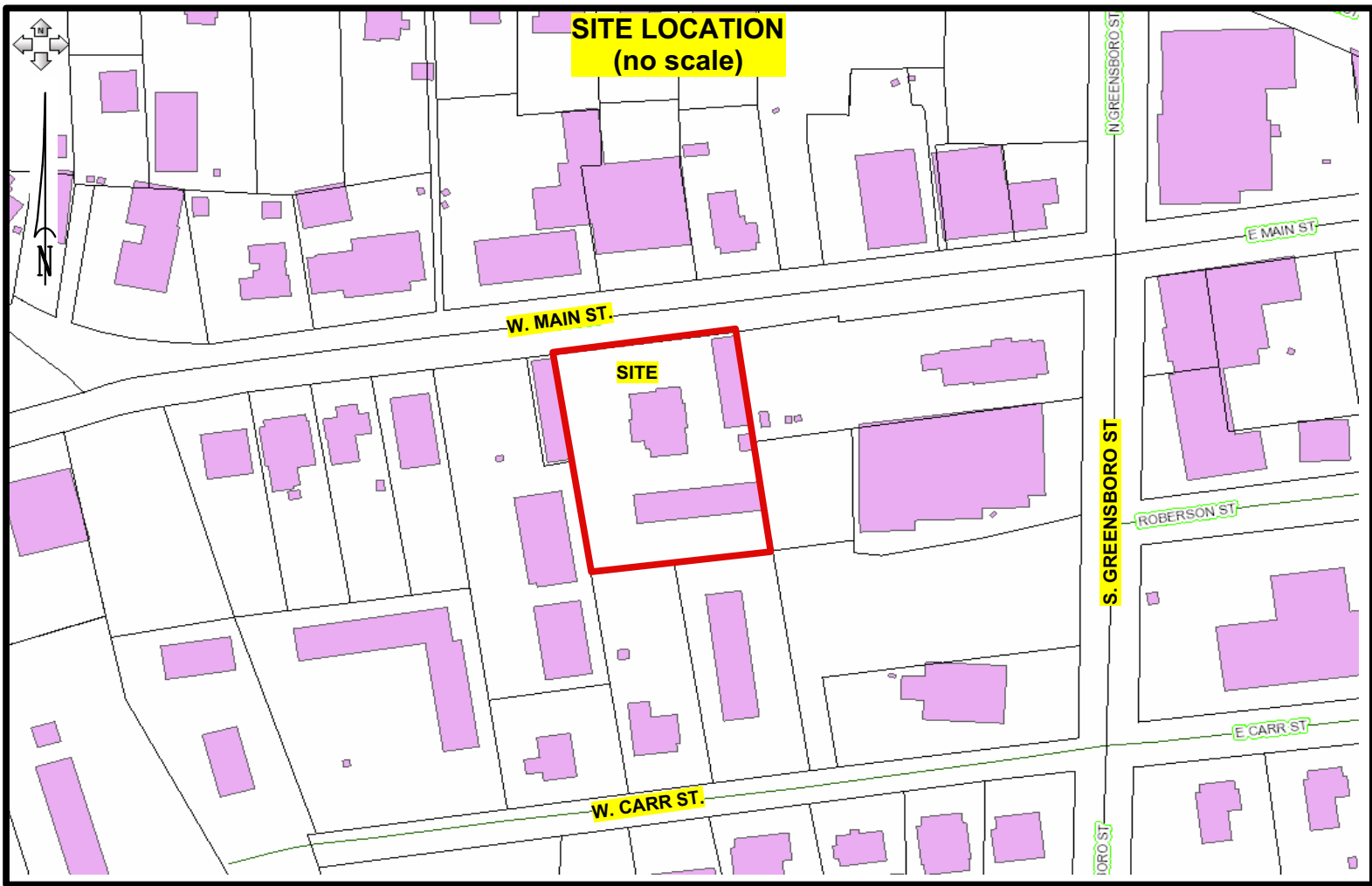
Demolition Notes

- 1 remove existing concrete
- 2 remove existing ramp
- 3 remove existing plantings @ street
- 4 remove existing Clubhouse and Annex
- terminate in suitable fashion all utility connections,
remove indicated structures
- 5 remove existing trees
a. 7" maple
b. 12" pear
c. 11" cedar
d. 9" maple
e. 15" maple
f. 11" maple
g. 13" cedar
h. 5" maple
i. 7" maple
j. 7" maple
k. 17" elm

PRELIMINARY-NOT FOR RECORDING OR
CONVEYANCE



Existing Conditions - 1" = 20'



Location Map (showing existing building footprints)

Project Summary

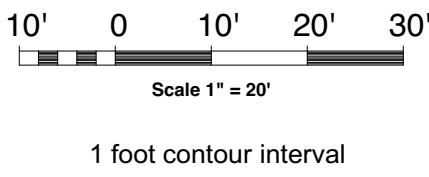
Owner - Club Nova Community Inc.
Applicant - Jack Haggerty, Architect Inc.
Permit Sought - Modification to Conditional Use Permit (no addition of uses)
Address: 103 W. Main St., Carrboro, NC 27510
PIN & Tract Size:
9778862027 - 0.66 ac. / 28,775 s.f. (entire lot)
9778862027.001 - Unit 1 - 0.195 ac. / 8,477 s.f.
9778862027.002 - Unit 2 - 0.066 ac. / 2,889 s.f.
9778862027.003 - Unit 3 - 0.236 ac. / 10,303 s.f.
Common Area - 0.163 ac. / 7,106 s.f.
Zoning District: B-1G
Overlay Zoning Districts: None
Existing Permitted Use Categories: 1.340 (SRO), 2.110 (retail), 3.110 (office)
Proposed Uses: No new proposed uses
Maximum Building Height Permitted: 4 stories
Building Height: 2 story, existing @ Annex, CASH is 3 stories, no change: 3 story proposed for new building
Existing Building Size - Clubhouse - 1,827 s.f. (existing)
Annex - 1 st. flr. - 1,740; 2nd flr. - 1,760 Total - 3,490 s.f. (existing)
Total Existing Building Square Footage - Club Nova 5,317 s.f.
CASH (SRO) 9,496 s.f.
Total Existing Square Footage 14,813 s.f.
Proposed Building Square Footage on Site:
Club Nova, new building, conditioned 12,035 s.f.
CASH 9,496 s.f.
Total New Building Square Footage: 21,531 s.f.
Building Setbacks - B-1-g - no property line setbacks, except 30' from street centerline, 10' from rear if adjoining property zoned R-7.5

Miscellaneous Project Notes

Owner will maintain property in accordance with Carrboro Land Use Ordinance Section 15-67 so that all facilities described in this document can be used or will perform in manner intended.
Developer/Owner/Contractor is required to schedule and coordinate an on-site Pre-Construction Meeting prior to site disturbance w/ representatives of all approving applicable agencies.
Developer/Owner/Contractor is required to provide appropriate and sufficient controls to alleviate depositing mud, stone and other construction related materials on public roadway surfaces. Any materials deposited on the roadway shall be removed promptly either manually, mechanically and/or street washing.
All construction vehicles, equipment and related materials cannot be placed, stored and/or kept within any portion of the public right of way at any time. All on-site materials shall be secured and confined to the lot under construction.
All outdoor lighting is required to meet the applicable requirements of Article XV of the Town of Carrboro Land Use Ordinance
Fire lane striping, as needed, will be coordinated with the Fire Marshal prior to the issuance of a CO per Chapter 12 of the Carrboro Town Code.
An all-weather travel surface must be in place on the roadway prior to receiving building permits.
Per §15-67; The recipient of any zoning, special use, conditional use or sign permit or his successor, shall be responsible for maintaining all common areas, improvements or facilities required by this chapter or any permit issued in accordance with its provisions, except those areas, improvements or facilities with respect to which an offer of dedication to the public has been accepted by the appropriate public authority. As illustrations, and without limiting the generality of the foregoing, this means that private roads and parking areas, water and sewer lines, and recreational facilities must be properly maintained so that they can be used in the manner intended, and required vegetation and trees for screening, landscaping, or shading must be replaced if they die or are destroyed.

Sheet Index

- EC-1 - Existing Conditions, Demolition Notes, Project Notes
SP-1 - Enlarged Site Plan, Shading & Screening Notes
C-1 - Site Modifications - Drainage & Stormwater
C-2 - Site Modifications - Utilities
C-3 - Details
C-4 - Details
C-5 - Erosion Control
A-2 - Preliminary Floorplans
A-3 - Preliminary Elevations



1 foot contour interval

LEGEND

- stream buffer
- spot elevations - existing
- spot elevations - proposed
- existing contours
- proposed contours
- planting, screening
- deciduous tree
- roof drain
- disturbed area
- tree protection fence
- silt fence
- check dam
- stormwater BMP
- power pole
- fire hydrant
- gas pipe
- stormwater
- sanitary sewer
- water
- bicycle rack
- stormwater detention
- Denotes Approx. Tree Line

All topographic and boundary information is from survey drawings provided by Freehold Surveyors, dated various 2012-2018, and from field measurements. A guarantee of accuracy is not implied or intended. Prior to beginning field activities, contractor should verify locations of all existing easements, utilities, structures, and other appurtenances both aboveground and below. It will be contractor's responsibility to report deviations from design drawings. Contractor will be responsible for repairs to damages and site restoration.

PRELIMINARY NOT FOR CONSTRUCTION

Jack Haggerty, Architect Inc.

205 W. Main St., Ste. 211
Carrboro, NC 27510
919.967.5191 jack@jackhaggertyarchitec.com

SGL Technical Services

200 North Greensboro Street Suite B-13A
Carrboro, NC 27510
phone: (919) 942-7812 fax: (919) 942-3647
email: sgt@earthlink.net

Project Name:

Club Nova New Building
and Site Work
CUP Modification

Developer/Owner/Applicant:

CLUB NOVA COMMUNITY INC.
103 W. MAIN ST.
CARRBORO, NC 27510

Drawing Title:

EXISTING CONDITIONS

Revisions:

| Number | Description | Date |
|-------------|-------------------|-----------|
| submittal 2 | revised submittal | July 2017 |
| submittal 3 | revised submittal | May 2018 |
| submittal 4 | revised submittal | June 2019 |

July 23, 2019

Drawn by: SAA

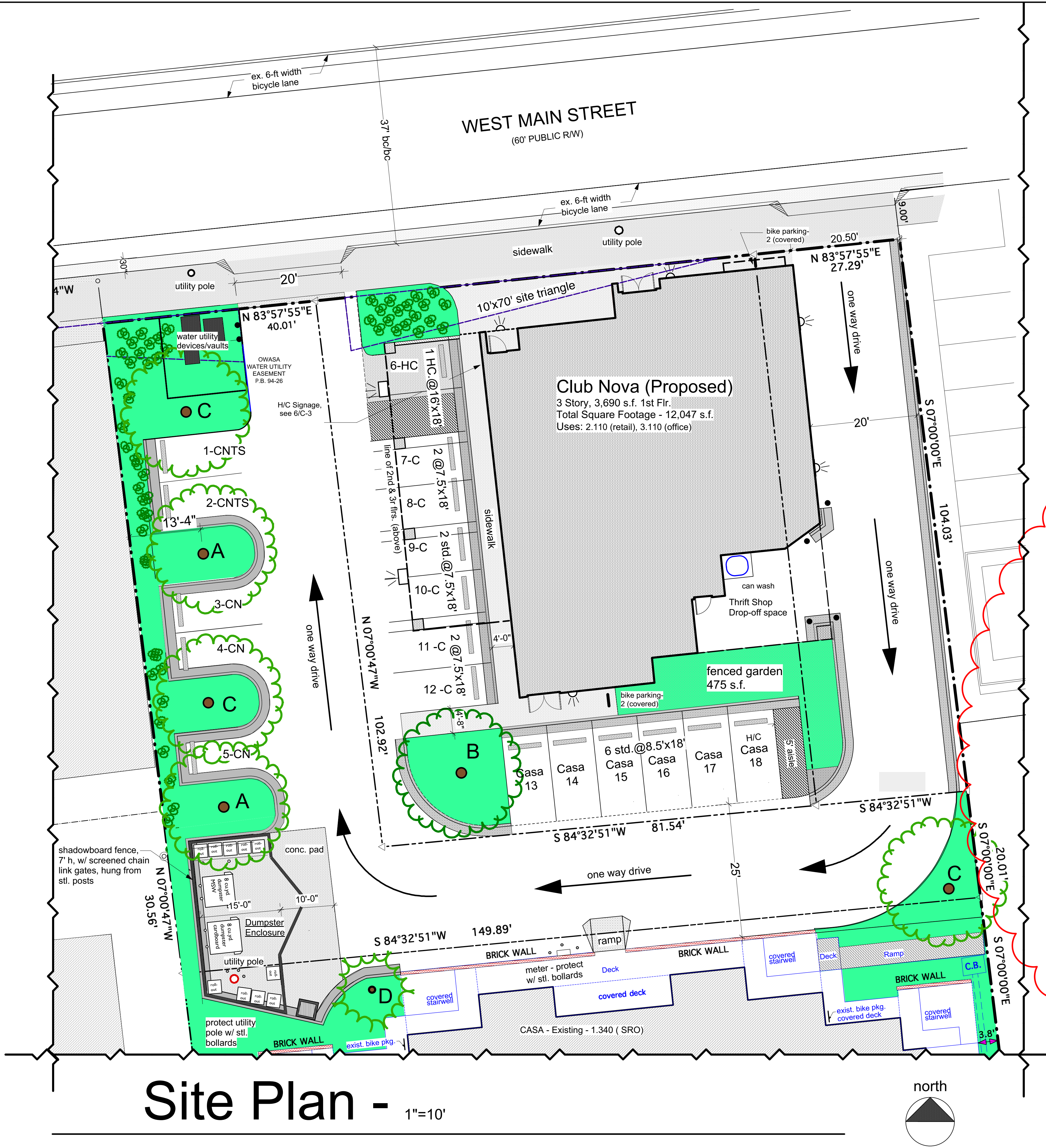
Checked by:

Sheet of

Date: June 13, 2019

Scale: 1"=20'

EC-1



Site Plan - 1"=10'

Parking, Shading, Canopy & Lighting Notes

10.23.19

Parking Summary

Required (presumptive)
Club Nova - 12,047 s.f.
Thrift Shop, 2,000 Use - 1,975 s.f.
Remainder, 3,000 Use - 10,072 s.f.
Apartments - 1,340 (apartments - SRO)
24 units/ 1 space for every 4 units

Total Presumptively Required
Parking Spaces Provided on site:
Parking Spaces Secured by Agreement:
Satellite Parking agreements will be turned in prior public hearing

7 spaces
25 spaces
6 spaces
38 spaces
18 spaces

Bike Parking (see Site Plan for locations)

Existing - 2 covered spaces (@ CASA),
New - 4 spaces covered
Total - 6

The lot is constrained by size and current usus to remain. §15-295.1 allows relief from the bike parking requirements if it is impracticable to satisfy due to the size of the lot and uses to be retained. Neither Club Nova nor CASA believes additional bike parking is required.

Screening Requirements:

Per Town of Carrboro Land Use Ordinance, § 15-306:
Screening should be flexibly administered
North - Main St. - Type C required, and provided
West - 3,000 use to 3,000 - no screening required
South - No change to priorly approved screening
East - No change to priorly approved screening

Tree Legend -

all trees listed are new, each letter identifies a specific tree
all roots of proposed trees will be balled and wrapped in burlap

| Mark | Quantity | Name & Size @ Planting |
|------|----------|--|
| A | 2 | Eastern Red Oak (Quercus rubra) - 2 1/2" caliper, balled and burlap |
| B | 1 | Ginkgo (Ginkgo biloba), male - 2 1/2" caliper, balled and burlap |
| C | 3 | Southern Sugar Maple (Acer saccharum) - 2 1/2" caliper, balled and burlap |
| D | 1 | Service Berry (Amelanchier canadensis) - 1 1/2" caliper, balled and burlap |

Shading Requirements (Vehicle Accomodation Area (V.A.A.), §15-318)

Proposed Vehicle Accomodation Area - 10,803 s.f.
Appendix E-3 of the Land Use Ordinance:
10,803 s.f. x .35 = (req'd area to be shaded) 3,781 s.f.
Proposed: Four large trees - 2,828 s.f.
Two large perimeter tree - 707 s.f.
One small perimter tree - 177 s.f.
Total Shading Proposed 3,712 s.f.
Shading Shortfall 69 s.f.

10.23.19

Canopy Notes

Lot size: 28,775 s.f. (4 land condominiums)
- Sight triangles: - 552 s.f.
- Access easement from Main.St. to CASA s.f. (see Condominium Docs.) - 5,208 s.f.
- OWASA easement - 101 s.f.

Required canopy coverage - 22,914 s.f.x .15 = 3,437 s.f.
Coverage - Existing and Proposed
Existing Trees - 4 trees @ 500 s.f. ea. = 2,000 s.f. (see EC-1, southern end of lot)
Proposed trees - 3 trees @ 500 s.f. ea. = 1,500 s.f.
Total Proposed Canopy - 3,500 s.f.
See EC-1 for tree protection fencing @ rear of CASA

Site Lighting

Site and Building lighting shall comply with §15-245.5. Footcandles will not exceed 2 footcandles at property line. Where there is parking under the building, the lighting will not exceed 10 footcandles at perimeter of building above, per §15-242.6. Light footprints will be submitted with construction drawings. Any existing non-conforming fixtures will be removed.

