

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

APPLICANT: COMMUNITY HOME TRUST

PROJECT TYPE: Rehab

AMOUNT REQUESTED: \$6,758

TOWN AH GOALS ADDRESSED: 2.4 Reduce erosion of rental housing quality and affordability.

PROJECT ADDRESS: 100 Andy's Lane, #200, Chapel Hill (Carrboro limits)

PROJECT SUMMARY:

Community Home Trust will rehabilitate the community room at The Landings at Winmore apartment homes. The Landings is a Low-Income Housing Tax Credit property with rents affordable to households earning 80% AMI and below, with 15 units set aside for extremely low-income households, at or below 30% AMI. The Landings accepts Section 8 vouchers.

The proposed rehabilitation of the shared community room is at the behest of the advisory resident group who wish to make use of the space for online learning and other community activities. Currently, the community room is not well utilized and cannot be used after hours. The rehabilitation will create an ADA-compliant, safe, secure space that can be used during or after business hours and will house computers and printers and have WIFI. In addition, the room can host CHT education classes or resident desired community-programming. The advisory resident group has informed the concept and planning of the project. The rehabilitation project will cost \$14,650. CHT is seeking AHSRF funds to support the construction costs.

POPULATION SERVED:

TOTAL NUMBER: 109AMI 24 <30% 85 31%-60% _____ 61-80% _____ 81-100% _____ 101-115%RACE/ETHNICITY 2 Asian 86 Black 4 Hisp. /Latino _____ Mixed Race _____ Other 21 White# OF SENIORS PRESENT/ESTIMATED 20# OF CHILDREN PRESENT/ESTIMATED 30# WITH DISABILITY PRESENT 7

TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

ENVIRONMENTAL IMPACT:

The project will rehabilitate an existing community space that has been under-utilized.

CHT will use extended life span materials and replace lighting with LED lighting and occupancy sensors.

FUNDING RECOMMENDATION:

- ☐ FULLY FUND
- ☐ PARTIALLY FUND (Can include suggested amount or %) _____
- ☐ DO NOT FUND

FUNDING APPLICATION

DATE: December 21, 2020

Section 1: APPLICANT AND PROJECT OVERVIEW

A. Applicant Information

Applicant/Organization's Legal Name: Community Home Trust

Primary Contact Person and Title: Kimberly Sanchez, Executive Director

Applicant/Organization's Physical Address: 109 Conner Drive, Suite 1000, Chapel Hill, NC 27514

Applicant/Organization's Mailing Address: PO BOX 2315, Chapel Hill, NC 27515

Telephone Number: 919-967-1545 x307

Email Address: ksanchez@communityhometrust.org

B. Project Information

Project Name: The Landings at Winmore Community Room renovation

Total Project Cost: \$14,650

Total Amount of Funds Requested: \$6,758

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.):

To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.

Signature: 

Executive Director or other Authorized Signatory

12/21/20

Date

Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the "who," "what," "when," and "where" questions about your project). Do not assume the reader knows anything about the project.

A. "Who"

1. Who is the target population to be served and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

The population to be served are all 109 tenants at The Landings. All tenants will be able to access the community room during and after office hours, access computers, wi-fi, printers and meet with each other. CHT will be able to provide additional educational classes and offer space for other service providers for Landings Tenant's enrichment.

2. Please indicate the income of the beneficiaries (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI	24	22%
31%-60% of AMI	40 persons at 50%; 45 persons at 60%	78%
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
TOTAL		

Income Group	Seniors (age 62+)	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI	7	6	0	0	18	2	0	0	6
31%-60% of AMI	13	24	7	2	68	2	0	0	15
61-80% of AMI									
81-100% of AMI									
101-115% of AMI									
TOTAL									

3. **Project Staff.** Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

(1) Ian Morse, CHT Property Manager will act as project manager, coordinating General Contractor to make sure project is completed as envisioned. Ian has worked with CHT for over 5 years in this role and manages all major renovation projects as well as the stewardship program at CHT, assisting homeowners with HVAC, flooring, roofing and other replacements. (2) Lori Woolworth, CHT Director of Operations and Finance will manage budgeting for the project. Lori has managed CHrs finances for over 10 years, keeping all projects on budget. (3) Felicia Stroud, CHT Community Manager, will maintain a leadership role with the resident advisory committee to assist with interior development of the space once construction has completed. Felicia has worked with CHT for over five years liaising with all 300 homeowners and tenants on HOA issues as well as leadership of the tenant committee. (4) Kimberly Sanchez, ED, will have overall supervision of the project. Kimberly has managed nonprofits for over 15 years focused on housing issues. (5) Gateway Building Company will act as General Contractor, to exercise construction and proper permitting for the project. Scope of work attached.

B. "What"

1. Type of Activity. Please check the category under which your project falls.

- ☐ Acquisition
- ☐ Pre-development costs
- ☐ Rental subsidy
- ☐ Ownership subsidy
- ☐ New construction for homeownership
- ☐ New construction for rental
- ☒ Rehabilitation for owner-occupied or rental (including urgent repairs - see *)
- ☐ Land banking
- ☐ Grant to land trust
- ☐ Foreclosure assistance
- ☒ Other (specify): Assistance with construction of community space based on resident initiated requests

**Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.*

2. Project Description. Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

C. "Where"

1. Project Location. Please be as specific as possible.

100 Andy's Lane #200, Chapel Hill, NC 27516

2. Project Size (if applicable). Please provide the size of development site: _____ acres

Please attach the following:

- ☐ Site map showing lot boundaries, locations of structure(s), and other site features
- ☒ General location map (at least ½ mile radius)

D. "When"

☐ Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.)

E. Project Details

If the questions below are not applicable or the requested information is not currently available, please insert N/A.

1. Property Acquisition.

- a. Has your agency acquired real property in order to carry out the project, or is property acquisition planned? Acquired in 2018, Built in 2005

- b. Is the property currently occupied? If so, attach a description of your plan to relocate.
- c. Please attach an appraisal of the property.

2. Construction/Rehabilitation Detail.

- a. How many units will be newly constructed?
- b. How many units will be rehabilitated?
- c. What is the square footage of each unit?
- d. What is the number of bedrooms in each unit?
- e. What is the number of bathrooms in each unit?
- f. How many units will have full ADA accessibility?
- g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?
100 Andy's Lane #200, Chapel Hill, NC 27516
- h. Please attach the following:
 - ☐ Floor plan(s)
 - ☐ Elevation(s)
 - ☐ List of Energy Efficiency measures included in the project (if applicable)
 - ☐ List of Universal Design principles included in the project (if applicable)

3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:

CHT, a non-profit organization, owns the property and will maintain it as affordable housing. HOME funds were used for purchase of the property requiring 99 year affordability in the restrictive covenants.

- b. What are the proposed rents (including utility costs) or sales prices for completed units?

The rents are established pursuant to HOME and LIHTC regulations requiring 15 units at or below 30%, 21 units at 50% and 22 units at 80%

- c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:

CHT partners with numerous community organizations including The Jackson Center, Orange County Housing, Habitat for Humanity, CommunityWorx and others to make sure that they are aware of the Landings and send eligible community members to apply at the Landings.

- d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.

CHT always uses universal design principles in building and construction. CHT plans to use materials as part of the construction that have extended life span, when appropriate. CHT will maintain ADA compliance with doorways and install energy efficient lighting where necessary and replace all existing lighting with energy efficient fixtures and bulbs. CHT will change light switches to turn on an off when motion is detected. Installation of any affixed tables to walls, will maintain proper ADA compliant height.

- e. What supportive services, if any, will be provided through this project?

CHT provides classes for Landings residents on financial counseling, credit counseling and maintenance. CHT partners with outside organizations to provide other types of curriculum to assist tenants.

Section 3: PERFORMANCE MEASUREMENTS

A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI.</i>
Provide safe, secure, community space for low to moderate income households	Construct doors, install wi-fi, remodel room to add desks and computers

B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

This plan to remodel the community room, adding secure access for residents, upgrading the space to include wi-fi, purchasing computers to increase access to online schooling and provide space for community functions and workforce preparation activities and classes fits within the town's goals of reducing erosion of rental housing quality and affordability and to assist with the costs of construction of affordable housing. Currently the community space is not utilized and it is not accessible during non front office hours. The resident committee has spearheaded this effort to bring community space on the property to the residents. It is through resident feedback and direction that this project has formulated. Adding community space will stop erosion of rental housing quality and maintain safe, decent, desired affordable housing for all residents.

Section 4: PROJECT BUDGET AND PRO-FORMA

A. Project Budget

☒ Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.

☐ Has an appraisal been conducted? If so, please attach.

B. Terms of Project Funding

Please specify the type of funding request for which you are applying:

☒ Grant ☐ Loan

C. Pro-forma (for rental property only)

☐ If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

Section 5: ORGANIZATION DESCRIPTION

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

A. Organization

What is your organization's . . .

1. Mission statement?

Community Home Trust seeks to strengthen our community with permanently affordable housing opportunities.

2. Incorporation date (Month and Year)? 1/1990
3. Estimated Total Agency Budget for this fiscal year? \$ 1 million
4. Total number of agency staff (full time equivalents): 9

B. Organization Track Record and Community Support

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project

CHT has coordinated with the resident advisory group at The Landings for guidance and direction on this project

2. Involvement of intended beneficiaries of the project in the planning process

CHT Landings resident advisory group has been consulted in monthly meetings to shape this project and listening sessions will be set up with all residents to inform the internal space and function of the project.

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables

In October 2020, CHT engaged in two significant projects. (1) decboard replacement, staining and exterior painting of all 30 townhomes at Rosemary Place in Chapel hill. (2) Exterior painting and grounds maintenance at Greenway condominiums in Meadowmont of 16 units. All projects were completed with use of contractors, completed timely and within budget.

4. Collaborative relationships with other agencies

CHT collaborates regularly with Self-Help and the Jackson Center to purchase and rehabilitate homes in the North Side area of Chapel Hill and Carrboro. Recently CHT partnered with Orange County to help process Emergency housing Assistance applications, many of which assisted non-CHT Carrboro tenants and homeowners.

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive

CHT will continue to work with other social service providers to bring helpful classes and information to the Landings.

6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).

CHT manages Chapel Hill's Master Leasing program of 5 units, which was just approved to increase to 8 rental units. CHT manages 4 rental units for non-profit Shared Visions. The Landings accepts Section 8 vouchers and currently 27 units have Section 8 vouchers.

Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES ☐ NO ☒

b) Members of or closely related to members of the governing bodies of Carrboro?

YES ☒ NO ☐

c) Current beneficiaries of the project/program for which funds are requested?

YES ☐ NO ☒

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES ☐ NO ☒

If you have answered YES to any question, **please explain below**. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an **undisclosed** conflict may result in the termination of any grant awarded.

Council Member, Barbara Foushee, serves as a Director on the CHT Board of Directors.

The Landings community room Project Description

The current common space at the Landings is a large, bright room, furnished with well-worn living room furniture and an unused entertainment center. Because of a lack of access, amenities, and security doors, the room is not accessible to residents and sits largely unused. Members of the Landings Tenant Advocacy Committee (TAC) have shared their desire that the space be converted into an accessible multipurpose space, including computers and internet access as well as room for community activities and fellowship.

CHT Plans to remodel the space by adding doors that allow access at any time through a key fob or passcode entry. Construction for this project will also include all necessary permits and health and safety requirements. The project includes installation of wi-fi for resident access and purchase of furniture to include computers and printers for access by all residents. Access to wi-fi and computers is a priority of the TAC, during the pandemic, to make sure all children have safe, secure access to online learning.

CHT has begun fundraising for this campaign and on Giving Tuesday raised \$1,392. We anticipate continue to fundraise and CHT will also contribute some budgeted funds received from our annual fundraiser.

The general contractor anticipates that construction, once started can be completed within a week. All other internal remodeling will be done by CHT staff once construction is complete, within two weeks.



GC License #72933

The Landings at Winmore - Clubhouse doors

100 Andy's Lane, Chapel Hill, NC

Estimate - 12/15/20

DESCRIPTION	TOTAL AMOUNT	
General Conditions	\$	1,300
Fire Extinguisher	\$	75
Door Hardware	\$	970
Frame/Hang Walls, Paint, Trim, Install Doors & Glass	\$	5,765
Labor Burden	\$	440
Overhead and Fee	\$	855
Total	\$	9,405

Alternates:

If Town of Carrboro requires...

