



The ArtsCenter

CARRBORO, NORTH CAROLINA

Conditional Use Permit

APPLICANT/
CONTRACT PURCHASER: THE ARTSCENTER
300 G.E. MAIN ST.
CARRBORO, NC 27510
919.929.2787

LANDSCAPE ARCHITECT: JEREMY ANDERSON R.L.A.
COULTER JEWELL THAMES PA
111 WEST MAIN ST.
DURHAM, NC, 27701
(919) 682.0368
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CIVIL ENGINEER: PRESTON ROYSTER, PE
COULTER JEWELL THAMES PA
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ARCHITECT: EVOKE STUDIO
401 FOSTER STREET, SUITE B1
DURHAM, NC, 27701
(919) 495.6059
TERI@EVOKESTUDIO.COM

PROPERTY DATA

PARCEL 1
ZONING: M1 LIGHT MANUFACTURING
ACREAGE: 1.36 ACRES / 59,037.50 SF
PIN: 9778656581
ADDRESS: 303 JONES FERRY ROAD

PROJECT DATA

ZONING: M1
TOTAL SITE AREA: 59,038 SF / 1.355 AC
AREA OF DISTURBANCE: 36,881 SF / 0.847 AC
SITE AREA IN 100 YEAR FLOOD PLAIN: 0 AC; FEMA MAP# 3710977800K, EFFECTIVE NOVEMBER 17, 2017
AREA WITHIN WETLANDS: 0 AC
AREA WITHIN STREAM BUFFERS: 0.728 AC
BUILDING SETBACKS:
FRONT/STREET 16'
FROM C/L 47'
SIDE 5'
BUILDING DATA:
EXISTING BUILDINGS: 0 / 0 SF
PROPOSED BUILDINGS: 12,600 SF (2-STORY)
HEIGHT: 34' (2 STORY)
LAND USE:
EXISTING: VACANT / WOODED
PROPOSED: 5.320 (ARTS CENTER)
LANDSCAPE SCREENING:
REQUIRED: RE: SD-7.0
VEHICULAR PARKING:
REQUIRED: 1 SPACE PER 300 SF GROSS FLOOR AREA
USE 5.320 (ARTS CENTER) 39 (11,619 SF ARTSCENTER @ 1/300 SF)
+ 0 (981 SF UTILITY / STORAGE @ 0)
= 39 SPACES REQUIRED
PROPOSED: 39 SPACES (INCLUDING 2 ADA)
BICYCLE PARKING:
REQUIRED: N/A PER ARTICLE XVIII, TABLE OF BICYCLE PARKING STANDARDS
USE 5.320 (ARTS CENTER)
PROPOSED: 8 SPACES (4 RACKS)
IMPERVIOUS SURFACE:
EXISTING: 0 sf (0 ac) = 0%
PROPOSED: 27,574 sf (0.63 ac) = 46.7%
PHASING: SINGLE PHASE

TOWN OF CARRBORO NOTES

- PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT THE APPLICANT SPECIFICALLY PROVIDE FOR CORRUGATED CARDBOARD RECYCLING, ADDRESSING COMPLIANCE WITH ORANGE REGIONAL LANDFILL CARDBOARD RECYCLING REQUIREMENTS. ONE DEDICATED DUMPSTER SHALL BE UTILIZED FOR RECYCLABLE CARDBOARD. WITHOUT PROVISION OF ONSITE CARDBOARD RECYCLING COLLECTION, APPLICANT MUST PROPOSE AN ALTERNATE METHOD OF CARDBOARD RECYCLING
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A DECONSTRUCTION ASSESSMENT CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF (JEFF SCOUTEN OR MATT TAYLOR AT 919.968.2788) CONCERNING BUILDINGS TO BE REMOVED FROM THIS SITE.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PREDEMOLITION / PRECONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- DEVELOPER/OWNER IS REQUIRED TO SCHEDULE AND COORDINATE AN ONSITE PRECONSTRUCTION MEETING PRIOR TO SITE DISTURBANCE WITH REPRESENTATIVES OF ALL APPROVING APPLICABLE AGENCIES.
- DEVELOPER/OWNER/CONTRACTOR IS REQUIRED TO CONSTRUCT AND MAINTAIN A CONSTRUCTION ENTRANCE FOR THE PROJECT SITE IN ACCORDANCE WITH ORANGE COUNTY EROSION CONTROL STANDARDS FOR CONSTRUCTION ENTRANCES. ALL MUD, STONE OR OTHER DEBRIS DEPOSITED UPON THE ADJOINING ROADWAY SURFACES SHALL BE REMOVED PROMPTLY. MECHANICAL SWEEPING OR WASHING MAY BE REQUIRED.
- DEVELOPER/OWNER/CONTRACTOR SHALL INSTALL AND MAINTAIN APPLICABLE WORK ZONE SIGNAGE IN ACCORDANCE WITH NCDOT STANDARDS FOR ALL ADJOINING PUBLIC STREET CONNECTIONS OR ACTIVITIES WITHIN A PUBLIC RIGHTOFWAY. SIGNAGE SHALL BE MOUNTED AND SECURED ON SIGNPOST UNLESS THE WORK REQUIRES THE USE OF TEMPORARY SIGNAGE THAT IS REMOVED DAILY. ALL SIDEWALKS SHALL REMAIN OPEN WHEN POSSIBLE. ANY SIDEWALK CLOSURES WILL REQUIRE A PEDESTRIAN DETOUR PLAN TO BE SUBMITTED TO NCDOT AND CARRBORO PUBLIC WORKS FOR APPROVAL.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND RELATED MATERIALS CANNOT BE PLACED, STORED AND/OR KEPT WITHIN ANY PORTION OF THE PUBLIC RIGHT OF WAY AT ANY TIME. ALL ONSITE MATERIALS SHALL BE SECURED AND CONFINED TO THE LOT UNDER CONSTRUCTION.
- ADD NOTE FOR FINAL PLAT: "NO PLANTINGS EXCEEDING A MATURE HEIGHT OF 30 INCHES, SHEDS, FENCES OR BUILDING STRUCTURES OR MODIFICATION OR ALTERATION OF THE DRAINAGE SYSTEM OR EASEMENT IS NOT PERMITTED WITHOUT APPROVAL FROM THE TOWN OF CARRBORO ZONING DIVISION."
- ALL INSTALLED Bmps MUST BE CERTIFIED BY THE ENGINEER OF RECORD AS CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. ASBUILT CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN.
- AUTOMATIC FIRE SUPPRESSION AND FIRE ALARM INSTALLATION PERMITS REQUIRED.
- PROVIDE AND MOUNT "KNOX BOX" KEY SAFE, 3200 SERIES WITH HINGED LID, NO HIGHER THAN 5 FEET FROM GRADE. EXACT LOCATION TO BE COORDINATED WITH FIRE MARSHAL PRIOR TO INSTALLATION. MASTER KEY(S), KEY CARDS AND ELEVATOR KEYS (FD OPERATION AND DOOR) REQUIRED AT FINAL.
- SUBMITTAL OF THE TRAFFIC CONTROL PLAN FOR PEDESTRIAN AND BICYCLIST SHALL BE SUBMITTED AT THE CONSTRUCTION PLAN REVIEW STAGE. THE MUTCD(MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) SHALL BE THE REFERENCED FOR DESIGNING THE WORK ZONE AND REROUTING OF PEDESTRIANS AND BICYCLIST. REFERENCE: MUTCD TRAFFIC CONTROL FOR WORK ZONES; CHAPTER 6D.01 TRAFFIC CONTROL FOR PEDESTRIANS AND WORKERS AND CHAPTER 9 TRAFFIC CONTROL FOR BICYCLIST.
- PER SECTION 15-263(j), IF AT ANY TIME PRIOR TO TWO YEARS AFTER THE DATE THAT THE TOWN CONCLUDES THAT A STORMWATER MANAGEMENT SYSTEM (OR ANY COMPONENT THEREOF) HAS BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, THE TOWN DETERMINES THAT THE STORMWATER MANAGEMENT SYSTEM (OR ANY COMPONENT THEREOF) INSTALLED TO MEET THE REQUIREMENTS OF THIS SECTION DOES NOT ACHIEVE THAT OBJECTIVE, THE TOWN MAY REQUIRE THE SUBMISSION OF REVISED PLANS AND THE INSTALLATION OF NEW, ALTERED, OR ADDITIONAL FACILITIES TO BRING THE DEVELOPMENT INTO COMPLIANCE. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR APPROVAL OF A FINAL PLAT, THE TOWN MAY REQUIRE THE APPLICANT TO POST A PERFORMANCE BOND OR OTHER SUFFICIENT SURETY TO GUARANTEE COMPLIANCE WITH THIS SECTION.

EROSION CONTROL NOTES

- IF MORE THAN 20,000 SQ. FT. IS DISTURBED, A SEDIMENTATION AND EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED PRIOR TO THE ISSUANCE OF A EROSION CONTROL PERMIT.
- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.
- CLEARLY INDICATED LIMITS OF DISTURBANCE ARE SHOWN ON THE GRADING PLAN.

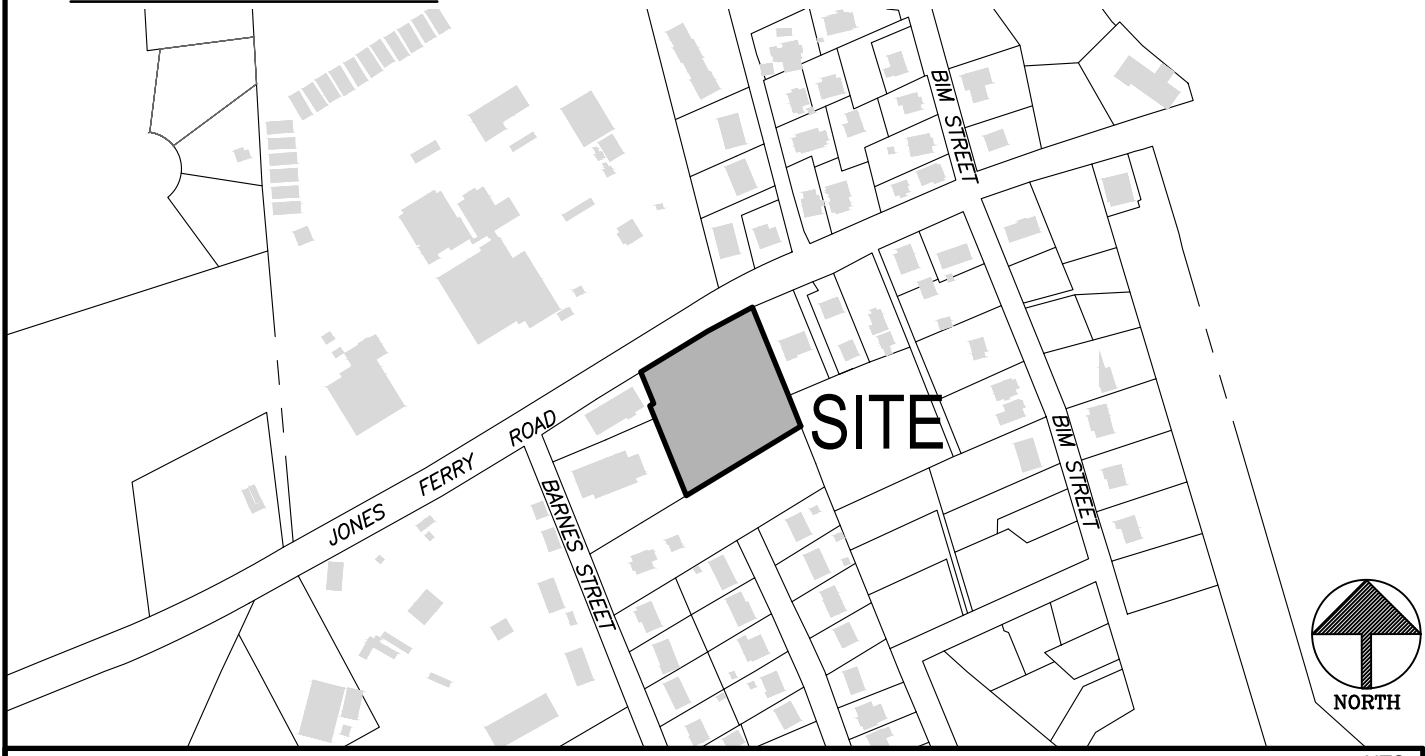
RESOURCE ORDINANCE COMPLIANCE

FLOODPLAIN PROTECTION: NO FLOODPLAIN AS PER FEMA MAP# 3710977800 K (NOVEMBER 17, 2017)
STEEP SLOPE PROTECTION: THERE ARE NO STEEP SLOPES ON THIS SITE.
WETLANDS PROTECTION: THERE ARE NO KNOWN WETLANDS ON THIS SITE.
STREAM BUFFERS: ZONE 1 STREAM BUFFER, ZONE 2 STREAM BUFFER