□ wall-mounted site light, fully- shielded □ wall- building light

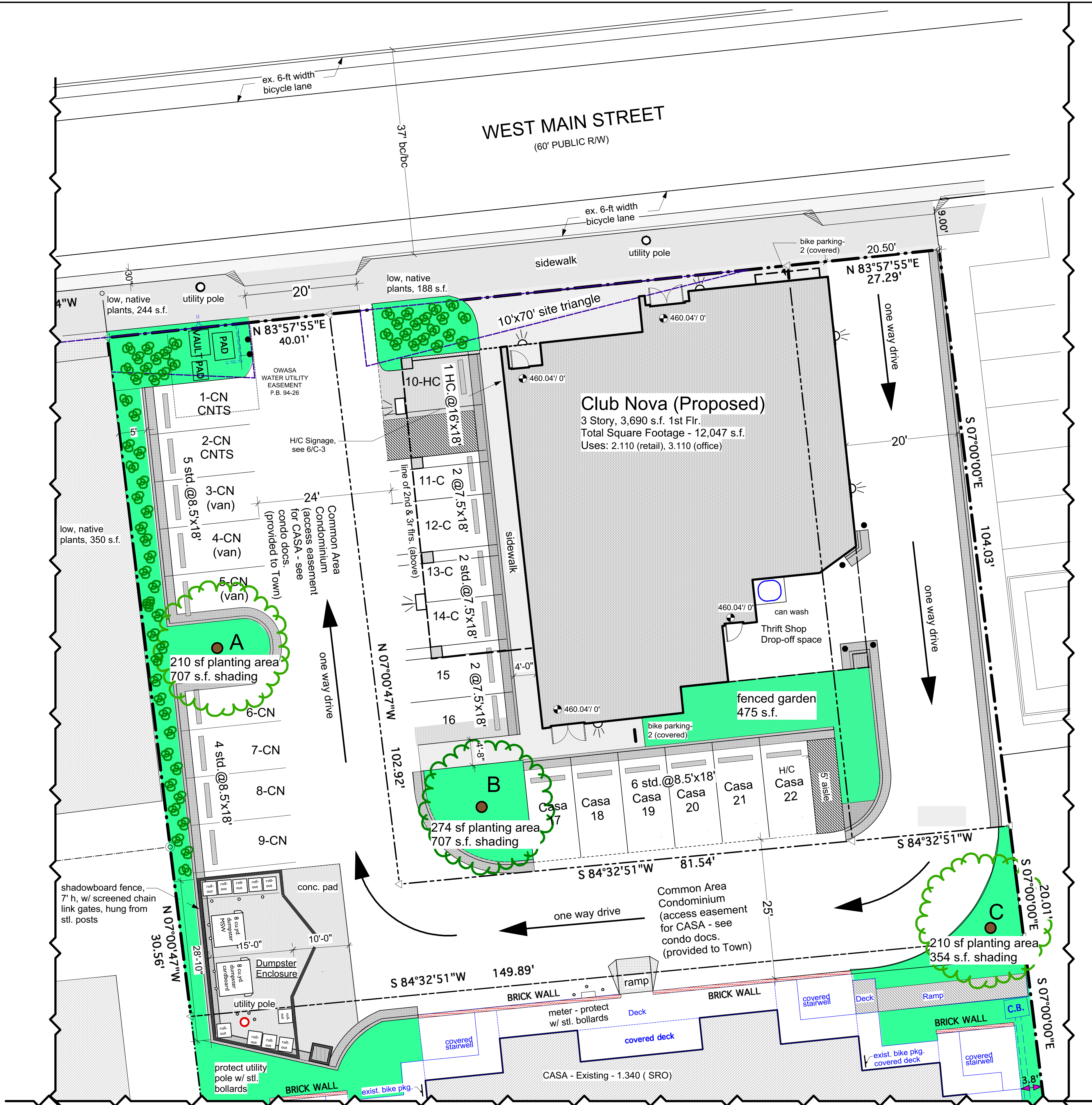
Jack Haggerty, Architect Inc.

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919.967.5191 jack@jackhaggertyarchitect.com

Club Nova
New Building & Sitework
103 W. Main St. Carrboro, NC
Owner: Club Nova Community Inc., T. 919 967-6985, F. 919 968-2522

preliminary - not
for construction
modification to
conditional use
permit

| | |
|------------|------|
| 6.13.2019 | SP-1 |
| 8.26.2019 | |
| 10.23.2019 | |



Site Plan (Option Plan) - 1"=10'

Parking, Shading, Canopy & Lighting Notes

Parking Summary

| | |
|--|-----------|
| Required (presumptive) | |
| Club Nova - 12,047 s.f. | |
| Thrift Shop, 2,000 Use - 1,975 s.f. | 7 spaces |
| Remainder, 3,000 Use - 10,072 s.f. | 25 spaces |
| Apartment - 1,340 (apartment - SRO) | |
| 24 units/ 1 space for every 4 units | 6 spaces |
| Total Presumptively Required | 38 spaces |
| Parking Spaces Provided | 22 spaces |
| Parking Spaces Secured by Agreement: | |
| Satellite Parking agreements will be turned in prior to public hearing | |

Bike Parking (see Site Plan for locations)

Existing - 2 covered spaces (@ CASA),
New - 4 spaces covered
Total - 6

The lot is constrained by size and current us to remain. §15-295.1 allows relief from the bike parking requirements if it is impracticable to satisfy due to the size of the lot and uses to be retained. Neither Club Nova nor CASA believes additional bike parking is required.

Screening Requirements:

Per Town of Carrboro Land Use Ordinance, § 15-306:
Screening should be flexibly administered

North - Main St. - Type C required, and provided
West - 3,000 use to 3,000 - no screening required
South - No change to priorly approved screening
East - No change to priorly approved screening

Tree Legend -

all trees listed are new, each letter identifies a specific tree
all roots of proposed trees will be balled and wrapped in burlap

| Mark | Quantity | Name & Size @ Planting |
|------|----------|---|
| A | 1 | Eastern Red Oak (Quercus rubra) - 2 1/2" caliper, balled and burlap |
| B | 1 | Ginkgo (Ginkgo biloba), male - 2 1/2" caliper, balled and burlap |
| C | 1 | Southern Sugar Maple (Acer saccharum) - 2 1/2" caliper, balled and burlap |

Shading Requirements (Vehicle Accomodation Area (V.A.A.), §15-318)

| | |
|---|-------------------|
| Proposed Vehicle Accomodation Area - | 11,969 s.f. |
| Appendix E-3 of the Land Use Ordinance: | |
| 11,969 s.f. x .35 = (req'd area to be shaded) | 4,189 s.f. |
| Proposed: One perimeter tree- 354 s.f. | |
| Two large trees - 1,414 s.f. | |
| Total Shading Proposed | 1,768 s.f. |
| Shading Shortfall - | 2,421 s.f. |

The existing shading on the lot is not compliant with current V.A. A. shading requirements.

- The CASA structure shades a considerable portion of the V.A.A. as does the proposed Club Nova building.
- The use of e.i.f.s. on the south and west elevations mitigates the urban heat island effect.
- The Site Plan (Option Plan) shows 1,257 s.f. of planted areas and a garden. In most of that area trees are not allowed (sight triangles) or are not recommended due to the proximity to existing buildings.
- The Applicant requests the Board of Aldermen approve a text amendment that will make the Site Plan (Option Plan) compliant with the relevant amended ordinance.

Canopy Notes

| | |
|--|-----------------------------------|
| Lot size: | 28,775 s.f. (4 land condominiums) |
| Sight triangles: | - 205 s.f. |
| Access "easement" from Main.St. to CASA | |
| Common Element | - 7,106 s.f. |
| Required canopy coverage - | 21,464 s.f. adjusted lot area |
| Coverage - Existing and Proposed | 21,464 x .15 = 3,120 s.f. |
| Existing Trees - 4 trees @ 500 s.f. ea. = 2,000 s.f. (see EC-1, southern end of lot) | |
| Proposed trees - 3 trees @ 500 s.f. ea. = 1,500 s.f. | |
| Total Proposed Canopy - | 3,500 s.f. |
| See EC-1 for tree protection fencing @ rear of CASA | |

Site Lighting

Site and Building lighting shall comply with §15-245.5. Footcandles will not exceed 2 footcandles at property line. Where there is parking under the building, the lighting will not exceed 10 footcandles at perimeter of building above, per §15-242.6. Light footprints will be submitted with construction drawings. Any existing non-conforming fixtures will be removed.

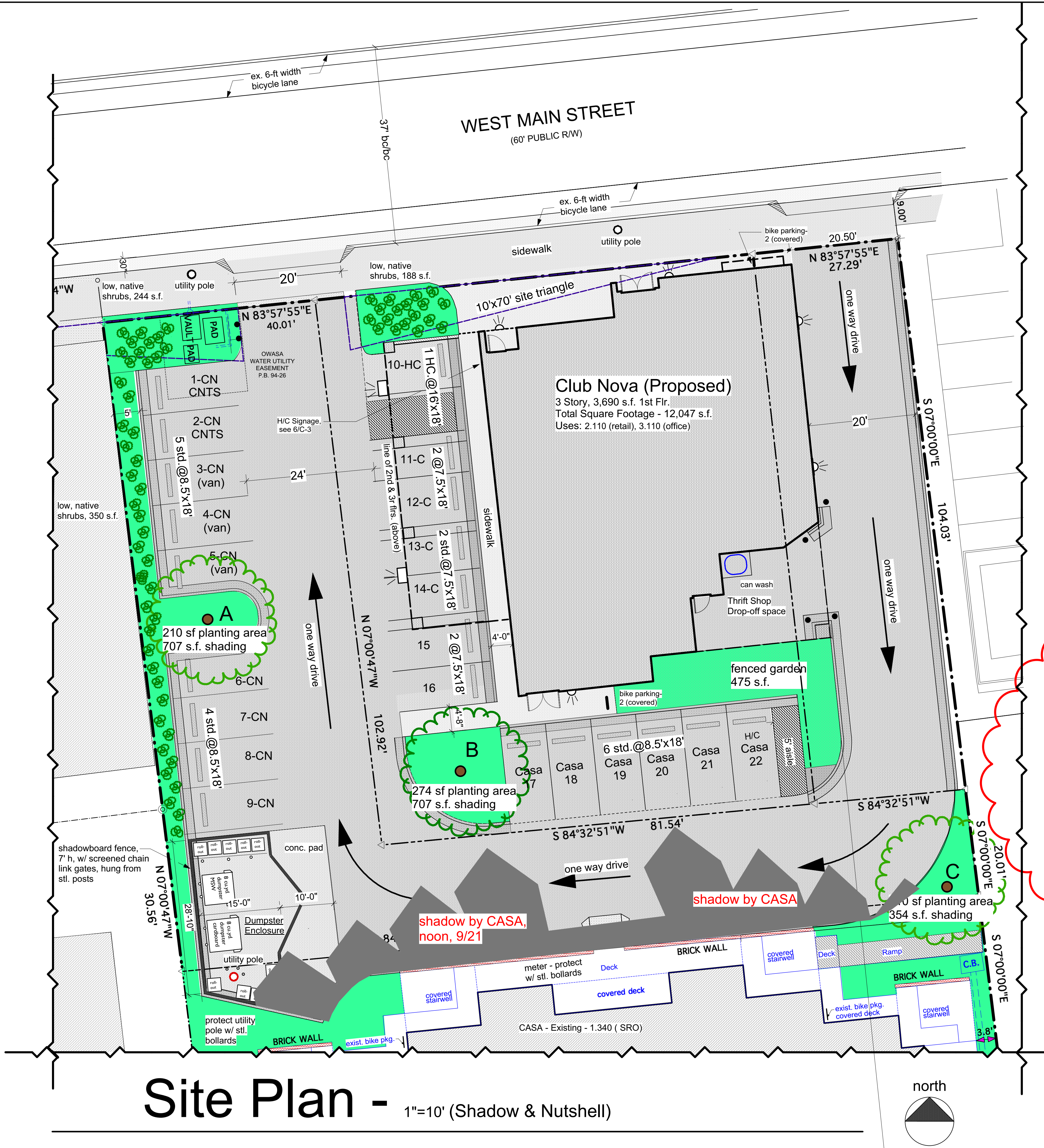
□ wall-mounted site light, fully- shielded □ wall- building light

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Club Nova
New Building & Sitework
103 W. Main St. Carrboro, NC
Owner: Club Nova Community Inc., T. 919 967-6985, F. 919 968-2522

preliminary - not
for construction
modification to
conditional use
permit

| | |
|------------|----------|
| 6.13.2019 | SP-1 |
| 8.26.2019 | (Option) |
| 10.30.2019 | |



Site Plan - 1"=10' (Shadow & Nutshell)

Parking, Shading, Canopy & Lighting Notes

Parking Summary

| | |
|--|-----------|
| Required (presumptive) | |
| Club Nova - 12,047 s.f. | |
| Thrift Shop, 2,000 Use - 1,975 s.f. | 7 spaces |
| Remainder, 3,000 Use - 10,072 s.f. | 25 spaces |
| Apartments - 1,340 (apartments - SRO) | |
| 24 units/ 1 space for every 4 units | 6 spaces |
| Total Presumptively Required | 38 spaces |
| Parking Spaces Provided | 22 spaces |
| Parking Spaces Secured by Agreement: | |
| Satellite Parking agreements will be turned in prior to JAB meeting and public hearing | |

Bike Parking (see Site Plan for locations)
Existing - 2 covered spaces (@ CASA),
New - 4 spaces covered
Total - 6
The lot is constrained by size and current usus to remain. §15-295.1 allows relief from the bike parking requirements if it is impracticable to satisfy due to the size of the lot and uses to be retained. neither Club Nova nor CASA believes additional bike parking is required.

Screening Requirements:
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Tree Legend -
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| Mark | Quantity | Name & Size @ Planting |
|------|----------|---|
| A | 1 | Eastern Red Oak (Quercus rubra) - 2 1/2" caliper, balled and burlap |
| B | 1 | Ginkgo (Ginkgo biloba), male - 2 1/2" caliper, balled and burlap |
| C | 1 | Southern Sugar Maple (Acer saccharum) - 2 1/2" caliper, balled and burlap |

Shading Requirements

| | |
|---|---|
| Proposed Vehicle Accomodation Area - | 11,358 s.f. |
| Appendix E-3 of the Land Use Ordinance: | |
| 11,358 s.f. x .35 = (req'd area to be shaded) | 3,975 s.f. |
| Proposed: One perimeter tree - | 354 s.f. |
| Two large trees - | 1,414 s.f. |
| Total Shading Proposed | -1,768 s.f. |
| Shading Shortfall - | 2,207 s.f. |
| Shadow cast by CASA (ht. 36'-4") | -1,301 s.f. (+/-) (exceeds 25% of req'd shading area) |
| on V.A.A at noon on Sept. 21 | |
| Shading Shortfall - | 906 s.f. |

Given the ground requirements (parking, drives, dumpster), Club Nova requests the B of A review the eleven findings of §15-314 a. "Shading and Tree Protection where "...shrubs and other plants..." is listed in nine of the eleven findings describing the benefits and values of in-town flora. In addition to the trees and shadow of the CASA building, the Site Plan shows 1,275 s.f. of native plants and a garden. Club Nova will coordinate on that selection with expert recommendations for pollinators suitable for the indicated location. Note - the Project satisfies the Canopy Requirement.

Canopy Notes

| | |
|--|-----------------------------------|
| Lot size: | 28,775 s.f. (4 land condominiums) |
| - Sight triangles: | - 552 s.f. |
| - Access easement from Main.St. to CASA s.f. (see Condominium Docs.) | - 5,208 s.f. |
| - OWASA easement | - 101 s.f. |
| Required canopy coverage - 22,914 s.f. x .15 = 3,437 s.f. | |
| Coverage - Existing and Proposed | |
| Existing Trees - 4 trees @ 500 s.f. ea. = 2,000 s.f. (see EC-1, southern end of lot) | |
| Proposed trees - 3 trees @ 500 s.f. ea. = 1,500 s.f. | |
| Total Proposed Canopy - | 3,500 s.f. |
| See EC-1 for tree protection fencing @ rear of CASA | |

Site Lighting
Site and Building lighting shall comply with §15-245.5. Footcandles will not exceed 2 footcandles at property line. Where there is parking under the building, the lighting will not exceed 10 footcandles at perimeter of building above, per §15-242.6. Light footprints will be submitted with construction drawings. Any existing non-conforming fixtures will be removed.