Exit Sign, ADD \$450.00 Allowance

Panic Hardware (simple push with alarm), ADD \$475

Panic Hardware (standard commercial), ADD \$1,320 Allowance

Qualifications & Exclusions:

Scope includes: frame new wall between office and hallway, install 6'8"x3' door with half-lite glass, lock and closer; frame new wall at kitchen and install 6'8"x3' door with half-lite glass and lock; cut existing exterior door and install half-lite glass kit, electronic keypad lock and closer; install new locks at two closet doors; install trim to match existing; paint all new work

Pricing figured for normal working hours, M-F, 8am-4pm.

Owner to pay Plan A Architecture directly. Fee is \$500 for Appendix B and Life Safety Drawings plus hourly rate for negotiations with town.

The Landings at Winmore
Common Area Renovations

Income

Donations: Already Received	\$ 1,392.00
Donations: Projected	\$ 1,500.00
CHT Contribution	\$ 5,000.00
Total Income	\$ 7,892.00

Construction Costs \$ 9,405.00

Includes: Closing off two areas,
adding after hours secure access,

Construction Contingency \$ 2,245.00

Estimated Construction Costs \$ 11,650.00

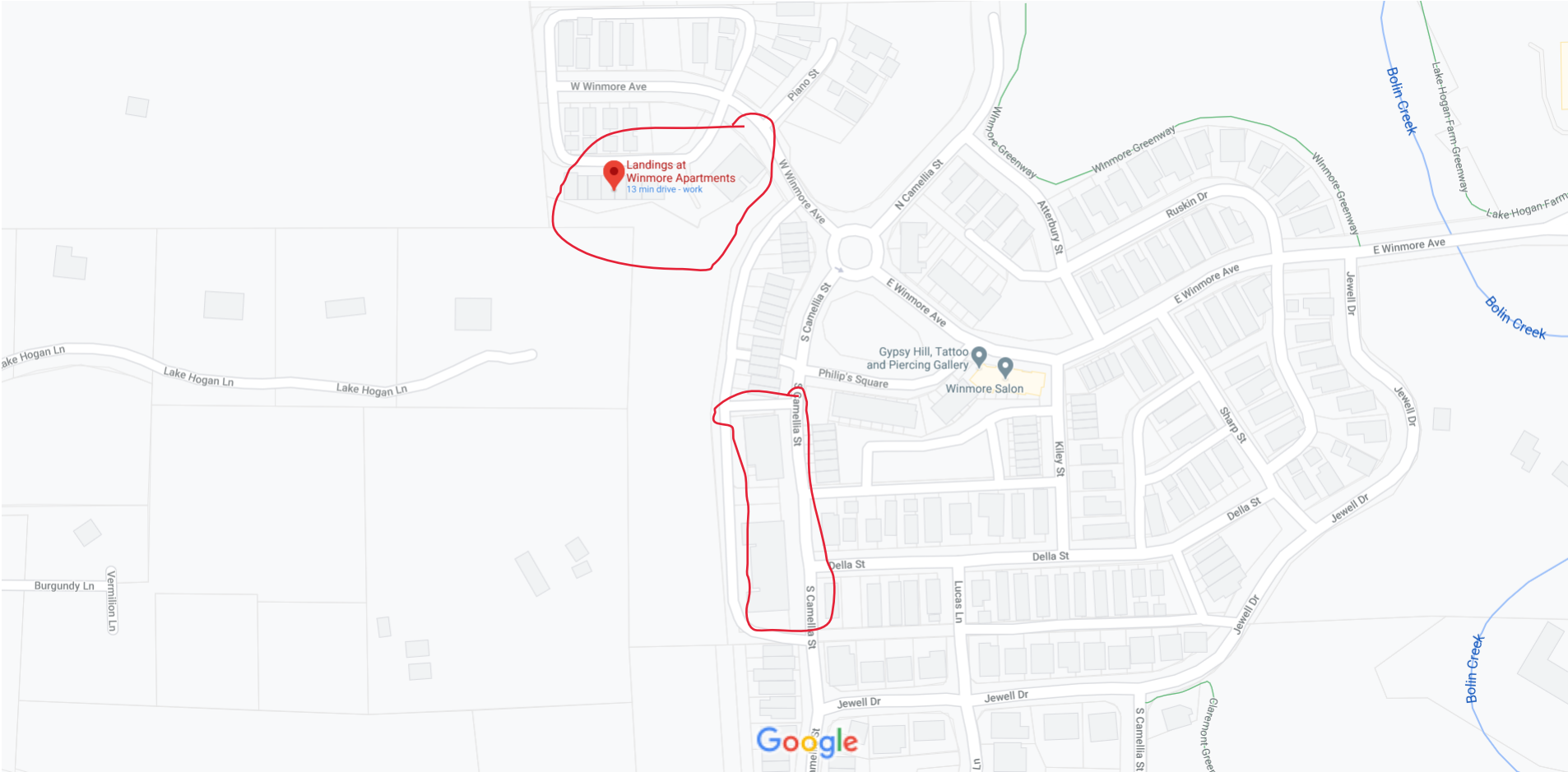
Additional Costs \$ 3,000.00

Includes: Computers, printer,
furniture, Wi-Fi

Estimated Additional Costs \$ 3,000.00

Total Costs \$ 14,650.00

Amount Still Needed \$ (6,758.00)



Map data ©2021 100 ft

The Landings at Winmore

Proposed Timetable for Commercial Space Renovations: Separation of offices and clubhouse

Brief Description: The commercial space at 'The Landings' includes at least 3 office spaces in the front (near the parking lot) for management staff to interview prospective clients and respond to maintenance concerns. At the back of the building is a 'Clubhouse' with couches, chairs, bookshelves, and full kitchen. The clubhouse has its own exterior door, currently used exclusively as an 'Exit.'

The proposed renovations would create some separation between the offices at the front of the space and the clubhouse in the back. The clubhouse would be made more available to tenant use. The Clubhouse 'Exit' door would be converted to the primary entrance/exit. In addition, a door would be installed in the hallway between the offices and the clubhouse. This will relieve management staff of having to oversee tenant foot-traffic to the clubhouse.

Work Task	Time-Table
Planning	Complete
Obtaining Financial Commitments	Completed by Friday, Feb 12
Design	Refinements of scope completed by Jan 31st
Bidding	Draft proposals obtained. Bidding complete by 1/31
Panning Review	Inspection by the Town of Carrboro 'Planning' & 'Fire Department', complete by Friday Feb 19 No Environmental Review required
Bidding	Friday Feb 1
Loan Closing	
Key Construction Milestones	Drafting & review of contract (2/5, executing a contract (2/8), Initial construction (2/22), Construction complete (2/29), final CHT inspection (3/2).
Marketing	
Final Inspection	3/9
Occupancy	> 50

***Town of Carrboro
Affordable Housing Revenue Fund***

Funding Application Submitted By:

The Alliance of AIDS Services - Carolina
A 501(c)(3) Non-profit Organization
TIN: 56-215-8082

December 31, 2020

Town of Carrboro
Affordable Housing Revenue Fund

The Alliance of AIDS Services – Carolina

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FUNDING APPLICATION

DATE:

Section 1: APPLICANT AND PROJECT OVERVIEW

A. Applicant Information

Applicant/Organization's Legal Name: _____

Primary Contact Person and Title: _____

Applicant/Organization's Physical Address: _____

Applicant/Organization's Mailing Address: _____

Telephone Number: _____

Email Address: _____

B. Project Information

Project Name: _____

Total Project Cost: _____

Total Amount of Funds Requested: _____

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.):

To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.

Signature: Melissa Hawthorne-Derus _____

Executive Director or other Authorized Signatory

Date

Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the "who," "what," "when," and "where" questions about your project). **Do not assume the reader knows anything about the project.**

A. "Who"

1. Who is the target population to be served and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

2. Please indicate the income of the beneficiaries (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI		
31%-60% of AMI		
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
TOTAL		

Income Group	Seniors (age 62+)	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI									
31%-60% of AMI									
61-80% of AMI									
81-100% of AMI									
101-115% of AMI									
TOTAL									

3. **Project Staff.** Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

B. "What"

1. Type of Activity. Please check the category under which your project falls.

- ☐ Acquisition
- ☐ Pre-development costs
- ☐ Rental subsidy
- ☐ Ownership subsidy
- ☐ New construction for homeownership
- ☐ New construction for rental
- ☐ Rehabilitation for owner-occupied or rental (including urgent repairs - see *)
- ☐ Land banking
- ☐ Grant to land trust
- ☐ Foreclosure assistance
- ☐ Other (specify): _____

**Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.*

2. Project Description. Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

SEE: PROJECT DESCRIPTION

C. "Where"

1. Project Location. Please be as specific as possible.

2. Project Size (if applicable). Please provide the size of development site: _____ acres

Please attach the following: SEE: SITE MAPS

- ☐ Site map showing lot boundaries, locations of structure(s), and other site features
- ☐ General location map (at least ½ mile radius)

D. "When"

- ☐ Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.) SEE PROJECT TIMELINE

E. Project Details

If the questions below are not applicable or the requested information is not currently available, please insert N/A. N/A

1. Property Acquisition.

- a. Has your agency acquired real property in order to carry out the project, or is property acquisition planned? _____

- b. Is the property currently occupied? If so, attach a description of your plan to relocate.
- c. Please attach an appraisal of the property. N/A

2. Construction/Rehabilitation Detail.

- a. How many units will be newly constructed?
- b. How many units will be rehabilitated?
- c. What is the square footage of each unit?
- d. What is the number of bedrooms in each unit?
- e. What is the number of bathrooms in each unit?
- f. How many units will have full ADA accessibility?
- g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?
- h. Please attach the following: SEE CONSTRUCTION/REHABILITATION DETAIL
 - ☐ Floor plan(s)
 - ☐ Elevation(s)
 - ☐ List of Energy Efficiency measures included in the project (if applicable)
 - ☐ List of Universal Design principles included in the project (if applicable)

3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:
- b. What are the proposed rents (including utility costs) or sales prices for completed units?
- c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:
- d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.
- e. What supportive services, if any, will be provided through this project?

Section 3: PERFORMANCE MEASUREMENTS

A. Goals and Objectives SEE: PERFORMANCE MEASUREMENTS

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI.</i>

B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

Section 4: PROJECT BUDGET AND PRO-FORMA

A. Project Budget

☐ Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted. SEE: PROJECT BUDGET

☐ Has an appraisal been conducted? If so, please attach.

No, an appraisal hasn't been conducted.

B. Terms of Project Funding

Please specify the type of funding request for which you are applying:

☐ Grant ☐ Loan

C. Pro-forma (for rental property only) N/A

☐ If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

Section 5: ORGANIZATION DESCRIPTION

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

A. Organization

What is your organization's . . .

1. Mission statement?
2. Incorporation date (Month and Year)?
3. Estimated Total Agency Budget for this fiscal year? \$
4. Total number of agency staff (full time equivalents):

B. Organization Track Record and Community Support

SEE ORGANIZATIONAL TRACK
RECORD AND COMMUNITY SUPPORT

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project
2. Involvement of intended beneficiaries of the project in the planning process
3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables
4. Collaborative relationships with other agencies
5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive
6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).

Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES ☐ NO ☐

b) Members of or closely related to members of the governing bodies of Carrboro?

YES ☐ NO ☐

c) Current beneficiaries of the project/program for which funds are requested?

YES ☐ NO ☐

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES ☐ NO ☐

If you have answered YES to any question, please explain below. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an undisclosed conflict may result in the termination of any grant awarded.

SUPPORT DOCUMENTATION

PROJECT DESCRIPTION

Property Overview:

WHO/WHAT: Vj g'Cmkepeg'qh'CKF U'Ugtxkegu'Ectqrlpc'*CCU/E+'r tqr qugu'yj g'tgf gxgrqr o gpv' qh'yj g'Qtcpi g'Ego o wplv' 'T gukf gpeg'cu'c'r gto cpgpv'uw r qt vkg'j qwulpi 'ukg'hqt'kpf kxkf wenu'y kj " f kucdkkkgu0Tgqr gplpi "QET'crki pu'y kj 'yj g'Vqy p'qh'Ecttdqtq'u'Chhqtfcdr'J qwulpi 'I qcn'vq" kpetgcug'yj g'pwo dgt'qh'j qwulpi 'wplku'hqt'hqy 'cpf 'gzvgo gr' 'hgy /kpego g'r gtuppu0Vj g'j qo g'y km' cf f 'ugxgp'wplku'qh'r gto cpgpv'uw r qt vkg'j qwulpi 'vq'yj g'Vqy p'u'kpxgpvt { . 'cpf "o qtg'ko r qtcprv' { . " k'y km'r tqxkf g'uchg. 'f gegpv'cpf "chhqtfcdr'j qwulpi 'cpf "uw r qt v'ugtxkegu'vq'r gqr ng'yj cv'pggf 'k'yj g" o quv0

WHERE: The Orange Community Residence (OCR), located at 1700 N Greensboro St., Carrboro, NC, was constructed in 1994 with the help of the community and the Department of Housing and Urban Development. Strategically located in Carrboro NC, the Orange Community Residence is approximately 3,200 sq ft., which encompasses 7-single resident units, three shared bathrooms, and several common spaces, including an eat-in kitchen, living room, and a shared laundry room. There are 3 offices, two are larger staff offices and the other is a smaller space that could be used for for client services such as case management, counseling, or skills-building sessions. There is a large, shaded backyard that is well-suited for outdoor recreation, gardening, and social gatherings. (See SITE MAPS)

PROJECT STAFF

Melissa Haithcox-Dennis, Executive Director and OCR Project Director

More than 20 years of effective non-profit fundraising, program development, and project management experience. Prior TA provider for developing affordable housing for HOPWA and McKinney Vento funding recipients. Experienced property manager and

Stephanie Bryant, Associate Director of Care and Support

More than 20 years of supportive housing operations management, housing case management, and support programming provider. Experienced with Section 8, Ryan White, STRUM, Housing Choice Vouchers, income eligibility verification, and HUD's regulations.

