

# **Town of Carrboro**

*301 W. Main St., Carrboro, NC 27510*



## **Meeting Agenda - Final-revised**

**Tuesday, February 6, 2024**

**7:00 PM**

**Council Chambers - Room 110**

**Town Council**

**7:00-7:05****A. POETRY READING, RESOLUTIONS, PROCLAMATIONS, AND  
ACKNOWLEDGEMENTS****7:05-7:10****B. ANNOUNCEMENT OF UPCOMING MEETINGS****7:10-7:20****C. PUBLIC COMMENT****7:20-7:35****D. CONSENT AGENDA**

1. [24-013](#) Approval of Recommended Funding from the Affordable Housing Special Revenue Fund

**PURPOSE:** To consider approving the Affordable Housing Advisory Commission's funding recommendation for three nonprofit applications to the Affordable Housing Special Revenue Fund.

**Attachments:** [A - Resolution - AHSRF](#)  
[B - Recommendation-AHSRF](#)  
[C - Funding Requests - AHSRF](#)  
[D - Pocket Questions - AHSRF](#)

2. [24-012](#) Resolution Supporting an Application for Transportation Demand Management Grant Program.

**PURPOSE:** Request for the Town Council to consider a resolution authorizing the submittal of an application for Central Pines Regional Council's FY25-26 Triangle Transportation Choices grant program.

**Attachments:** [A - FY25-26 TDM Grant - Resolution](#)  
[B - TDM Grant Pocket Question](#)



3. [24-017](#) Amendments to the Town Code and Fees Schedule for Additional Options at Westwood Cemetery

**PURPOSE:** Adopt amendments to the Town Code and Miscellaneous Fees and Charges Schedule to establish new interment options at Westwood Cemetery as outlined in the approved Westwood Cemetery Master Plan, and to set associated fees and charges for these new options to cover costs and ensure cemetery sustainability.

**Attachments:** [A - Ordinance Amending Town Code - Westwood Additional Areas](#)  
[B - Resolution Amending Cemetery Fees](#)  
[C - Master Plan Approval](#)  
[D - Greenspace Clarification](#)  
[E - Pocket Questions](#)

4. [24-024](#) Town Code Amendment to Codify Street Name Change

**PURPOSE:** To request that the Town Council amend the Town Code to change all references of E. Carr Street and W. Carr Street to E. Braxton Foushee Street and W. Braxton Foushee Street.

**Attachments:** [A - Ordinance](#)  
[B - Excerpts - Town Code & LUO](#)  
[C - Map and Addresses](#)  
[D - Pocket Questions](#)

**7:35-8:20**

**E. OTHER MATTERS**

1. [24-015](#) Resolution Amending the Water and Sewer Management, Planning, and Boundary Agreement

**PURPOSE:** Consider adoption of a resolution amending the Water and Sewer Management, Planning, and Boundary Agreement (WASMPBA) requested by the Town of Chapel Hill to expand the service boundary in the southern part of Chapel Hill along the US 15-501 corridor to the Chatham County line.

**Attachments:** [A - Resolution](#)  
[B - Water and Sewer Agreement](#)  
[C- WASMPBA Background](#)  
[D - Pocket Questions](#)

2.     [24-018](#)     Update on Transportation Projects

**PURPOSE:** To provide the Town Council with a status report on a number of local transportation projects that are underway.

**Attachments:**   [A - Resolution for Transportation Projects](#)  
                          [B - Transportation Projects Update](#)  
                          [C - Pocket Questions](#)

**8:20-8:30**

**F.       MATTERS BY COUNCIL MEMBERS**



## Agenda Item Abstract

**File Number:** 24-013

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**Agenda Date:** 2/6/2024  
**In Control:** Town Council  
**Version:** 1

**File Type:** Agendas

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Approval of Recommended Funding from the Affordable Housing Special Revenue Fund

**PURPOSE:** To consider approving the Affordable Housing Advisory Commission’s funding recommendation for three nonprofit applications to the Affordable Housing Special Revenue Fund.