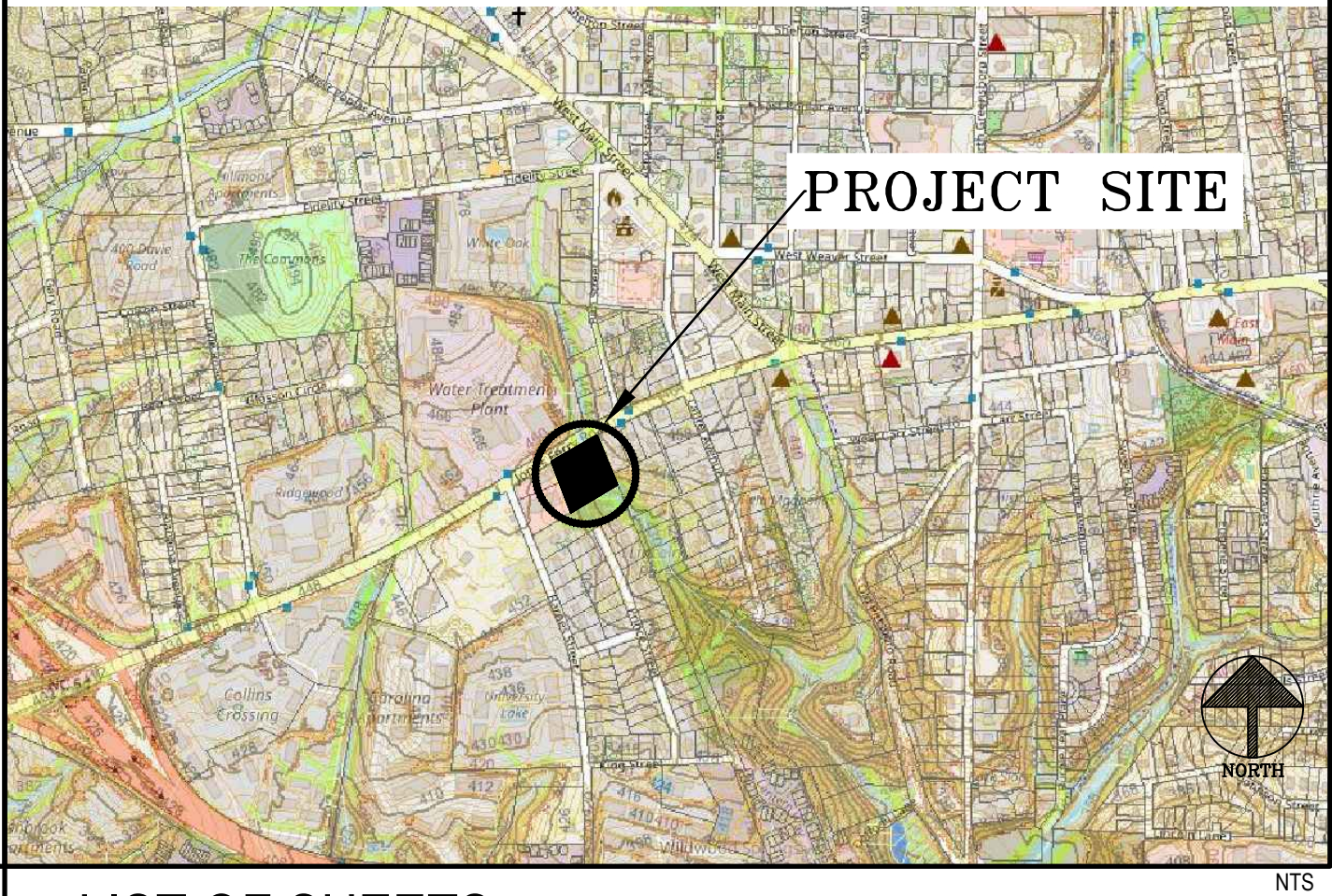
GENERAL NOTES

- TOPOGRAPHIC AND PROPERTY INFORMATION BASED ON SURVEY BY FREEHOLD LAND SURVEYS, INC., DATED MAY 2, 2016.
- THIS PROJECT IS SERVED BY EXISTING OWASA PUBLIC WATER AND SEWER.
- AN ALL WEATHER TRAVEL SURFACE MUST BE IN PLACE PRIOR TO RECEIVING A BUILDING PERMIT.
- FIRE LANE STRIPING WILL BE COORDINATED WITH THE CARRBORO FIRE MARSHAL PRIOR TO ISSUANCE OF A CO PER CHAPTER 12 OF THE CARRBORO TOWN CODE.
- THE APPLICANT SHALL PROVIDE TO THE ZONING DIVISION, PRIOR TO THE RELEASE OF THE **CERTIFICATE OF OCCUPANCY** FOR THE PROJECT OR BEFORE THE RELEASE OF A BOND IF SOME FEATURES ARE NOT YET IN PLACE AT THE TIME OF THE **CERTIFICATE OF OCCUPANCY**, MYLAR AND DIGITAL ASBUILTS FOR THE STORMWATER FEATURES OF THE PROJECT. DIGITAL ASBUILTS SHALL BE IN DXF FORMAT AND SHALL INCLUDE A BASE MAP OF THE WHOLE PROJECT AND ALL SEPARATE PLAN SHEETS. ASBUILT DXF FILES SHALL INCLUDE ALL LAYERS OR TABLES CONTAINING STORM DRAINAGE FEATURES. STORM DRAINAGE FEATURES SHALL BE CLEARLY DELINEATED IN A DATA TABLE. THE DATA WILL BE TIED TO HORIZONTAL CONTROLS.
- OPERATIONS AND USES ALLOWED BY THIS PROJECT WILL BE PERFORMED IN COMPLIANCE WITH THE "GOOD NEIGHBOR" STANDARDS CONTAINED IN ARTICLE XI, SECTIONS 15161 THROUGH 15169 OF THE TOWN OF CARRBORO LAND USE ORDINANCE.
- THE APPLICABLE CODE FOR THIS BUILDING IS THE 2012 NORTH CAROLINA FIRE CODE (NCFI), OR THE MOST CURRENT EDITION IN EFFECT AT THE TIME OF CONSTRUCTION. THE INTERNATIONAL FIRE CODE (IFC) WITH NORTH CAROLINA AMENDMENTS.
- THE APPLICANT WAIVES PUBLIC RECYCLING COLLECTION BY ORANGE COUNTY AND OPTS TO CONTRACT WITH A PRIVATE VENDOR (GFL ENVIRONMENTAL) TO COLLECT BOTH RECYCLING AND SOLID WASTE FOR THIS FACILITY. SAID VENDOR WILL HAVE REVIEWED THE PLANS AND PROVIDED A "WILL SERVE" LETTER TO OCSW PRIOR TO FINAL PLAN APPROVAL STATING THAT THEY CAN AND WILL SERVICE THIS FACILITY IN THE MANNER DEPICTED ON THIS PLAN.
- STORM DRAINAGE SYSTEM IS PRIVATE AND WILL BE MAINTAINED BY THE OWNER.
- ALL MULCH PILES SHALL MEET THE FOLLOWING REQUIREMENTS - NO MORE THAN 8 FT. IN HEIGHT, NO LARGER THAN 20 FT. IN DIAMETER AND SPACED 50 FT. BETWEEN EACH PILE.
- A BLASTING PERMIT SHALL BE REQUIRED FOR ANY BLASTING.
- THERE SHALL BE NO BURNING ON SITE.
- PUBLIC RECYCLING WAIVER:
A. APPLICANT ELECTS TO PROVIDE RECYCLING SERVICES TO RESIDENTS/TENANTS OF THIS PROPERTY IN LIEU OF BUILDING A RECYCLING STATION CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS. THE SITE WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION NOW OR IN THE FUTURE UNLESS SUCH A RECYCLING STATION IS CONSTRUCTED OR CONTINGENCY FOR SUCH A STATION IS INCLUDED ON THE DEVELOPMENT PLANS.
B. APPLICANT MUST REQUIRE AT LEAST THE SAME LEVEL OF SERVICE (CURRENT OR FUTURE) TO ITS RESIDENTS AS THAT PROVIDED BY ORANGE COUNTY.
C. COUNTY FEES FOR RECYCLING AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROJECT/PROPERTY WILL NOT BE WAIVED.
D. APPLICANT AGREES TO ENTER INTO A SERVICE AGREEMENT WITH A PRIVATE SOLID WASTE/RECYCLING COLLECTION CONTRACTOR THAT IS ACCEPTABLE TO ORANGE COUNTY. FURTHER, THE AGREEMENT SHALL PROVIDE FOR THE COLLECTION AND RECYCLING OF CORRUGATED CARDBOARD IN ADDITION TO THE OTHER CO-MINGLED RECYCLABLES AND A "WILL SERVE" LETTER SHALL BE PROVIDED TO AND APPROVED BY ORANGE COUNTY PRIOR TO APPROVAL OF FINAL CONSTRUCTION PLANS FOR THE PROPERTY/PROJECT.

VICINITY MAP



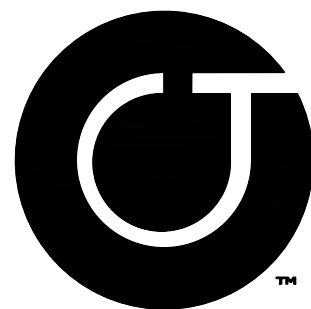
CONTEXT MAP



LIST OF SHEETS

SD-0.0 COVER
SD-0.1 NOTIFICATION MAP
SITE SURVEY
SD-1.0 EXISTING CONDITIONS
SD-2.0 SITE PLAN
SD-3.0 GRADING AND DRAINAGE PLAN
SD-4.0 EROSION CONTROL PLAN
SD-5.0 UTILITY PLAN
SD-6.0 LIGHTING PLAN
SD-7.0 LANDSCAPE PLAN
SD-8.0 DETAILS
A201 ARCHITECTURAL ELEVATIONS
A202 ARCHITECTURAL ELEVATIONS

APPROVAL STAMPS



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NC BOARD OF EXAMINERS FOR
ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104



Project



303 Jones Ferry Road
Carrboro, NC

P.I.N. 9778656581

Job Number 1934

Drawn JSA, JCU, MTC
Checked JSA, PBR
Date 6/1/2020
Revisions 11/2/2020 TOWN COMMENTS
01/29/2021 JAB

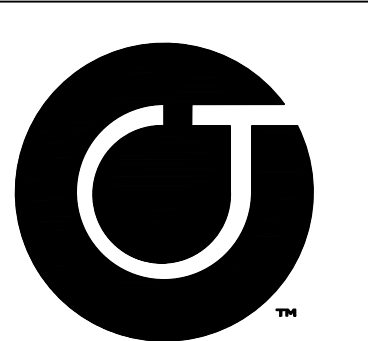
CONDITIONAL USE
PERMIT
PLANS NOT ISSUED
FOR CONSTRUCTION
PLANS NOT FOR
BIDDING PURPOSES

Sheet Title

COVER
SHEET

Sheet Number

SD-0.0



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Project
The ArtsCenter
Always Inspiring.

303 Jones Ferry Road
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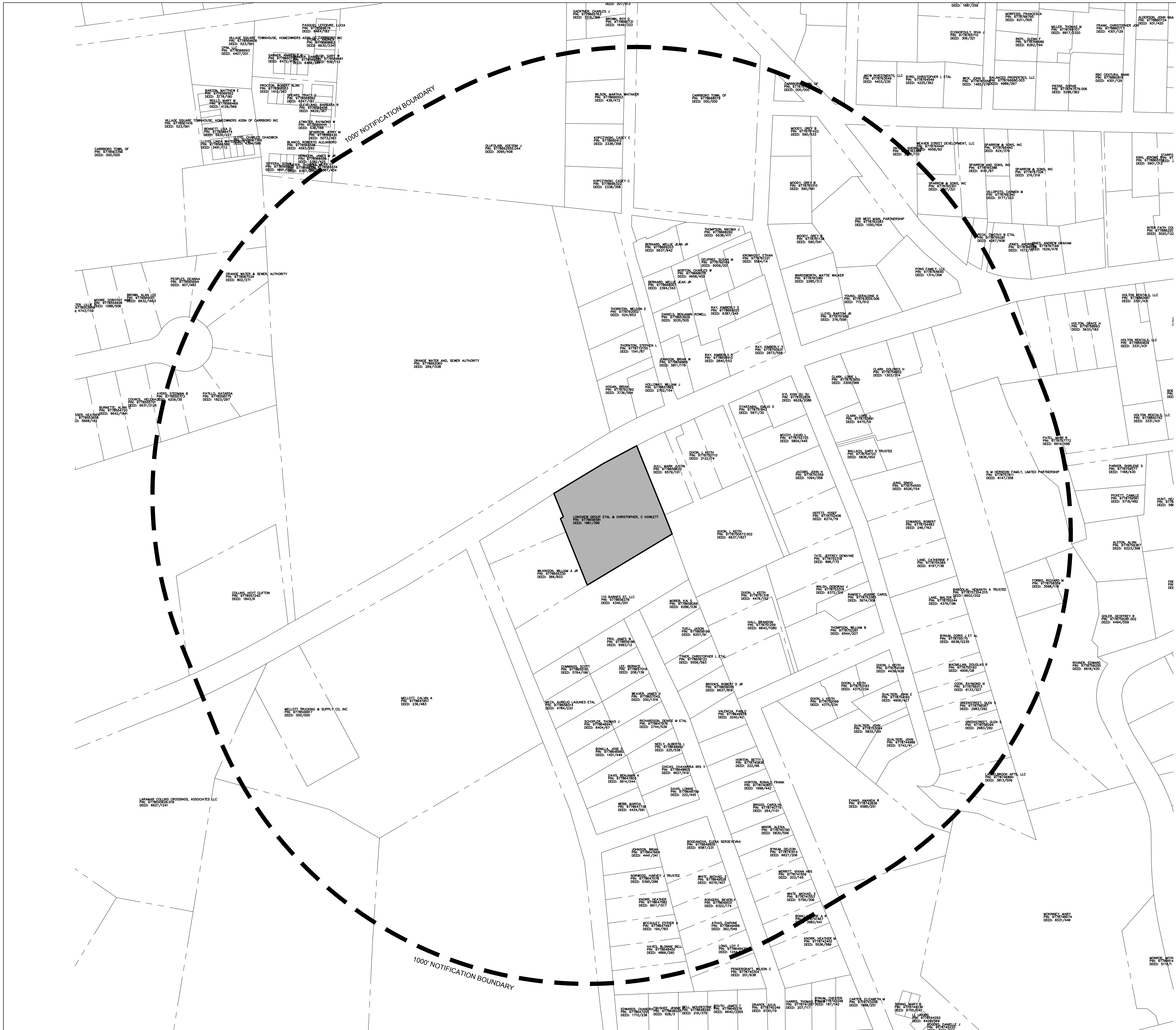
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Sheet Title

NOTIFICATION
MAP

Sheet Number

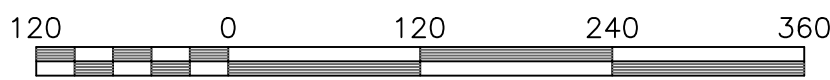
SD-0.1



1
SD-0.1

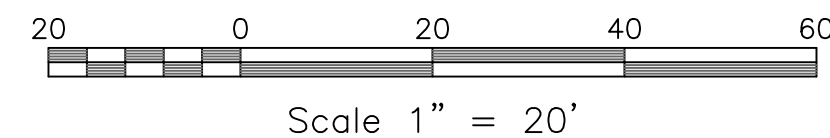
NOTIFICATION MAP

1" = 120'-0"



Scale 1" = 120'

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SOLID WASTE ENFORCEMENT OFFICER AT 918-888-2789 TO REQUEST AN ASSESSMENT.
2. PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.


$$1'' = 20'-0''$$


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NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104



803 Jones Ferry Road
Carrboro, NC

Number 1934

own	JSA, JCJ, MTC
checked	JSA, PBR
te	6/1/2020
visions	11/2/2020
	TOWN COMMENTS
	01/29/2021
	JAB

CONDITIONAL USE
PERMIT

PLANS NOT ISSUED
FOR CONSTRUCTION

PLANS NOT FOR
BIDDING PURPOSES

SITE PLAN

SD-2.0

1. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
2. DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
3. LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
5. THE SITE WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 - 2009 AND CHAPTER 11 OF THE NCCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT DETERMINES THAT SUCH CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.