Linwood Johnson, Linwood Bookkeeping, Bookkeeper for The Alliance

Marques Moore, Principal Architect

Extensive architectural experience (<https://www.linkedin.com/in/marques-m-6b409023>)

Tyrone Harmon, Construction Project Director

Extensive experience with housing construction and rehabilitation project management (https://www.linkedin.com/in/tyrone-harmon-4b85b236?trk=people-guest_people_search-card)

Service Delivery

The Orange Community Residence will provide a safe, affordable home for individuals that are living with a disability and who have very low incomes. Residents of the Orange Community Residence will live in a community with full access to services and programs that will meet their specific needs, while encouraging independence and growth. The project will offer different levels of support, depending on the service needs of the individual. Residents will have the time and space to re-group and revive and move onto thrive in a supportive and engaging environment. OCR offers several conveniences such as full-service, on-site cooking and laundry facilities, easy access to public transportation, as well as recreation and social activities. Services will be a coordinated effort that fosters trust, a sense of belonging and a high-level of care and dignity. The sponsor, property management staff, on-site service staff, and residents themselves will work collaboratively to promote a healthy, safe, and up-lifting living environment.

Role and Responsibilities

The Alliance of AIDS Services – Carolina will be responsible for the design and implementation of OCR's supportive services program. The **Associate Director of Housing** will identify and case management partners and create the structure for the on-site social service team. The Associate Director will ensure that OCR is a supportive environment where support staff work collaboratively with help them to sustain their independence and housing. The Alliance will also ensure that all services are culturally appropriate and sensitive to the special needs of all residents. The Associate Director will also be responsible for oversight of all OCR programs, providing guidance for service delivery, and supervising the on-site ***Resident Service Coordinator***.

The Alliance will hire a full-time **Resident Services Coordinator** who will provide direct (but generalized) services to residents, including:

- Resident tours and orientation, move-in processing, brief assessment of resident interest in upcoming programming.
- Scheduling for the resident to meet with a case manager for the initial resident intake and assessment
- Providing **general** information and general referrals to resources (bus stops, local grocery stores...)
- Coordinating on-site recreational, social and community-building activities; support groups; and educational opportunities such as computer classes, speakers, etc.
- Actively engaging residents and encouraging their active participation in social and educational opportunities.
- Managing routine maintenance, site-specific repairs and resident room repairs.

Partnering Service Providers

OCR will operate under The Alliance's philosophy of nonjudgmental, culturally appropriate compassionate care for everyone so that residents can focus on attaining their full potential and maximizing their ability to live independently. Of equal importance, are the philosophies of our partners which align with ours to provide culturally competent individualized services designed to help residents meet their own goals for self-sufficiency and self-determination. The Alliance will partner with two medical/healthcare providers and two supportive service providers.

Health Care Providers: [UNC-Chapel Hill](#) and [Duke University's](#) along with an array of private and public health care clinics and providers the primary sources of medical care and other healthcare services.

Case Management Provider: The Alliance hasn't identified our case management partners at this time; however, we anticipate our partner will provide the following services and staff.

One Support Services Manager

This position will develop the resident services program, in conjunction with The Alliance's Associate Director of Housing and Resident Services Coordinator. The position will supervise two on-site case managers; communicate and coordinate additional services with other partner organizations; stay abreast of current programs and resources; carry out goals and direction as approved by The Alliance. Also responsible for, under the direction of The Alliance and the supervision of US Housing Incorporation (third-party agent) collect and track client data as needed to satisfy HUD requirements and to generate outcome data for the purpose of program evaluation.

Two Case Managers

Responsible for providing case management services to residents. Duties include outreach and engagement; needs assessment; case management; developing and implementing client goal plans; coordinating services; problem solving and making service referrals. Duties will also include some needs assessment; case management, developing and implementing client goal plans, coordinating services, problem solving and making service referrals. Both positions will be on-site, however, one will be full-time and the other part-time. on-site position.

Specific Services will include:

- Developing self-directed goal plans to help resident address any present issues and to maximize their independence and self-sufficiency.
- Assisting residents in applying for entitlement programs general assistance, supplemental security income, and employment opportunities.
- Supporting the development of life skills, such as housekeeping, budgeting and shopping, etc.
- Coordinating vocational, mental health and access to external therapeutic support groups such as Alcoholics Anonymous and groups dedicated to emotional, physical, and spiritual wellbeing.
- Providing advocacy and serve as a liaison for residents with service agencies and providers.

WHERE: SITE MAPS

ORANGE COUNTY | NORTH CAROLINA

1700 N GREENSBORO ST
CARRBORO, 27510

Enter your Street Address

Property

[Zoom to Parcel](#)

Ownership Information

Owner: ORANGE COMMUNITY RESIDENCE INC

Owner: 1637 OLD LOUISBURG RD
Address: RALEIGH NC 27604

Community Information

Township: CHAPEL HILL

Subdivision: QUARTERPATH TRACE

School System: Chapel Hill/Carrboro Schools

Legal Records

PIN: 9779408292

Legal Desc: #2 ANNIE LEE MOORE P33/129

Size: 0.64

Deed Ref: 1254/146

Ratecode: 21

Appraisal Information

Valuation: \$404,100.00

Land Value: \$106,600.00

Bldg Value: \$297,500.00

Latest Sale Information

Date Sold: 6/3/1994

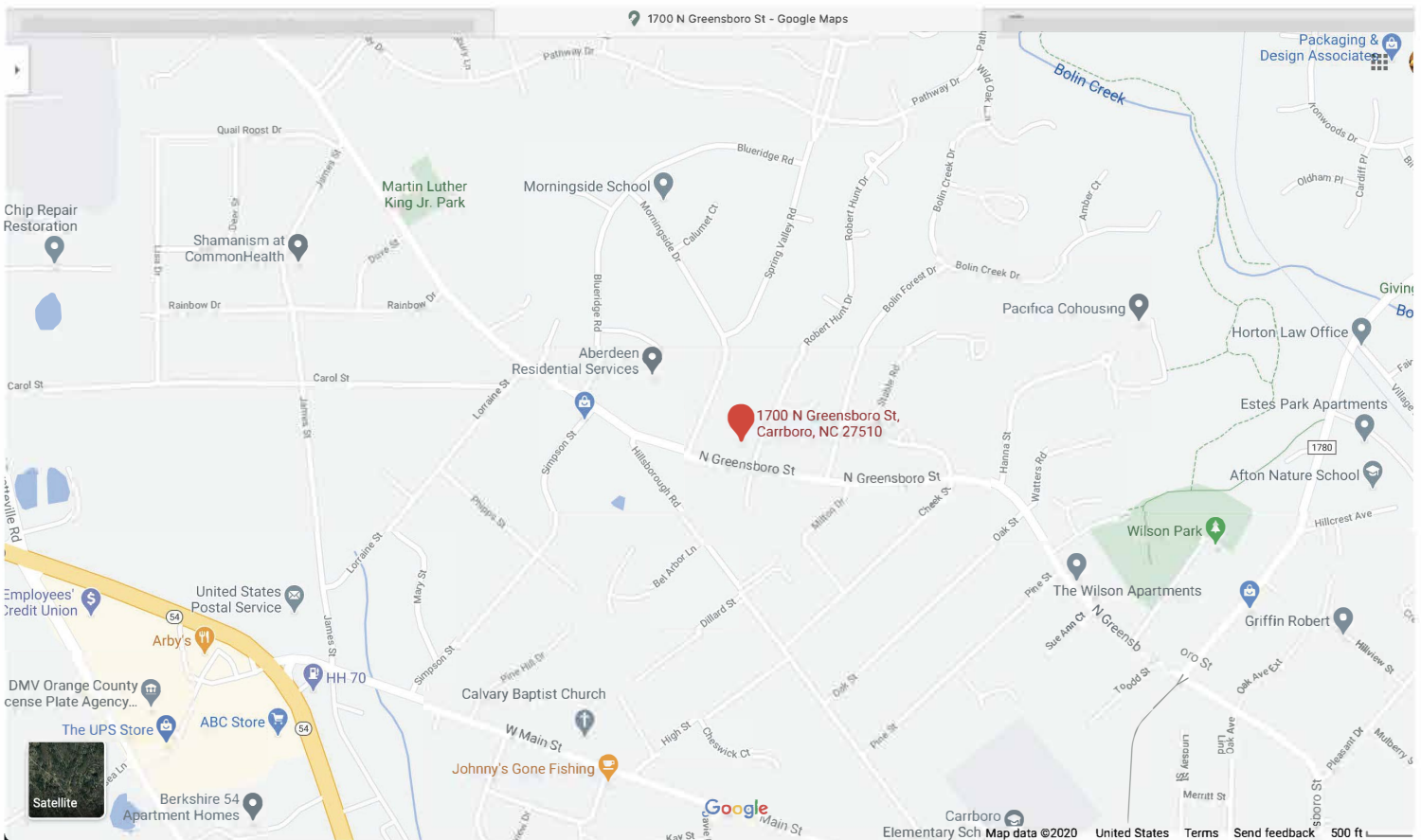
Sale Price: \$40,000.00

Building Information

Year Built: 1994

Map Aerials

Orange County Homepage Aries Home Page



WHEN: PROJECT TIMELINE

Construction

Goal: To provide housing for low-income households in Carrboro, NC

[illegible]

CONSTRUCTION/REHABILITATION DETAIL

SEE CONSTRUCTION/REHABILITATION DETAIL:

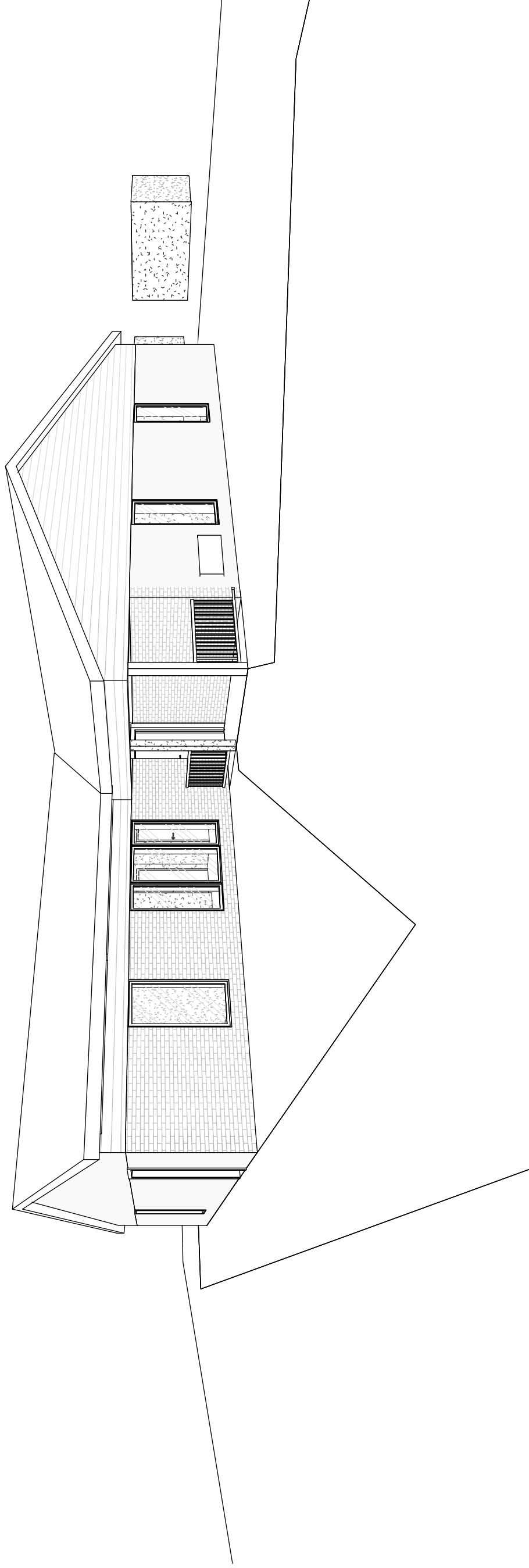
- **Floor plan(s)**
- **Elevation(s)**
- **List of Energy Efficiency measures included in the project**
- **List of Universal Design principles included in the project**