**DEPARTMENT:** Housing and Community Services

**CONTACT INFORMATION:** Anne-Marie Vanaman, Housing and Community Services Director,  
amvanaman@carrboronc.gov

**COUNCIL DIRECTION:**

☒ Race/Equity ☐ Climate ☒ Comprehensive Plan ☐ Other

Racial Equity: A full assessment using the Racial Equity Assessment Lens of the Affordable Housing Special Revenue Fund has been completed and reviewed by the Racial Equity Commission. A summary of this assessment as well as the “pocket questions” can be found in Attachment D.

Comprehensive Plan: Chapter 3. Affordable Housing.

Goal 2: Increase the number of rental units that are permanently affordable to very low-income households earning up to 60% of AMI with a particular focus on those earning less than 30% AMI and historically disadvantaged households.

Goal 4: Maintain and improve the quality of Naturally Occurring Affordable Housing (NOAH) and “missing middle” opportunities.

Strategy 5.2: Help extremely low-income households and people experiencing homelessness transition to permanent affordable housing.

**INFORMATION:** In the January 2024 application cycle, three requests were received and forwarded to the Affordable Housing Advisory Commission (AHAC) for review.

On January 17, 2024, the AHAC heard from the applicants, Pee Wee Homes, Rebuilding Together of the Triangle (RTT), and EmPOWERment and discussed their requests.

The AHAC voted to make the following funding recommendations to the Town Council:

**Pee Wee Homes - Recommendation: Fully Fund - \$51,100**

To construct three small homes on the corner of Hill and Broad Streets that will be available for rent to

individuals earning less than 30% AMI, often transitioning from being unhoused.

**Rebuilding Together of the Triangle - Recommendation: Fully Fund - \$33,730.99**

To conduct critical repairs, modifications, and/or weatherization for two Carrboro homes owned by low-income households. These repairs will support homeownership retention and the ability to age in place.

**EmPOWERment - Recommendation: Fully Fund - \$100,000**

To acquire 10 rental units off Homestead Road, considered to be part of the town's Naturally Occurring Affordable Housing (NOAH) stock.

The EmPOWERment request is a resubmission of their October 2023 application which the AHAC declined to recommend for funding at that time due to concerns primarily about the size of their request (\$200,000) and a lack of committed funds for the project. The AHAC invited EmPOWERment to resubmit in January 2024 if progress had been made on the project. EmPOWERment lowered the requested amount and now has \$800,000 in Orange County capital improvement funds committed to the project.

The AHAC's recommendation can be found in Attachment B. Funding requests can be found in Attachment C.

**FISCAL IMPACT:** Sufficient funds are available in the Town's Affordable Housing Special Revenue Fund annual budget for these grants. If the requests are fully funded, the FY2023-2024 AHSRF budget balance will be \$77,986 with one application cycle remaining. Applications of \$5,000 or less are also accepted throughout the year by Housing and Community Services and presented to the Town Manager for consideration.

**RECOMMENDATION:** Staff recommends that the Town Council approve the funding recommendation. A resolution for approval is provided in Attachment A.

**A RESOLUTION APPROVING GRANT FUNDING FROM THE  
AFFORDABLE HOUSING SPECIAL REVENUE FUND**

WHEREAS, the Town Council on, June 27, 2007, by the adoption of resolution no. 244/2006-07 created the Affordable Housing Special Revenue Fund; and

WHEREAS, the creation of the fund is another way in which the Council can advance its goal of increasing and maintaining the stock of affordable housing within the Town and its planning jurisdiction; and

WHEREAS, the Affordable Housing Advisory Commission (AHAC) reviewed three funding applications for the Affordable Housing Special Revenue Fund on January 17, 2024; and

WHEREAS, the AHAC determined that the requests met the criteria set forth in the Affordable Housing Special Revenue Fund; and

WHEREAS, the AHAC made the following funding recommendations:

<b>EmPOWERment</b>	<b>\$100,000.00</b>
<b>Rebuilding Together of the Triangle</b>	<b>\$ 33,730.99</b>
<b>Pee Wee Homes</b>	<b>\$ 51,100.00</b>

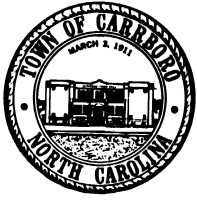
NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF CARRBORO:

Section 1. Approves the recommended grant funding activity from the Affordable Housing Special Revenue Fund in FY2023-2024.