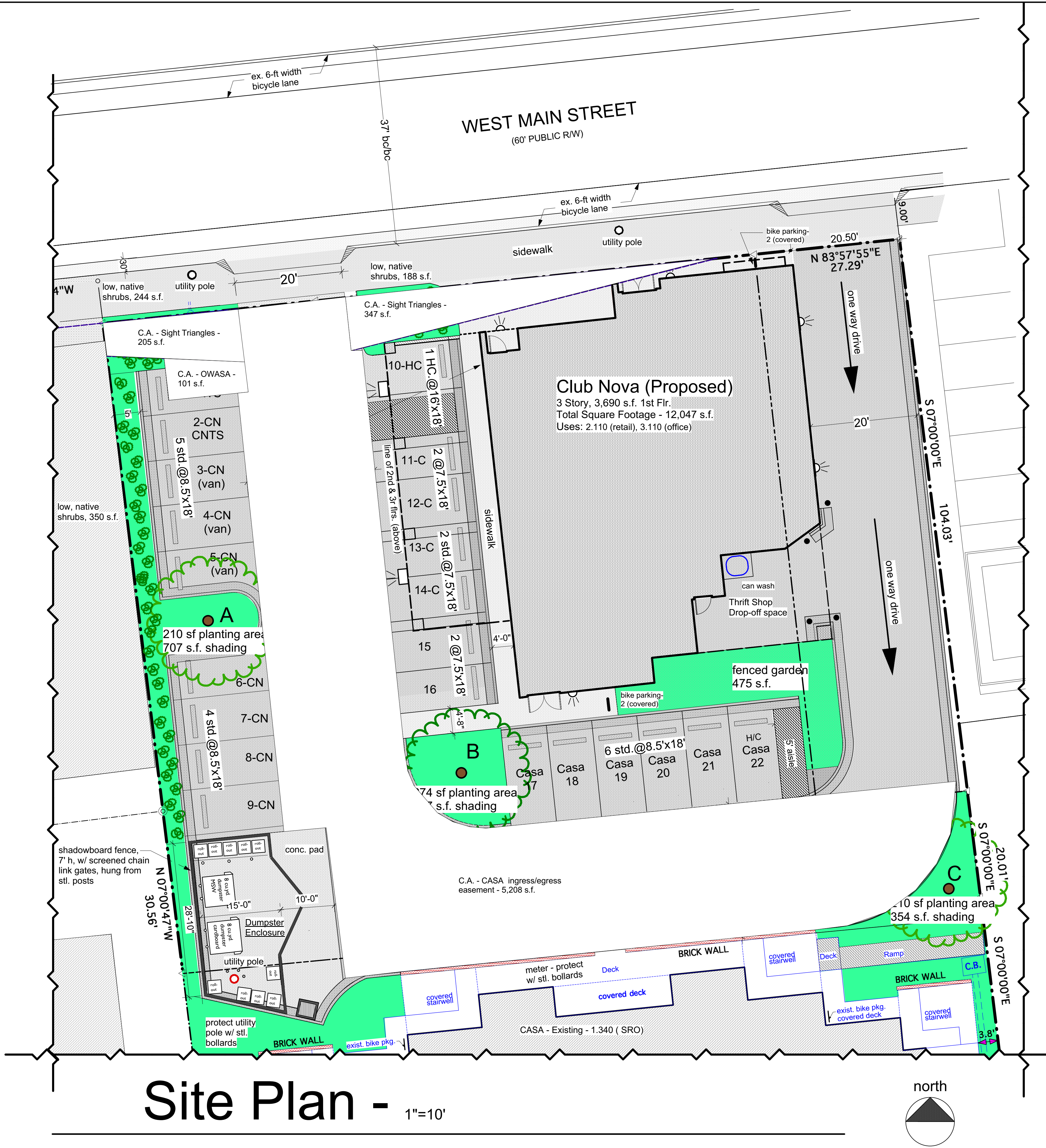
☐ wall-mounted site light, fully- shielded ☐ wall- building light

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103 W. Main St. Carrboro, NC
Owner: Club Nova Community Inc., T. 919 967-6985, F. 919 968-2522

preliminary - not
for construction
modification to
conditional use
permit

6.13.2019
8.26.2019 SP-1



Parking, Shading, Canopy & Lighting Notes

Parking Summary

| | |
|--|-----------|
| Required (presumptive) | |
| Club Nova - 12,047 s.f. | |
| Thrift Shop, 2,000 Use - 1,975 s.f. | 7 spaces |
| Remainder, 3,000 Use - 10,072 s.f. | 25 spaces |
| Apartment - 1,340 (apartment - SRO) | |
| 24 units/ 1 space for every 4 units | 6 spaces |
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| Parking Spaces Provided | 22 spaces |
| Parking Spaces Secured by Agreement: | |
| Satellite Parking agreements will be turned in prior to JAB meeting and public hearing | |

Bike Parking (see Site Plan for locations)

Existing - 2 covered spaces (@ CASA),
New - 4 spaces covered
Total - 6

The lot is constrained by size and current us to remain. §15-295.1 allows relief from the bike parking requirements if it is impracticable to satisfy due to the size of the lot and uses to be retained. neither Club Nova nor CASA believes additional bike parking is required.

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Tree Legend -

all trees listed are new, each letter identifies a specific tree
all roots of proposed trees will be balled and wrapped in burlap

| Mark | Quantity | Name & Size @ Planting |
|------|----------|---|
| A | 1 | Eastern Red Oak (Quercus rubra) - 2 1/2" caliper, balled and burlap |
| B | 1 | Ginkgo (Ginkgo biloba), male - 2 1/2" caliper, balled and burlap |
| C | 1 | Southern Sugar Maple (Acer saccharum) - 2 1/2" caliper, balled and burlap |

Shading Requirements

Proposed Vehicle Accommodation Area - 11,969 s.f.
Appendix E-3 of the Land Use Ordinance: 4,189 s.f.
Proposed: One perimeter tree- 354 s.f.
Two large trees - 1,414 s.f.
Total Shading Proposed - 1,768 s.f.
Shading Shortfall - 2,421 s.f.

The existing shading on the lot is not compliant with current shading requirements (§15-318).
- The CASA structure shades a considerable portion of the drive as does the proposed Club Nova building.
- The use of e.i.f.s. on the south and west elevations mitigates the urban heat island effect.
- The Applicant requests the Board of Aldermen approve the shading shown.

Canopy Notes

Lot size: 28,775 s.f. (4 land condominiums)
- Sight triangles: 552 s.f.
- Access easement from Main St. to CASA s.f. (see Condominium Docs.) - 5,208 s.f.
- OWASA easement - 101 s.f.

Required canopy coverage - 22,914 s.f.x .15 = 3,437 s.f.
Coverage - Existing and Proposed
Existing Trees - 4 trees @ 500 s.f. ea. = 2,000 s.f. (see EC-1, southern end of lot)
Proposed trees - 3 trees @ 500 s.f. ea. = 1,500 s.f.
Total Proposed Canopy - 3,500 s.f.
See EC-1 for tree protection fencing @ rear of CASA

Site Lighting

Site and Building lighting shall comply with §15-245.5. Footcandles will not exceed 2 footcandles at property line. Where there is parking under the building, the lighting will not exceed 10 footcandles at perimeter of building above, per §15-242.6. Light footprints will be submitted with construction drawings. Any existing non-conforming fixtures will be removed.

☐ wall-mounted site light, fully- shielded ☐ wall- building light

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**Club Nova
New Building & Sitework**
103 W. Main St. Carrboro, NC
Owner: Club Nova Community Inc., T. 919 967-6985, F. 919 968-2522

**preliminary - not
for construction
modification to
conditional use
permit**

6.13.2019
8.26.2019 SP-1

CONTACT the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.

General Notes

1. Prior to any construction within the right-of-way, owner will secure permit from NCDOT and/or Town of Carboro.
2. Disturbed areas within rights-of-way shall be repaired (by contractor) as specified by NCDOT and/or Town of Carboro DPW.
3. Owner will maintain property in accordance with Carboro Land Use Ordinance Section 15-67 so that all facilities described in this document can be used or will perform in manner intended.
4. Property owner will store large construction vehicles and equipment on site owner's property.
5. Owner/Developer will coordinate pre-construction meetings with applicable local approving agencies prior to site disturbance.
6. Existing driveway turnouts shall be removed and replaced per Town of Carboro specifications for 6" vertical curb with standard 24" gutter. Sidewalks will be repaired/replaced/installed in accordance with Town standards. Town Department of Public Works shall be contacted in advance of all removals for inspections (DPW, Construction Inspection: (919) 918-7425). Driveway permits, obtainable from DPW, and/or NCDOT, as applicable, will be required, prior to installation of new driveways.
7. All damages to Public infrastructure shall be restored in accordance with Town of Carboro standards. Approval by Town representative shall be required prior to issuance of C.O.
8. Construction vehicles, equipment, and related materials shall not be delivered, temporarily placed or stored within any portion of the public right-of-way. All materials stored on-site shall be confined and secured.
9. Signage will not be part of the project. No sign permit is being sought at this time.

Pavement Repairs

1. NOTE: Adhere to recommended controls for traffic closure whenever construction activities impact or take place upon E. Main St. See typical asphalt pavement repair detail on sheet C-3.
2. All work within W. Main St R-O-W shall be reviewed and coordinated with NCDOT and/or Carboro Public Works (Contact DPW, TOC Construction Inspector: (919) 918-7425), prior to any disturbances within the public right-of-way.
3. Asphalt cuts shall be sharp and neat. Asphalt pavement and subgrade shall be restored to original or design elevation and condition in accordance with the regulations of the Town of Carboro Development Ordinance, NCDOT requirements and in cooperation with the TOC Department of Public Works.
4. Subgrade and fill below it must be replaced with suitable, compactable material placed and compacted in maximum 8 inch lifts. Upper 6 inches of subgrade shall be compacted to 100% AASHTO T99 as confirmed by independent test. Fill that is loamy or loose, or soft, or composed of unsuitable materials must be replaced.
5. Unless directed otherwise by Department of Public Works, base course shall consist of 8 inch thickness of NCDOT Type ABC crushed stone. Stone shall be free of foreign materials and shall be handled and placed in 4 inch lifts, watered if necessary, and compacted to 100% AASHTO T99 specifications in accordance with NCDOT guidelines.
6. Pavement surfaces shall meet NCDOT specifications for Type I-2 asphalt or NCDOT approved equivalent. The asphalt shall be handled and placed in a single 2 inch layer in accordance with NCDOT guidelines.

Erosion & Sediment Control

1. Owner/developer is required to adhere to NC Sediment Control Act, the Orange County Soil Erosion and Sedimentation Ordinance and Sections 15-262 and 15-264 of the TOC LUO. Owner/Developer shall provide site controls to prevent off-site sediment migration including temporary stone construction entrances to minimize or eliminate transport of sediments from site to public right-of-way. Public road and sidewalk surfaces shall be continually maintained and kept clear of debris and sediments. A permit from Orange County is required.
 2. During construction activities, owner/contractor shall install temporary Dandy Curb Bags or approved equivalent inlet protection devices at each area inlet or catch basin that may intercept surface runoff from the construction site. Note: protect all inlets that may be affected around site perimeter.
 3. During construction activities, owner/contractor shall install temporary Check Dams in roadside ditches that may intercept surface runoff from the construction site.
 4. Construction entrances shall be constructed as shown in detail on sheet C-3.
 5. Collected runoff or groundwater water that is pumped from site must be discharged through approved sediment filtering bag.
- Site Grading and Soil Replacement**
1. Subgrade repairs will be necessary where high plasticity or other soils not suitable for supporting structures are encountered.
 2. Following removal of existing structures, gravel, asphalt and concrete, a licensed Geotechnical engineer shall direct and approve all excavation and soil repairs/replacement.
 3. All soils from either on or off-site that are used as structural fill must be approved by Geotechnical engineer. Adequate soil placement and soil density must be verified by third party testing.
 4. Slabs-on-grade support - Minimum 4" thickness stone placed beneath concrete slabs (minimum 6" beneath parking area) shall be ABC, not #57 or #67. No high plasticity soils shall be present within final 12-inches of soil subgrade. Adequate compaction shall be verified by third party.
 5. Parking lot paving - Use 2-in thickness I-2 or equivalent asphalt over minimum 8-in stone base. In traffic aisles or areas subject to light truck traffic, use 3-in thickness I-2 or equivalent asphalt over minimum 8-in stone base. Pavement in areas subject to heavy truck loading should be 2-in I-2 asphalt over 2" binder and 8-in ABC.
 6. All areas to be paved or re-paved shall be proofrolled in presence of geotechnical engineer prior to placement of base coarse stone. Soil repair shall be directed by engineer. In all cases, adequate subgrade support and compactive effort shall be verified by third party testing.
 7. If dewatering such as trenching, ditching, sumping and/or pumping is required to control surface water and/or groundwater during construction, note 5 under Sediment and Erosion Control will apply.

Pipe, Valve & Inlet Installation

1. All RCP shall be Class III or stronger. Alternate drainage pipe materials must be pre-approved by engineer/architect/TOC.
2. Manufacturer's recommendations for pipe and material loading, unloading, storage, handling and installation are assumed part of this specification.
3. Where feasible, existing stormwater piping may be integrated into new subsurface stormwater system. Pipes, inlets or any other ancillary equipment that might be re-used must be approved in advance by the Town DPW if proposed use is within or connected to the public stormwater drainage system. For other possible re-use, advance approval by owner/architect/engineer will be required.
4. Material and installation requirements as specified in the NC Fire, Plumbing, Mechanical, Electrical and Building Codes will apply.
5. Drainage Structures - Where applicable, all street storm water curb inlet hoods shall have the following message imprinted into the casting - fish logo with "Dump No Waste - Drains to Jordan Lake" - Public storm water manholes shall have the following imprinted into the casting - "Town of Carboro - Entry Permit Required - Storm Water - Danger - Private manholes/covers shall replace "Town of Carboro" with "Private".
6. All public street water valves, sanitary and storm sewer manhole adjustments and new installations require that concrete stabilization pads be placed around the utility access points within the roadway. Refer to OWASA Stds. 513.02 and 532.06-1.

Handicapped curb cut/sidewalk connections

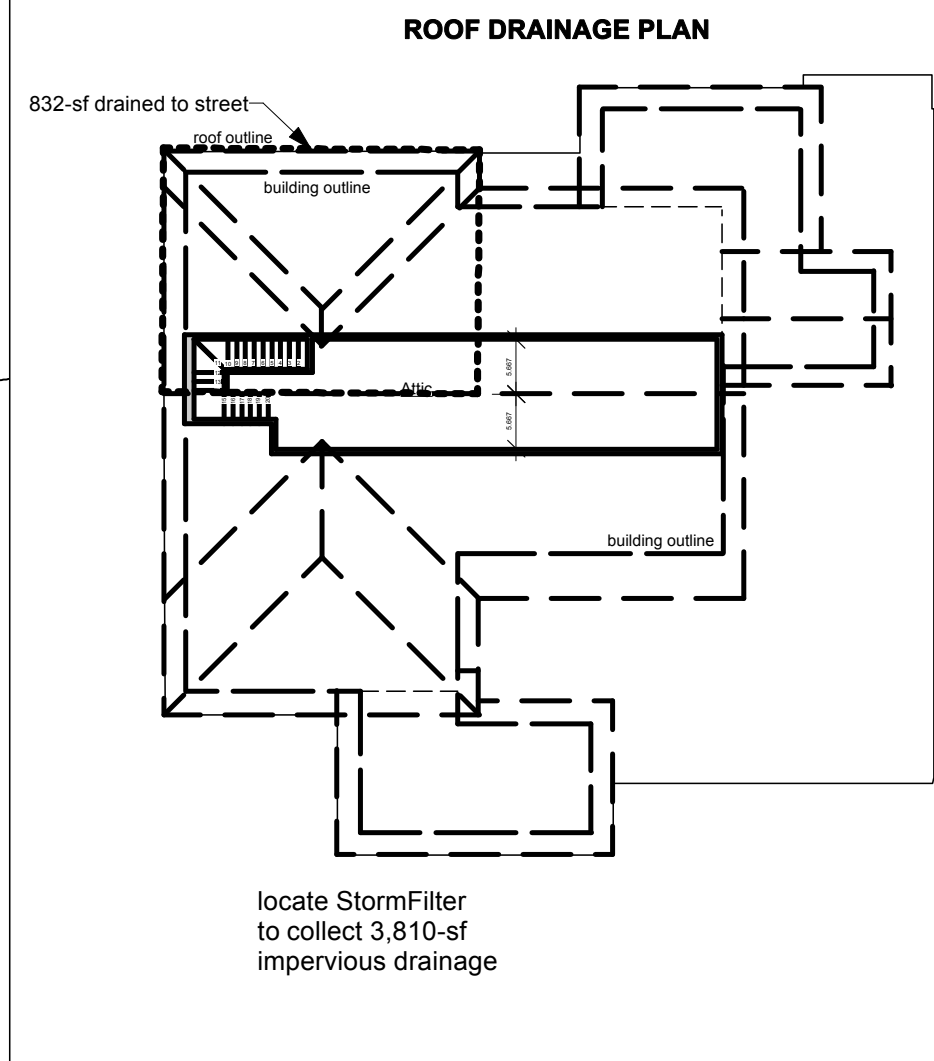
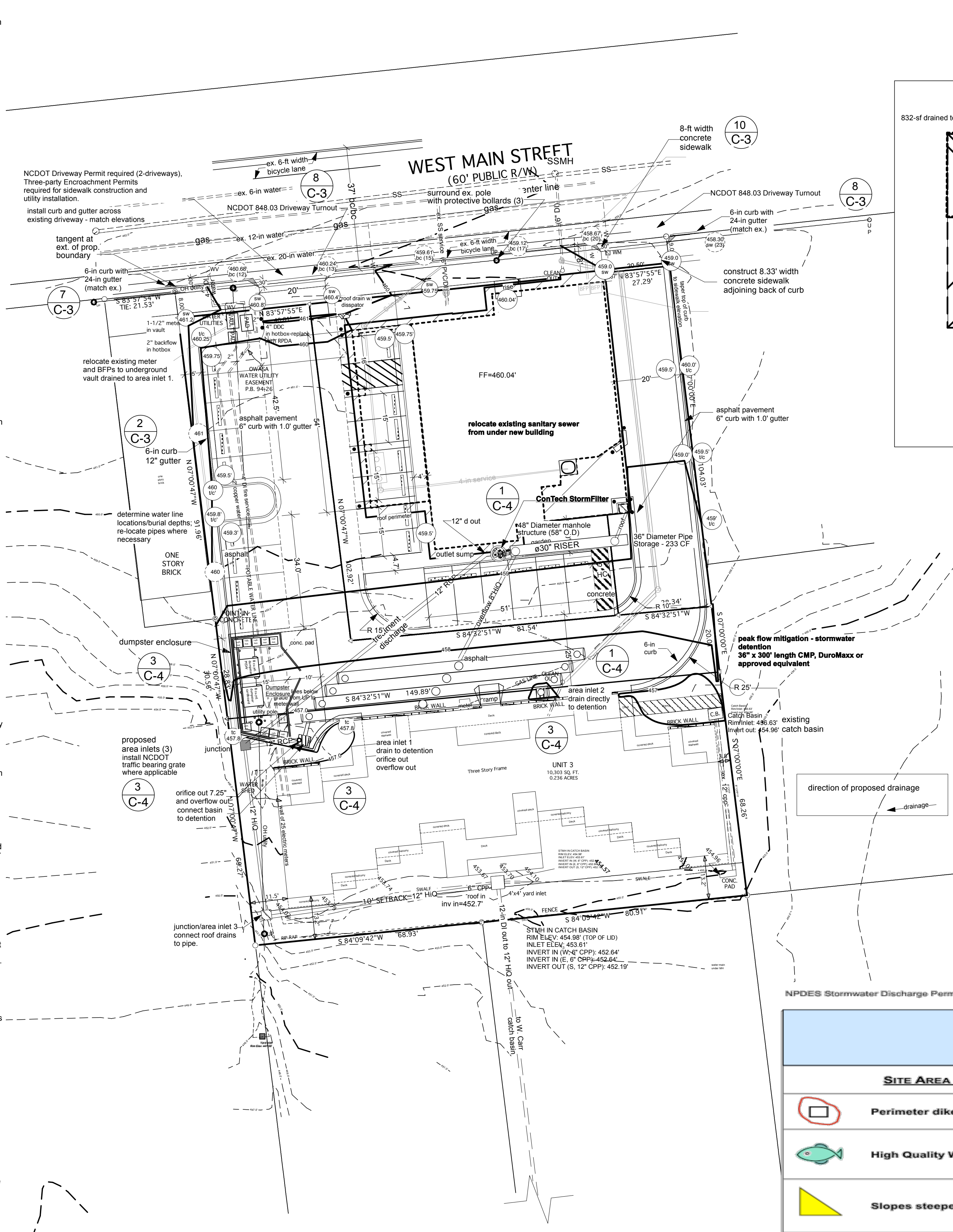
1. The required detectable truncated zone surfacing within the approach ramp must be red modular truncated dome units set on 4" thick 3000 psi concrete with bedding sand.
2. Slopes of access ramps shall be maximum 12(h):1(v) in all cases.