Repairs & Alterations

for

Alliance of AIDS Services

1700 North Greensboro Street Carboro, NC 27510



Repairs & Alterations

for

Alliance of AIDS Services

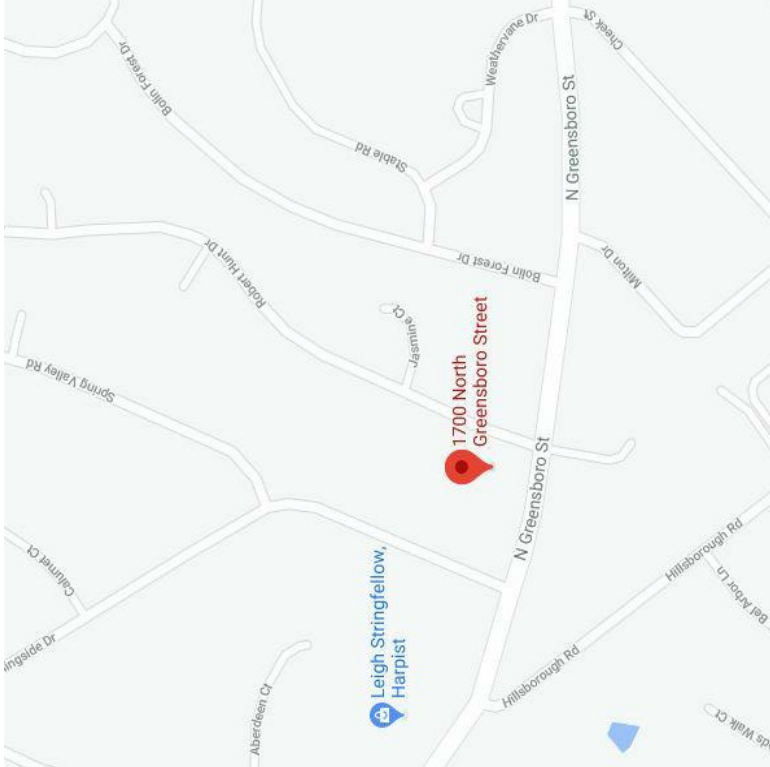
1700 North Greensboro Street Carrboro, NC 27510

Date: 10-12-2020	X	
Not for Construction	X	
Design Development		
Construction Documents		
Revisions		
Sheet Name		
COVER PAGE		
Sheet Number		
A0.01		

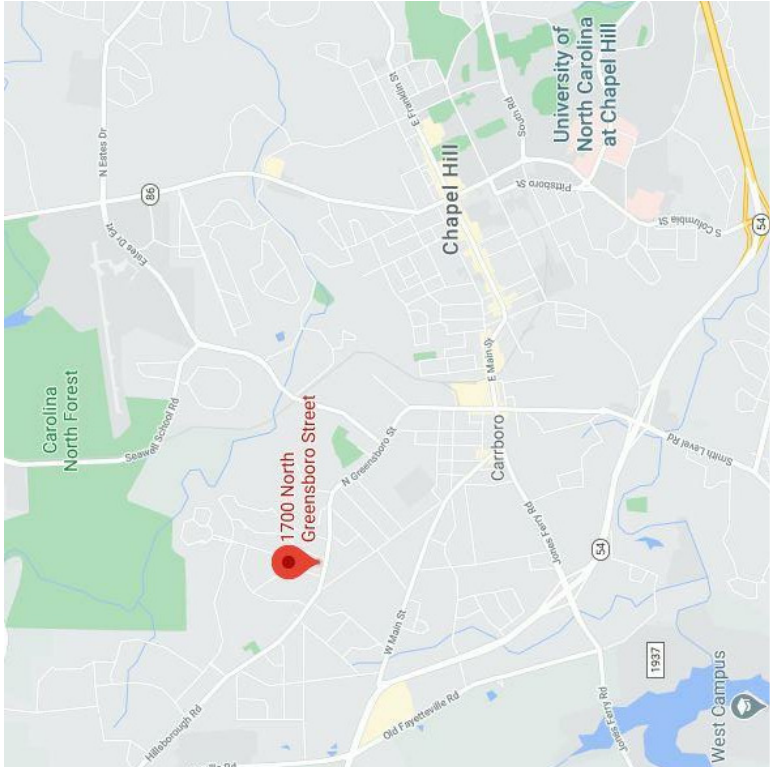
DRAWING LIST			SHEET		REVISION	
NO.	NAME	DATE	NO.	DESCRIPTION	DATE	
A0.01	COVER PAGE	10-12-2020				
A0.02	APPENDIX B CODE SUMMARY	10-12-2020				
A0.03	APPENDIX B CODE SUMMARY	10-12-2020				
A0.04	APPENDIX B CODE SUMMARY	10-12-2020				
A1.01	DIAGRAMMATIC SITE / ROOF PLAN	10-12-2020				
A1.01	DEMOLITION FLOOR PLAN	10-12-2020				
A1.02	NEW FLOOR PLAN	10-12-2020				
A1.03	ENLARGED PLANS	10-12-2020				
A1.21	REFLECTED CEILING PLAN	10-12-2020				
A2.00	EXTERIOR ELEVATIONS	10-12-2020				

GENERAL NOTES

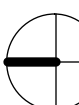


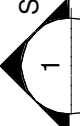
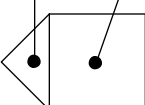











1. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL COORDINATE THE WORK OF ALL TRADES. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT IF THE ARCHITECT IS HIRED AND RETAINED FOR THE DESIGN OF THE PROJECT.
2. IN THE EVENT OF INCONSISTENCIES IN THE DOCUMENTS, THE CONTRACTOR MUST REQUEST AND RECEIVE A WRITTEN INTERPRETATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE PORTION OF WORK IN QUESTION.
3. UNLESS HIRED FOR CONSTRUCTION ADMINISTRATION, THE ARCHITECT IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THESE DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING CONSTRUCTION. THE CONTRACTOR SHALL BE THE ARCHITECT, LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE BY OTHERS.
4. EXTERIOR DIMENSIONS ARE DRAWN TO THE FACE OF MASONRY U.N.O.
5. INTERIOR DIMENSIONS ARE DRAWN TO THE FINISHED FACE OF WALL U.N.O.
6. DRAWINGS ARE NOT TO BE SCALED.



VICINITY MAP



AREA MAP

Room name	
	NORTH ARROW
	GRID BUBBLE
	DETAIL CALLOUT
	SECTION CALLOUT
	Elevation ELEVATION CALLOUT
	LEVEL LABEL
	FLOOR ELEVATION DATUM
	ROOM TAG
	DOOR TAG
	WINDOW TAG
	STRUCTURAL TAG
	FACE OF MASONRY
	FACE OF STEEL
	CENTERLINE
	PROPERTY LINE
	WALL TAG

SYMBOLS LEGEND

UPDATE PER PROJECT SPECIFIC INFORMATION

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: TEMITY WORLD MINISTRIES - CHANGE OF USE		Zip Code: 28212
Address: 72415-A CHERRY TRIPP DRIVE		E-Mail: FATHS@GHEOTMAIL.COM
Owner/Authorized Agent: JIMMY DUVIE	Phone # (704) 637 - 1861	
Owned by:	<input type="checkbox"/> City County	<input checked="" type="checkbox"/> Private
Code Enforcement Jurisdiction:	<input type="checkbox"/> City	<input checked="" type="checkbox"/> County MECK

CONTACT:		TELEPHONE #	E-MAIL
FIRM	NAME	LICENSE #	
MOORE ARCHITECTURE	MARKUES MOORE	12237	
Architectural			
Civil			
Electrical			
Environmental			
Plumbing			
Mechanical			
Sprinkler-Standpipe			
Structural			
Swimming Pools - 5' High			
Other			

(Other should include firms and individuals such as trusts, precast, pre-engineered, interior designers, etc.)*

2018 NC BUILDING CODE:		<input type="checkbox"/> New Building	<input checked="" type="checkbox"/> Renovation
<input type="checkbox"/> 1 st Time Interior Completion			
<input type="checkbox"/> Shell/Core - Contact the local inspection jurisdiction for possible, additional procedures and requirements			
<input type="checkbox"/> Partial Construction - Shell/Core - Contact the local inspection jurisdiction for possible, additional procedures and requirements			

2018 NC EXISTING BUILDING CODE EXISTING:		<input type="checkbox"/> Prescriptive	<input type="checkbox"/> Repair
		<input type="checkbox"/> Level I	<input type="checkbox"/> Level II
		<input type="checkbox"/> Historic Property	
			<input type="checkbox"/> Chapter 14
			<input checked="" type="checkbox"/> Level III
			<input checked="" type="checkbox"/> Business
			<input type="checkbox"/> Use

CONSTRUCTED: (date) 2020	CURRENT OCCUPANCY (Ch. 3):
RENOVATED: (date) 2020	PROPOSED OCCUPANCY (Ch. 3):
	A-2 ASSEMBLY

RISK CATEGORY (Table 1604.5):	
Current:	<input type="checkbox"/> I <input checked="" type="checkbox"/> II <input type="checkbox"/> III <input type="checkbox"/> IV
Proposed:	<input type="checkbox"/> I <input checked="" type="checkbox"/> II <input type="checkbox"/> III <input type="checkbox"/> IV

BASIC BUILDING DATA	
Construction Type:	<input type="checkbox"/> I-A <input type="checkbox"/> II-A <input type="checkbox"/> III-A <input type="checkbox"/> IV <input type="checkbox"/> V-A
(check all that apply)	<input type="checkbox"/> I-B <input type="checkbox"/> II-B <input type="checkbox"/> III-B <input checked="" type="checkbox"/> V-B
Sprinklers:	<input type="checkbox"/> No <input type="checkbox"/> Partial <input type="checkbox"/> Yes <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13B <input type="checkbox"/> NFPA 13D
Standpipes:	<input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> Class <input type="checkbox"/> I <input type="checkbox"/> II <input type="checkbox"/> III <input type="checkbox"/> Wet <input type="checkbox"/> Dry
Fire District:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> Flood Hazard Area: <input type="checkbox"/> No <input type="checkbox"/> Yes
Special Inspections Required:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (Contact the local inspection jurisdiction for additional procedures and requirements)

PERCENTAGE OF WALL OPENING CALCULATIONS			
FREE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENING (PERCENT) OF TOTAL (TABLE DTS \$)	ALLOWABLE AREA (%)	ACTUAL BLOWN PLANE (%)
10 < X	UP, NS	15%	0%

LIFE SAFETY SYSTEM REQUIREMENTS			
Emergency Lighting:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	
Exit Signs:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	
Fire Alarm:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	
Smoke Detection Systems:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	Partial
Carbon Monoxide Detection:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	

Life Safety Plan Sheet #:		A0.04
<input checked="" type="checkbox"/>	Fire and/or smoke rated wall locations (Chapter 7)	
<input type="checkbox"/>	Assumed and real property line locations (if not on the site plan)	
<input type="checkbox"/>	Exterior wall opening area with respect to distances to assumed property lines (705.8)	
<input checked="" type="checkbox"/>	Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)	
<input checked="" type="checkbox"/>	Occupant loads for each area	
<input checked="" type="checkbox"/>	Exit access travel distances (1017)	
<input checked="" type="checkbox"/>	Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))	
<input checked="" type="checkbox"/>	Clear exit widths for each exit door	
<input checked="" type="checkbox"/>	Clear exit lengths (1020.4)	
<input checked="" type="checkbox"/>	Actual occupant load for each exit door	
<input checked="" type="checkbox"/>	Actual schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation	
<input checked="" type="checkbox"/>	Location of doors with panic hardware (1010.1.10)	
<input type="checkbox"/>	Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)	
<input type="checkbox"/>	Location of doors with electromagnetic egress locks (1010.1.9.9)	
<input type="checkbox"/>	Location of doors equipped with hold-open devices	
<input type="checkbox"/>	Location of doors equipped with hold-open devices (1010.1.9.6)	
<input checked="" type="checkbox"/>	The square footage of each fire area (202)	
<input type="checkbox"/>	Note any code exceptions or table notes that may have been utilized regarding the items above	
<input type="checkbox"/>	Note any code exceptions or table notes that may have been utilized regarding the items above (1005.5)	