Section 2. Authorizes the Town Manager to develop and execute agreements as necessary to carry out the Council's action.

Section 3. This resolution shall become effective upon adoption.

This the 6<sup>th</sup> day of February, 2024.



## TOWN OF CARRBORO

### Affordable Housing Advisory Commission

*301 West Main Street, Carrboro, North Carolina 27510*

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# R E C O M M E N D A T I O N

January 17, 2024

### Affordable Housing Special Revenue Fund Funding Recommendations

The AHAC received three applications to review in the January 2024 funding cycle, with \$262,817 available in the Affordable Housing Special Revenue Fund budget for the current fiscal year (2023-2024).

Motion was made by Lindsay Griffin and seconded by Amy Singleton, that the AHAC recommends that the Town Council consider the following funding recommendation:

Fully fund the request from Rebuilding Together from the Triangle for \$33,730.99.

**VOTE:**

YES: (Betty Curry, Lindsay Griffin, Amy Singelton, Heather Nash)

ABSENT/EXCUSED: (Bobby Funk, Rahat Sajwani, Muhsin Omar)

NOES: (0)

ABSTENTIONS: (0)

Motion was made by Lindsay Griffin and seconded by Betty Curry, that the AHAC recommends that the Town Council consider the following funding recommendation:

Fully fund the request from Pee Wee Homes for \$51,100.00.

**VOTE:**

YES: (Betty Curry, Lindsay Griffin, Amy Singelton)

ABSENT/EXCUSED: (Bobby Funk, Rahat Sajwani, Muhsin Omar)

NOES: (0)

ABSTENTIONS: (Heather Nash)

Motion was made by Betty Curry and seconded by Lindsay Griffin, that the AHAC recommends that the Town Council consider the following funding recommendation:

Fully fund the request from EmPOWERment for \$100,000.00.

Comments:

The AHAC would like to receive updates on the EmPOWERment project as it progresses, in particular when the property is under contract and the results from assessments and inspections.

**VOTE:**

YES: (Betty Curry, Lindsay Griffin, Amy Singelton, Heather Nash)

ABSENT/EXCUSED: (Bobby Funk, Rahat Sajwani, Muhsin Omar)

NOES: (0)

ABSTENTIONS: (0)

By a unanimous show of hands, the AHAC membership also indicated that no members have any financial interests that would pose a conflict of interest to the adoption of this amendment.

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(Chair) (Date)

# TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

**APPLICANT:** PEE WEE HOMES

**PROJECT TYPE:** Construction of 3 small homes for individuals earning 30% or less. The homes will be permanently affordable rental units.

**AMOUNT REQUESTED:** \$51,100 for 3 tiny homes.

**TOWN AH GOALS ADDRESSED:** 2.1 Increase number of rental units that are permanently affordable to individuals and families earning less than 60% AMI.

Comprehensive Plan: Goal 2. Increase the number of rental units permanently affordable to households earning less than 30% AMI or historically disadvantaged households.

**PROJECT ADDRESS:** 106 Hill Street – in town limits.

**PROJECT SUMMARY:** This project will serve individuals who are either currently experiencing homelessness or who have a history of chronic homelessness with incomes below 30% AMI. The needs of these individuals will be served through the development of rental housing that is available at rates affordable to extremely low-income households. Pee Wee Homes also commits to offering community support for the tenants.