NCDOT

1. All curb and gutter, drainage, sidewalk, and wheel chair ramps, etc. within the NCDOT right of way shall meet NCDOT standards.
2. No work shall be performed prior to issuance of approved NCDOT encroachment agreements. Encroachment agreements shall be issued upon receipt of approved plans and any necessary performance bonds.

Pre-Construction Meeting

Prior to any demolition or construction activity on the site, applicant will hold a pre-demolition, pre-construction conference that includes representatives of OC Solid Waste, OC Erosion Control Division, NCDOT, Town of Carboro DPW, Town of Carboro Inspections and Zoning, the mechanical grading and utility contractors, the Project Engineer and Architect, and other involved parties.



Site Description

1. Name: Club Nova
 2. Address: 103 W. Main St, Carboro, NC 27510
owner address: same
 3. Parcel ID: PIN #9778862027
 4. Area: 0.66-ac +/- (~28,775-sf)
 5. Application: CUP
 6. Zoning: B1(g)
 7. Existing Use: commercial, residential development
 8. Soil Type: luB, Iredell Urban, slopes 1%-8%, group C/D
- Required Setbacks for B1(g) Zone**
- sides: 0-ft
front: 30-ft from street centerline
rear: 10-ft (setback for adjoining zoning district)

DRAINAGE SUMMARY

SITE (no donations): 0.66-ac. (28,775-sf)

pre-development impervious surfaces:
buildings (3): 8,976-sf
concrete pads: 236-sf
pavement (conc.): 0,037-sf
TOTAL pre-development impervious area: 10,309-sf (63.6% of area)
pre-d area draining to W. Main Street: 4,484-sf (incl. ~12% of imp. sur.)

post-development impervious surfaces:
buildings (3): 10,677-sf
pavements (asph&conc.): 11,433-sf
TOTAL post-development impervious area: 22,119-sf (76.9% of area)
post-d area draining to W. Main Street: 1,983-sf (incl. ~11.4% of imp. sur.)

TOTAL increased impervious surface: 3,810-sf

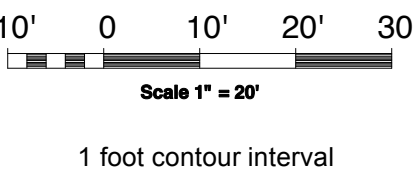
CN (composite curve number): 92 (pre-development)
Maximum allowable increase in annual stormwater runoff volume: 50%
pre-development runoff volume: 63,573-cf
post-development runoff volume: 75,740-cf (no BMPs)
post-development increase (%): 12,167-cf (~19%)

Q(p) - peak discharges (25-yr, 24-hr event)
total site: Qp(25) pre: 4.29-cfs
Qp(25) post: 4.62-cfs (undetained, +0.33-cfs)
peak northward to W. Main St.: Qp(25) pre: 0.60-cfs
Qp(25) post: 0.35-cfs
peak apartments to W. Carr St.: Qp(25) pre: 1.36-cfs
Qp(25) post: 1.34-cfs
peak southward to W. Carr St.: Qp(25) pre: 2.33-cfs
Qp(25) post: 2.15-cfs
total site peak discharge with detention: 3.88-cfs

Total Nitrogen Loading pre-development: 8.03 lb/ac/yr
Total Nitrogen Loading post-development (no BMPs): 9.47 lb/ac/yr
N increase (2.2 max): 1.44 lb/ac/yr

Total Phosphorus Loading pre-development: 1.04 lb/ac/yr
Total Phosphorus Loading post-development (no BMPs): 1.15 lb/ac/yr
P increase (0.82 max): 0.11 lb/ac/yr

design impervious area for 12-in pipe to W. Carr St: 20,771-sf
post-development impervious areas to W. Carr St: 20,283-sf, (15,220-sf detained)



LEGEND

- stream buffer
 - spot elevations - existing
 - spot elevations - proposed
 - existing contours
 - proposed contours
 - planting, screening
 - deciduous tree
 - roof drain
 - disturbed area
 - tree protection fence
 - silt fence
 - check dam
 - stormwater BMP
 - power pole
 - fire hydrant
 - gas pipe
 - stormwater
 - sanitary sewer
 - water
 - bicycle rack
 - stormwater detention
- Denotes Approx. Tree Line

All topographic and boundary information is from survey drawings provided by Freehold Surveyors, dated various 2012-2018, and from field measurements. A guarantee of accuracy is not implied or intended. Prior to beginning field activities, contractor should verify locations of all existing easements, utilities, structures, and other appurtenances both aboveground and below. It will be contractor's responsibility to report deviations from design drawings. Contractor will be responsible for repairs to damages and site restoration.

PRELIMINARY NOT FOR CONSTRUCTION

SGI Technical Services
200 North Greensboro Street Suite B-13A
Carboro, NC 27510
phone: (919) 942-7612 fax: (919) 942-3647
email: sgit@earthlink.net

Project Name:

**CLUB NOVA NEW BUILDING
AND SITE WORK
CUP Modification**

Developer/Owner/Applicant:

CLUB NOVA Community INC.
103 W. MAIN ST.
CARRBORO, NC 27510

Drawing Title:

**SITE DRAINAGE
STORMWATER MANGEMENT**

Revisions:

| Number | Description | Date |
|-------------|-------------------|-----------|
| submittal 2 | revised submittal | July 2017 |
| submittal 3 | revised submittal | May 2018 |
| submittal 4 | revised submittal | June 2019 |

Drawn by: **SAA**

Checked by:

Date: 12 June 2019

Sheet

of

Scale: 1"=20'

C-1

CONTACT the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.

Prior to undertaking field activities, it will be necessary to map the underground utilities on this property both horizontally and vertically.

Proposed Site Modifications

NCDOT R-O-W

1. Specifications from the latest version of the "Policies and Procedures for Accommodating Utilities on Highway Rights of Way" by NC Division of Highways are applicable to this project. Please refer to this document for information not specifically cited on this drawing. The following list is a summary only and is not intended to be a comprehensive listing of NCDOT requirements and specifications.
2. An NCDOT Encroachment Agreement must be obtained by owner/contractor in order to perform work within the E. Main St. Public R-O-W (right-of-way).
3. The NCDOT Division Engineer or his representative shall be notified prior to performing work within the Public R-O-W in order to establish work schedule.
4. Materials shall not be stored in the public roadway. Vehicles shall not be parked within the traveled way. There shall be no blockage of drainage.
5. NCDOT material requirements are applicable for pipe installations within the E. Main St. St. public R-O-W. Ductile iron pipe shall be class 50 min. strength. Copper pipe for sizes 3/4"-to-2" shall be Type K meeting ASTM specification B-88. Smooth Wall Steel Pipe shall meet API 5L Grade B specifications. Spiral Welded Steel Pipe shall meet ASTM specification A-211. Circular Black Steel Pipe shall meet ASTM specification A-120 or A-569. Additional materials are listed in the NCDOT document cited in Item #1. Materials not specifically listed must be approved in advance by NCDOT. Pipelines that are not of ferrous material shall have locating tape installed.
6. Top of pipes installed within public R-O-W shall be at least 3-ft below the surface.
7. Open cuts shall not exceed 10-ft depth. Pipe shall be properly bedded on uncontaminated soil uniformly firm over entire length and exposed to fit pipe for at least 10% of outside diameter. If rock is encountered in excavation, it shall be undercut at least 6-in and backfilled with suitable material. Soil shall be compacted to at least 95% of standard density (ASTM 1-99). Excess excavated material shall be removed and disposed of outside limits of R-O-W in manner approved by NCDOT.
8. All areas disturbed during the construction or maintenance shall be restored to the satisfaction of the Division Engineer or his representative.
9. Contractor shall exercise every caution to prevent erosion of soil or off-site migration of sediments or pollutants. NCDOT, NCDENR and Orange County Erosion Control and Mitigation rules apply. Disturbed surfaces shall be restored in manner specified by NCDOT immediately upon completion of disturbing activity.
10. 10'x70' site triangle shall be free of construction and plants greater than 2-ft height.

TOWN OF CARRBORO - GENERAL NOTES TO OWNER/CONTRACTORS:

1. Per section 15-246 of the LUO, all new utilities as well as re-located utilities must be located underground.
2. Per section 15-248 of the LUO, please note that as-built drawings must be submitted to the Town for any utilities installed within the public right-of-way (water sewer). All utilities installed by a utility company (electric, gas, cable, telephone) should be shown on as-built drawings maintained by the utility company.
3. Coordinate two-lane controls for traffic closure with Town DPW and/or NCDOT whenever construction activities impact or take place upon E. Main Street. See typical asphalt pavement repair detail.
4. All work within the public R-O-W must be reviewed and coordinated with Carboro Public Works. Contact DPW Construction Inspection: (919) 916-7425, prior to any disturbances within the public right-of-way.

TOWN OF CARRBORO - FIRE DEPARTMENT

1. The 2012 North Carolina Fire Code (NFCF) and/or the International Fire Code (IFC) with North Carolina Amendments apply to this project.
2. All fire installations shall comply with OWASA and NFPA 24 Standards.
3. NOTIFICATION - Contractor shall notify Fire Marshal at least 24-hrs prior to flushing all fire lines. Flushing must be witnessed by fire department personnel.

OWASA CONSTRUCTION:

1. Sprinkler System, Water Meters, Service Laterals, Pipe, Backflow Preventers and ancillary equipment must comply with OWASA specifications for materials and installation.
2. Where meters and valves are installed outside of public ROW, an access and maintenance easement must be provided to OWASA.
3. If a fire hydrant is to be installed, location must be approved by OWASA, Town and owner.
4. Sewer service connections to building must be DIP within OWASA easements, but can be PVC outside OWASA easements.
5. Use Town recommended two-lane controls for traffic closure if construction activities impact or take place on E. Main St. See typical asphalt pavement repair details.
6. All public street water valves, sanitary and storm sewer manhole adjustments and new installations require concrete stabilization pads to be placed around the utility access points within the roadway. Refer to OWASA Std. 513.02 (water valve) and Std. 532.06-1 (sewer and storm detail).
7. For water and sewer extensions into the public right of way - Contractor must obtain approved NCDOT Encroachment Agreement prior to any work within the roadway. Contractor shall be responsible for pavement restoration in accordance with NCDOT and/or Town pavement repair specifications.
8. Install thrust blocks per OWASA specifications wherever directional changes occur in Water Main.

PIPE INSTALLATION:

1. Pipe shall be handled, unloaded, stored and installed per manufacturer's instructions. If there is any conflict between manufacturer's recommendations and OWASA specifications, the OWASA rules shall apply unless agreed upon between contractor, manufacturer and OWASA. All pipe and materials shall conform to requirements of NC Building/Plumbing Code and local ordinances; installation and storage shall be in accordance with NC Building/Plumbing Code and local ordinances. Adhere to manufacturer specifications for storage and installation.
2. All work shall conform to the best practices of the trade and standards set forth in the specifications. OWASA regulations and apply especially as regards worker safety in excavations. Contractor is responsible for caving and all damages resulting thereof. Contractor is responsible for establishing correct line and grade between manholes.
3. All piping shall have a minimum of 3-ft of cover. Pipes will not be installed with less cover unless arranged in writing with OWASA in advance.
4. Where applicable, excavation width shall be at least 24" plus nominal pipe diameter to allow room for making joints.
5. When directed by the Project Engineer, the Chief Engineer or OWASA representative, unsuitable material shall be replaced to a suitable depth and width.
6. Pipe shall not be placed in water. Removal and proper disposal of water in trenches shall be the responsibility of contractor (see instructions regarding removal of collected water).
7. All rock shall be excavated to a minimum depth of 6-in below the barrel of the pipe. At least 6-in clearance shall be provided on each side of pipe for the full depth of the excavation. ASTM #67 washed stone shall be placed in all areas where rock has been excavated.
8. Pipe shall be placed per OWASA instructions directly upon stone bedding or approved backfill. In no case shall pipe be brought to grade by blocking under the pipe barrel. Pipe shall be uniformly supported along its entire length. After it has been brought to grade, earth fill shall be placed carefully and tamped to hold pipe in position.
9. At end of day's progress, open pipe shall be plugged to prevent entry by water or silt. The pipe cannot be used to remove groundwater from excavation. Collected runoff or groundwater that is pumped from site must be discharged through approved sediment filtering bag.
10. Dechlorination requirements (where applicable) shall be as specified by OWASA.

ASPHALT PAVEMENT REPAIRS:

1. Asphalt cut shall be sharp and neat. Asphalt pavement and subgrade shall be restored to original elevations and condition on-site. Repairs within R-O-W shall be in accordance with NCDOT requirements and the Town of Carboro Development Ordinance and in cooperation with the Town Department of Public Works.
2. Within R-O-W, subgrade and fill below it must be replaced with suitable, compactible material placed and compacted in maximum 8 inch lifts. Upper 6 inches of subgrade shall be compacted to 100% AASHTO T99 as confirmed by independent test. Fill that is found to be loose, or soft, or composed of unsuitable materials must be replaced.
3. Within R-O-W, base course shall consist of 6 inch thickness of NCDOT Type ABC crushed stone. Stone shall be free of foreign materials and shall be handled and placed in 4 inch lifts, watered if necessary, and compacted to 100% AASHTO T99 specifications in accordance with NCDOT guidelines. Pavement or pavement repairs in ROW or public streets must be acceptable to NCDOT and Town. Base course may be reduced to six inches in non-driveway or non-accessway areas.
4. The pavement surface shall meet NCDOT specifications for Type I-2 asphalt or current NCDOT equivalent. The asphalt shall be handled and placed in a single 2-inch layer in accordance with NCDOT guidelines.