Gross Building Area Table				
FLOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL	
3 rd Floor				
2 nd Floor				
Mezzanine				
1 st Floor	7,200	0		7,200
Basement				
TOTAL	7,200	0		7,200

ALLOWABLE AREA									
Primary Occupancy Classification(6): <input type="checkbox"/> Select one <input type="checkbox"/> Select one <input type="checkbox"/> Select one <input type="checkbox"/> Select one									
Assembly	<input type="checkbox"/> A-1	<input type="checkbox"/> A-2	<input checked="" type="checkbox"/> A-3	<input type="checkbox"/> A-4	<input type="checkbox"/> A-5				
Business									
Educational									
Factory									
Hazardous	<input type="checkbox"/> F-1	<input type="checkbox"/> Moderate	<input type="checkbox"/> F-2	<input type="checkbox"/> Low					
Highways	<input type="checkbox"/> H-1	<input type="checkbox"/> Decks	<input type="checkbox"/> H-2	<input type="checkbox"/> Delagative	<input type="checkbox"/> H-3	<input type="checkbox"/> Combust	<input type="checkbox"/> H-4	<input type="checkbox"/> Health	<input type="checkbox"/> H-5
Industrial	<input type="checkbox"/> I-1	<input type="checkbox"/> Condition	<input type="checkbox"/> I-2	<input type="checkbox"/> I-3	<input type="checkbox"/> I-4	<input type="checkbox"/> I-5	<input type="checkbox"/> I-6	<input type="checkbox"/> I-7	<input type="checkbox"/> I-8
Medical	<input type="checkbox"/> M-1	<input type="checkbox"/> Condition	<input type="checkbox"/> M-2	<input type="checkbox"/> M-3	<input type="checkbox"/> M-4	<input type="checkbox"/> M-5	<input type="checkbox"/> M-6	<input type="checkbox"/> M-7	<input type="checkbox"/> M-8
Merchandise	<input type="checkbox"/> R-1	<input type="checkbox"/> Condition	<input type="checkbox"/> R-2	<input type="checkbox"/> R-3	<input type="checkbox"/> R-4	<input type="checkbox"/> R-5	<input type="checkbox"/> R-6	<input type="checkbox"/> R-7	<input type="checkbox"/> R-8
Residential	<input type="checkbox"/> S-1	<input type="checkbox"/> Moderate	<input type="checkbox"/> S-2	<input type="checkbox"/> Low	<input type="checkbox"/> S-3	<input type="checkbox"/> S-4	<input type="checkbox"/> S-5	<input type="checkbox"/> S-6	<input type="checkbox"/> S-7
Storage	<input type="checkbox"/> Parking	<input type="checkbox"/> Garage	<input type="checkbox"/> Open	<input type="checkbox"/> Enclosed	<input type="checkbox"/> Repair	<input type="checkbox"/> Garage	<input type="checkbox"/> Repair	<input type="checkbox"/> Garage	<input type="checkbox"/> Repair
Utility and Miscellaneous	<input type="checkbox"/>								
Accessory Occupancy Classification(6): BUSINESS									
Incidental Uses Table 509):									

Use Category	Use Code	Use Description	Area	Height	Exception
Office	1	Office			
Residential	2	Residential			
Commercial	3	Commercial			
Industrial	4	Industrial			
Public	5	Public			
Religious	6	Religious			
Health	7	Health			
Education	8	Education			
Government	9	Government			
Other	10	Other			

[illegible]

STORY NO.	DESCRIPTION AND USE	(A) BUILDING FLOOR STORIES (ACTUAL)	(B) TYPICAL FLOOR AREA, m^2	(C) AREA OF FLOOR INCREASE ΔA_i	(D) ALLOWABLE FLOOR STORIES IN UNLIMITED ^{2,3}
1	A-3 ASSEMBLY	7,200	6,000	3,000	9,000

¹ Frontage area increases from Section 506.3 are computed thus:

- Perimeter which borders a public way or open space having 20 feet minimum width = $\frac{360}{F}$
- Total Building Perimeter = $\frac{360}{P}$
- Ratio of perimeter to floor area = $\frac{P}{A}$
- W = Minimum width of public way = $\frac{20}{W}$ (W) = $\frac{20}{P/A}$
- Percent of frontage increase $I_f = 100(P/P - 0.25) \times I/P = 50$ (%)

² Unlimited area applicable under conditions of Section 507.

³ Maximum Building Area = total number of stories in the building's D (maximum stories) (506.2).

⁴ The maximum height of a building is limited to 100 feet (30.5 m) for buildings less than 50,000 sq ft (4,645 sq m).

⁵ Frontage increase is based on the unspunkered area value in Table 506.2.

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE ¹
Building Height in Feet (Table 504.3) ²	40	20	
Building Height in Stories (Table 504.4) ³	1	1	

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

² The maximum height of air traffic control towers must comply with Table 412.3.1.

³ The maximum height of open parking garages must comply with Table 406.5.4.

ENERGY REQUIREMENTS:	ENERGY SUMMARY	
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each designer shall furnish the required portions of the project information for the plan data sheet. The designer shall provide the estimated annual energy cost for the standard reference design & annual energy cost for the proposed design.		
Existing building envelope complies with code:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (The remainder of this section is not applicable)	
Exempt Building:	<input type="checkbox"/> No <input type="checkbox"/> Yes (Provide code or statutory reference): _____	
Climatic Zone:	<input type="checkbox"/> 3A <input type="checkbox"/> 4A <input type="checkbox"/> 5A	
Method of Compliance: Energy Code <input type="checkbox"/> Performance ASHRAE 90.1 <input type="checkbox"/> Performance (If Other specify source here) _____	<input type="checkbox"/> Prescriptive <input type="checkbox"/> Prescriptive	
THERMAL ENVELOPE (Prescriptive method only)		
Rooft ceiling Assembly (each assembly)		
Description of assembly: _____		
U-Value of total assembly: _____		
Skylights in each assembly: _____		
Total square footage of skylights in each assembly: _____		
Exterior Walls (each assembly)		
Description of assembly: _____		
U-Value of total assembly: _____		
R-Value of insulation: _____		
Openings (windows or doors with glazing) U-Value of assembly: _____ Solar heat gain coefficient: _____ Projection factor: _____ Door R-Values: _____		
Walls below grade (each assembly)		
Description of assembly: _____		
U-Value of total assembly: _____		
R-Value of insulation: _____		
Floors over unconditioned space (each assembly)		
Description of assembly: _____		
U-Value of total assembly: _____		
R-Value of insulation: _____		
Floors slab on grade		
Description of assembly: _____		
U-Value of total assembly: _____		
R-Value: _____		
Horizontal/vertical requirement: _____		
slab heated: _____		

BUILDING ELEMENT	FRP SEPARATION DISTANCE (PART)	RATING	DESIGN # AND SHEET #	DESIGNS # FOR RATED PENETRATION ASSEMBLY	SHEET # FOR RATED PENETRATION ASSEMBLY
Structural Frame, including columns, girders, trusses		0	0	AD01	
Barrier Walls		0	0		
Exterior	10 < X	0	0		
North					
East					
West					
South					
Interior		0	0		
Nonbearing Walls and Partitions					
Exterior walls	10 < X	0	0		
North					
East					
West					
South					
Interior walls and partitions		0	0		
Floor Construction					
Including supporting beams and joints		0	0		
Floor Ceiling Assembly		0	0		
C-Columns Supporting Floors		0	0		
Partitions, walls, and ceiling supporting beams and joints		0	0		
Roof Ceiling Assembly		0	0		
Partitions, walls, and ceiling supporting beams and joints		0	0		
Columns Supporting Roof		0	0		
Shall Enclosures - Exit		N/A			
Shall Enclosures - Other		N/A			
Corridor Separation		N/A			
Occupancy Fire Barrier Separation		N/A			
Party Fire Wall Separation		N/A			
Smoke Barrier Separation		N/A			
Smoke Partition		N/A			
Partitions, walls, and ceiling supporting beams and joints		N/A			
Incidental Use Separation		N/A			

* Indicate section number permitting reduction

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

STRUCTURAL DESIGN

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

Importance Factors:

Roof	psf
Mezzanine	psf
Floor	psf

Ground Snow Load: _____ psf

Wind Load: _____ mph (ASCE-7)

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☐ D

Provide the following Seismic Design Parameters for ☐ I ☐ II ☐ III ☐ IV

Spectral Response Acceleration: ☐ I _____ % ☐ II _____ % ☐ III _____ % ☐ IV _____ %

Site Classification (ASCE 7): ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F

Basic structural System

<input type="checkbox"/> Plain	<input type="checkbox"/> Presumptive	<input type="checkbox"/> Historical Data
<input type="checkbox"/> Bearing Wall	<input type="checkbox"/> Dual w/ Special Moment Frame	<input type="checkbox"/> Dual w/ Intermediate RC or Special Steel
<input type="checkbox"/> Bracing Frame	<input type="checkbox"/> Moment Resistant	<input type="checkbox"/> Steel Moment Resistant
<input type="checkbox"/> Moment Resistant	<input type="checkbox"/> Steel Moment Resistant	<input type="checkbox"/> Dynamic

Analysis Procedure: ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic

Architectural, Mechanical, Components anchored? ☐ Yes ☐ No

LATERAL DESIGN CONTROL: Earthquake ☐ Wind ☐

SOIL BEARING CAPACITIES:

Piled Test (include copy of test report) _____ psf

Standard Penetration Test (SPT) _____ blow

Pile size, type, and capacity _____

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CONSTRUCTION**

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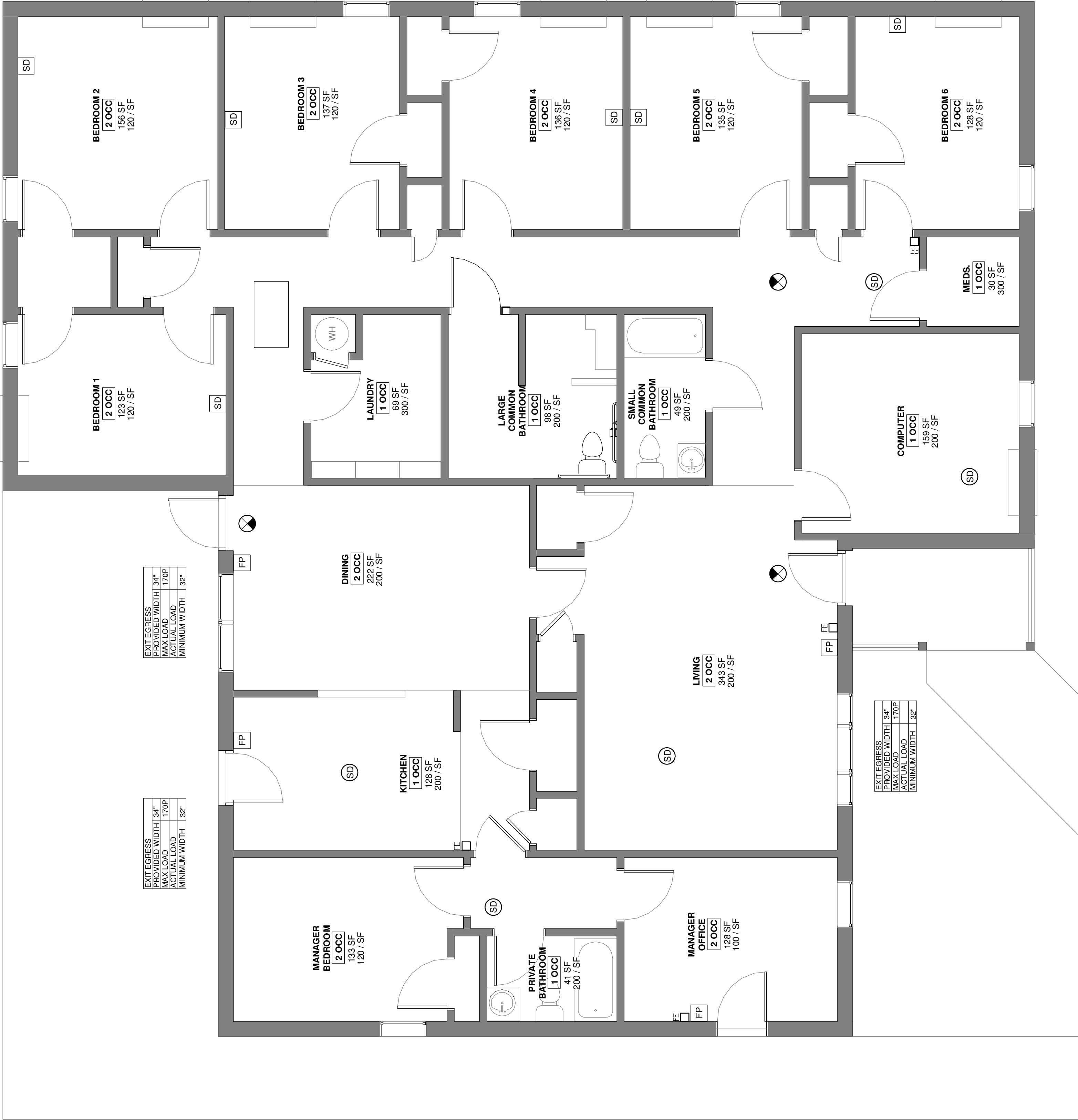
Repairs & Alterations
for
Alliance of AIDS Services
1700 North Greensboro Street Carboro, NC 27510