NOTE:
BICYCLE RACKS THAT ARE PLACED PARALLEL TO EACH OTHER SHALL BE SPACED AT LEAST 36 INCHES APART. BICYCLE RACKS SHALL BE SPACED 24 INCHES FROM WALLS, CURB FACES, PAVEMENT EDGES, AND OTHER OBSTRUCTIONS. (UDO 10.4.4)

(SD-2.0) NTS

CANE BOLT

CANE BOLT TO SECURE GATE 1 PER DOOR (4 TOTAL)
ABLE TO BE LOCKED IN CLOSED POSITION ONLY

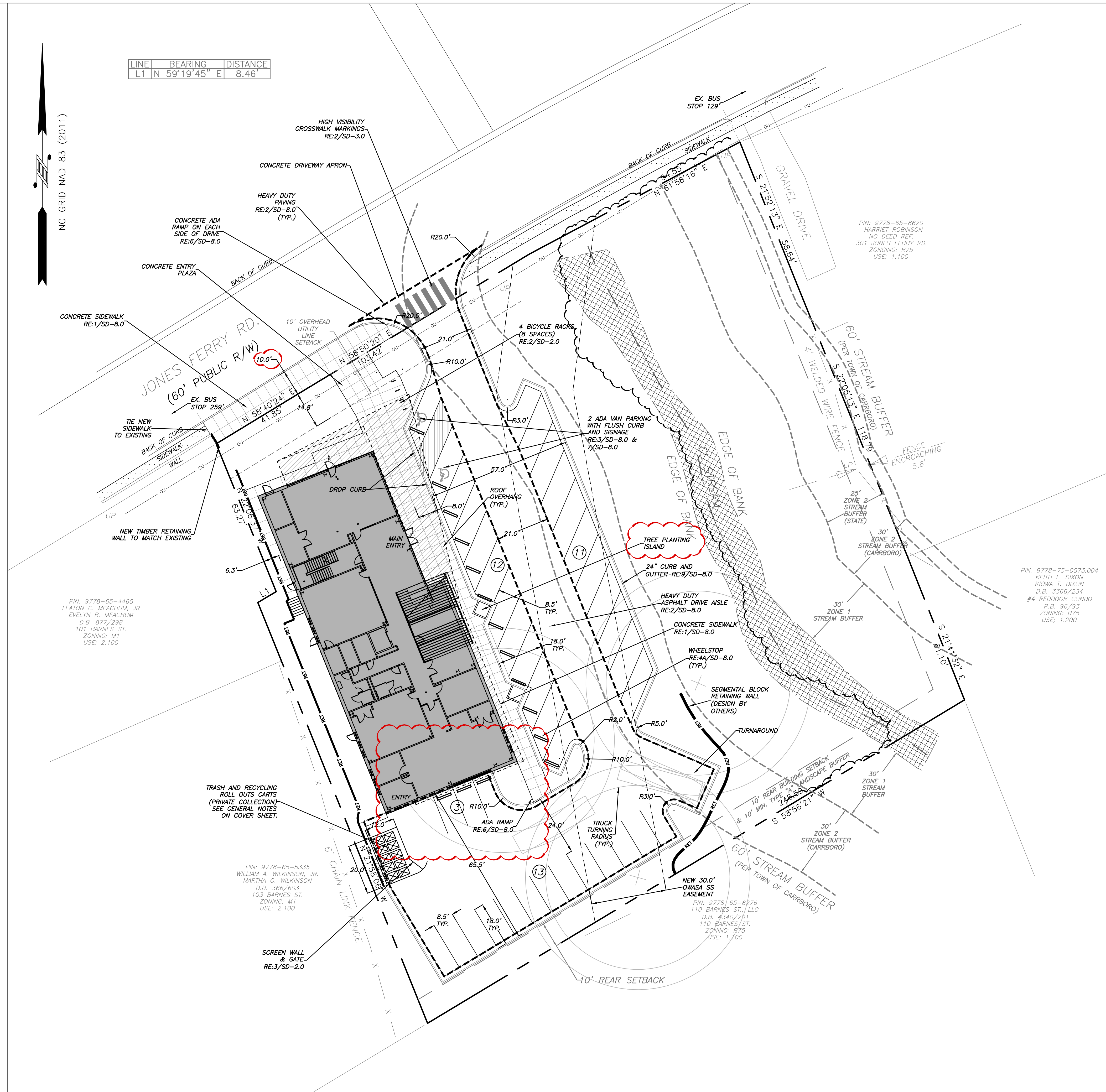
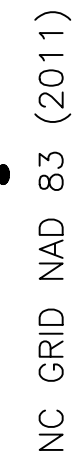
Diagram illustrating the components and dimensions of a gate assembly:

- GATE
- 6'-3"
- STEEL 'L' BRACE - 5 BOLTS
- TREATED 1"x4" VERTICAL, 1/2" SPACE
- EXTERIOR FACE ONLY
- 3 1/2" SCHEDULE 80 STEEL POST
- FILL WITH CONC.
- TREATED 2"x6" DIAGONAL BRACE
- HEAVY DUTY HINGE-3 PER GATE
- TREATED 2"x6" WOOD FRAME
- STEEL PLATE AT EACH END OF BRACE
- 2 LAG BOLTS PER PLATE
- CONC. FOOTING
- 7'-0"
- 4"
- 3'-0"
- CANE BOLT
- EXTERIOR FACE OF DOOR

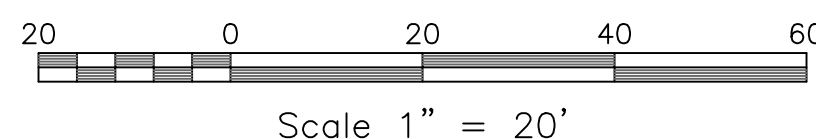
The diagram illustrates the connection between a gate and a pipe column. Key components and dimensions include:

- GATE AND PIPE COLUMN** (Main title)
- 3/8" STIFF** (Dimension for the stiffener plate)
- 5"** (Dimension for the stiffener plate length)
- TREATED 1"x4" VERTICAL ON OUTSIDE FACE OF DOOR** (Label for the vertical stiffener)
- TREATED 2"x6" WOOD FRAME LAG BOLTS** (Label for the frame bolts)
- 3 1/2" SCHEDULE 80 STEEL POST** (Label for the steel post)
- 4" Ø PIPE SLEEVE 3" TALL - TACKED TO COLUMN** (Label for the pipe sleeve)
- HINGE TYP. 3 PER COLUMN** (Label for the hinge)
- 4" Ø PIPE SLEEVE TACKED TO PIPE COLUMN** (Label for the pipe sleeve)
- WOOD GATE** (Label for the gate)
- HINGE AND PIPE COLUMN** (Main title for the lower section)
- 3/8" STIFF** (Dimension for the stiffener plate)
- 5"** (Dimension for the stiffener plate length)
- 3"** (Dimension for the stiffener plate length)

(SD-2.0) NTS



1 SITE PLAN
SD-2.0 1" = 20'-0"





LINE	BEARING	DISTANCE
L1	N 59°19'45" E	8.46'

NC GRID NAD 83 (2011)

PIN: 9778-65-4465
LEATON C. MEACHUM, JR.
EVELYN R. MEACHUM
D.B. 877/298
101 BARNES ST.
ZONING: M1
USE: 2.100

PIN: 9778-65-5335
WILLIAM A. WILKINSON, JR.
MARTHA Q. WILKINSON
D.B. 366/603
103 BARNES ST.
ZONING: M1
USE: 2.100

PIN: 9778-65-6276
110 BARNES ST., LLC
D.B. 4340/201
110 BARNES ST.
ZONING: R75
USE: 1.100

PIN: 9778-65-8620
HARRIET ROBINSON
NO DEED REF.
301 JONES FERRY RD.
ZONING: R75
USE: 1.100

ALL INSTALLED BMP'S (WATER QUALITY AND DETENTION DEVICES) MUST BE CERTIFIED BY THE ENGINEER OF RECORD AS CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND THAT AS-BUILT CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN.

grading & storm drainage notes

GRADING NOTES:

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CARRBORO STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL."
- PRIOR TO BEGINNING ANY DISTURBANCE, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION CONFERENCE WITH THE TOWN OF CARRBORO PLANNING DEPARTMENT (919) 918-7324, AND A REPRESENTATIVE OF THE OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
- ALL BANKS, SWALES AND FILL SLOPES SHALL BE NO STEEPER THAN 2.5:1 MAXIMUM. CUT SLOPES SHALL BE NO STEEPER THAN 2:1.
- ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
- ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
- CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
- ALL PERMANENT SLOPES INCLUDING MAIN POND OF SCM WILL BE CONSTRUCTED AT NO STEEPER THAN 3:1. SLOPES OF SCM FORBAY SHALL BE 2:1

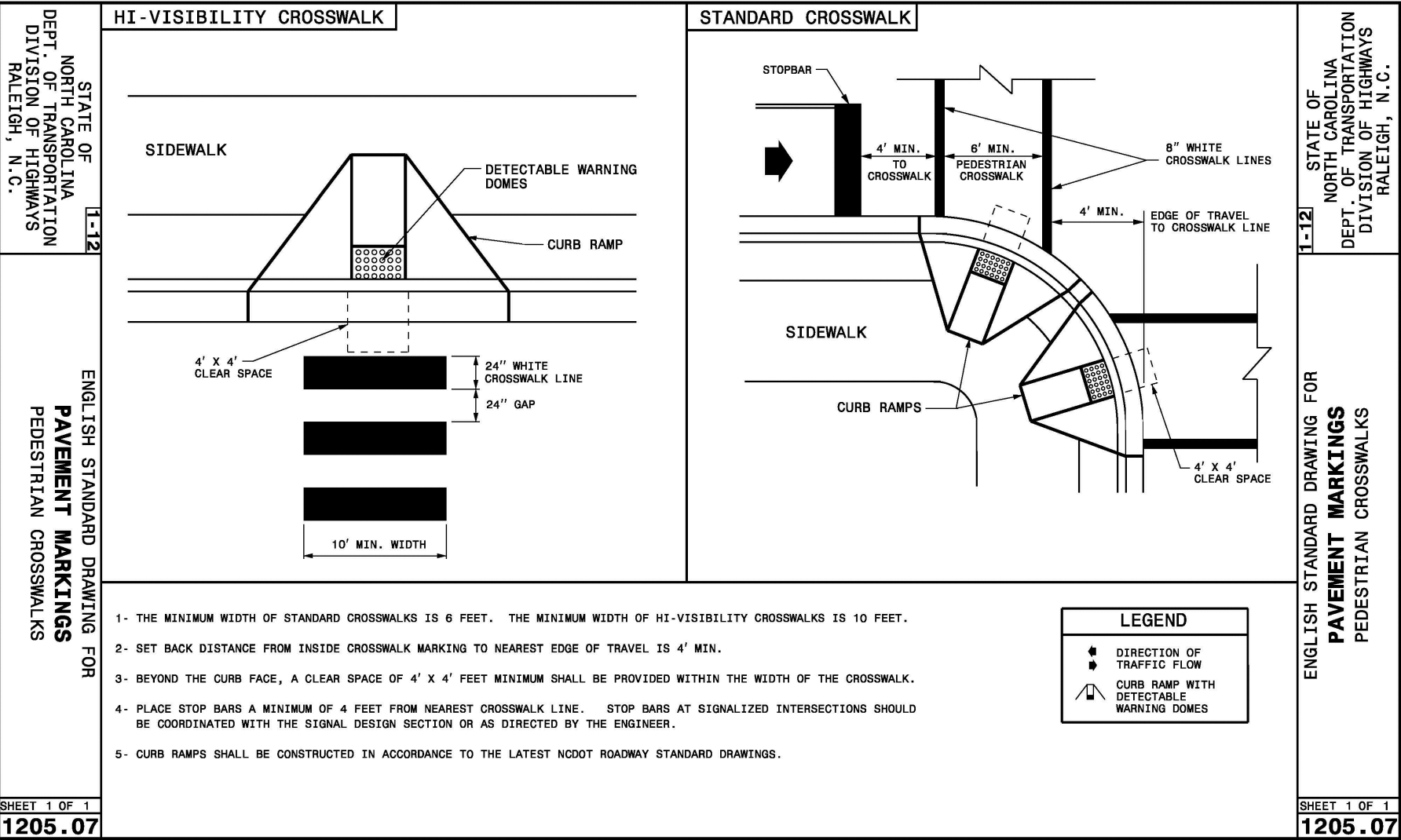
STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CARRBORO AND NCDOT STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- SEE THE COVER SHEET FOR NOTES REGARDING IMPERVIOUS SURFACE.

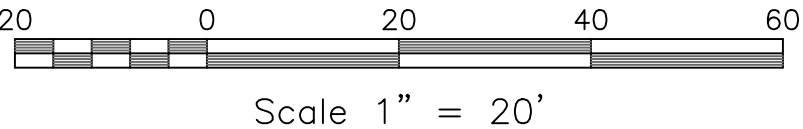
ADA route notes applies to all sheets

FOR ALL SIDEWALKS THE FOLLOWING APPLIES:

- SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
- SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
- MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
- ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
- ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.



CROSSWALK



Scale 1" = 20'

ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE

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Project

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Carrboro, NC

P.I.N. 9778656581

Job Number 1934

Drawn JSA, JCI, MTC
Checked JSA, PBR
Date 6/1/2020
Revisions 11/2/2020
TOWN COMMENTS
01/23/2021
JAB

CONDITIONAL USE PERMIT
PLANS NOT ISSUED FOR CONSTRUCTION
PLANS NOT FOR BIDDING PURPOSES

Sheet Title

GRADING AND DRAINAGE PLAN

Sheet Number

SD-3.0

ENGINEERING · PLANNING · LANDSCAPE ARCHITECTURE

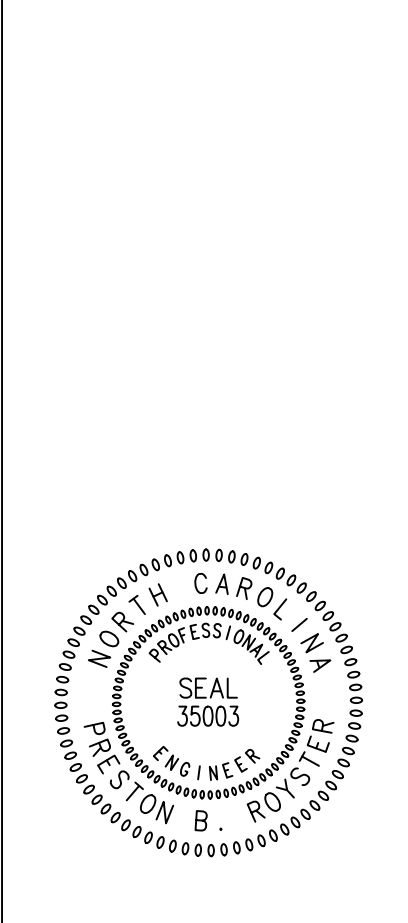


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Sheet Title

EROSION CONTROL PLAN

Sheet Number

SD-4.0

1. INSTALL SILT FENCE PRIOR TO WORK IN ANY AREA TO PREVENT SILT FROM LEAVING SITE.
2. ALL STORMWATER PIPING SHALL BE PROTECTED FROM FLOW UNTIL STABILIZATION IS ACHIEVED. PROTECTION SHALL BE INSTALLED AT THE END OF CONSTRUCTION EACH WORK DAY AND AT ANY TIME RAIN EVENTS CAUSE FLOW INTO OPEN TRENCH, PER DETAILS.
3. ALL STORMWATER STRUCTURES SHALL BE PROTECTED FROM INFLOW UNTIL STABILIZATION IS ACHIEVED USING EITHER STAKED HARDWARE CLOTH OR SILT SACKS, PER DETAILS.
4. CONSTRUCTION ENTRANCES SHOWN ARE IN SUGGESTED LOCATIONS. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AND MAINTAINED SUCH THAT NO CONSTRUCTION TRAFFIC MAY LEAVE THE SITE WITHOUT PASSING OVER THE ENTRANCE DEVICE.
5. NOTIFICATION OF COMBINED SELF-MONITORING AND SELF-INSPECTION FORM:

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010.

TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND SELF-MONITORING REPORTS, DWO AND DEMLR DEVELOPED A COMBINED FORM. THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE FORM CAN BE ACCESSSED AT: [HTTP://PORTAL.NC DENR.ORG/WEB/R/EROSION](http://portal.ncdenr.org/web/r/erosion)

IF YOU HAVE QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CONTACT THE RALEIGH REGIONAL OFFICE AT (919) 791-4200.