SIDEWALK REPAIRS:

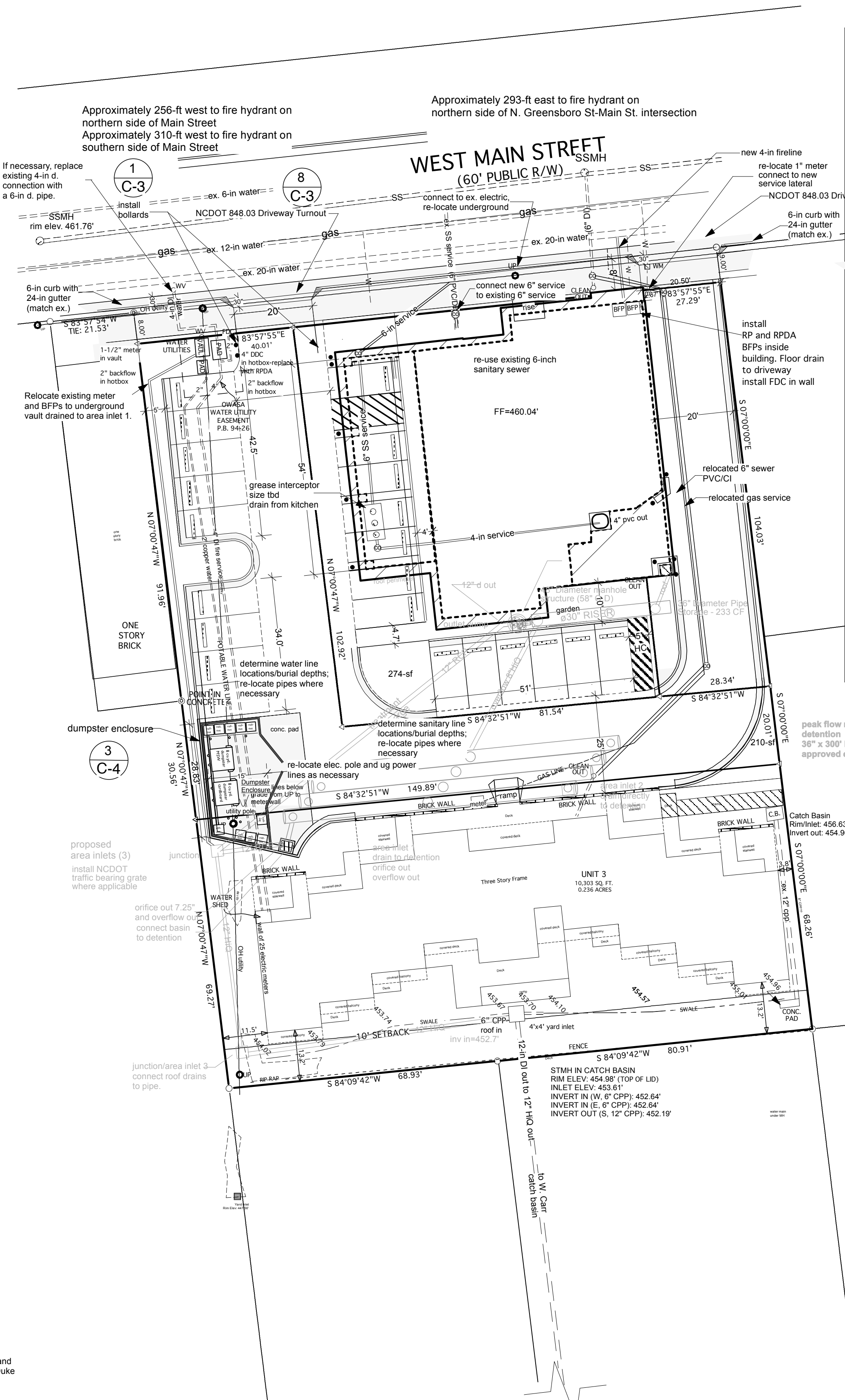
1. All public sidewalks shall be restored to original width and condition and constructed of concrete in accordance with specifications set forth in Appendix C of the Town of Carboro LUO, especially C-12. Sidewalks.
2. Owner/contractor is responsible for fully restoring all damaged sidewalk, curbing, street surfaces, and damages within the public right-of-way.
3. Owner/contractor must discuss sidewalk replacement and installation with NCDOT and Town of Carboro Department of Public Works, coordinate all finish elevations to restore original preventing conflicts with drainage, access, utilities and services.

DUKE POWER LINES AND POLES:

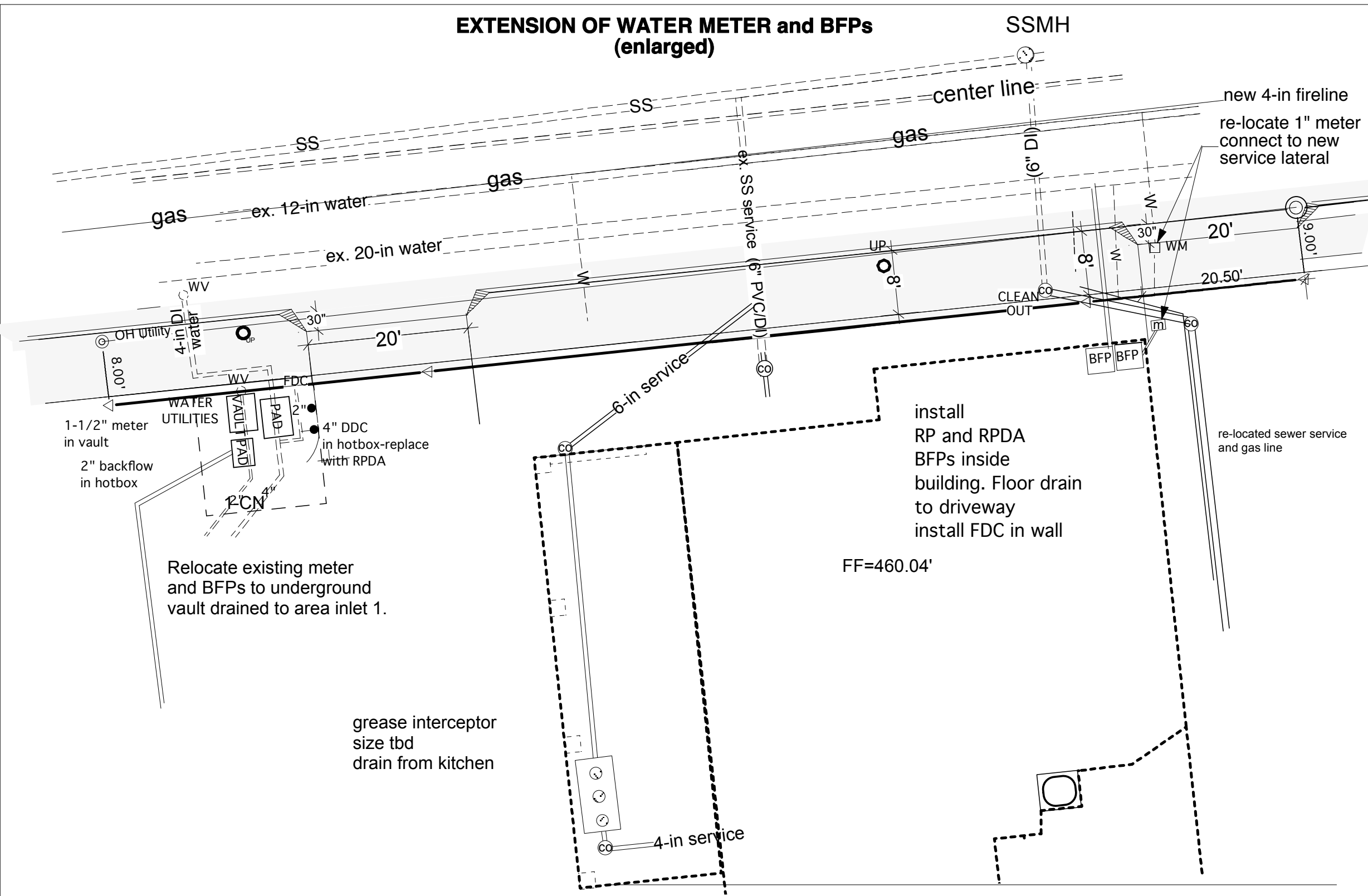
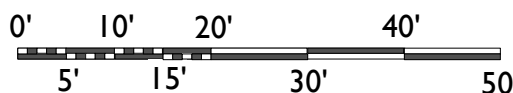
1. Construction activities near power poles and guide wires shall be performed in accordance with guidelines and specifications of Duke Power. Installation, removal and relocation of power lines shall be coordinated with Duke Power.

SITE UTILITY NOTES:

1. Existing overhead power lines that will be re-used will be re-located underground where feasible
2. Existing overhead power lines that will not be re-used will be removed
3. Where possible, existing sewer/water service laterals will be removed in accordance with OWASA specifications
4. Sewer service laterals shall be ductile iron within OWASA easements and public rights of way (R-O-W). PVC of type specified in current NC Plumbing Code is permissible outside of OWASA easements or R-O-W.
5. All water service piping must be copper of type specified in current NC Plumbing Code and OWASA requirements
6. Minimum 4-in diameter sewer cleanouts shall be installed on all sewer service laterals in accordance with NC Plumbing Code requirements
7. Locations of sewer and water service laterals can be adjusted to accommodate site conditions, however,
8. A minimum spacing of 5-ft must be maintained between sewer and water service laterals.



PIPE, BFP & METER RELOCATIONS

**NEW CONNECTIONS**

1. sanitary sewer - (6") sewer lateral from existing building will be re-connected to new building
2. potable water - existing 1" meter will be re-connected to new building
3. fire system - if feasible, sprinkler system connection will be made to existing 4" fire line and extended to new building. If this is done, existing 4" DDC will be replaced with a 4" RPDA unit. An additional FDC will be installed. If connection to existing is not possible, then existing DDC will remain and new 4" fire line service tap to the main will be made. A 4" RPDA will be required. Additional OWASA easements, as required, will be created.
4. sanitary lateral to existing apartments in rear - this line passes beneath the proposed new building. The existing line will be re-located under new driveway.

NOTE: Coordinate installation of stormwater system with existing water and sanitary piping. It will be necessary to locate existing SS laterals and water piping both horizontally and vertically prior to undertaking field activities. As feasible, these pipes will require re-location to facilitate stormwater system construction.

NOTES:

1. Vault will be material and installation in accordance with OWASA requirements.
2. Install BFPs in accordance with manufacturer requirements on concrete pads; minimum 4-in thickness, 3000-psi, fiber reinforced, air-entrained portland cement concrete over 4-in stone base on compacted subgrade. Follow manufacturer's recommendations for size of concrete pad beneath Hot-Box (recommended pad dimensions - dimensions as existing).
3. RPDA's shall be 4-in xxxx Model xxxx Reduced Pressure Detector Assembly with flanged end OS&Y gate valves, installed per manufacturer requirements.
4. Access easements, to be specified by OWASA, must be prepared by Land Surveyor registered in State of NC.
5. Existing meter and BFPs can be re-used provided maintenance and testing requirements mandated by OWASA are satisfied.

5. OWASA 1.3.4. Consumer Responsibility

The consumer has the primary responsibility of preventing pollutants and contaminants from entering his/her potable water system or the public potable water system. The consumer's responsibility starts at the point of delivery from the public potable water system and includes all of his/her water system. The consumer, at his/her expense, shall install, operate, test, and maintain approved backflow prevention assemblies as directed by OWASA. The consumer shall maintain accurate records of tests and repairs made to backflow prevention assemblies and shall maintain such records for a minimum period of three (3) years. The records shall be on forms approved by OWASA and shall include the list of materials or replacement parts used. Following any repair, overhaul, repiping, or relocation of an assembly, the consumer shall have it tested to ensure that it is in good operating condition and will prevent backflow. Tests, maintenance and repairs of backflow prevention assemblies shall be made by a Certified Backflow Prevention Assembly Tester.

6. OWASA SECTION 9. FIRE PROTECTION SYSTEMS

- 9.1 All connections for fire protection systems connected with the public water system 2" and smaller shall be protected with an approved double-check valve assembly as a minimum requirement. All fire systems using toxic additives or booster pumps shall be protected by an approved reduced pressure principle detector assembly at the main service connection.
- 9.2 All connections for fire protection systems connected with the public water system greater than two 2" shall be protected with an approved double-check detector assembly as a minimum requirement. All fire protection systems using toxic or hazardous additives or booster pumps shall be protected by an approved reduced pressure principle detector assembly at the main service connection.
- 9.3 All existing backflow prevention assemblies 2-1/2" and larger installed on fire protection systems that were initially approved by OWASA shall be allowed to remain on the premises, as long as they are being properly maintained, tested and repaired as required by this Ordinance. However, if the existing assembly must be replaced (once it can no longer be repaired), or in the event of proven water theft through an unmetered source, the consumer shall be required to install an approved double-check detector assembly or reduced pressure principle detector assembly as required by this provision.

TOWN OF CARRBORO DPW - PROJECT SPECIFIC INSTRUCTIONS

1. Neither NCDOT or Town will accept a patch or partial repair of public sidewalk. Where work under existing sidewalk is necessary, it is required that entire sidewalk panel be removed and replaced.
2. Valve box in public sidewalk - Refer to OWASA details 513.01 and 513.02. In Street Location. Use - In Street Location- detail employing concrete where asphalt is shown. Construct the square concrete valve box pad as shown, and incorporate into sidewalk construction using dimensions indicated in OWASA detail.
3. An NCDOT Right-of-Way Encroachment Agreement is required to occur or perform work within the public right-of-way (R-O-W). Contact District Office - Mr. DeAngelo Jones @ 336-570-6833. A three party encroachment agreement with NCDOT and OWASA will be necessary. A pedestrian and/or traffic control plan will be required.

NOTE: Upon completion of installation within public R-O-W, contractor/owner must restore all pavement, sidewalks, ramps, driveways, landscaping, curb&gutter, and other features within the public R-O-W to condition acceptable to Town of Carboro, OWASA and NCDOT.

NOTIFICATIONS

- (1) Carboro Fire Department personnel must witness flushing of fire lines. Fire Marshal must be notified at least 24-hrs in advance.
- (2) An NCDOT Right-of-Way Encroachment Agreement is required to occupy or perform work within the public right-of-way (R-O-W). Contact District Office - Mr. DeAngelo Jones @ 336-570-6833.
- (3) All work within the public R-O-W must be reviewed and coordinated with Carboro Public Works. Contact Street Superintendent David Poythress at 919-7432, prior to any disturbances within the public right-of-way.
- (4) Dechlorination requirements (where applicable) shall be as specified by and arranged with OWASA.

CONTACT the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.

Prior to undertaking field activities, it will be necessary to map the underground utilities on this property both horizontally and vertically.

10' 0 10' 20' 30'

Scale 1" = 20'

1 foot contour interval

LEGEND

- stream buffer
- spot elevations - existing
- spot elevations - proposed
- existing contours
- proposed contours
- planting, screening
- deciduous tree
- roof drain
- disturbed area
- tree protection fence
- silt fence
- check dam
- stormwater BMP
- power pole
- fire hydrant
- gas pipe
- stormwater
- sanitary sewer
- water
- bicycle rack
- stormwater detention

Denotes Approx. Tree Line

All topographic and boundary information is from survey drawings provided by Freehold Surveyors, dated various 2012-2018, and from field measurements. A guarantee of accuracy is not implied or intended. Prior to beginning field activities, contractor should verify locations of all existing easements, utilities, stades, rees, and other appurtenances both aboveground and below. It will be contractor's responsibility to report deviations from design drawings. Contractor will be responsible for repairs to damages and site restoration.

PRELIMINARY NOT FOR CONSTRUCTION

SGI Technical Services
200 North Greensboro Street Suite B-13A
Carboro, NC 27510
phone: (919) 942-7612 fax: (919) 942-3647
email: sgit@earthlink.net

Project Name:

CLUB NOVA NEW BUILDING and SITE WORK CUP Modification

Developer/Owner/Applicant:

CLUB NOVA Community INC.
103 W. MAIN ST.
CARRBORO, NC 27510

Drawing Title:

UTILITIES

Revisions:

| Number | Description | Date |
|-------------|-------------------|-----------|
| submittal 2 | revised submittal | July 2017 |
| submittal 3 | revised submittal | May 2018 |
| submittal 4 | revised submittal | June 2019 |

Drawn by:

SAA

Checked by:

Sheet

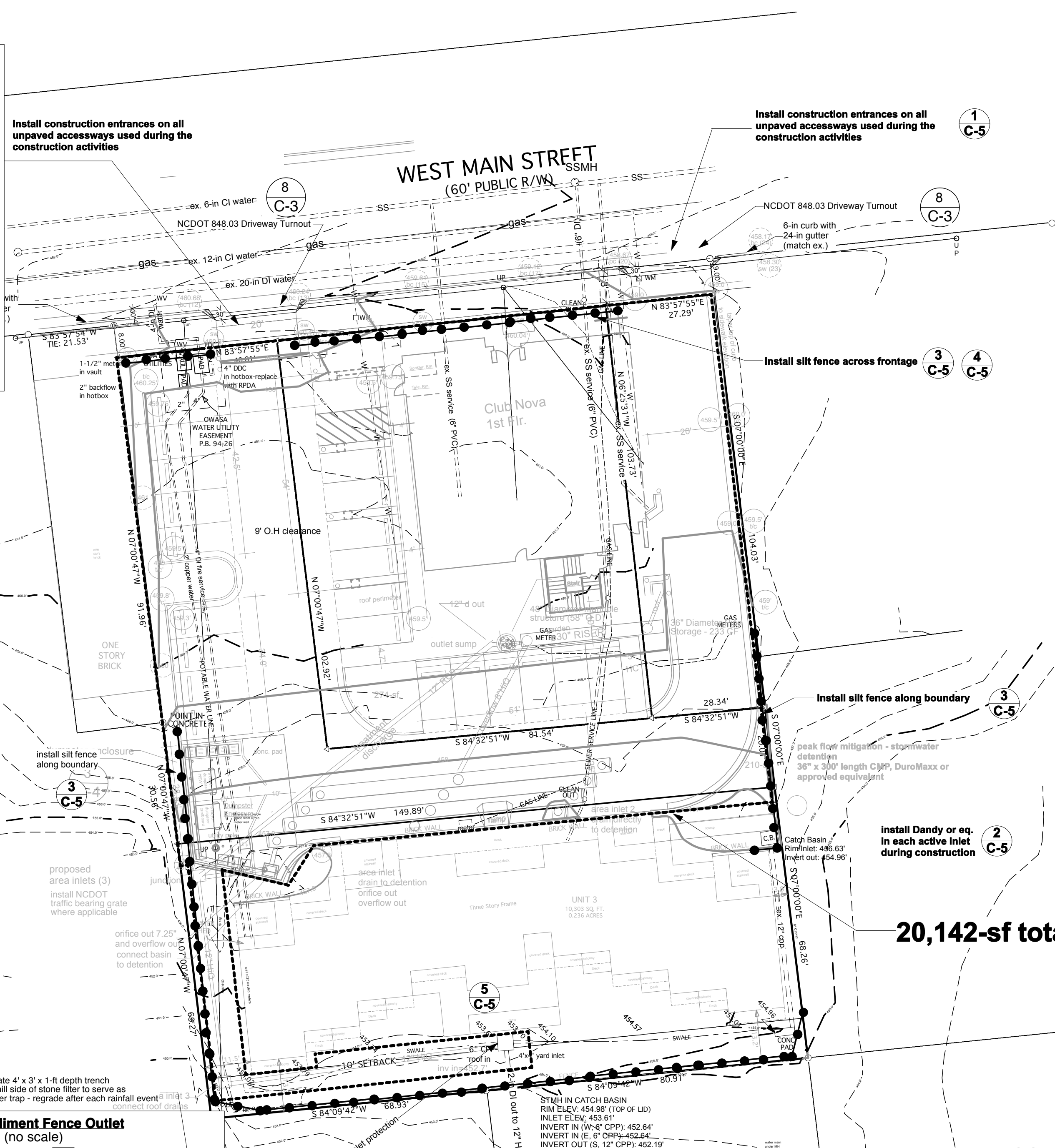
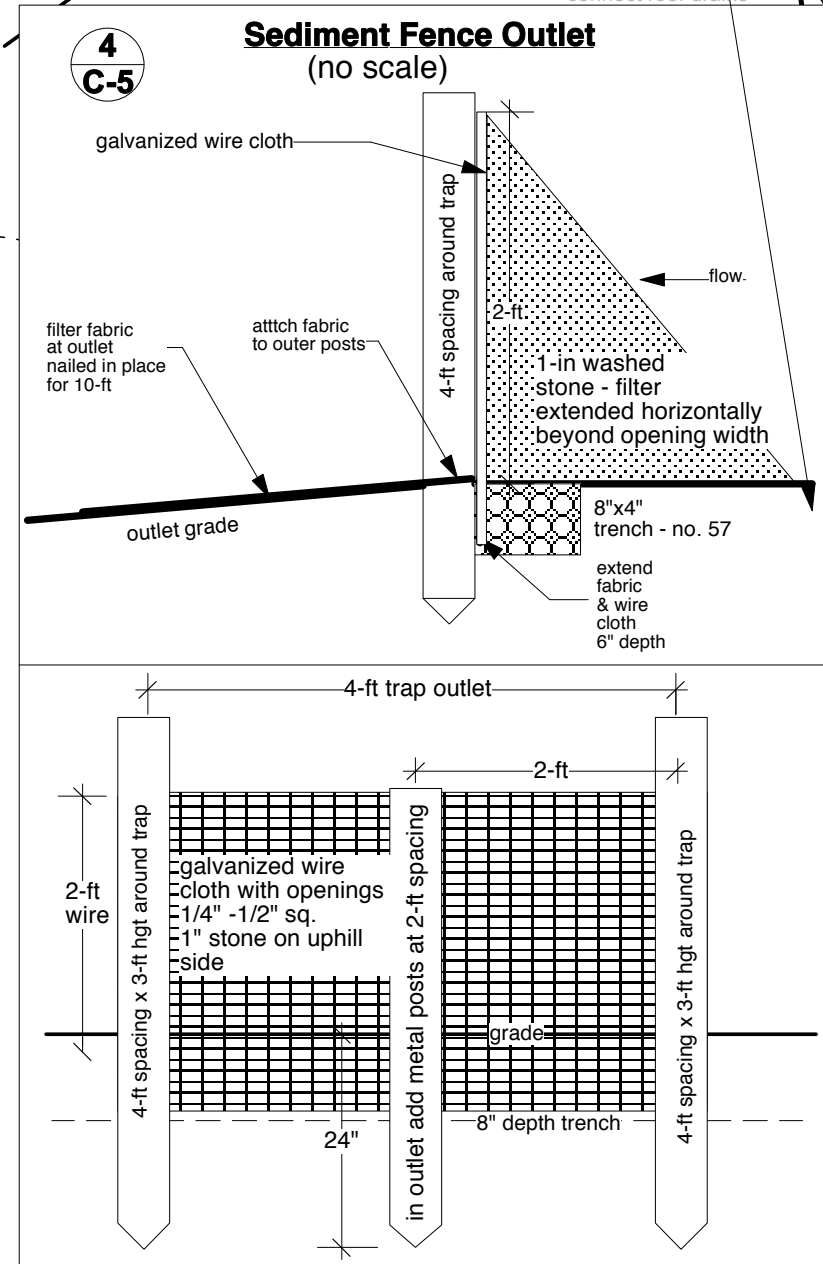
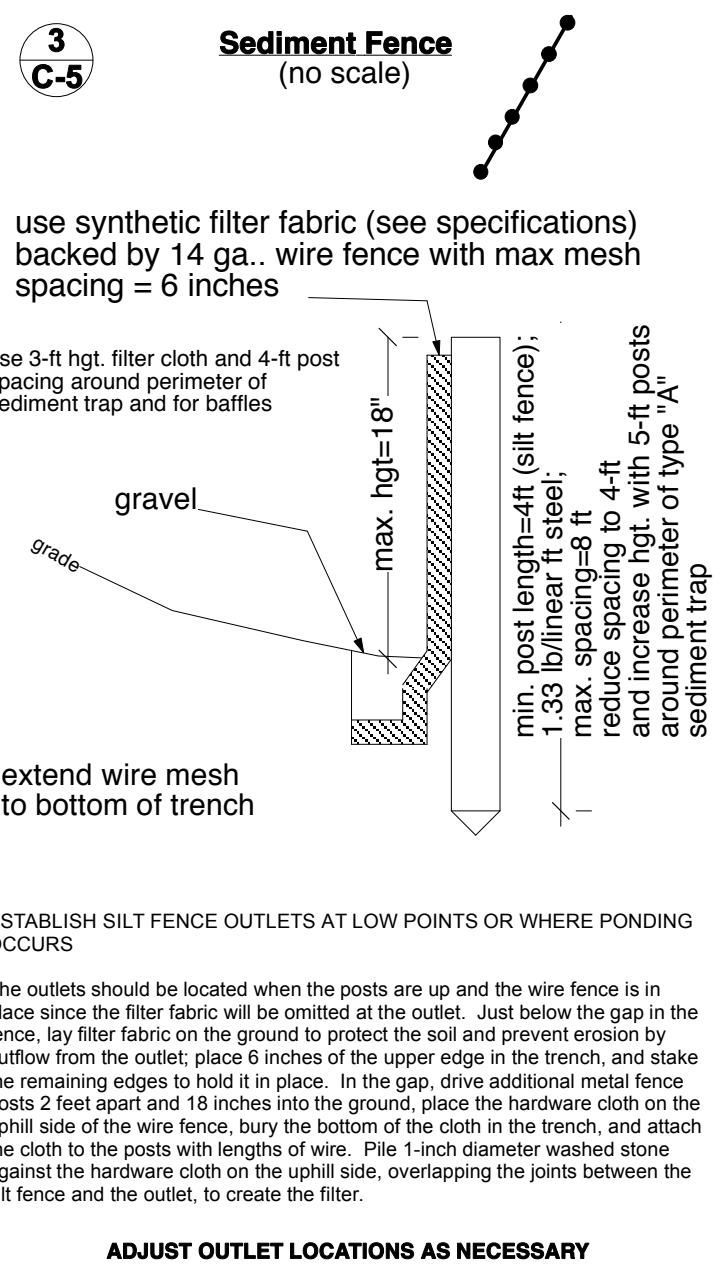
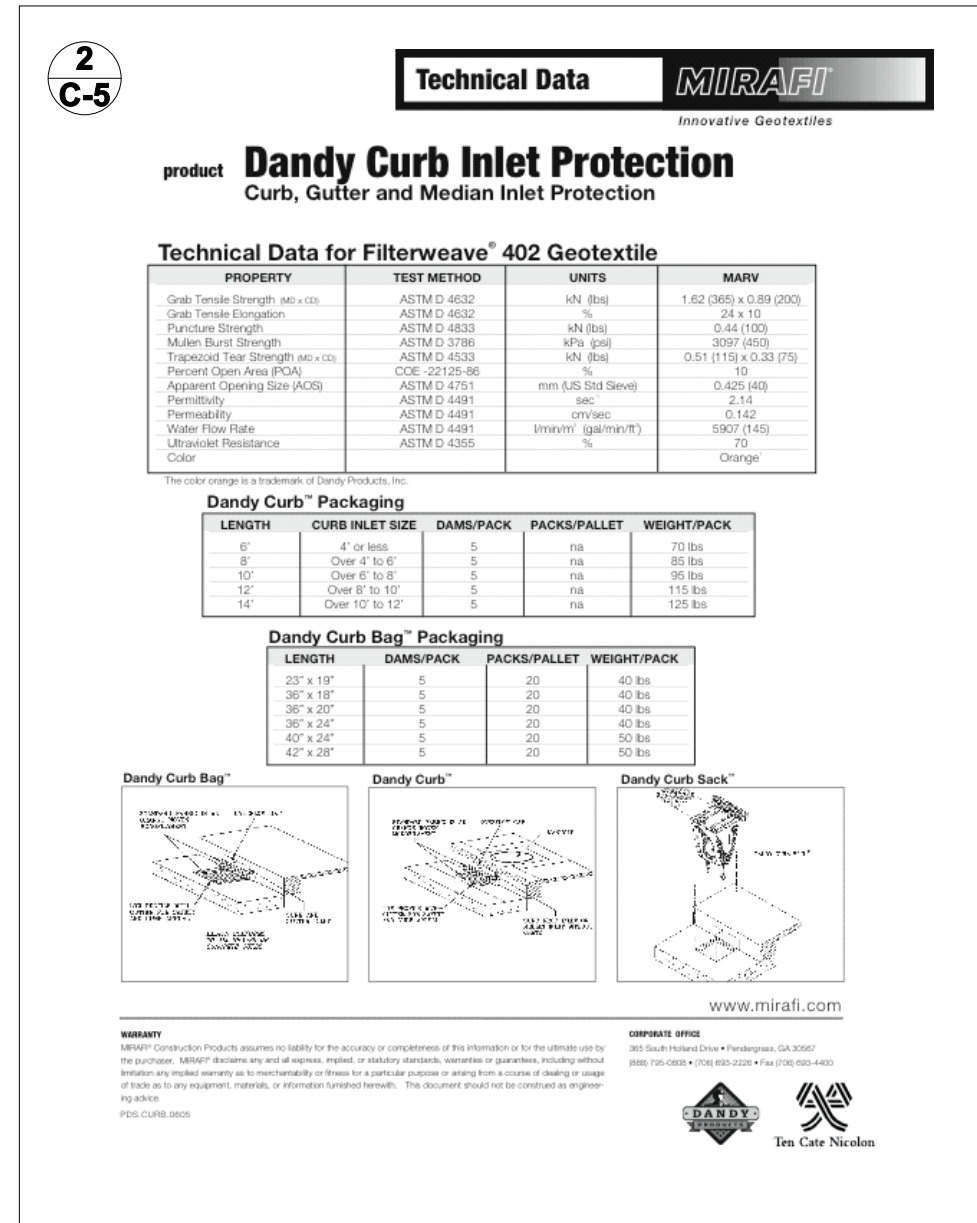
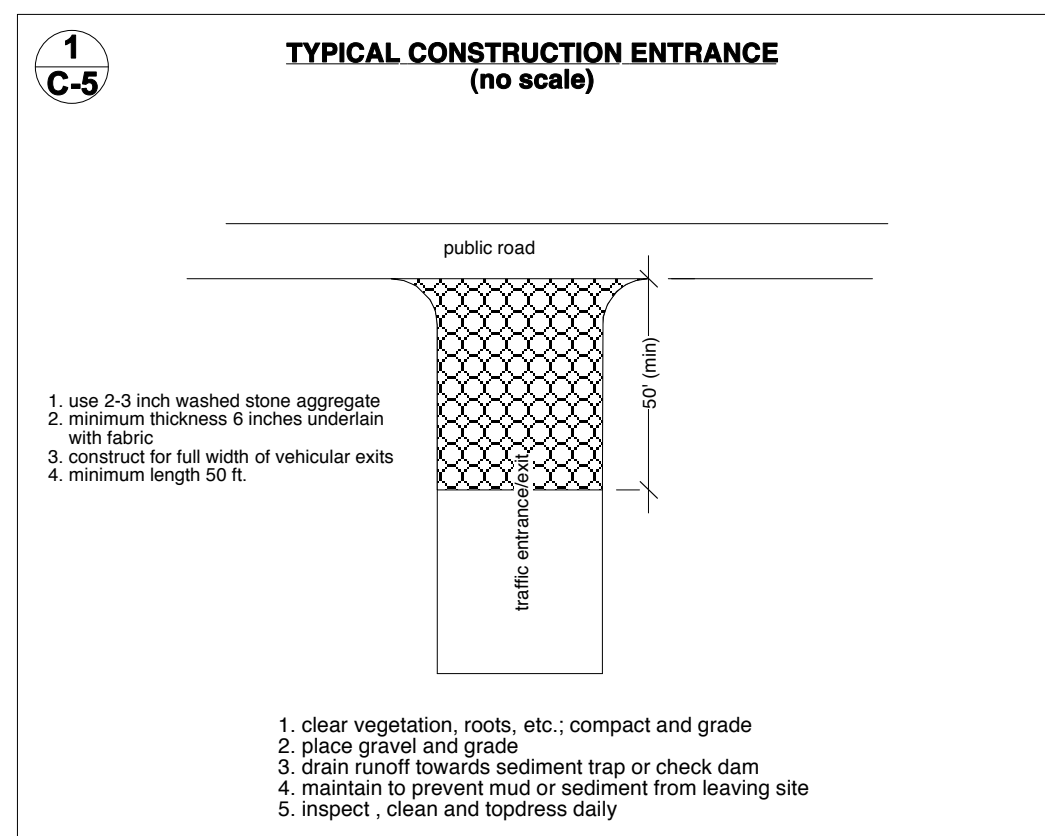
Date:

12 June 2019






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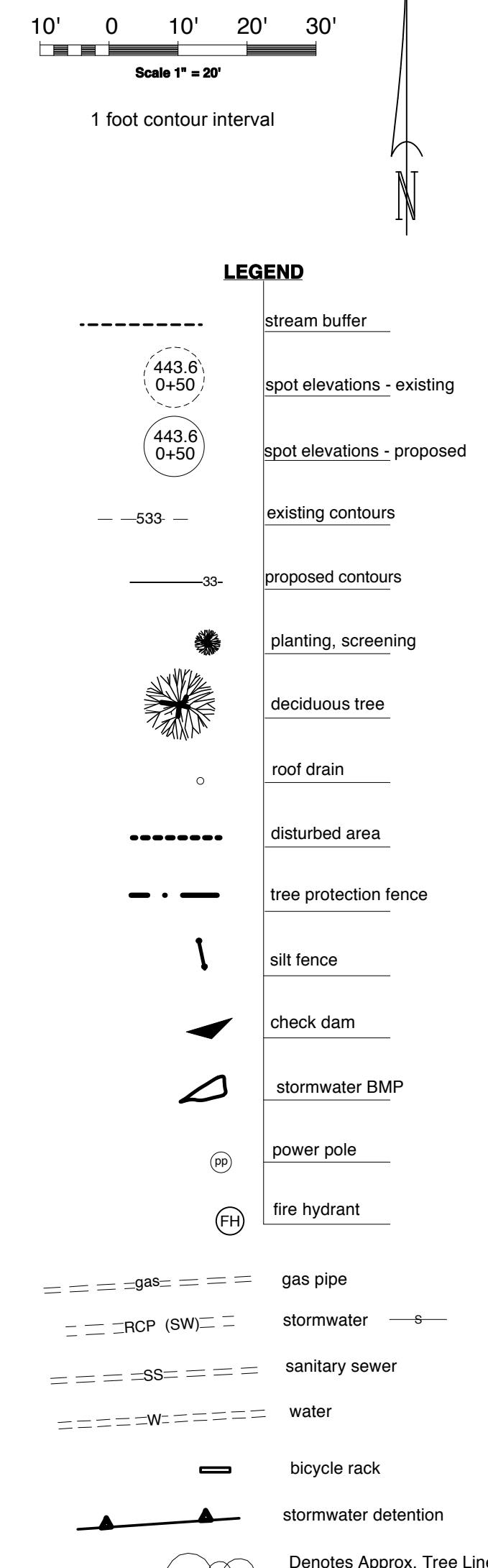
1"=20'

C-2



CONTACT the National "Call Before You Dig" 811 to have underground facilities located before beginning any excavation.

| NEW STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011) | | |
|--|----------------------|--|
| <u>SITE AREA DESCRIPTION</u> | <u>STABILIZATION</u> | <u>TIMEFRAME EXCEPTIONS</u> |
|  Perimeter dikes, swales, ditches, slopes | 7 days | None |
|  High Quality Water (HQP) Zones | 7 days | None |
|  Slopes steeper than 3:1 | 7 days | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed. |
|  Slopes 3:1 or flatter | 14 days | 7 days for slopes greater than 50' in length. |
|  All other areas with slopes flatter than 4:1 | 14 days | None, except for perimeters and HQP Zones. |



All topographic and boundary information is from survey drawings provided by Freehold Surveyors, dated various 2012-2018, and from field measurements. A guarantee of accuracy is not implied or intended. Prior to beginning field activities, contractor should verify locations of all existing easements, utilities, structures, and other appurtenances both aboveground and below. It will be contractor's responsibility to report deviations from design drawings. Contractor will be responsible for repairs to damages and site restoration.