Date: 10-12-2020	Not for Construction	X
	Design Development	X
	Construction Documents	
	Revisions	

Sheet Name	APPENDIX B CODE SUMMARY
Sheet Number	A0.02

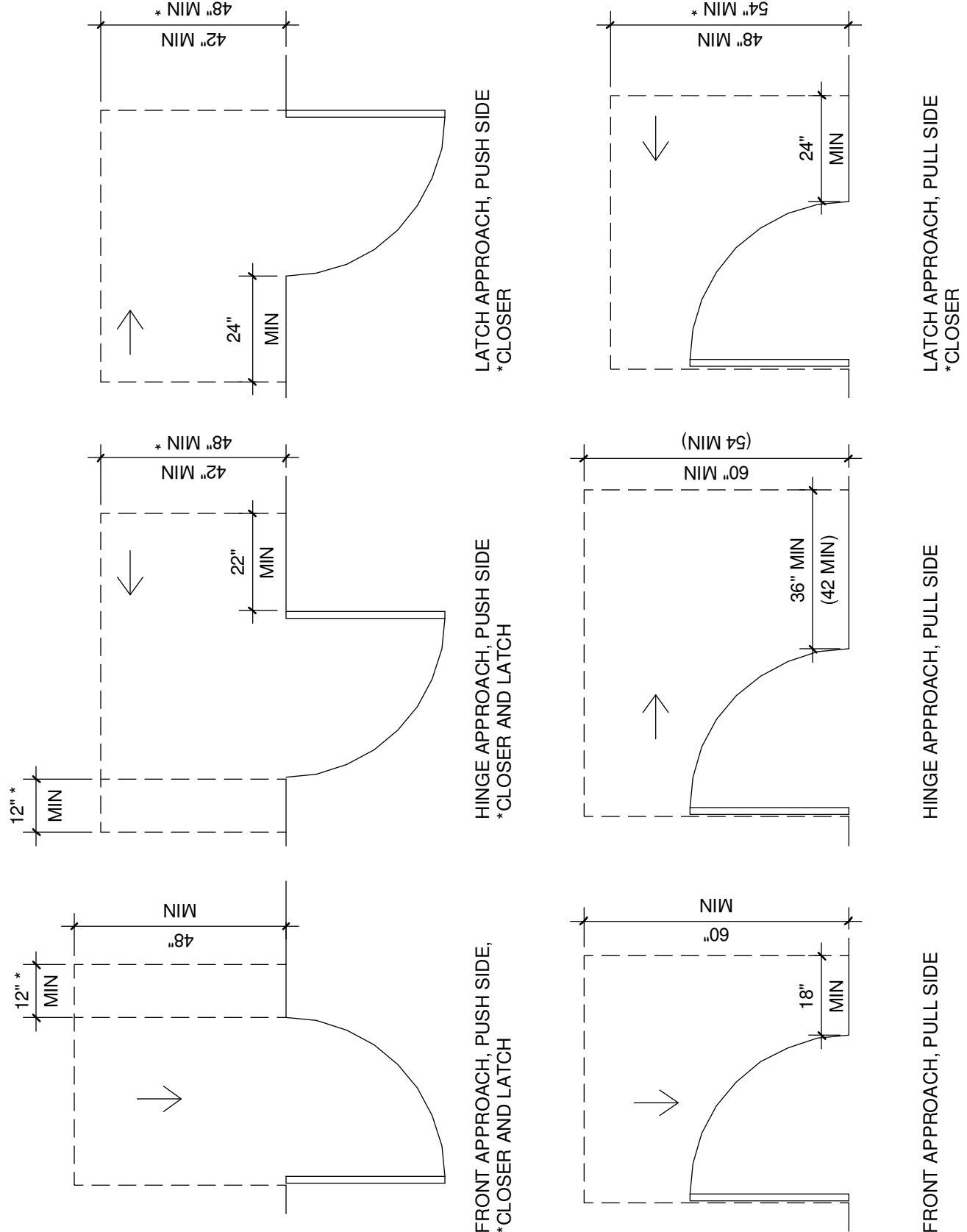
3.6.2 PROVIDE CO DETECTORS IN EACH BEDROOM.
SD IN BEDROOMS PROVIDED BY HARDWIRE.
PROVIDE SD IN HALLWAY.

PROVIDE EXTERIOR ADA LIGHTS AT WALKWAY



- EGRESS CALCULATION
- | EXIT | EGRESS PROVIDED WIDTH 34" | MAX LOAD 170P | MINIMUM WIDTH 32" |
|--------|---------------------------|---------------|-------------------|
| EXIT 1 | 34" | 170P | 32" |
| EXIT 2 | 34" | 170P | 32" |
| EXIT 3 | 34" | 170P | 32" |
| EXIT 4 | 34" | 170P | 32" |
| EXIT 5 | 34" | 170P | 32" |
| EXIT 6 | 34" | 170P | 32" |
- EMERGENCY EXIT LIGHT
- EMERGENCY LIGHT
- FIRE EXTINGUISHER
- SMOKE DETECTOR - CEILING MOUNTED
- SMOKE DETECTOR - WALL MOUNTED
- FIRE ALARM PULL
- EXIT SIGN
- EXIT ACCESS TRAVEL PATH

LIFE SAFETY LEGEND



Repairs & Alterations

for

Alliance of AIDS Services

1700 North Greensboro Street Carboro, NC 27510

Marques Moore
7725 Rathlin Court
Charlotte, NC

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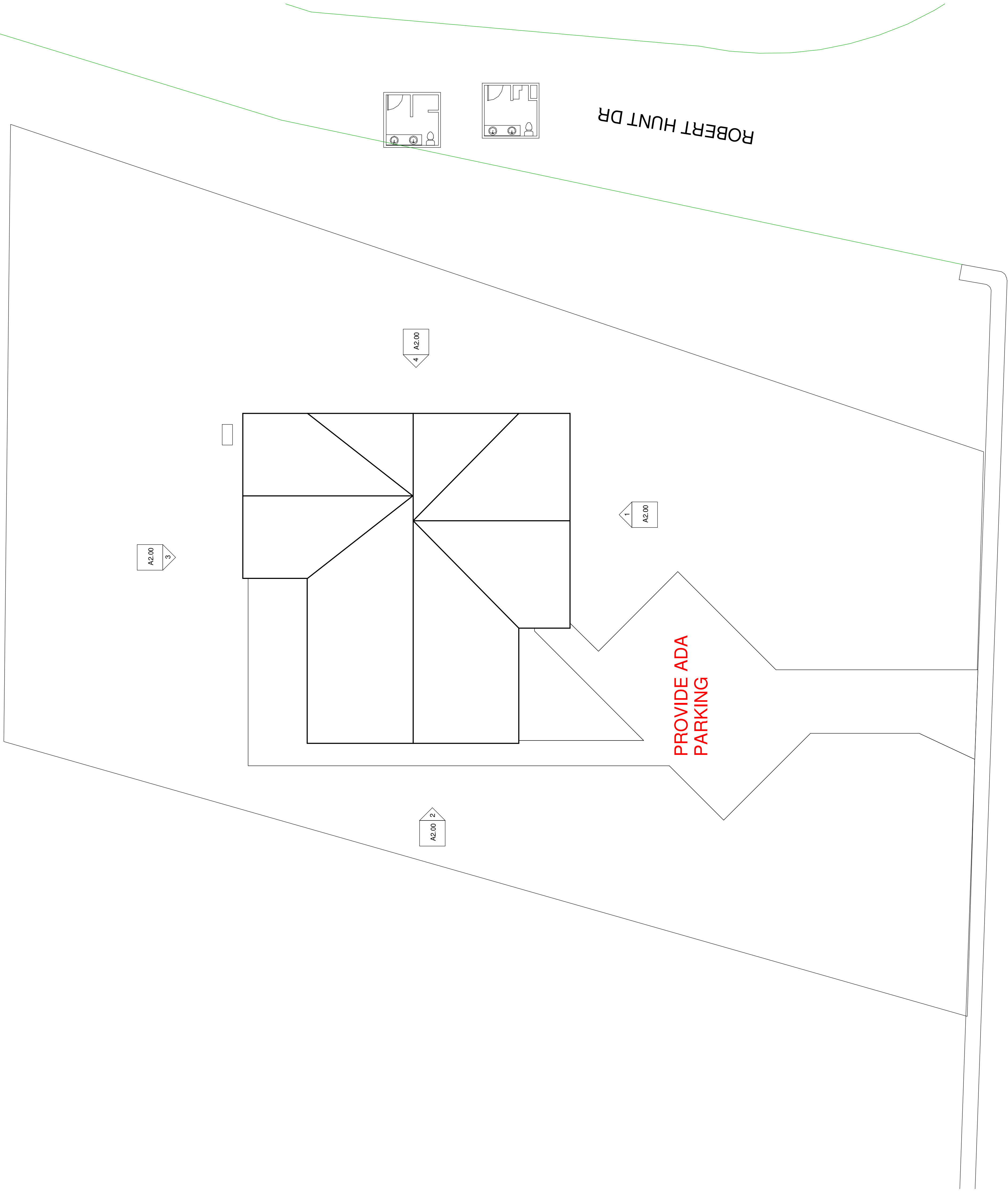
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Date: 10-12-2020
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Design Development
Construction Documents
Revisions

3.2.6 REPLACE STORAGE SHED


3.3.4 REPLACE SHINGLE ROOF

REPLACE GUTTERS AND DOWNSPOUTS



NORTH GREENSBORO ST

ROBERT HUNT DR



**PROVIDE ADA
PARKING**

4 A2.00

Repairs & Alterations

for

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Design Development

Construction Documents

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Sheet Name

**DIAGRAMMATIC SITE
/ ROOF PLAN**

Sheet Number

A1.00

1 DIAGRAMMATIC SITE / ROOF PLAN

$$\overline{1'' = 10'-0''}$$

- 3.7.1 REPLACE BEDROOM DOOR HARDWARE TO ADA COMPLAINT LEVERES.
- 3.7.2 INSTALL ADA COMPLIANT KITCHEN SINK.
- PROVIDE ADA COMPLIANT LOWERED SHELVING
- PROVIDE ADA COMPLIANT SINKS AT COMMON AREA RESTROOM.
- PROVIDE ADA COMPLIANT TOILET AND GRAB BARS AT COMMON AREA RESTROOM.

RESTROOMS DO NOT MEET ADA CODE.