**POPULATION SERVED:** Total Number: 3

% AREA MEDIAN INCOME	<30%	31%-60%	61-80%	81-100%	101-115%	
	3					
RACE/ETHNICITY	ASIAN	BLACK	HISPANIC/LATINO	MIXED RACE	OTHER	WHITE
		2	1			
SENIORS PRESENT	3					
CHILDREN PRESENT						
DISABILITY PRESENT		1				



## TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

### ENVIRONMENTAL IMPACT:

#### Planned list of energy efficient measures:

- Solar panels
- Lighting Fixtures – all LED fixtures
- Weatherization
- Appliances and Water Heater– Energy Star Qualified Units
- Windows, Doors – Energy Star Qualified
- HVAC - Energy Star Qualified Unit, 14 SEER
- Plumbing - Water Sense toilets

#### FUNDING RECOMMENDATION:

- ☐ FULLY FUND
- ☐ PARTIALLY FUND (Can include suggested amount or %) \_\_\_\_\_
- ☐ DO NOT FUND

# TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

**APPLICANT:** REBUILDING TOGETHER OF THE TRIANGLE

**PROJECT TYPE:** Rehab/Repair, Age in Place conversions, Weatherization

**AMOUNT REQUESTED:** \$33,730.99 - two homes.

**TOWN AH GOALS ADDRESSED:** 1.3 A2. Grants for critical home repairs, energy efficiency, up fits to accommodate changing mobility, etc. +opportunities to decrease utility payments.

**PROJECT ADDRESS:** Weatherhill Place and Prince Street – Carrboro Town Limits

**PROJECT SUMMARY:** **Weatherhill Place** – Drywall repairs, shower conversion in bathroom, plumbing, new HVAC. **Prince Street** – Install roof and gutters, replace railing, and window repairs. Weatherization in attic and crawlspace. Inside the home, drywall repairs, carpet removal, shower conversion in bathroom, bath fan and grab bars installation, new ADA toilet, plumbing, new HVAC, replace kitchen cabinets, countertops, and sink.

These repairs and modifications will allow elder and longtime homeowners remain in their homes.

**POPULATION SERVED:** Total Number: **4**

% AREA MEDIAN INCOME	<30%	31%-60%	61-80%	81-100%	101-115%	
		1	3			
RACE/ETHNICITY	ASIAN	BLACK	HISPANIC/LATINO	MIXED RACE	OTHER	WHITE
		4				
SENIORS PRESENT		2				
CHILDREN PRESENT						
DISABILITY PRESENT						

## TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

### ENVIRONMENTAL IMPACT:

Both homes will have energy efficient HVAC systems installed and one of the homes will be weatherized in the crawlspace and attic.

### FUNDING RECOMMENDATION:

- ☐ FULLY FUND
- ☐ PARTIALLY FUND (Can include suggested amount or %) \_\_\_\_\_
- ☐ DO NOT FUND

# TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

**APPLICANT:** EMPOWERMENT, INC.

**PROJECT TYPE:** Acquisition

**AMOUNT REQUESTED:** \$100,000

**TOWN AH GOALS ADDRESSED:** 2.1 Increase the number of rental units that are permanently affordable to individuals and families earning less than 60% of AMI.

**PROJECT ADDRESS:** Homestead Road, Carrboro ETJ

**PROJECT SUMMARY:** The project will acquire ten existing rental units on 9 acres on 301 Homestead Road near Calvander, in the Carrboro ETJ. The units are naturally occurring affordable housing, and EmPOWERment has committed to ensuring that the current tenants would not be displaced. The cost of the project is \$2,530,000.

**POPULATION SERVED:** Total Population: 59

% AREA MEDIAN INCOME	<30%	31%-60%	61-80%	81-100%	101-115%	
		59				
RACE/ETHNICITY	ASIAN	BLACK	HISPANIC /LATINO	MIXED RACE	OTHER	WHITE
		9	21			12
SENIORS PRESENT		5				
CHILDREN PRESENT		12				
DISABILITY PRESENT						

Full race/ethnicity data not available

**ENVIRONMENTAL IMPACT:** Not at this time. As repairs and upgrades are needed, EI will incorporate universal design features and replace aged appliances with energy efficient ones and will seek to partner with other County programs to weatherize the homes.