PRELIMINARY NOT FOR CONSTRUCTION

SGI Technical Services
200 North Greensboro Street Suite B-13A
Carrboro, NC 27510
phone: (919) 942-7612 fax: (919) 942-3647
email: sgit@earthlink.net

Project Name

CLUB NOVA NEW BUILDING and SITE WORK CUP Modification

Developer/Owner/Applicant

CLUB NOVA Community INC.
103 W. MAIN ST.
CARRBORO, NC 27510

Drawing Title:

EROSION CONTROL

Revisions:

| Number | Description | Date |
|-------------|-------------------|-----------|
| submittal 2 | revised submittal | July 2017 |
| submittal 3 | revised submittal | May 2018 |
| submittal 4 | revised submittal | June 2019 |

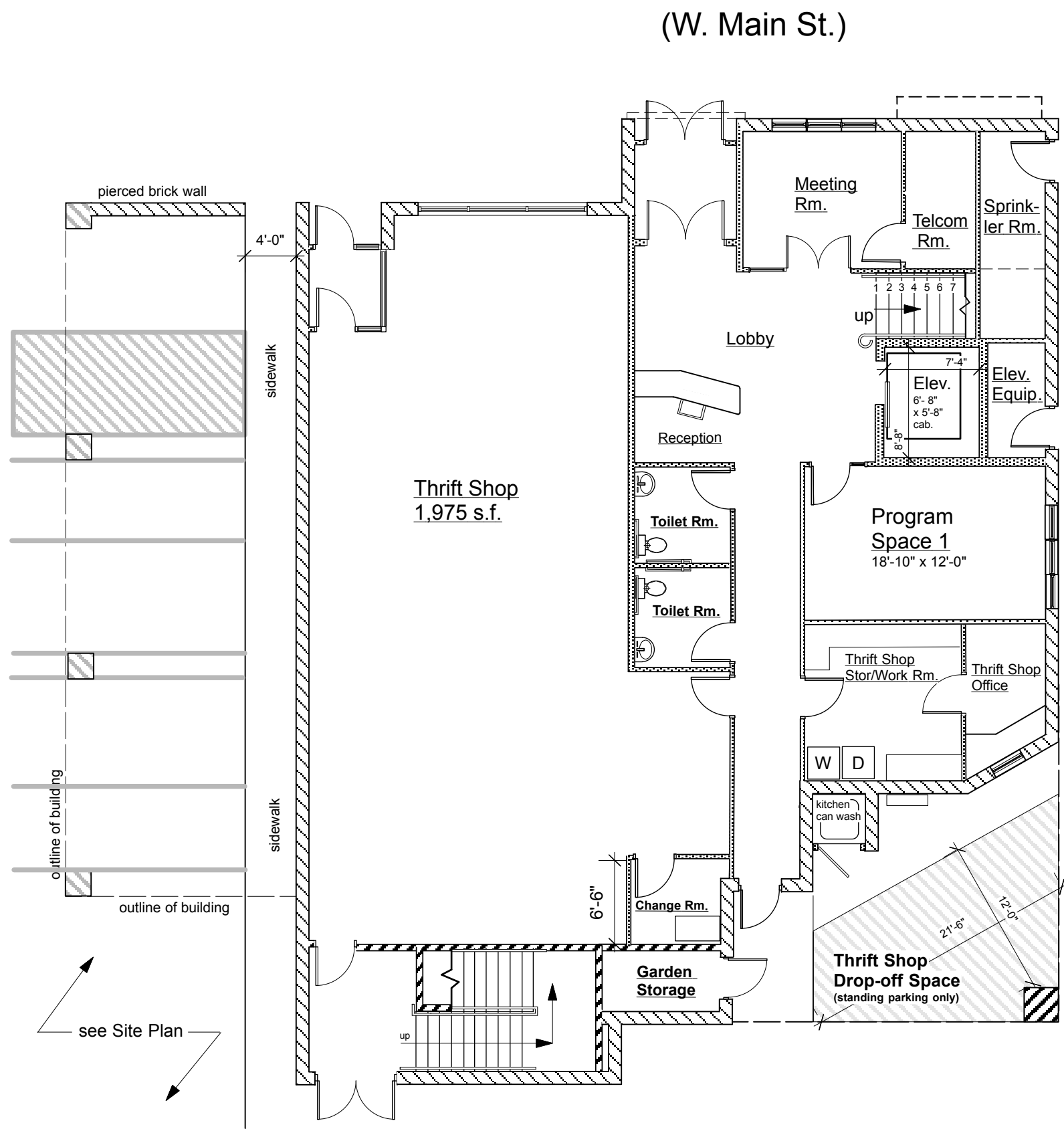
Drawn by:

Checked by:

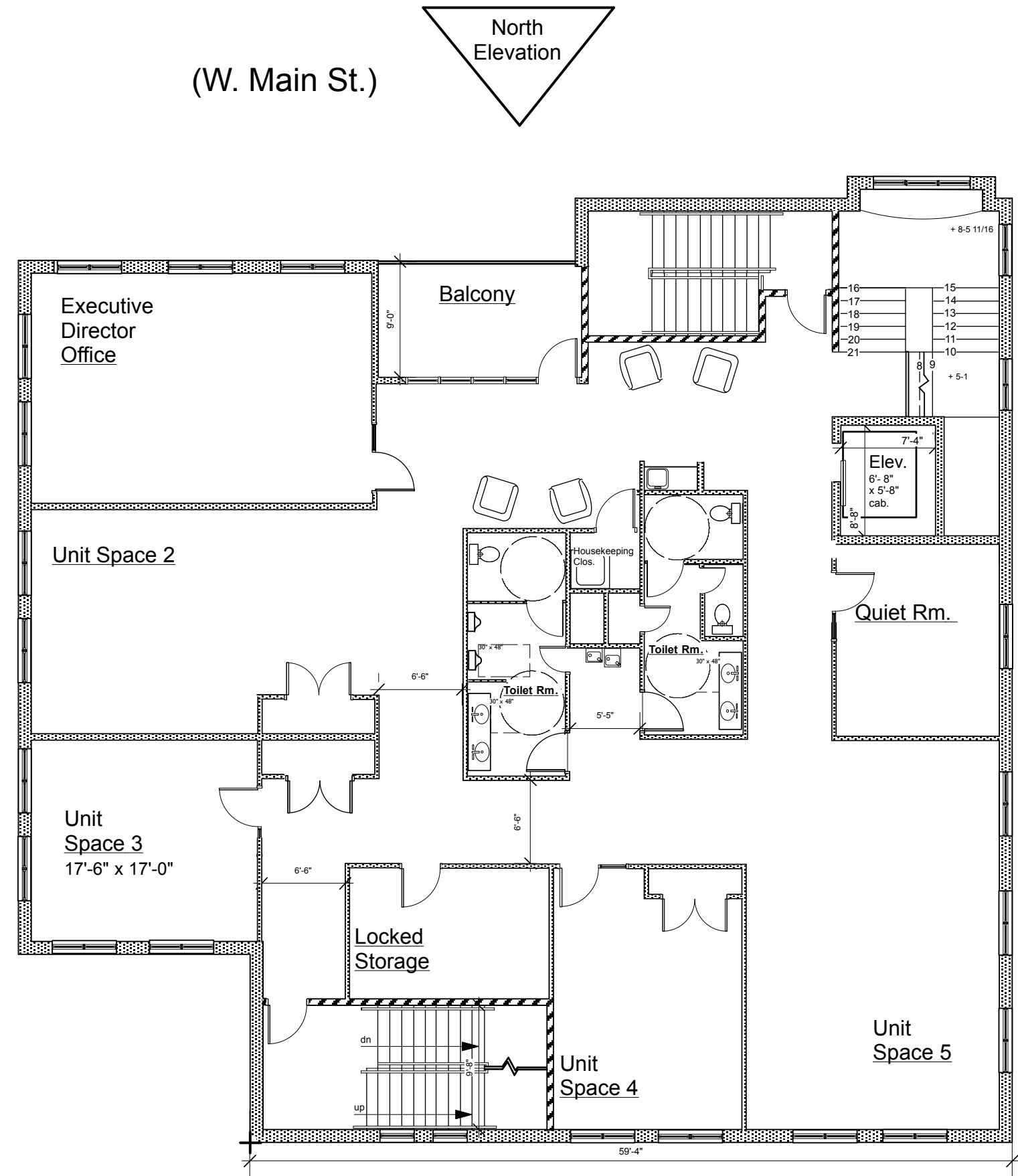
Date: 12 June 2019

Scale: 1"=20'

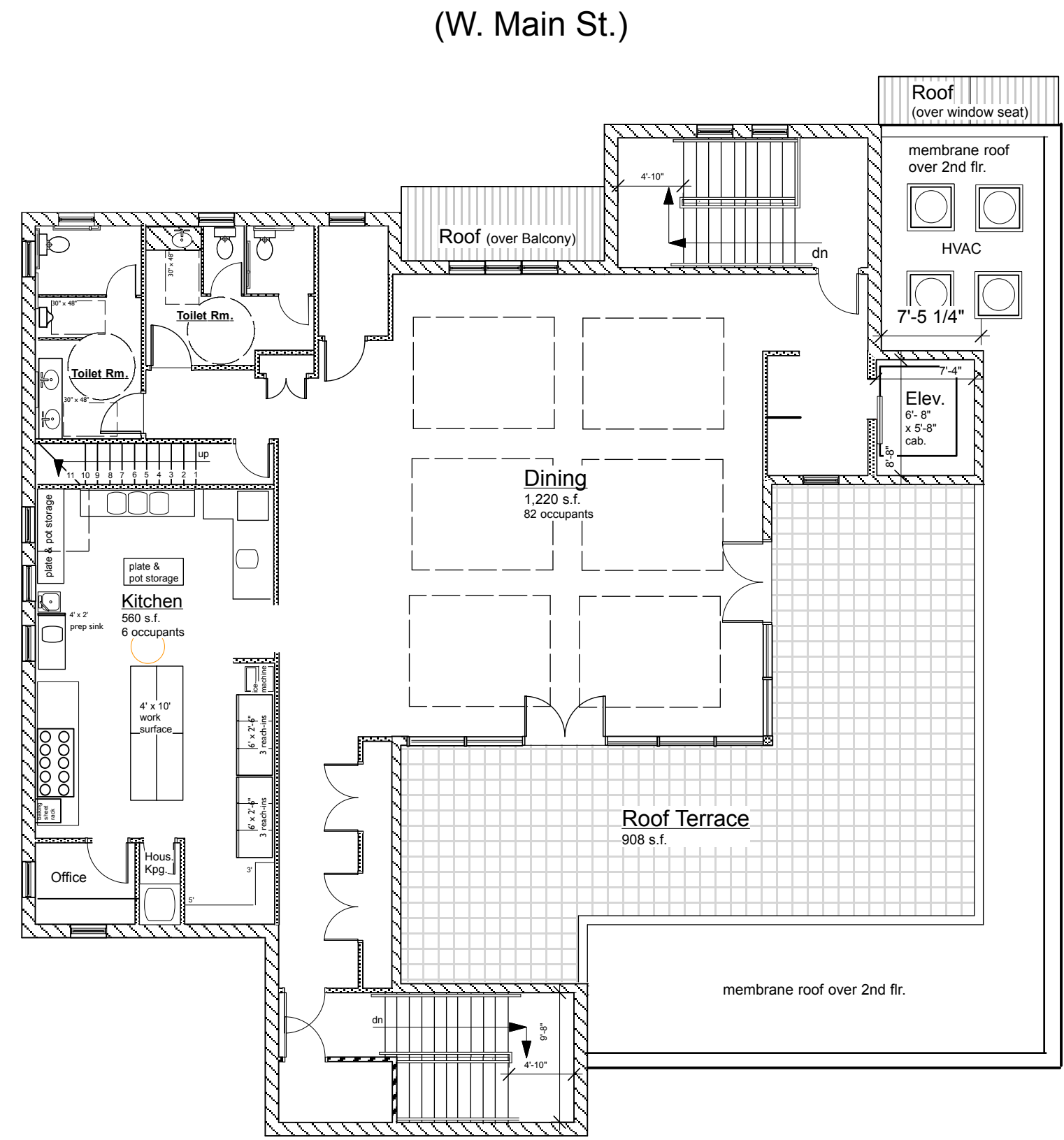
C-5



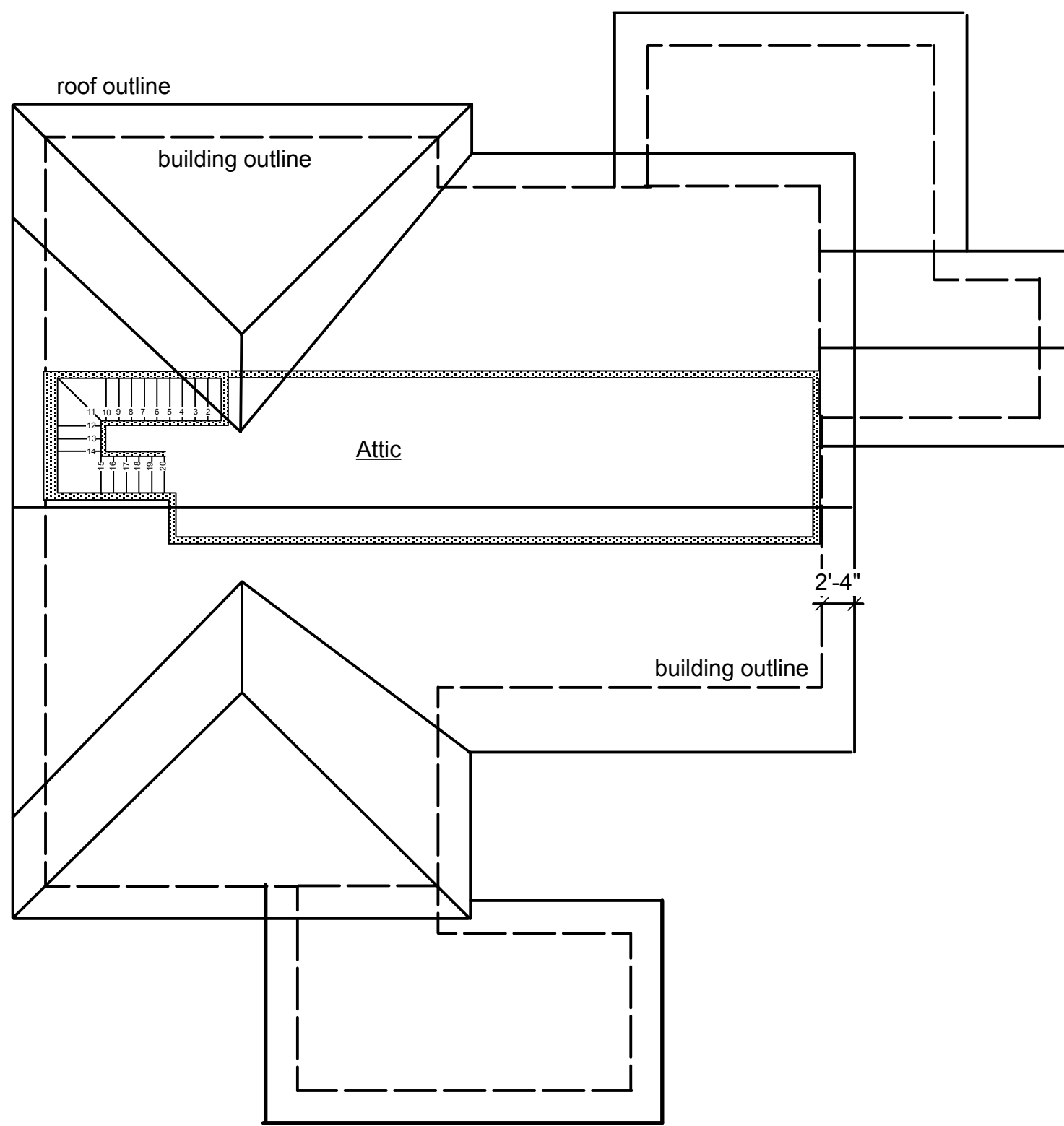
First Floor Plan - 1"=10'