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for

Alliance of AIDS Services

Repairs & Alterations

Date: 10-12-2020

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Sheet Name

NEW FLOOR PLAN

Sheet Number

A1.02

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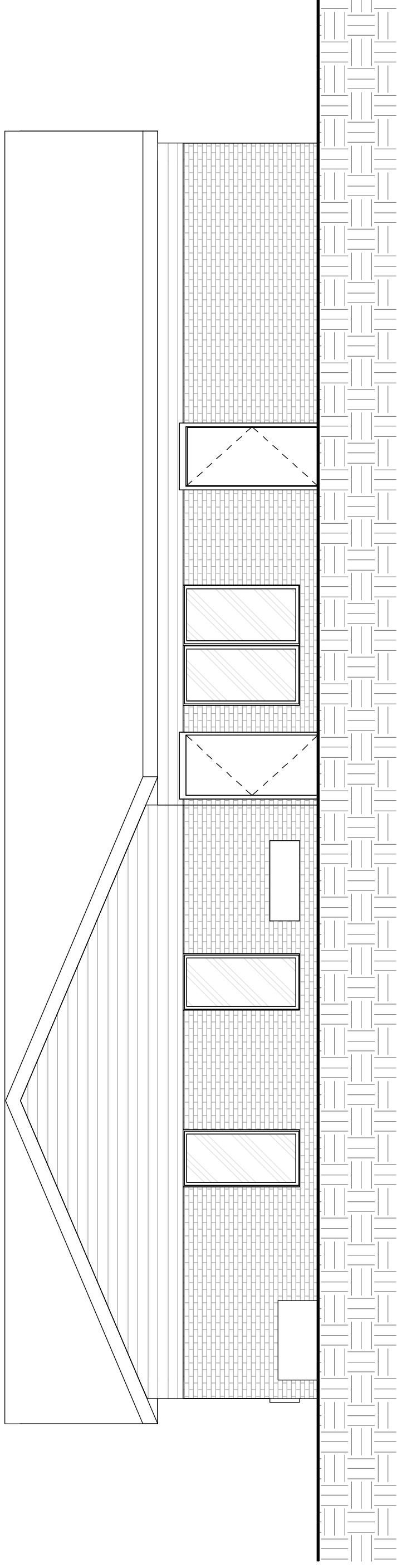
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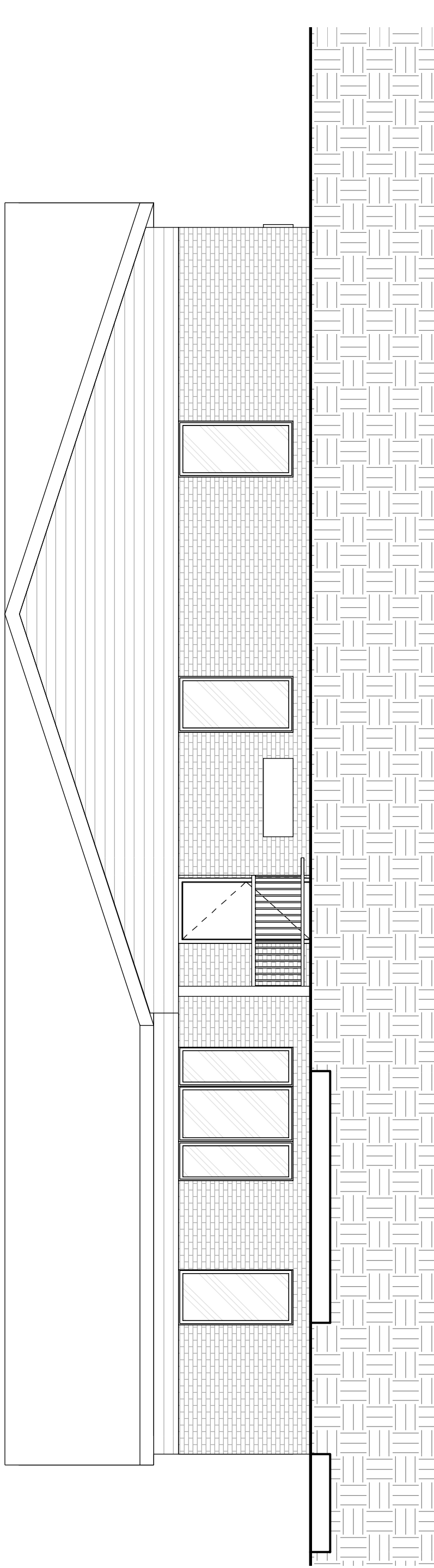
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Repairs & Alterations
for
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1700 North Greensboro Street Carrboro, NC 27510

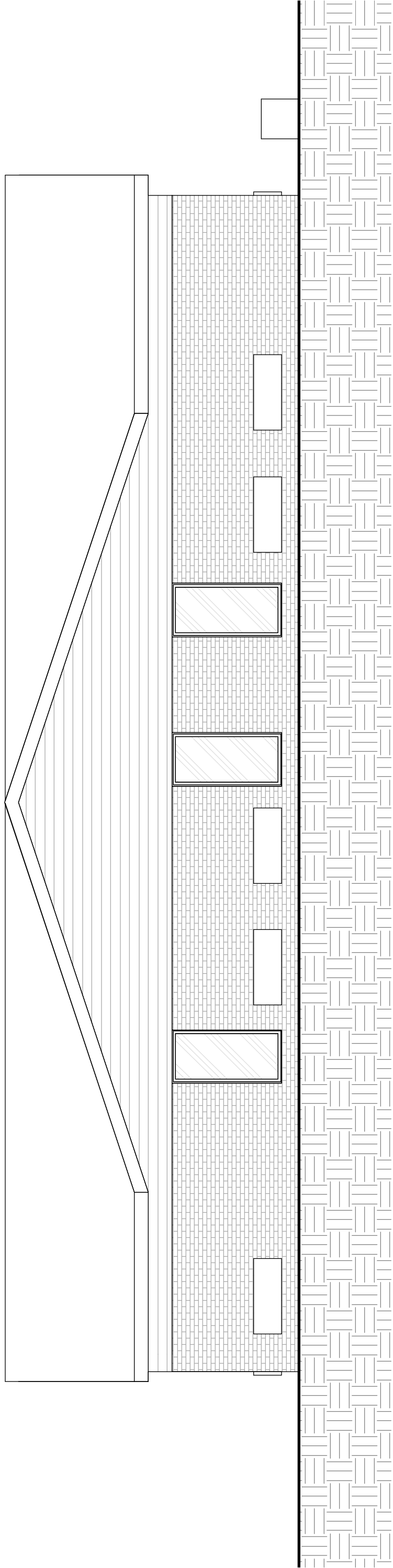
Date: 10-12-2020	X
Not for Construction	X
Design Development	
Construction Documents	
Revisions	
Sheet Name	
EXTERIOR ELEVATIONS	
Sheet Number	A2.00



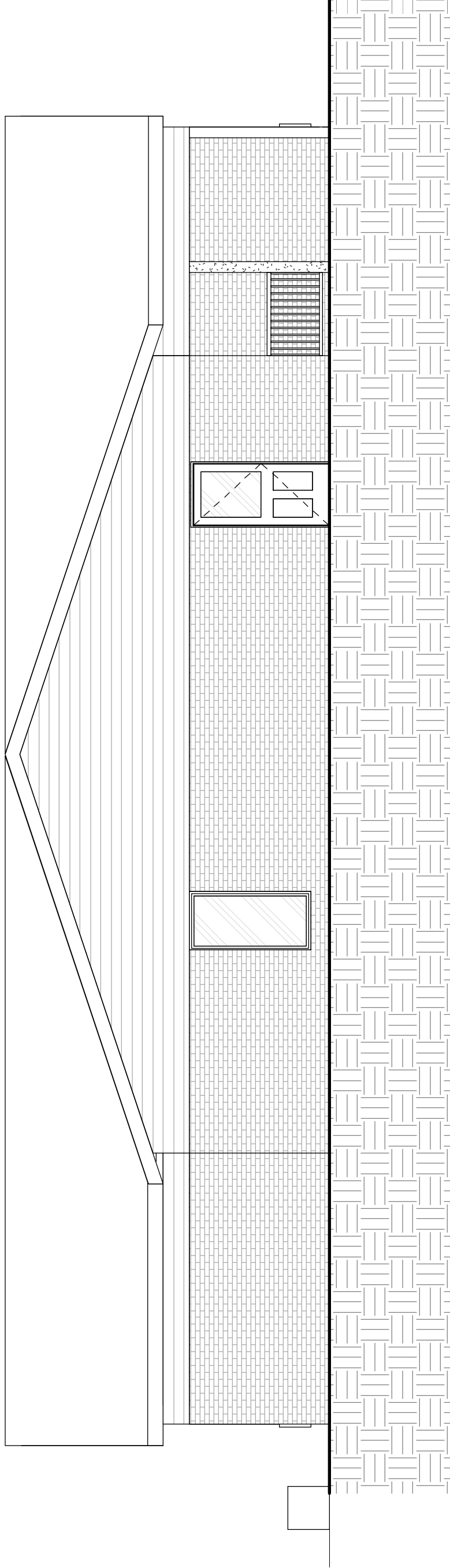
3 REAR ELEVATION
3/16" = 1'-0" REF: 1 / A1.00



1 FRONT ELEVATION
3/16" = 1'-0" REF: 1 / A1.00



4 **RIGHT ELEVATION**
3/16" = 1'-0" REF: 1 / A1.00



2 **LEFT ELEVATION**
3/16" = 1'-0" REF: 1 / A1.00

CONSTRUCTION/REHABILITATION DETAIL (cont.)

Energy efficiency measures include:

- LED lighting and occupancy sensors in each room.
- Replace windows with low-E windows.
- Update insulation from R-30 to R-38.
- Energy star appliances in the kitchen and laundry room.
- Low flow plumbing fixtures.

ADA/universal designs include:

- ADA compliant countertops in the kitchen, bathrooms, and the laundry room.
- ADA compliant parking and access to the main entrance.
- ADA compliant door hardware, appliances, and plumbing fixtures.
- ADA compliant reach ranges (15"- 48") for all light switches and thermostats.
- ADA compliant turning space in all individual living units.
- ADA compliant turning space in all bathrooms, the kitchen, and the laundry room.
- ADA compliant reach-depths in the kitchen, pantry, and all closets.

Extended life building materials include:

- Tile in bathrooms.
- Solid surface countertops
- Commercial grade doors and hardware.

Long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:

- HUD requires that the house be used for affordable housing for the next 15 years, and The Alliance is committed to retaining the home for affordable housing indefinitely.

SUPPORTIVE SERVICES

The Alliance’s staff possesses a high-level of expertise in determining and meeting the needs with disabilities. We reviewed multiple resources that identified projects that served similar populations for the Orange Community Residence. We also consulted with experts in the field of supportive housing to develop the following “menu” of expected service needs for our project.

<i>POPULATION</i>	<i>SERVICES</i>
All residents	Intake and assessment, local information and referrals, site and local community activities (recreational, social activities, transportation...) on-site hobby groups, educational or other enriching opportunities Crisis intervention and emergency procedures.
All residents	Medical Development of individualized service planning and goal setting for health/medical needs. Skills and knowledge to support healthy eating, medication management. Coordination of transportation for medical care. Assistance with accessing other low-cost or free medical services (dentist...)
All residents	Independent Living Development of individualized service planning and goal setting, 1-1 education on finances, stress management, conflict resolution, counseling and support, coordination of services and assistance with accessing community-based resources to build self-efficacy and independence. <i>*We will emphasize HUD’s “Moving On” services to, “support the long-term growth, recovery, and independence of program participants, especially those demonstrating promise or show interest in moving on from supportive housing.”</i>
All residents (as needed)	Social Support Case management and referrals to counseling and other community support as appropriate. Case management includes individualized service planning and goal setting, counseling and support, coordination of services to reduce isolation and stigma.
All residents	Vocational/Educational/Employment Service coordination on employment/vocation training services/education and job-finding resources. Help with resume writing, interviewing and developing “soft-skills” for employment success. Service coordination includes information and referral, with some follow through to help residents access needed services.

PERFORMANCE MEASUREMENTS

A. Goals and Objectives

<i>Goal/Objective</i>	<i>Measurement</i>
To provide housing for low-income households.	By July 1, 2021, rehabilitate seven units that are affordable to households earning between 30%- 60% AMI.

B. Alignment with Town Goals and Adopted Affordable Housing Strategies

The proposed project aligns with the Town of Carrboro's Affordable Housing Goal 2 to ***“increase the number of rental units that are permanently affordable to individuals and families earning less than 60% or less of AMI.”*** More specifically, the project will add **seven** (7) rental units *“that are permanently affordable to individuals earning less than 60% or less of AMI.”*

To achieve this goal, The Alliance will implement several ***affordable housing strategies***, including, but not limited to, the following:

- Work with the Town of Carrboro and Orange County and the University to reserve and rehabilitate one HUD-restricted rental community.
- Strengthen existing and build new community partnerships.
- Cultivate relationships with key gatekeepers and community stakeholders.
- Participate in community and governmental workgroups and community coalitions.
- Collaborate with affordable rental housing owners and developers.