2/SD-40 EROSION CONTROL NOTES

PRE-CONSTRUCTION

1. VERIFY THAT ALL APPROVALS AND PERMITS NECESSARY TO BEGIN AND COMPLETE THE PROJECT ARE IN HAND. APPROVAL AND PERMITS MUST BE OBTAINED PRIOR TO DISTURBANCE SO THAT WORK WILL NOT BE INTERRUPTED OR DELAYED DUE TO THE LACK OF APPROVED PLANS.
2. SCHEDULE AND HOLD A PRECONSTRUCTION CONFERENCE BEFORE STARTING DEMOLITION, CLEARING OR GRADING WITH THE OWNER, CONTRACTOR RESPONSIBLE FOR GRADING AND EROSION CONTROL, PERSON RESPONSIBLE FOR SUPERVISING IMPLEMENTATION OF THE EROSION CONTROL PLAN, AND THE ORANGE COUNTY EROSION CONTROL INSPECTOR.
3. INSTALL A RURAL TYPE MAILBOX ON THE SITE TO HOLD A COPY OF THE APPROVED EROSION CONTROL PLAN AND TO PROVIDE A PLACE FOR THE INSPECTOR(S) TO LEAVE INSPECTION REPORTS, COMPLIANCE NOTICES, ETC. PLACE THE MAILBOX IN A CONVENIENT LOCATION, SUCH AS AT THE ENTRANCE TO THE SITE OR NEXT TO THE CONSTRUCTION TRAILER. EROSION CONTROL PERSONNEL WILL LEAVE CORRESPONDENCE IN THE BOX AND RAISE THE RED FLAG IF PERSONNEL RESPONSIBLE FOR EROSION CONTROL CANNOT BE LOCATED ON THE SITE. SITE PERSONNEL SHOULD CHECK THE BOX DAILY.

CONSTRUCTION

4. INSTALL GRAVEL CONSTRUCTION ENTRANCE.
5. INSTALL SILT FENCE. CLEAR AND DEMO AREAS SHOWN INSIDE OF THE LIMITS OF DISTURBANCE AS NECESSARY TO BEGIN CONSTRUCTION. LIMIT DISTURBANCE TO AREAS NECESSARY FOR CONSTRUCTION ACTIVITIES AT THAT TIME. STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE.
6. CONSTRUCT NEW STORM DRAINAGE. INSTALL INLET PROTECTION AROUND NEW INLETS IMMEDIATELY AFTER CONSTRUCTION. SEAL ALL JUNCTION BOXES FROM STORMWATER INTAKE FROM SURFACE.
7. MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY ONE TIME.
8. IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE APPROVED EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
9. INSPECT AND MAINTAIN THE EROSION CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY. REFER TO THE INSTRUCTIONS IN THE EROSION CONTROL PLAN FOR SPECIFIC INSTRUCTIONS FOR EACH DEVICE. THE PERSON RESPONSIBLE FOR EROSION CONTROL IS ALSO RESPONSIBLE FOR TAKING THE INITIATIVE IN INSPECTING AND MAINTAINING THESE DEVICES. DO NOT WAIT FOR EROSION CONTROL PERSONNEL TO POINT OUT THE NEED FOR REPAIRS AND MAINTENANCE. KEEP MUD AND DEBRIS OFF THE PUBLIC STREET AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD OR DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN!!
11. IN ADDITION TO THE INSPECTIONS BY THE CONTRACTOR THE OWNER, THE FINANCIALLY RESPONSIBLE PARTY, OR THEIR AGENT MUST CONDUCT INSPECTIONS IN ACCORDANCE WITH THE NPDES GENERAL PERMIT AND NCDEQ'S SELF-INSPECTION PROGRAM FOR EROSION AND SEDIMENT CONTROL.
12. PERMANENTLY STABILIZE ALL DISTURBED AREAS. REFER TO SEEDING SCHEDULE FOR TYPES OF STABILIZATION TO BE USED.
13. WHEN CONSTRUCTION IS COMPLETED, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES AFTER THE DRAINAGE AREA ABOVE HAS BEEN SUFFICIENTLY BEEN STABILIZED TO RESTRAIN EROSION. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT AND THE DEBRIS FROM THE DEVICES, AND STABILIZE THE LOCATION.
14. ARRANGE A FINAL INSPECTION WITH THE EROSION CONTROL INSPECTOR TO CONFIRM THAT ALL REQUIREMENTS OF THE APPROVED EROSION CONTROL PLAN HAVE BEEN COMPLETED.

3/SD-40 CONSTRUCTION SEQUENCE

ALL INSTALLED BMP'S (WATER QUALITY AND DETENTION DEVICES) MUST BE CERTIFIED BY THE ENGINEER OF RECORD AS CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND THAT AS-BUILT CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN.

LINE	BEARING	DISTANCE
L1	N 59°19'45" E	8.46'

NC GRID NAD 83 (2011)



LINE	BEARING	DISTANCE
L1	N 59°19'45" E	8.46'

NC GRID NAD 83 (2011)

PIN: 9778-65-4465
LEATON C. MEACHUM, JR.
EVELYN R. MEACHUM
D.B. 877/298
101 BARNES ST.
ZONING: M1
USE: 2,100

PIN: 9778-65-5335
WILLIAM A. WILKINSON, JR.
MARTHA O. WILKINSON
D.B. 366/603
103 BARNES ST.
ZONING: M1
USE: 2,100

PIN: 9778-65-8620
HARRIET ROBINSON
NO DEED REF.
301 JONES FERRY RD.
ZONING: R75
USE: 1,100

PIN: 9778-75-0573.004
KEITH L. DIXON
KIOWA T. DIXON
D.B. 3366/234
#4 REDDOOR CONDO
P.B. 96/93
ZONING: R75
USE: 1,200

PIN: 9778-65-6276
110 BARNES ST., LLC
D.B. 4340/201
110 BARNES ST.
ZONING: R75
USE: 1,100



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FOR CONSTRUCTION
PLANS NOT FOR
BIDDING PURPOSES

Sheet Title

**UTILITY
PLAN**

Sheet Number

SD-5.0

utility notes

GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN: N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF NCDOT ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

SANITARY SEWER:

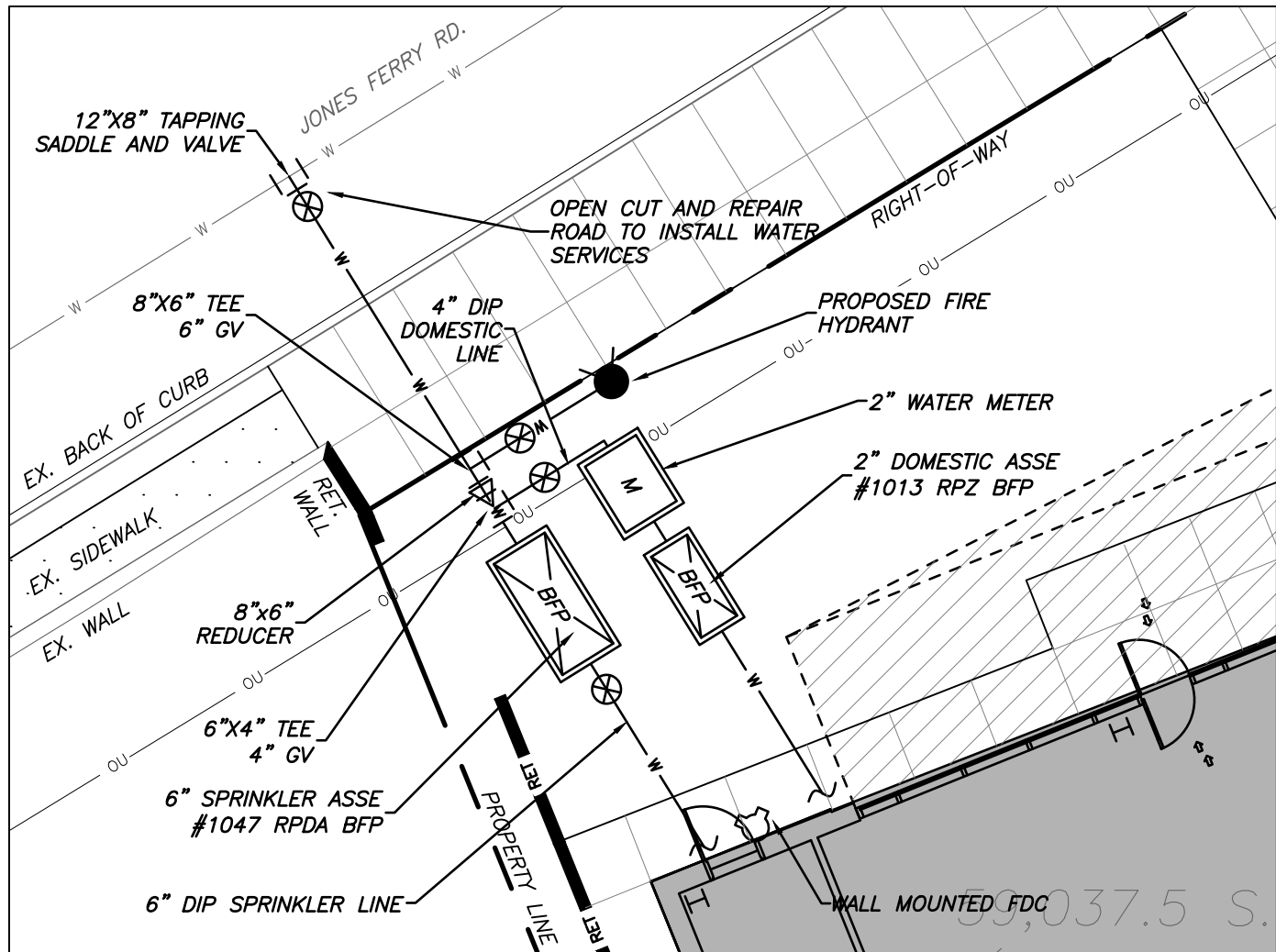
- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

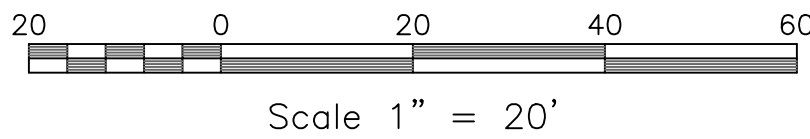
- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET Laterally FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL FDC(S) AND HYDRANT(S) SHALL BE 5" STORZ CONNECTIONS AND MEET TOWN OF CARRBORO STANDARDS.

fire notes

- PROVIDE FIRE PLANS EXAMINER ONE COPY OF CONSTRUCTION DRAWINGS, SHOWING UNDERGROUND PIPING LAYOUT AND ALL FIRE APPURTENANCES. PERMIT FOR INSTALLATION OF PRIVATE FIRE HYDRANT(S) MUST BE ISSUED BY FIRE PLANS EXAMINER PRIOR TO INSTALLATION OF SAID HYDRANTS.
- THE ESTABLISHMENT OF FIRE LANES, IN ACCORDANCE WITH SECTION 503.3 OF THE NC FIRE CODE, MAY BE REQUIRED WHERE IT BECOMES APPARENT AFTER OCCUPANCY OF THE DEVELOPMENT THAT PARKING WITHIN THE ROADWAYS CREATES DIFFICULTIES FOR THE PASSAGE OF FIRE EQUIPMENT.



2 WATER SERVICES
SD-5.0 1" = 10'-0"



1 UTILITY PLAN
SD-5.0 1" = 20'-0"

lighting notes

1. MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
2. CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES/POLES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
3. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
4. ALL ELECTRICAL CONDUIT, LIGHT POLES AND FIXTURES SHALL BE FURNISHED BY THE CONTRACTOR.
5. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
6. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
7. ALL JOINTS ARE TO BE SOLVENT WELDED.



Focus 18 Inch Tall 1 Light LED Outdoor Wall Light by Maxim Lighting
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★★★★★ 4.8 Avg Rating 2 Reviews
\$144.00
Shipping at \$14.00 with [WFLA](#) [Express](#) [2-Day](#)

Finish: Black
Glass: Bubble

Expected Ship Date: Dec 24, 2020

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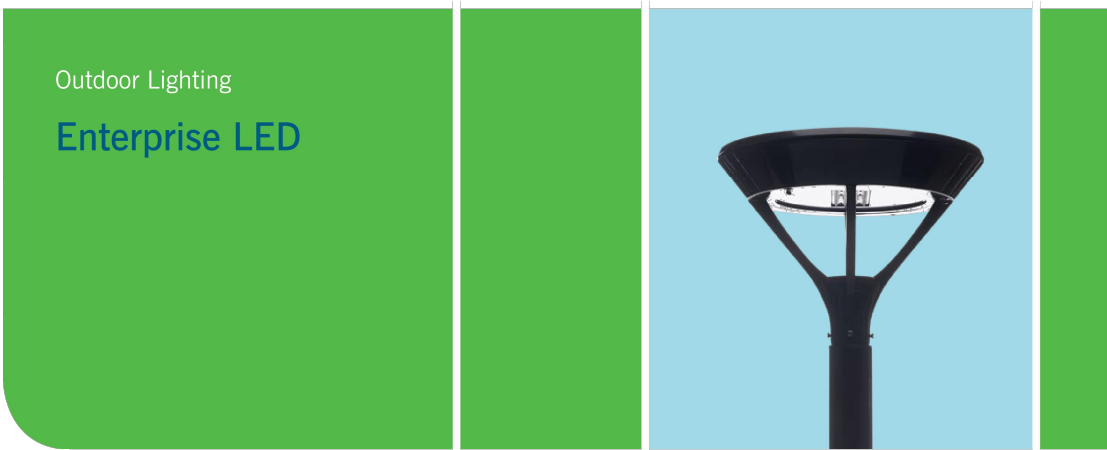
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100% PRICE PROTECTION GUARANTEE

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WALL SCOUNCE



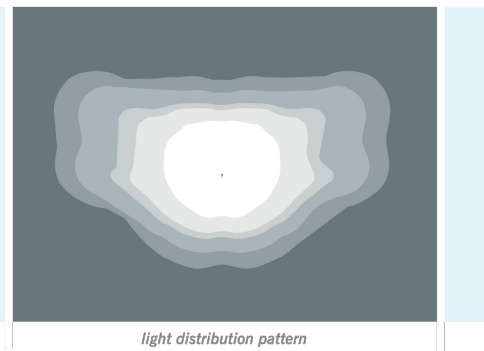
Illuminate streetscapes and pedestrian areas with the Enterprise LED. This sleek, energy-efficient fixture will add modern appeal to any neighborhood or park.