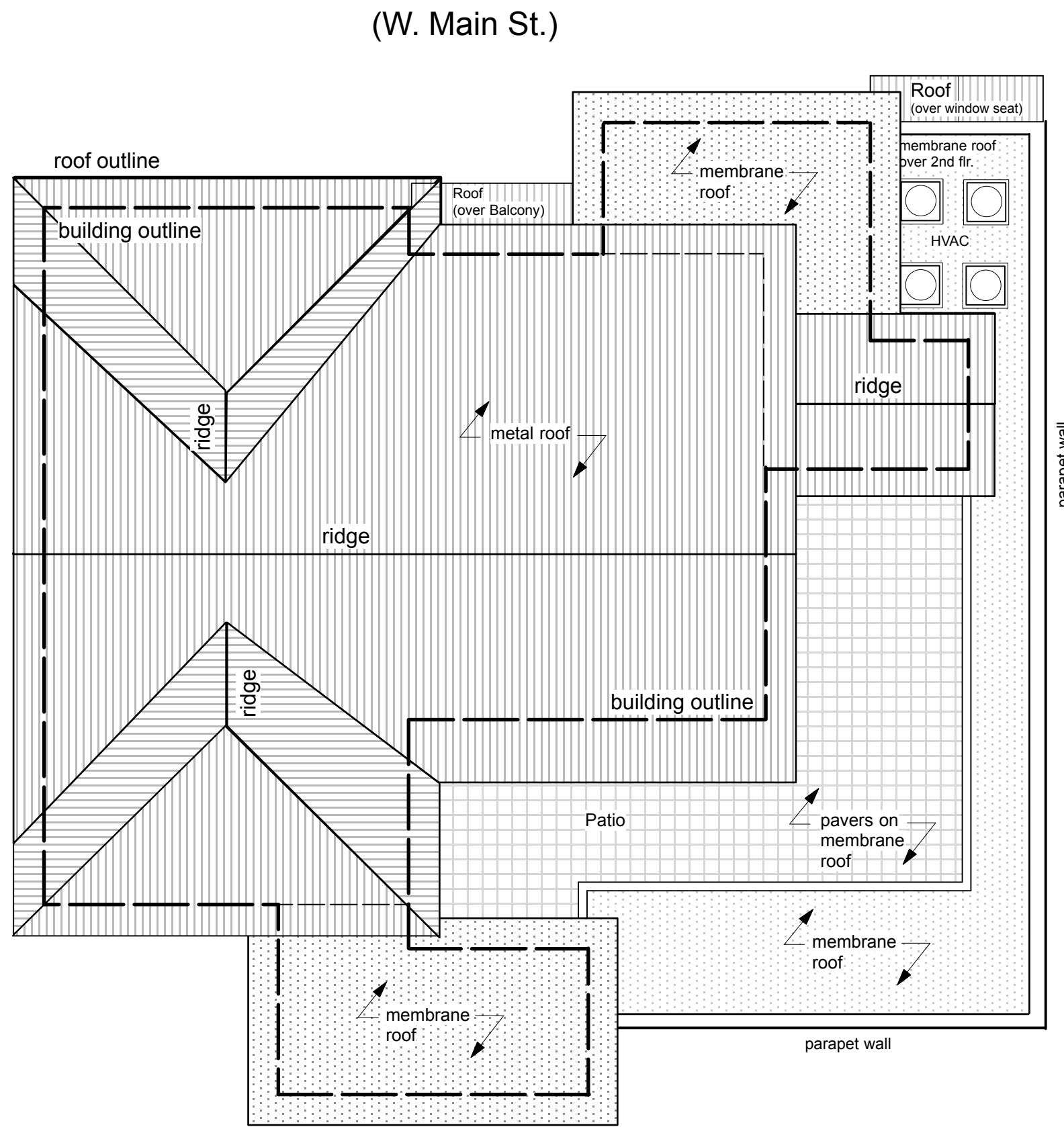
Second Floor Plan - 1"=10'



Third Floor Plan - 1"=10'



Attic Plan - 1"=10'



Roof Plan - 1"=10'

Building Summary:

First Floor - 3,683 s.f

Second Floor - 4,971 s.f

Third Floor - 3,381 s.f

Total (conditioned)- 12,035 s.f.

Jack Haggerty, Architect Inc.

205 W. Main St., Ste. 211 Carrboro, NC 27510

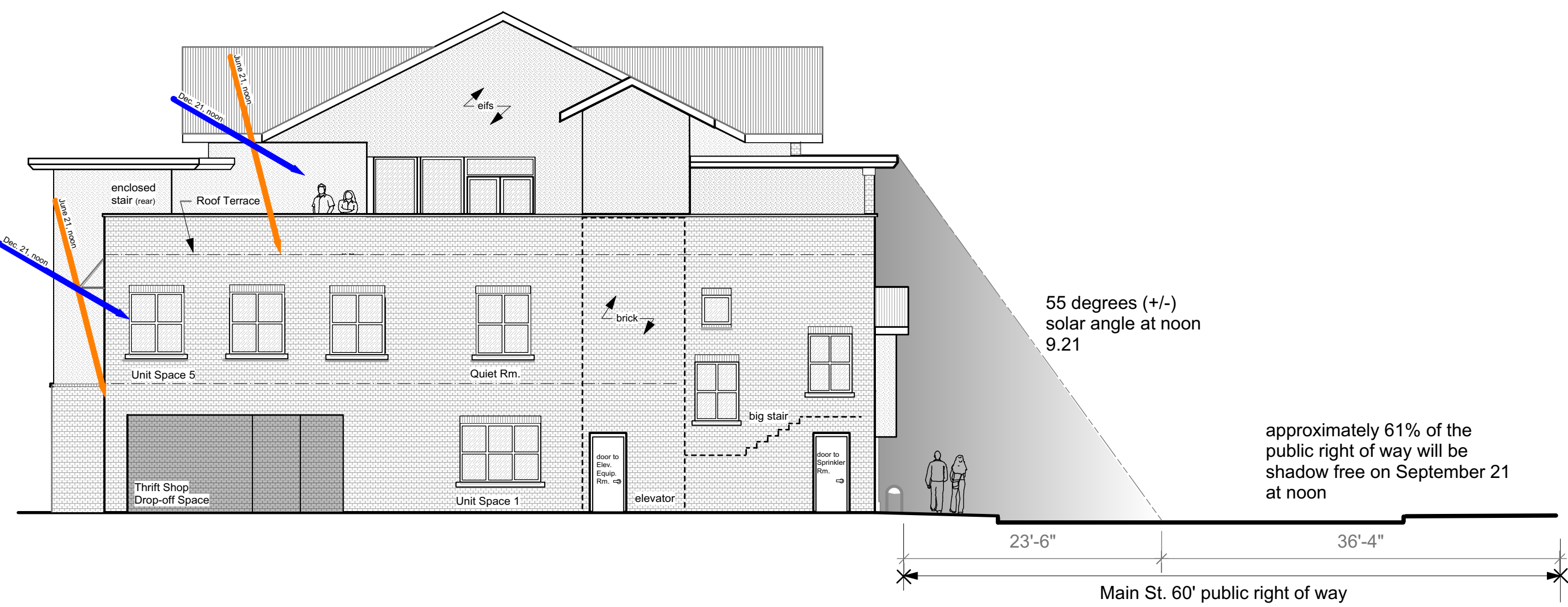
919.967.5191 jack@jackhaggertyarchitect.com

Club Nova
New Building & Sitework
103 W. Main St. Carrboro, NC
Owner: Club Nova Community Inc., T. 919 967-6985, F. 919 968-2522

preliminary - not
for construction -
Modification to
CUP

June 13, 2019

A-2

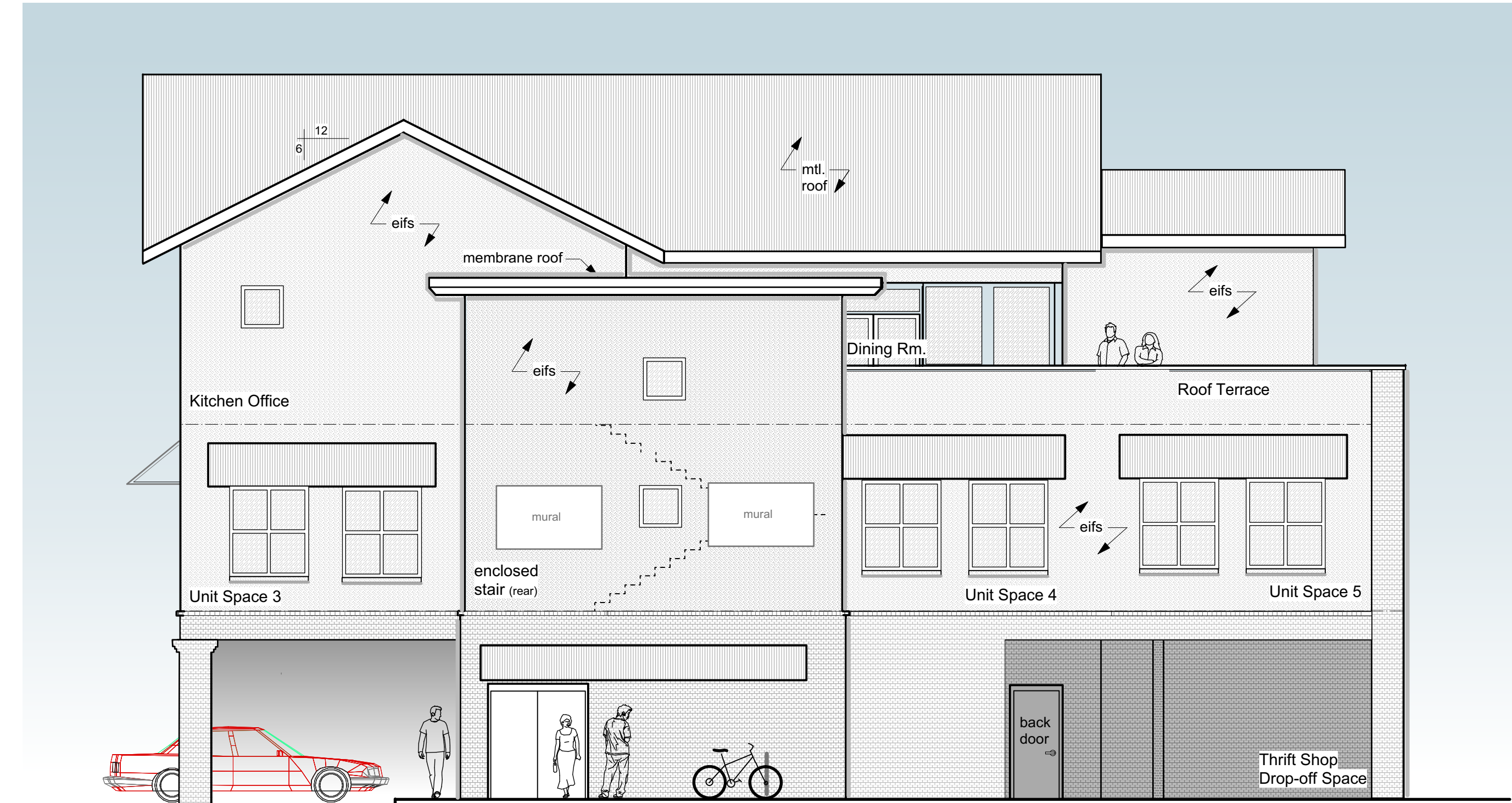


East Elevation (& ROW Shading Diagram)

Note on Main St. (North) Elevation & L.U.O. §15-178 - Applicant will go before the Appearance Commission in an alternative design review process.
Note: §15-178(2) Summary
a. Area of Street Elevation @ ground level - 703 s.f.
Required Glazing @ street level (60%) - 422 s.f.
Area of Glazing Proposed- (29%) - 205 s.f.
b. Area of Street Elevation - 2,359 s.f.
Required Glazing Entire Elevation (40%) - 944 s.f.
Area of Glazing Proposed (21%) - 491 s.f.



North Elevation (Main St. Elevation)



South Elevation



West Elevation

Jack Haggerty, Architect Inc.
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919.967.5191 jack@jackhaggertyarchitect.com

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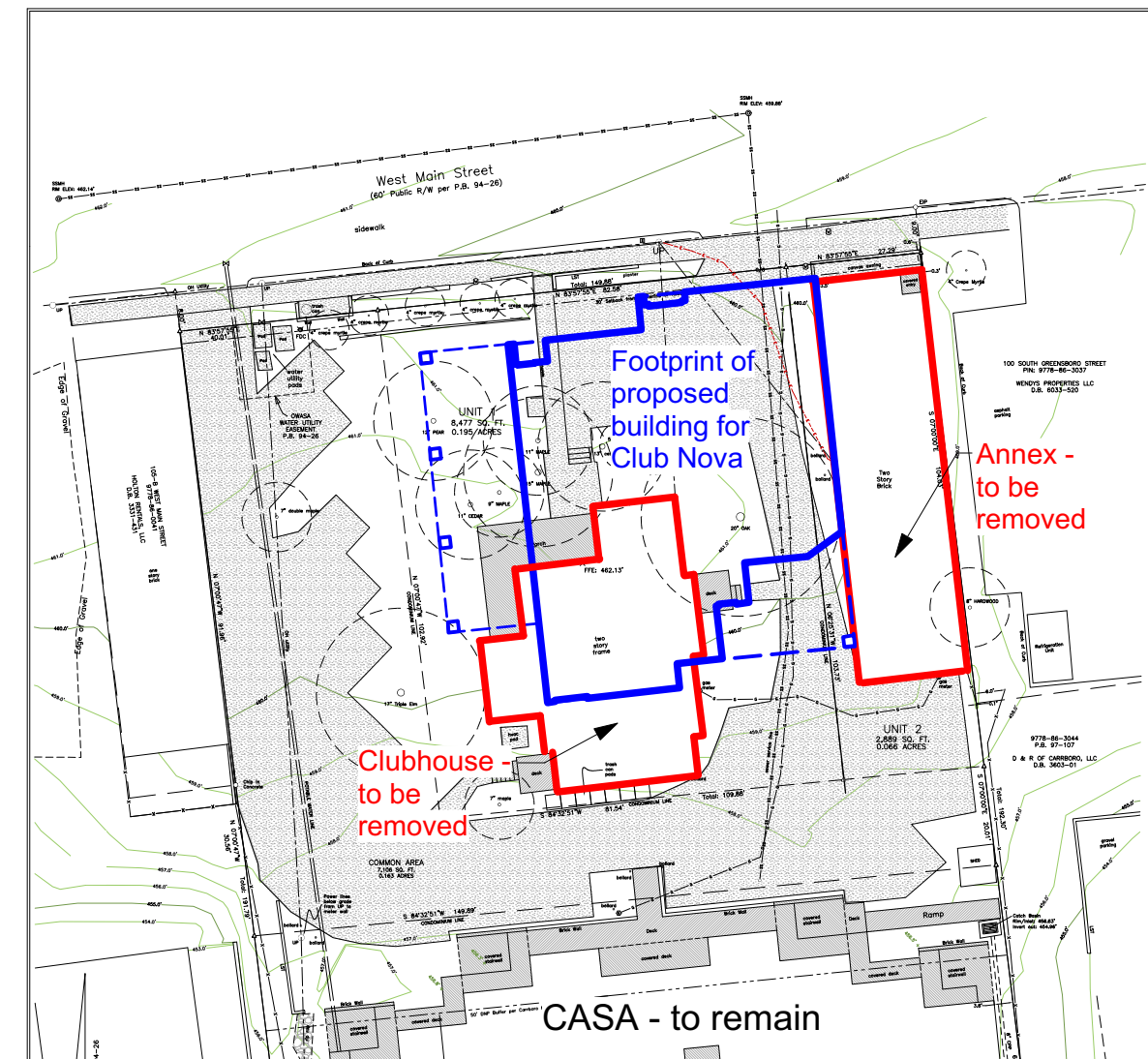
preliminary - not
for construction -
Modification to
CUP

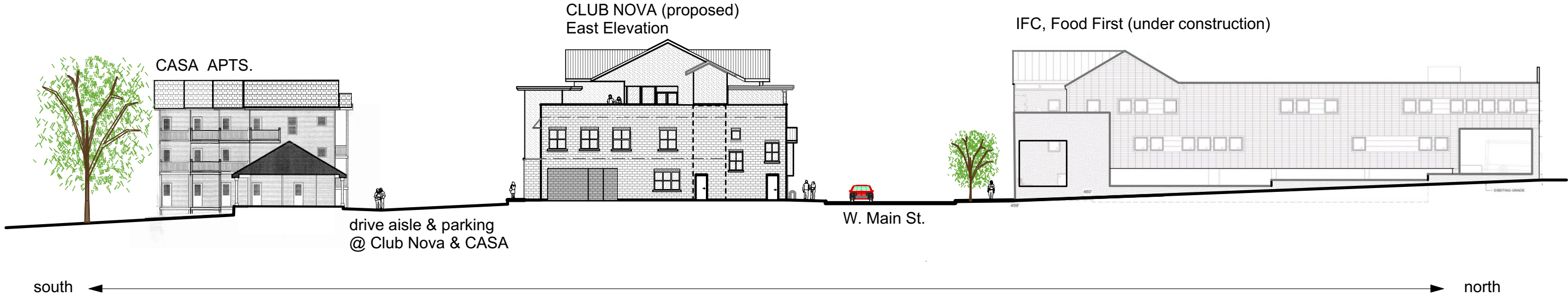
June 13, 2019
July 23, 2019
July 30, 2019

A-3

Club Nova
New Building
and Site Work
C.U.P. Modification

Context Drawing:
Aerial
Jack Haggerty, Architect
10.29.19





Club Nova
New Building
and Site Work
C.U.P. Modification

Context Drawing:
North to South &
East to West

Jack Haggerty, Architect
10.29.19