## TOWN OF CARRBORO AHSRF APPLICATION SCORE SHEET

### FUNDING RECOMMENDATION:

- ☐ FULLY FUND
- ☐ PARTIALLY FUND (Can include suggested amount or %) \_\_\_\_\_
- ☐ DO NOT FUND

# Affordable Housing Special Revenue Fund

## Application

Fiscal Year 2023-2024



### OVERVIEW

The Town of Carrboro established an Affordable Housing Special Revenue Fund in 2007. The goal of

the Affordable Housing Special Revenue Fund is to advance the Town's goal of increasing and improving the stock of affordable housing within Carrboro and its planning jurisdiction.

## FUNDING

Source of Funds. Since June 2018, the Town Council has passed two half cent property tax increases, creating a dedicated revenue source for affordable housing. For Fiscal Year 2023-2024, the Council has approved an amount equal to 1.5¢, which is an allocation of \$393,046.

The Affordable Housing Special Revenue Fund may also be funded by payments made by developers in lieu of providing affordable housing units under the applicable provisions of the Land Use Ordinance. Other revenue sources for the fund may include grants, donations, loans, interest payments, or other contributions or assignments.

## ELIGIBILITY

Nonprofit organizations may request funds to be used to support projects that meet the Town's affordable housing goals and are in alignment with the Town's 2020 Comprehensive Plan. In order to qualify, the following requirements must also be met by the beneficiaries (individuals) and substantiated by the applicant (nonprofit organization):

- a. Beneficiaries must be a resident of Carrboro or the Carrboro planning jurisdiction, or purchasing a home in Carrboro or the Carrboro planning jurisdiction;
- b. Beneficiaries must have a gross household income of 115% the Area Median Income or less, with priority given to households at 80% of AMI and below for homeowners, and 60% of AMI and below for renters; projects benefitting households earning less than 30% AMI, seniors, or those who are disabled are further prioritized (Please see Attachment A for current income limits.);
- c. Beneficiaries must be unable to obtain a loan, either subsidized or unsubsidized, on comparable terms and conditions;
- d. Beneficiaries or applicants must be the owner of the property in fee simple or leasehold estate and have paid or have appropriate arrangements with the county tax assessor to pay the tax bill, if the property is to be rehabilitated, or have clear title if the property is to be purchased or constructed;
- e. Beneficiaries must be residing in the property to be rehabilitated, or if purchased or constructed, occupy the property when the acquisition is completed. The building or affordable unit that is subject to program funding must have an anticipated life of at least 20 years after rehabilitation, or 30 years, if constructed or acquired. Beneficiaries must also have an intact homeowner's insurance policy, if applicable.

## PERMITTED USES OF FUNDING

### Development & Acquisition

Loans: 1. To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of acquiring affordable housing.

2. To provide direct deferred payment loans to beneficiaries to supplement loans made by financial institutions for the purpose of acquiring affordable housing.

Land Banking: To assist in the purchase of land for conveyance to nonprofit affordable housing agencies.

Construction: To pay some or all of the expenses associated with the construction of affordable housing.

Acquisition: To acquire developed properties suitable for resale to individuals or families.

Pre-development Costs: To pay some or all of the pre-development costs (such as feasibility studies, appraisals, land options and preparation of an application) for projects to be developed for the purpose of providing rental or owner-occupied affordable housing.

Land Trust: To provide grants to organizations for land trust projects that guarantee long-term affordability of a property through a 99-year renewable ground leases or for maintenance of land trust housing stock.

Subsidy: To provide permanent subsidies to reduce the sale price of new or existing housing units so as to make them more affordable.

### **Repair, Rehabilitation, Weatherization & Preservation**

- To provide for emergency home repairs and/or weatherization of properties in the affordable housing stock.
- To provide for the maintenance of properties in the affordable housing stock that are falling into disrepair.
- To provide grants or loans to nonprofits to avoid losing homes in the permanent affordable housing stock as a result of foreclosure.

**NOTE: Town of Carrboro Housing Stabilization Assistance funds are administered by Orange County through the Emergency Housing Assistance program.**



## APPROVAL

The Affordable Housing Advisory Commission (AHAC) was formed in 2017. A key responsibility of the AHAC is to review funding applications and to make recommendations to Town Council to approve or deny funding based on their review.

In 2018 the Town Council voted to allow the Town Manager to approve or deny funding applications for no more than \$5,000 or 15% of the existing fund, whichever is lower. These applications are accepted year-round.