LED (Light Emitting Diode)	50 watts
Mounting height	12'
Color	Black
Poles	Style A, B, C, D, E, F

Outdoor Lighting

Enterprise LED

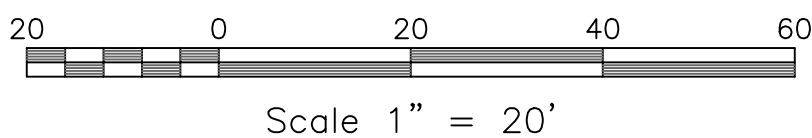
Light source: LED (white)
Wattage: 50
Lumens: 4,500
Light pattern: IESNA Type III (wall)
IESNA cutoff classification: Cutoff
Color temperature: 4,000K
Warm-up and restrike time: Instant on (no warm-up or restrike time)



Pole available:	Mounting height	Color
Type		
Aluminum	12'	Black

Features	Benefits
Little or no upfront capital cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 100 years of experience	A name you can trust today ... and tomorrow

15' POLE LIGHT



LINE	BEARING	DISTANCE
L1	N 59°19'45" E	8.46'

NC GRID NAD 83 (2011)

PIN: 9778-65-4465
LEATON C. MEACHUM, JR.
EVELYN R. MEACHUM
D.B. 877/298
101 BARNES ST.
ZONING: M1
USE: 2,100

PIN: 9778-65-6620
HARRIET ROBINSON
NO DEED REF.
301 JONES FERRY RD.
ZONING: R75
USE: 1,100

PIN: 9778-75-0573.004
KEITH L. DIXON
KIOWA T. DIXON
D.B. 3366/234
#4 REDDOOR CONDO
P.B. 96/93
ZONING: R75
USE: 1,200

PIN: 9778-65-6276
110 BARNES ST.
ZONING: R75
USE: 1,100

NOTE:
PROPOSED HOURS OF OPERATION WILL BE FROM 8AM-8PM.
BUILDING OWNER WILL HAVE CONTROL AND MAINTENANCE OF
BUILDING MOUNTED LIGHTING.
DUKE ENERGY LEASED LIGHTS (PARKING LOT) WILL CONTROLLED
AND OPERATED BY DUKE ENERGY.

NOTE:
IF LIGHT FIXTURE LOCATIONS NEED TO MOVE TO A LOCATION
OTHER THAN WHAT IS SHOWN AND APPROVED IN THESE PLANS,
THEN THE DEVELOPER'S CONTRACTOR SHALL BE RESPONSIBLE FOR
SUBMITTING A REVISED LIGHTING PLAN TO THE TOWN OF
CARRBORO PLANNING DEPARTMENT FOR REVIEW AND APPROVAL
PRIOR TO MOVING THEM.



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Sheet Title

LIGHTING
PLAN

Sheet Number

SD-6.0



I.N. 9778656581

Number 1934

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BIDDING PURPOSES

Sheet Title

LANDSCAPE PLAN

Sheet Number

SD-7.0

* "SIZE" REFERS TO SIZE OF PLANT MATERIAL AT TIME OF INSTALLATION. ALL PLANT MATERIAL SPECIFIED MUST MEET OR EXCEED THE SIZE INDICATED AT THE TIME OF INSTALLATION

LANDSCAPE NOTES

1. LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
3. IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
4. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
7. IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
8. CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
9. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION AND/OR PROMPT REPAIR AND RESTORATION SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
10. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
11. MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
12. ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
13. IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
14. ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.

SCREENING CALCULATIONS

PROPOSED USE = 5.320 (ARTS CENTER)
EX. ADJACENT. USE = 2.100 (COMMERCIAL BUILDING) AND 1.100 (RESIDENTIAL / SINGLE FAMILY)
PROPOSED 5.320 USE TO ADJ. 1.100 USE = TYPE A "OPAQUE"
TYPE A "OPAQUE" = SCREEN THAT IS OPAQUE FROM THE GROUND TO HEIGHT OF 6' MIN.
4 TREES & 60 SHRUBS PROPOSED

MOTOR VEHICLE ACCOMMODATION CALCULATIONS

REQUIRED 35% SHADING

PROPOSED MOTOR VEHICLE ACCOMMODATION AREA = 15,697 SF

$15,697 \times 0.35 = 5,494$ SF

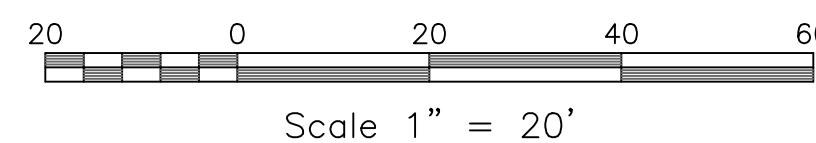
EXISTING TREES = 0 SF

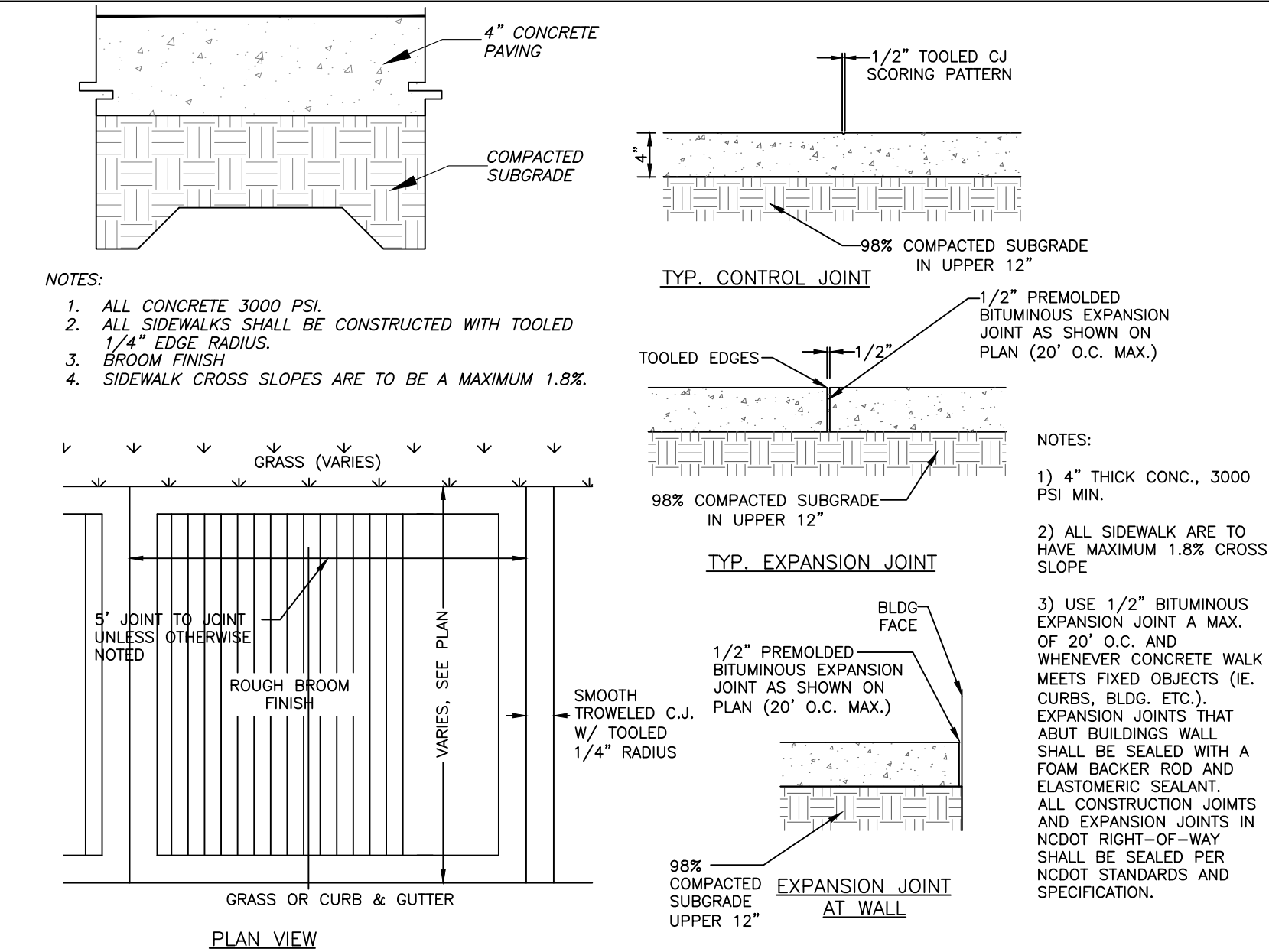
REQUIRED SHADING = 5,494 SF

$5,494 / 707 = 8$ TREES REQUIRED/PROVIDED

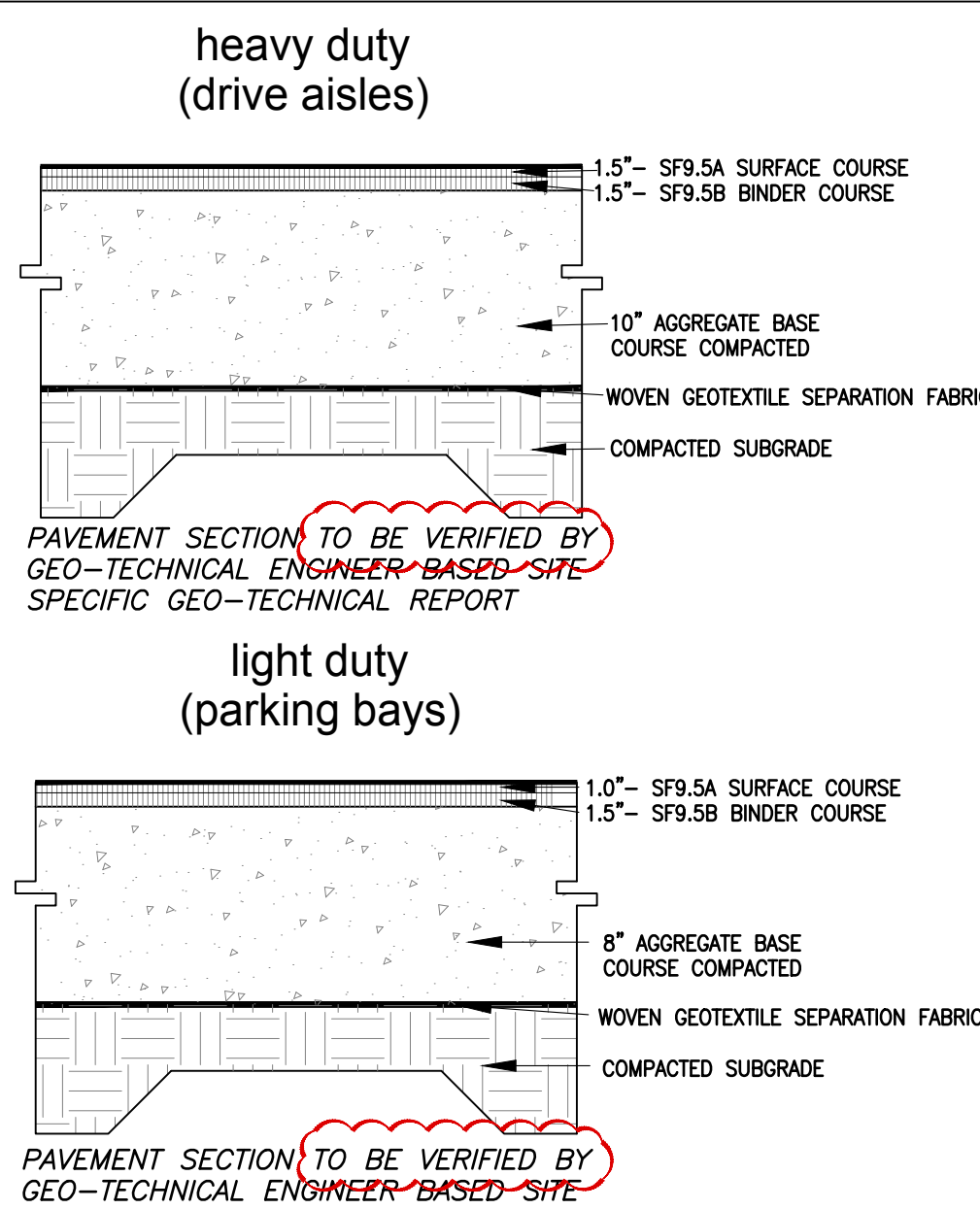
TREE CANOPY COVERAGE CALCULATIONS

REQUIRED 30% OF GROSS LAND AREA
GROSS LAND AREA = 59,038 SF
 $59,038 \times 0.30 = 17,711$ SF REQUIRED
EXISTING TREES = 15,772 SF
PROPOSED TREES = 7,070 SF (10 TREES)
TOTAL TREE CANOPY = 22,842 SF