PROJECT BUDGET

The Alliance of AIDS Services - Carolina Orange Community Residence Rehabilitation Budget <i>Based on a 6-month timeline</i>	
INCOME	
Source	Amount
Agency Fundraising (incldues \$15,000 contribution, to date, to cover utilities, insurance, and 10K of architecture services)	\$50,000
Private and Corporate Donations (estimated)	\$25,000
Grants (estimated)	\$150,000
In-Kind Support (estimated)	\$25,000
TOTAL INCOME	\$250,000
EXPENSES	
Category and Description	Amount
Personnel	
M. Haithcox-Dennis, AAS-C ED/Project Director, \$72,000 Salary/Fringe= \$8,000/mo. @ 6mos. @.25 FTE= \$12,000	\$12,000
Sub-Total Personnel	\$12,000
Contracted Services	
*Architecture Services (Design development, construction drawings, permit review...)	\$13,500
*Rehabilitation/Construction Services (Materials, Fixtures, labor, permits, insurance, inspections, excludes contingency)	\$180,257
*Roofing (Labor and Materials)	\$13,000
Landscaping	\$2,200
Sub-Total Contracted Services	\$208,957
Insurance	
*Property Insurance (prorated)	\$1,976
Professional Liability -OCR Staff (prorated)	\$1,040
Sub-Total Insurance	\$3,016
Utilities	
Estimated Water/Sewer (6 months @ \$150/mo.)	\$750
Estimated Gas (6 months @ \$150/mo.)	\$750
Estimated Electricity (6 months @ \$300/mo.)	\$1,800
Sub-Total Utilities	\$3,300
SUB-TOTAL EXPENSES	\$227,273
Contingency	
10% of expenses (includes \$3,000 from Rehab. Expenses)	\$22,727.30
TOTAL EXPENSES	\$250,000
Profit/Loss	\$0

*Detailed estimates are attached

September 16, 2020

Owner	Project Location	Architect
Melissa Haithcox-Dennis Alliance of AIDS Services m.haithcoxdennis@aas-c.org 252.702.3490	1700 North Greensboro Street Carrboro, NC 27510	Marques Moore AIA NOMA NCARB Moore Architecture marques@moorearch.net 434.665.7780

Dear Melissa:

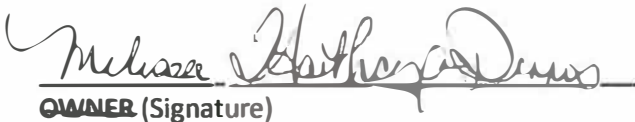
We are thankful to be considered as your Architect of choice for this amazing project and opportunity.

Project Objective and Summary of Architectural Services:

Renovations – Orange Community Residences

Moore Architecture is submitting this specific proposal for Architectural services required for the *Renovation of the Orange Community Residences* at the above project location. The scope of Architectural services shall include: code summary, life safety plan, floor plan, reflected ceiling plan, roof plan, ADA compliance, demolition plans, diagrammatic site plan, kitchen plan, restroom plans, and exterior elevations. If required, Moore Architecture shall retain Engineering services for Mechanical, Electrical, and Plumbing design. Moore Architecture shall address and respond to all permit review comments.

Phase	Term Duration	Fee Schedule
Design Development	4 weeks	due at start \$ 5,000 ^{5,300}
Construction Drawings	4 weeks	due at start \$ 5,000 ^{5,300}
Permit Review	TBD	due at start \$ 3,750
Total Contract Fee		\$ 13,750
Additional Services		
Specification Manual, Bidding, Construction Administration, Post-Permit Revisions, Zoning, Renderings, HUD Coordination and Documentation		\$ 150 per hr


OWNER (Signature)


ARCHITECT (Signature)

Melissa Haithcox-Dennis
(Printed name and title) Executive Director

Marques Moore, Architect, NC 12297
(Printed name, title, and license number)

Alliance of AIDS Services
1700 North Greensboro Street, Carrboro, NC

Construction Details

REVISED 12-5-20

MELISSA HAITHCOX-DENNIS | CARRBORO, NC

General Information

Architect:
Existing Square Footage 7,200
Added Square Footage
Site Acres

Estimate Summary

Cost / SF: \$25

DIVISION COST CODE	DIVISION # CSI CODE	DESCRIPTION	L M S	P E	BASE BID	NOTES
DIVISION	1	GENERAL REQUIREMENTS				
		GENERAL CONDITIONS			\$ 9,720	INCLUDES PERMIT COST
		JOBSITE EQUIPMENT			\$ 5,450	
		SITE PERSONNEL			\$ 18,384	
DIVISION	2	DEMOLITION/SITE				
		TREE REMOVAL			\$ 2,500	
		GRADING FOR PARKING & ADA SIDEWALK			\$ 4,200	
		ADA SIGNAGE			\$ 300	
		SAW CUT FLOOR IN LANDRY ROOM & BATHROOMS			\$ 2,000	
		INTERIOR DEMOLITION			\$ 10,340	
DIVISION	3	CONCRETE				
		POUR BACK SLAB AT BATHROOMS & LAUNDRY ROOM			\$ 2,600	
		ADA PARKING SPACE AND SIDEWALK			\$ 3,444	
DIVISION	4	MASONRY				
DIVISION	5	STEEL				
DIVISION	6	FRAMING				
		REFRAME BD#1 & BD#2. PANTRY, BLOCKING			\$ 3,200	
		CABINET ALLOWANCE			\$ 7,600	\$4,600 MATERIAL ALLOWANCE
		COUNTERTOP ALLOWANCE - QUARTZ			\$ 2,495	
		INTERIOR TRIM			\$ 1,621	
		EXTERIOR POST WRAP			\$ 1,576	
DIVISION	7	THERMAL PROTECTION				
DIVISION	8	DOORS & WINDOWS				
		DOOR HARDWARE			\$ 825	
		EXTERIOR WINDOW REPLACEMENT			\$ 9,768	
		NEW DOORS (KITCHEN, LAUNDRY ROOM, BATHROOM #2, BR #1 & 2 CLOSETS)			\$ 3,750	
DIVISION	9	FINISHES				
		DRYWALL			\$ 5,879	
		PAINT			\$ 14,400	
		TILE FLOOR IN SHOWERS, COMMON BATHROOMS, LAUNDRY ROOM, KITCHEN WORK STATIONS			\$ 4,964	
DIVISION	10	ACCESSORIES				
		MIRRORS			\$ 6,678	
		GRAB BARS			INCL.	
		TOILET ACCESSORIES			INCL.	
		ADA SIGNAGE			INCL.	
DIVISION	11	SPECIALTIES				
DIVISION	15	PLUMBING & HVAC				
		PLUMBING			\$ 13,500	
		PLUMBING FIXTURE ALLOWANCE			\$ 6,600	
		HVAC REPAIR ALLOWANCE			\$ 9,500	
DIVISION	16	ELECTRICAL				
		ELECTRICAL ALLOWANCE			\$ 10,599	
		LIGHTING ALLOWANCE			\$ 3,000	

COST OF WORK		\$ 164,893
BUILDERS RISK INSURANCE	0.40%	\$ 660
GENERAL LIABILITY INSURANCE	0.82%	\$ 1,352
SUBTOTAL		\$ 166,905
BASE BID OVERHEAD & PROFIT	8.00%	\$ 13,352
CONTINGENCY		\$ 3,000
TOTAL COST		\$ 183,257

CLARIFICATIONS & EXCLUSIONS
Alliance of AIDS Services
1700 North Greensboro Street, Carrboro, NC 27510
Pricing

Division 1

1. Building permit fees included.
2. Owner to provide power and water needed to complete project.
3. Estimated time to complete project is 2.5 months.
4. Proposal based on drawings by Moore Architecture dated 10-29-20.
5. Dumpsters throughout construction.

Division 2

1. Interior demolition per plans.
 - a. Existing flooring to remain except in laundry room and common bathrooms.
2. Tree removal at top of hill for new ADA parking space.
3. Grading at hill for sidewalk and ADA parking space.
4. ADA parking sign.
5. Saw cut floor in laundry room.

Division 3

1. Concrete pour back plumbing drain relocation.
2. Concrete for ADA parking space and ADA compliant sidewalk. If sidewalk exceeds 5%, will require handrails. Not included in price.

Division 4

Division 5

Division 6

1. Reframe bedroom #1 & #2 closets to enlarge size per discussion with owner.
2. Reframe pantry to increase size per request of owner.
3. Wall blocking for wall hung sinks and ADA grab bars.
4. Cabinet material allowance \$4,600
5. Quartz countertop allowance \$2,495
6. Interior trim includes new trim at windows.
7. New cedar wrap around (2) columns at front entrance.

Division 7

1. Add \$13,800 for roof replacement.

Division 8

1. New ADA compliance door hardware where specified.
2. Includes hollow metal door frames, birch doors, with hardware at laundry room and common bathroom #2.
3. New doors at pantry and closets for bedrooms #1 & #2.
4. New kitchen door and hardware, frame to stay in place.

Division 9

1. New drywall at moisture resistant drywall at bathrooms.
2. Drywall point-up throughout facility.
3. Paint all walls and ceiling.
4. Sand and paint existing doors and frames.
5. Paint all interior trim.
6. New tile flooring in laundry room, common bathrooms, shower floors, and ADA work-stations in kitchen.

Division 10

1. Bathroom mirrors.
2. ADA grab bars.
3. Liquid soap dispenser.
4. Paper towel dispenser and waste receptacle.
5. Toilet paper holder (single roll).
6. ADA bathroom signage.

Division 11

Division 15

1. Includes plumbing slab at new showers and laundry room, wall rough-ins, and trim-out.
2. New plumbing for stack washer/dryer and new ADA washer and dryer.
3. Plumbing allowance of \$6,600 for fixtures, (2) prefabricated ADA showers, ADA compliant wall hung sinks.
4. HVAC allowance of \$9,500, to cover new bathroom fans, new registers, new dryer vents, fire wrap vents if required, review existing HVAC equipment, and make necessary repairs up-to budget balance.
5. Add \$4,200 for tankless water heater.

Division 16

1. Electrical allowance of \$10,599 for wiring at kitchen, new lights throughout facility, new stack washer/dryer, ADA washer and dryer, and new ceiling fans.
2. Electrical panel verification needed once stacked and ADA washer and dryers have been specified.
3. Electrical light fixture allowance of \$3,000.

Exclusions

1. Any unknown Orange County/City of Carrboro review comments.
2. Unknowns not visibly seen during walk thru above ceiling, slab, in wall (mechanical, electrical, and plumbing).
3. Owner supply appliances, contractor install.
4. Existing fire alarm system.

ORGANIZATIONAL OVERVIEW

The Alliance of AIDS Services - Carolina, "The Alliance," is a mission-driven, 501 (c)(3), nonprofit organization located in Raleigh, NC. The Alliance was founded in 1999 as a strategic partnership between the AIDS Service Agency of North Carolina (ASANC), AIDS Service Agency of Orange County (ASAOC), and Triangle AIDS Interfaith Network (TRAIN). This collaboration combined their unique talents, expertise, and resources to form a stronger, more-effective, community-based organization that served People Living With HIV/AIDS (PLWHAs). Now, more than 25 years later, ***The Alliance remains committed to their mission to serve the community through education, prevention, and connection to compassionate and non-judgmental care, prioritizing PLWHAs*** and individuals experiencing homelessness, interpersonal violence, disabilities, poverty, or other debilitating conditions that increase the risk for contracting HIV/AIDS.

The Alliance provides three core services (***Prevention, Care and Support***) throughout their service deliver area, including six NC Counties: Chatham, Durham, Johnston, Lee, Orange, and Wake. ***Prevention Services*** include HIV/STI testing, community outreach, and health education workshops. We distribute safer-sex supplies throughout the community and partner with key organizations such as the Raleigh LGBT Center, to host large testing and outreach events. ***Care Services*** include case-management (CM) that connect our HIV+ clients to medical, mental health and other healthcare providers. CM also work to reduce barriers to care such as transportation, navigating healthcare systems and building self-advocacy skills. ***Support Services*** include our well-established food pantry, educational workshops, and leadership development for PLWHAs. We also provide referrals to community resources such as food, housing, job-training, and social programming.

ORGANIZATION TRACK RECORD AND COMMUNITY SUPPORT

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project:

The Alliance has coordinated this effort with the Town of Carrboro, the Affordable Community Residence Association (www.acra.org), Habitat for Humanity, Orange County, US Housing Consultants and the Department of Housing and Urban Development.

2. Involvement of intended beneficiaries of the project in the planning process.

The Alliance maintains a group of peer educators, who are living with HIV *and* who have experienced homelessness, that offer their input on all our projects, including this one. We conduct focus groups and interviews to garner insight and support on a continual basis.

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables.

The Alliance has a 30-year track record of successful project development, implementation and meeting proposed budgets and timetables. Moreover, we have successfully met and exceeded our deliverables for our current funding, and have been tapped by several governmental agencies, including the CDC and local health departments to assist with community-level projects and interventions. The Alliance also successfully managed OCR for more than 12 years and the management staff have individually created and successfully sustained similar projects at prior organizations.

4. Collaborative relationships with other agencies

The Alliance maintains more than 50 active Memorandums of Agreement across 6 Counties, including Orange. Some of our Orange County partners include IFC, the Orange County Rape Crisis Center, the Orange County Health Department, The University of North Carolina, Chapel Hill (Various medical and research departments), the Orange Correctional Center, and Hillsborough Recovery.

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive.

The Alliance is committed to creating holistic and comprehensive solutions for the community. We welcome the opportunity to partner with others and we will actively seek to collaborate with an array of providers throughout the region.

6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).