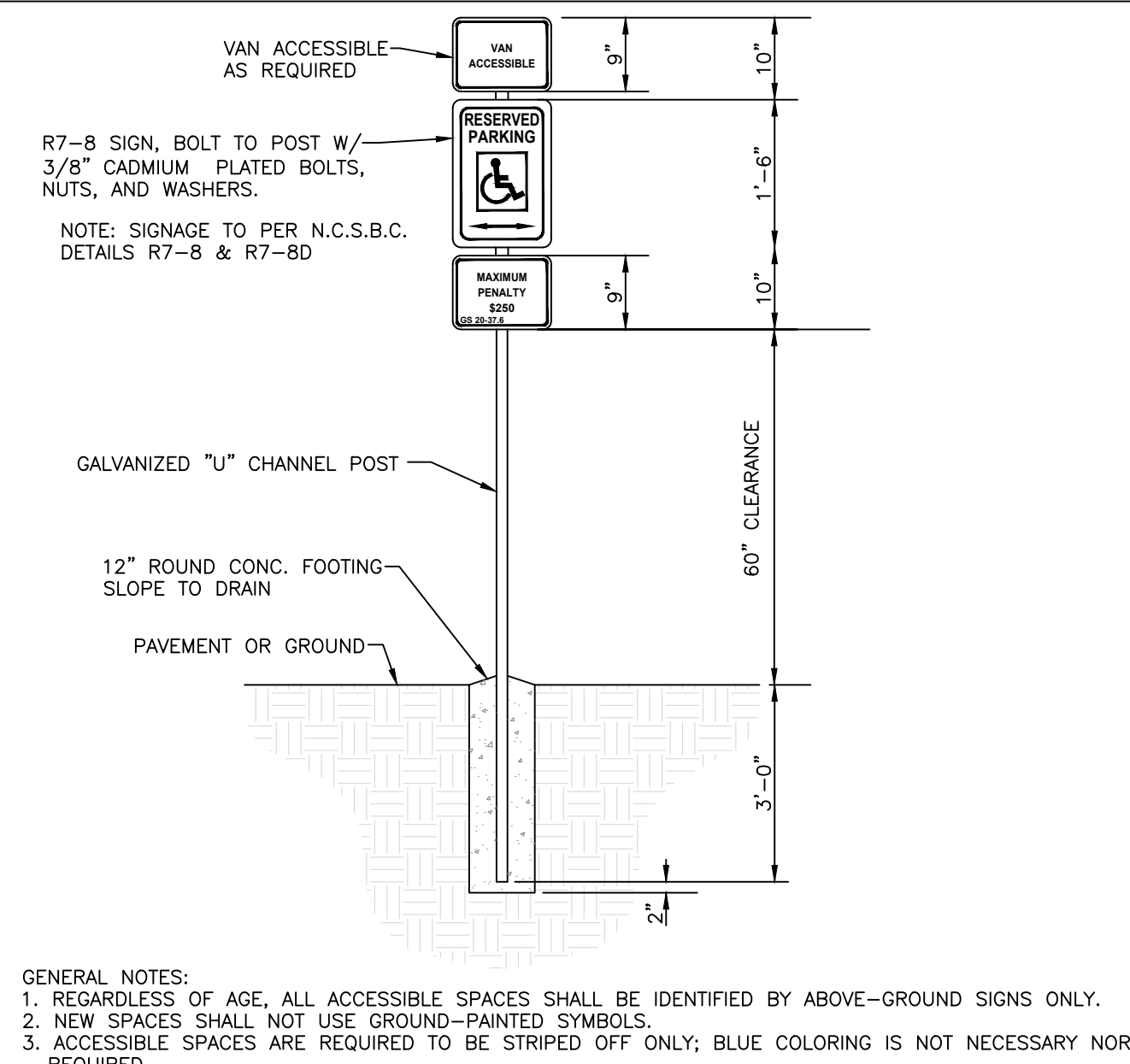




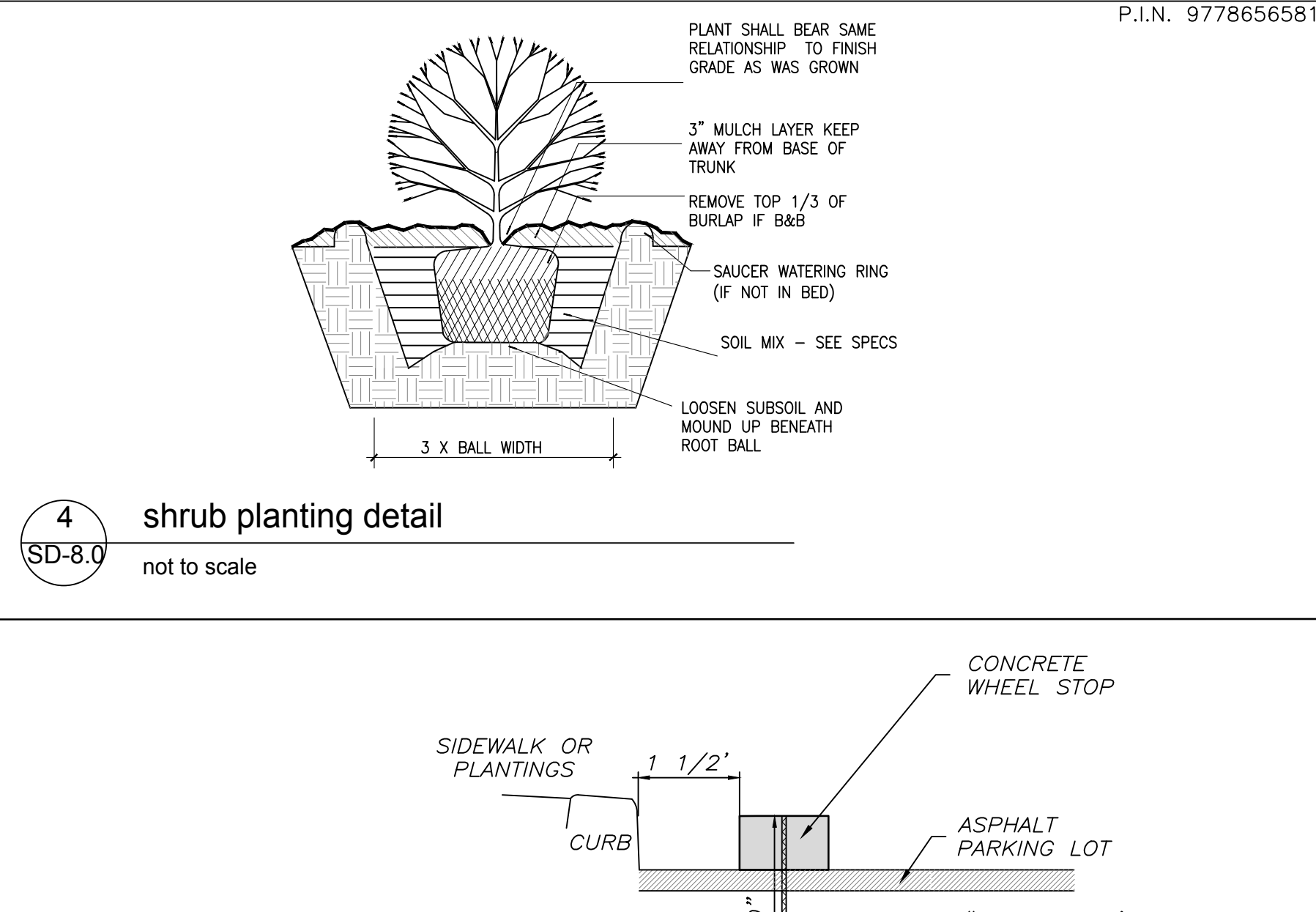
1 concrete sidewalk
SD-8.0 not to scale



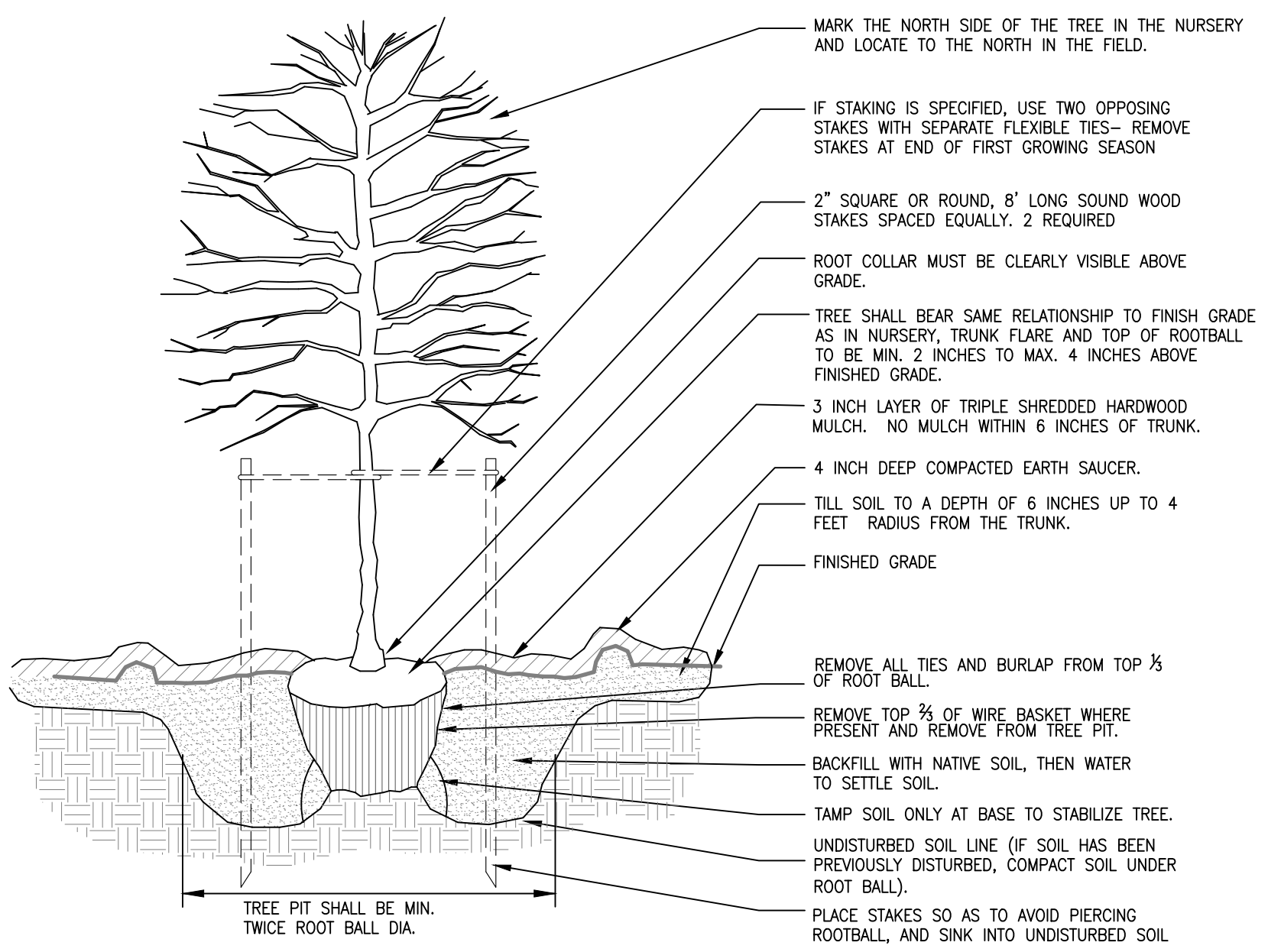
2 asphalt paving
SD-8.0 not to scale



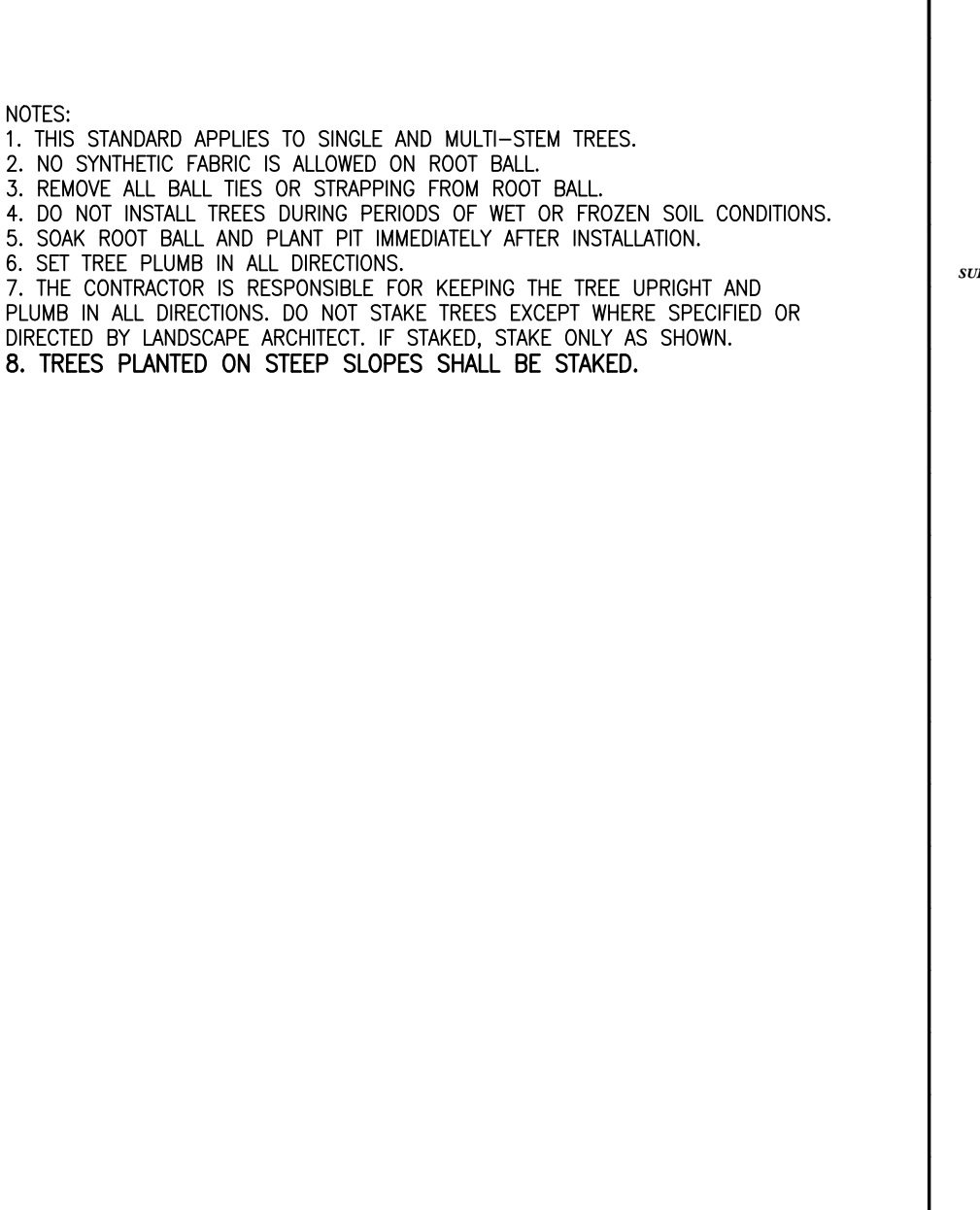
3 ada signage
SD-8.0 not to scale



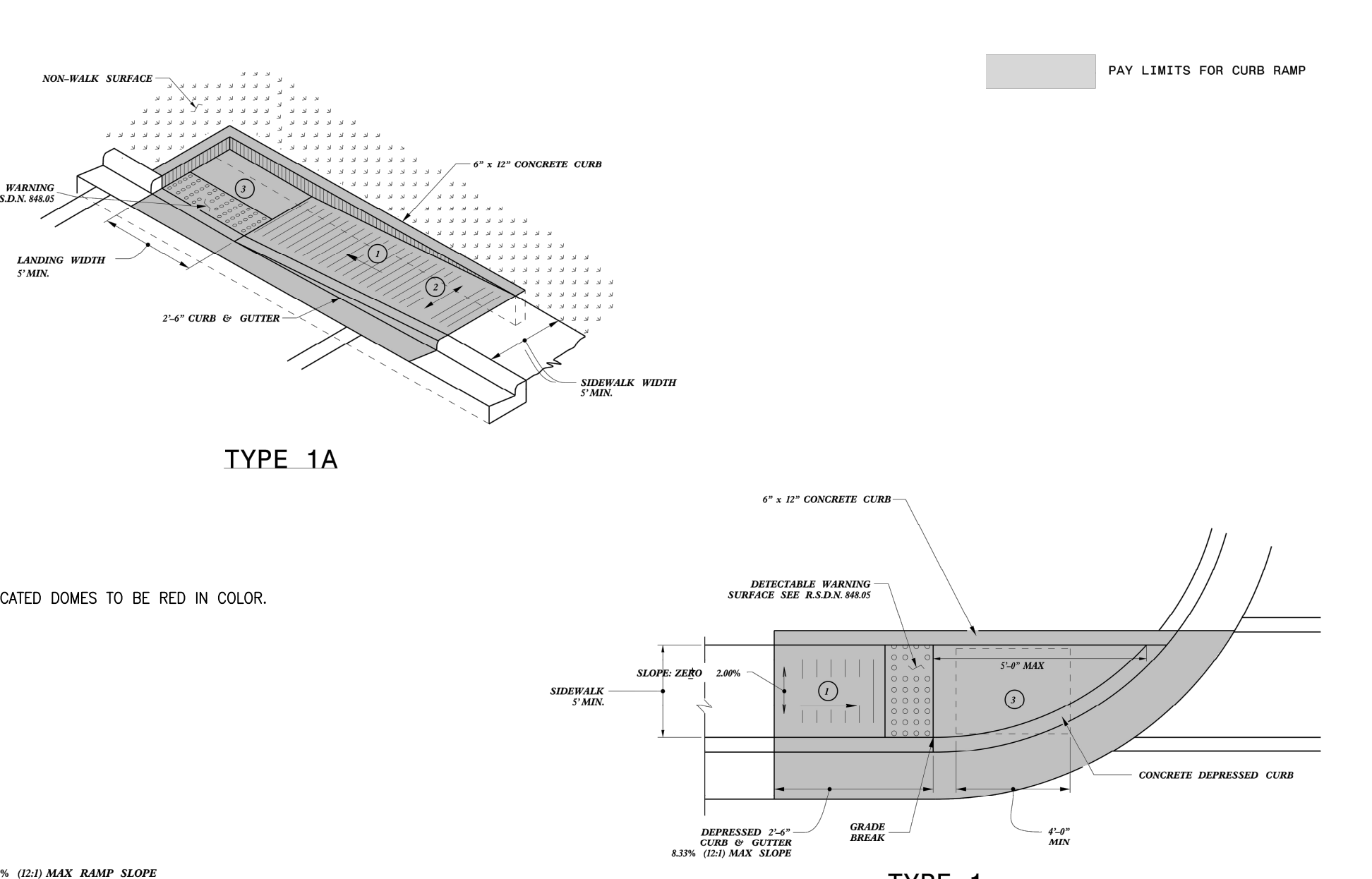
4A wheelstop
SD-8.0 not to scale



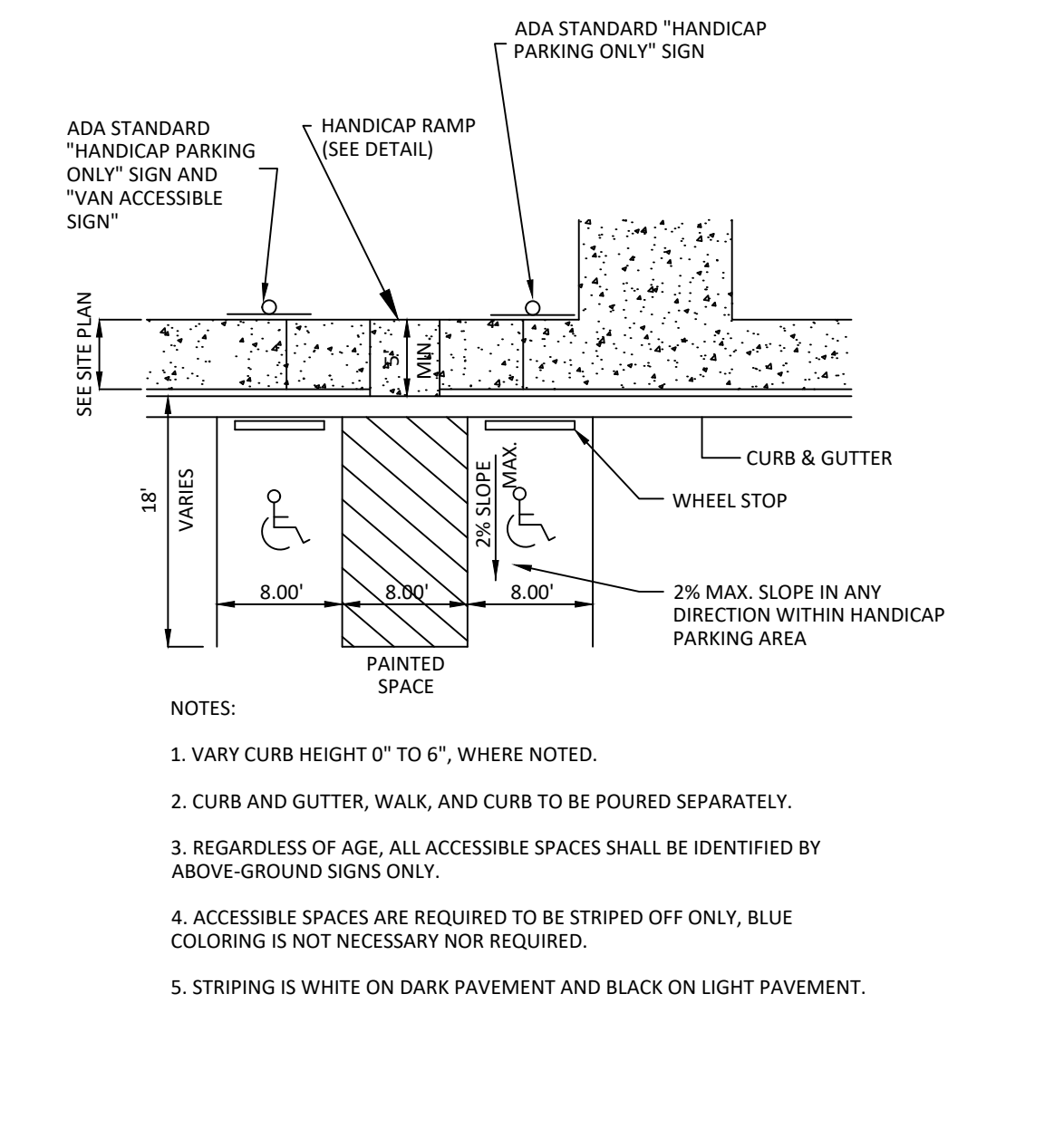
5 tree planting detail
SD-8.0 not to scale



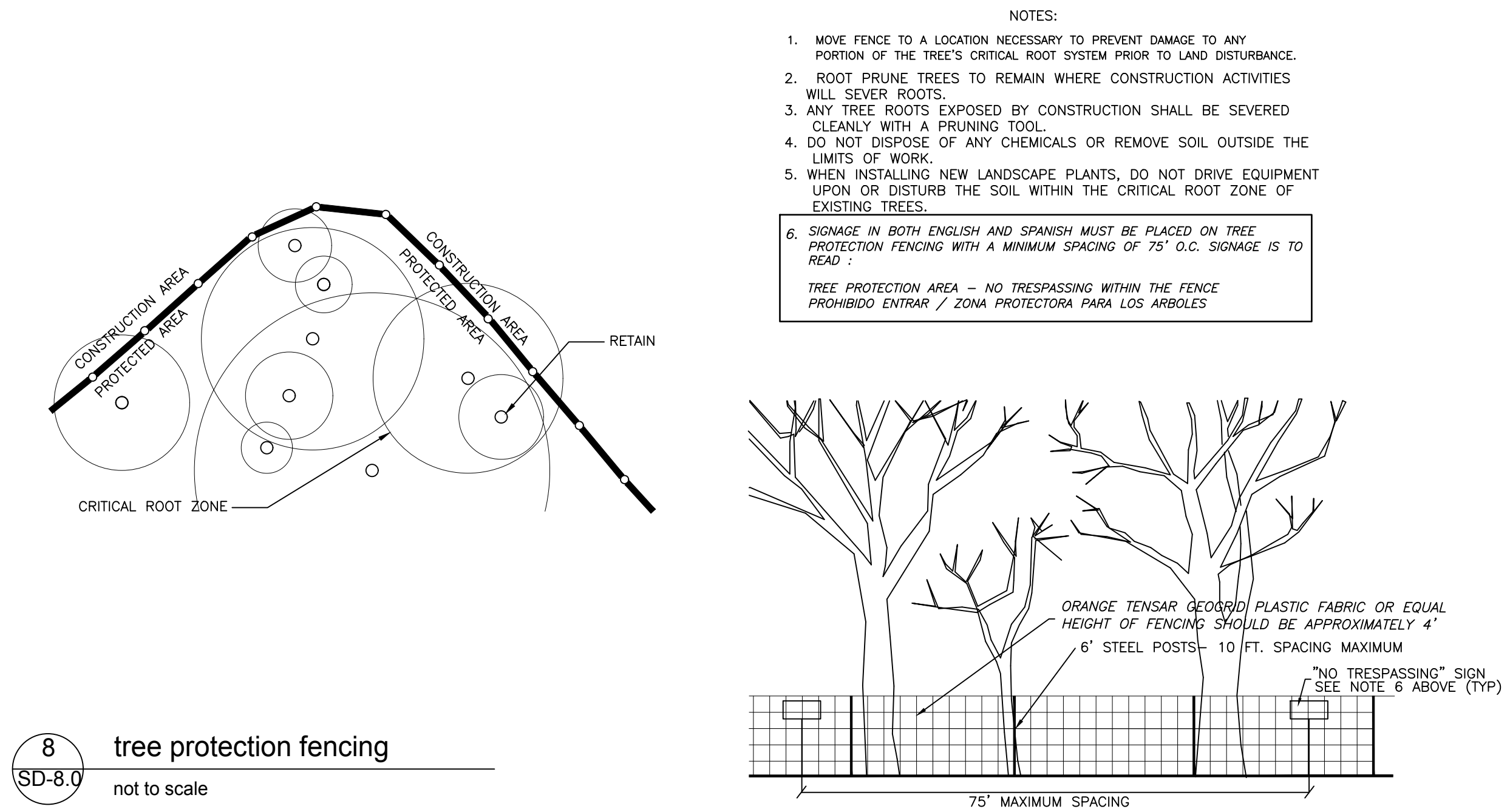
5 tree planting detail
SD-8.0 not to scale



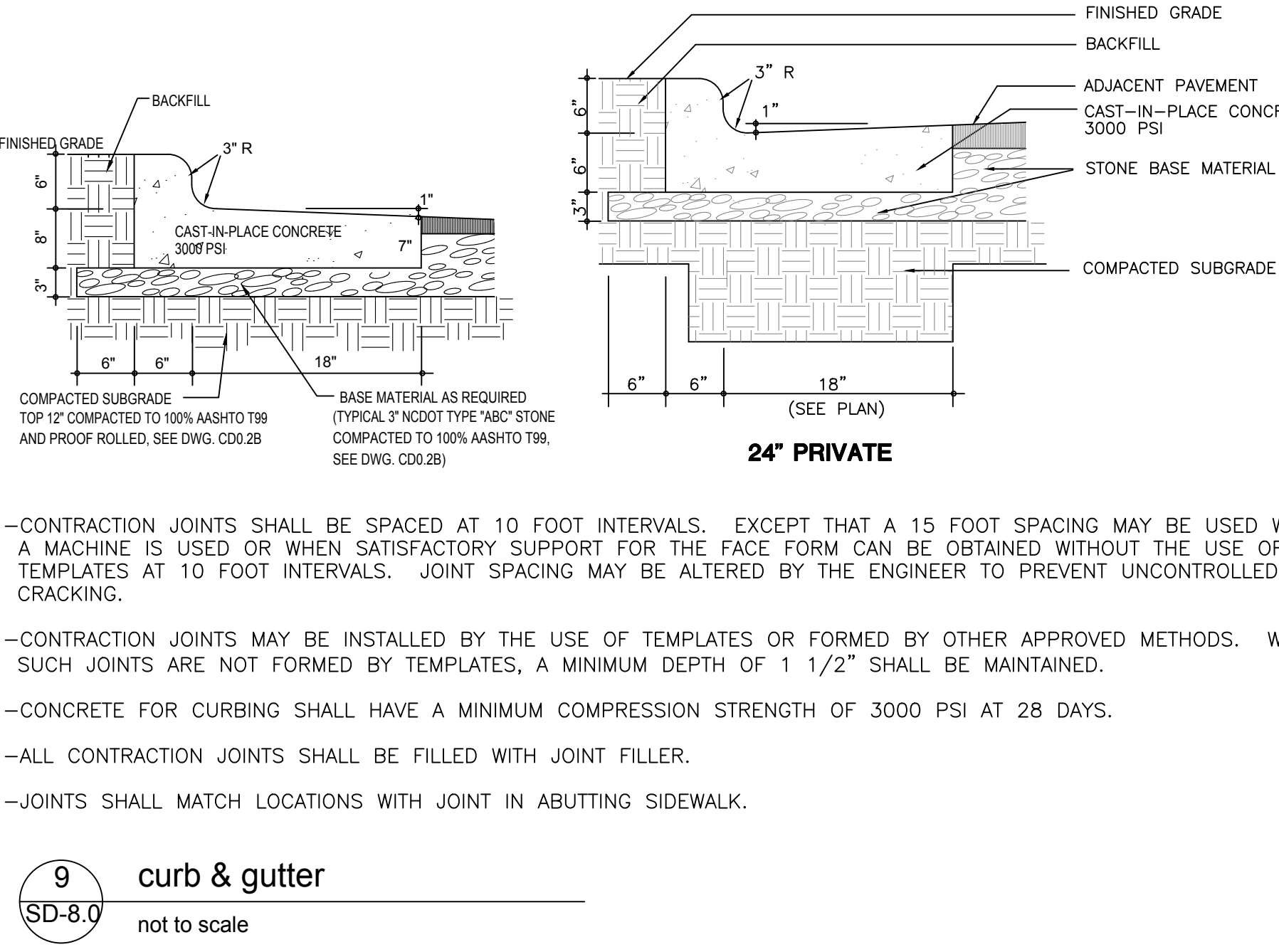
6 ADA RAMP
SD-8.0 not to scale



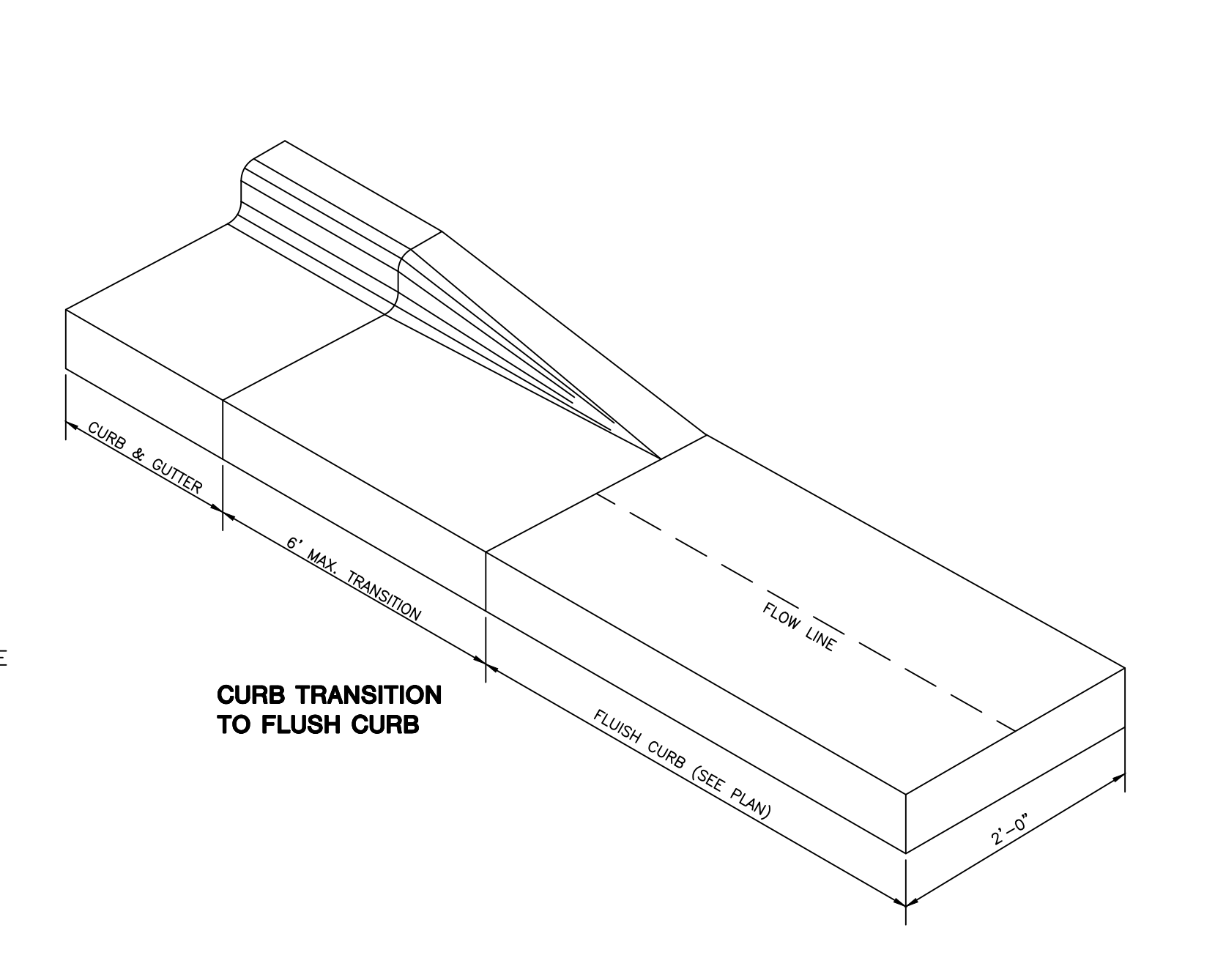
7 TYPICAL HANDICAP PARKING, RAMP AND SIGN LOCATION
C 8.0 NTS



8 tree protection fencing
SD-8.0 not to scale



9 curb & gutter
SD-8.0 not to scale



9 curb & gutter
SD-8.0 not to scale

Engineering, Planning, Landscape Architecture

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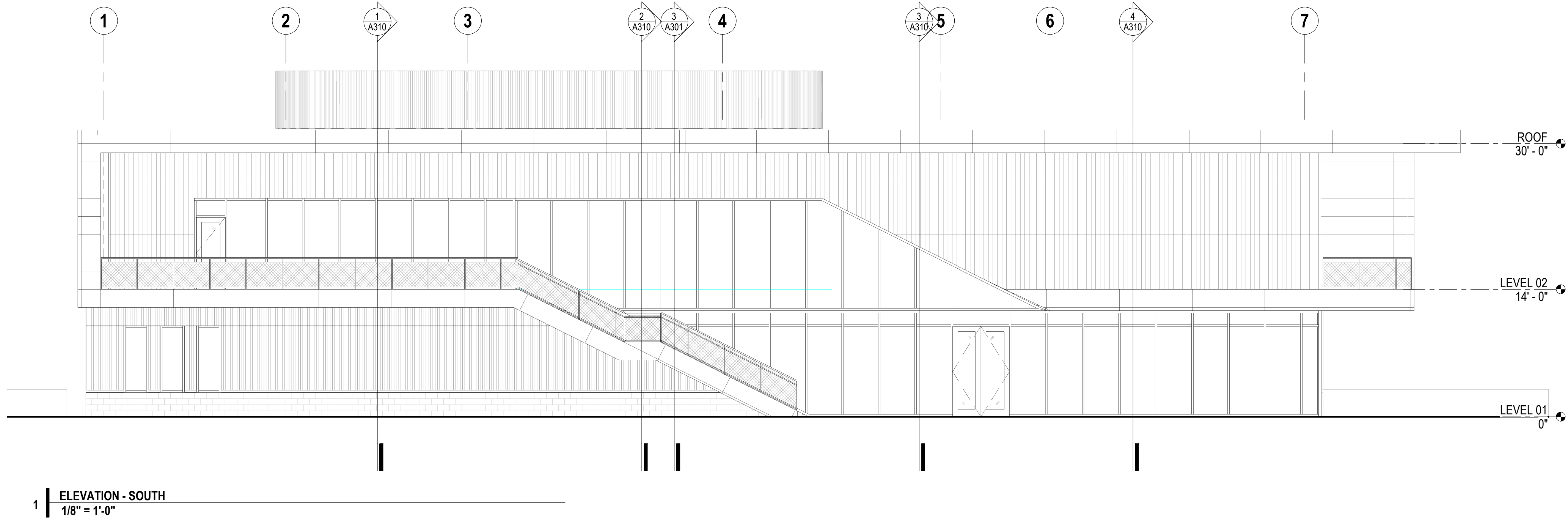
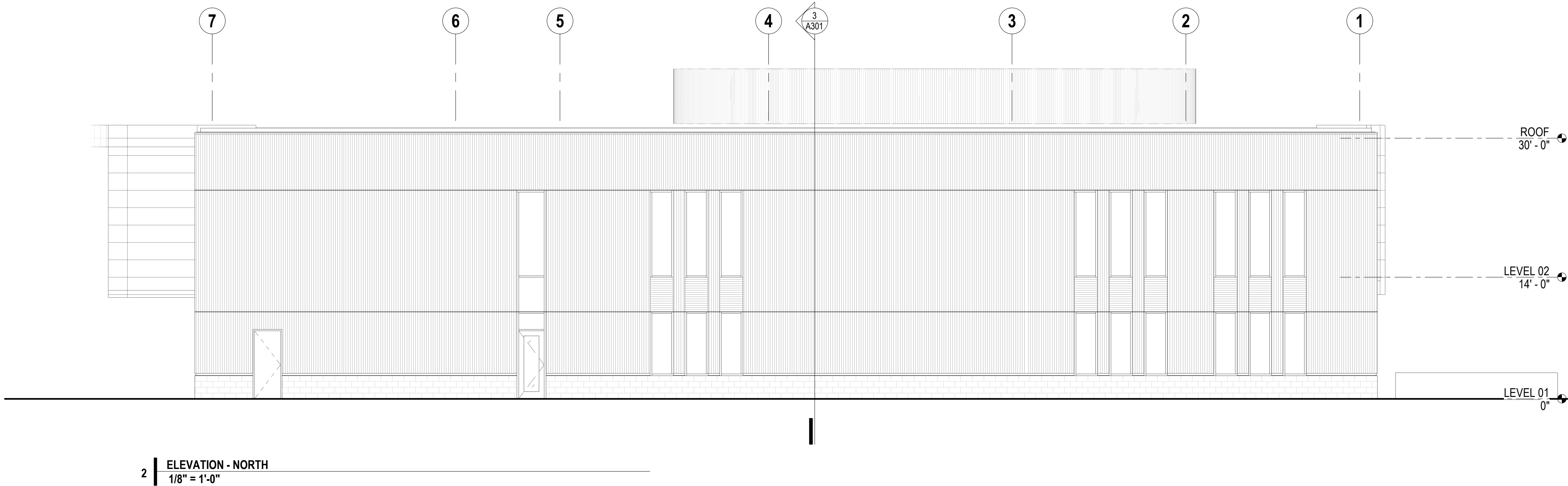
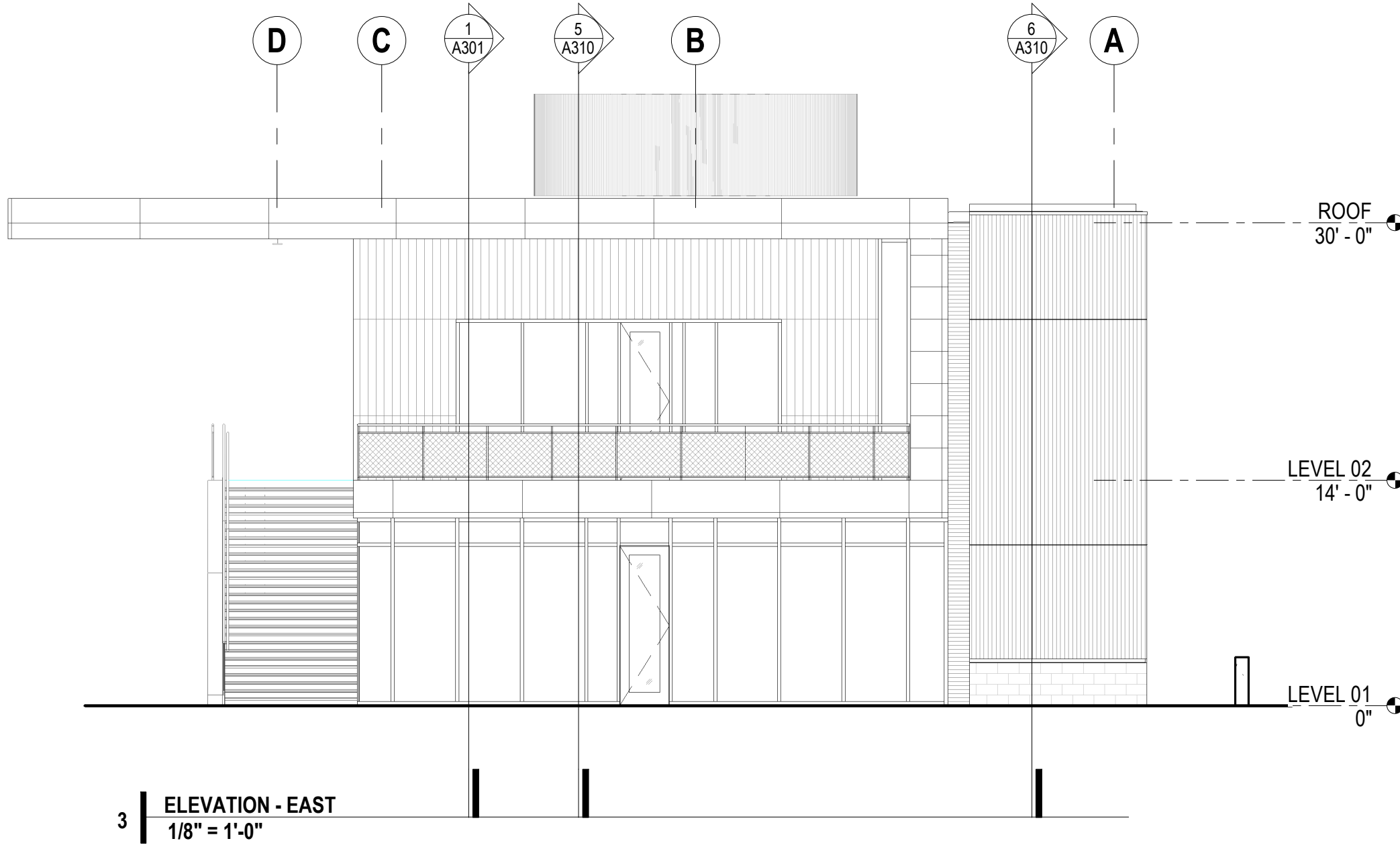
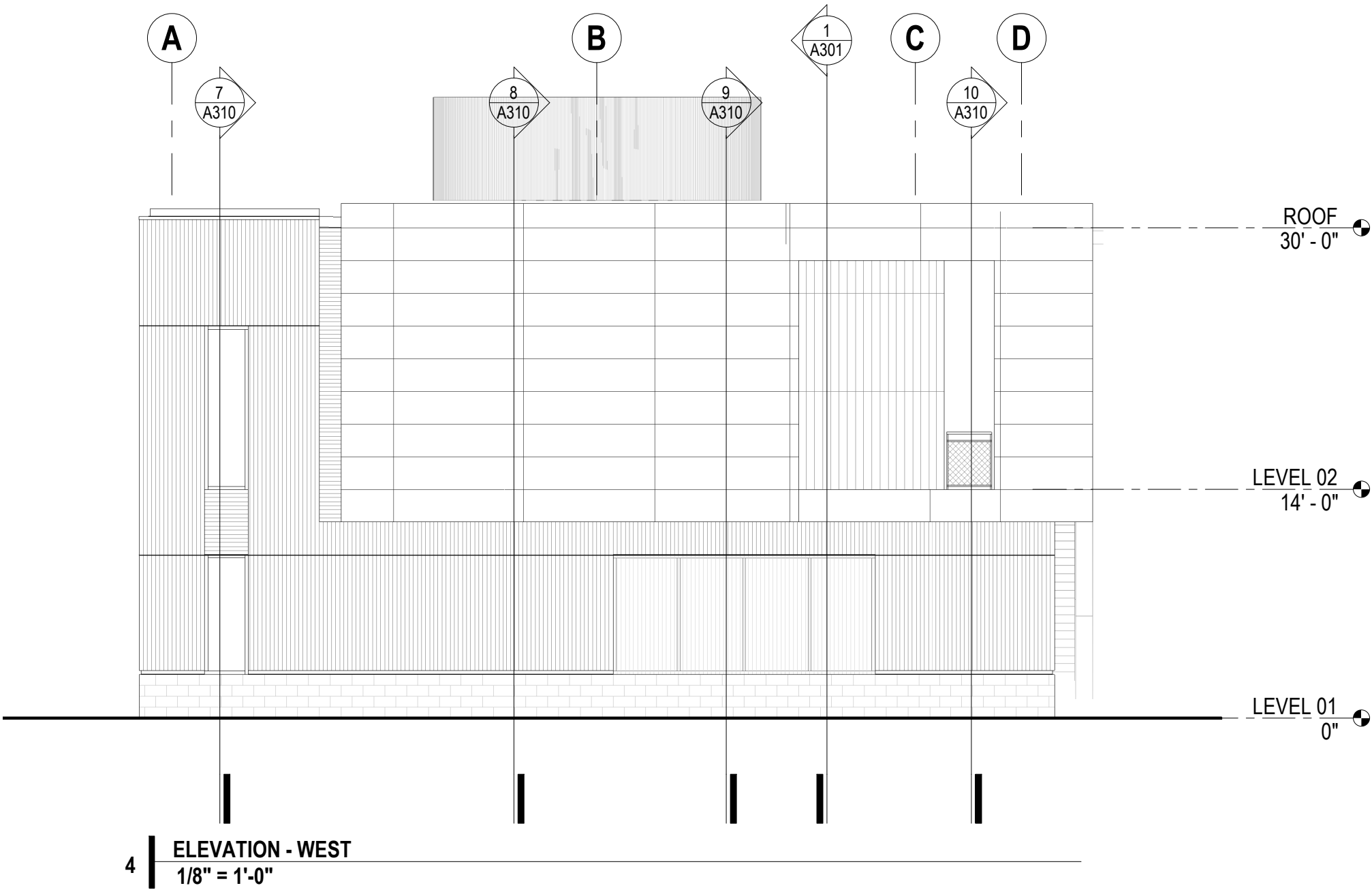
Job Number 1934

Drawn JSA, JCI, MTC
Checked JSA, PBR
Date 6/1/2020
Revisions 11/2/2020
TOWN COMMENTS
01/29/2021
JAB

CONDITIONAL USE PERMIT
PLANS NOT ISSUED FOR CONSTRUCTION
PLANS NOT FOR BIDDING PURPOSES

Sheet Title
GENERAL SITE DETAILS

Sheet Number
SD-8.0



GENERAL NOTES	
1.	x
PAINT COLOR LEGEND - BASIS OF DESIGN	
P1	xx
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

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ARCHITECT

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PROJECT

THE ARTSCENTER

303 JONES FERRY RD
CARRBORO, NC 27510

OWNER

THE ARTSCENTER

SEALS

NORTH CAROLINA
PROFESSIONAL
ARCHITECT
53132
EVOKE STUDIO ARCHITECTURE, LLC

NORTH CAROLINA
PROFESSIONAL
ARCHITECT
9970
TORI S. CANADA

NOT FOR CONSTRUCTION

REVISIONS	DATE
1	
2	
3	
4	
5	
6	

PHASE:

100% SCHEMATIC DESIGN DOCUMENTS

DATE:

JANUARY 29, 2021

ESA NO.:

2020004

SCO ID NO.:

EXTERIOR ELEVATIONS

A201

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