## PROJECT REPORTING AND MONITORING

Recipients of funds for development are required to submit a progress report to the Town by the end of the fiscal year (June 30) to monitor progress and performance, financial and administrative management, and compliance with the terms of the performance agreements. Please submit annual reports via email by June 30 to: [amvanaman@carrboronc.gov](mailto:amvanaman@carrboronc.gov). A report form will be provided with the performance agreement.

## GENERAL APPLICATION INFORMATION AND PROCEDURES

**Funding applications are accepted three times a year: October 5th, January 5th, and April 5th.** Funding is based on the availability of funds. Only as many funding cycles will be completed as necessary to use the available funds. All application documents should be submitted electronically to both [amvanaman@carrboronc.gov](mailto:amvanaman@carrboronc.gov) and [humanservices@carrboronc.gov](mailto:humanservices@carrboronc.gov).

## CHECKLIST OF REQUIRED DOCUMENTATION

### Application:

- ☒ Section 1: Applicant and Project Overview
- ☒ Section 2: Project Description
- ☒ Section 3: Performance Measurements\*
- ☒ Section 4: Project Budget and Pro-forma
- ☒ Section 5: Agency Description
- ☒ Section 6: Disclosure of Potential Conflicts of Interest

### Other Required Attachments:

Please provide one copy of each of the following documents (once per year):

- ☒ Current list of Board of Directors, including addresses, phone numbers, terms, and relevant affiliations;
- ☒ Current Bylaws and Articles of Incorporation;
- ☒ IRS tax determination letter [501(c)(3)] (if applicable)

☐ Most recent independent audit (if applicable). (**Not Applicable**)

Applications may not be considered for the following reasons:

1. Project does not align with the eligibility criteria for these funding sources;
2. Applicant has demonstrated poor past performance in carrying out projects or complying with funding guidelines;
3. Applicant fails to provide required information;
4. Incomplete or late applications.

\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

**PLEASE CALL OR EMAIL ANNE-MARIE VANAMAN WITH FUNDING QUESTIONS:**

**919-918-7321 OR [amvanaman@carrboronc.gov](mailto:amvanaman@carrboronc.gov)**

# FUNDING APPLICATION

## Section 1: APPLICANT AND PROJECT OVERVIEW

### A. Applicant Information

Applicant/Organization's Legal Name: Pee Wee Homes

Primary Contact Person and Title: Quinton Harper, Executive Director

Applicant/Organization's Physical Address: 8410 Merin Rd, Chapel Hill, NC 27516

Applicant/Organization's Mailing Address: PO Box 17102, Chapel Hill, NC 27516

Telephone Number: (919) 590-9023

Email Address: peeweehomes@gmail.com

### B. Project Information

Project Name: Pee Wee Homes at 106 Hill Street

Total Project Cost: \$594,000

Total Amount of Funds Requested: \$51,100

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.): Development & Acquisition: Construction: To pay some or all of the expenses associated with the construction of affordable housing.

**To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.**

Signature:



Quinton Harper, Executive Director

Pee Wee Homes

Signed 12/28/23

## Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the "who," "what," "when," and "where" questions about your project). **Do not assume the reader knows anything about the project.**

### A. "Who"

1. Who is the target population to be served and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

This project will serve individuals who are either currently experiencing homelessness or who have a history of chronic homelessness with incomes below 30% AMI. The needs of these individuals will be served through the development of rental housing that is available at rates affordable to extremely low-income households. Pee Wee Homes also commits to offering community support for the tenants. While residents for these homes have not yet been selected, we have indicated estimated demographic breakdown in the second chart based on our current resident demographics.

2. Please indicate the income of the beneficiaries (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI	3	100%
31%-60% of AMI		
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
TOTAL		

Income Group	Seniors age 62 +	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI	3		1		2	1			
31%-60% of AMI									
61-80% of									

AMI									
81-100% of AMI									
101-115% of AMI									
<b>TOTAL</b>	<b>3</b>		<b>1</b>		<b>2</b>	<b>1</b>			

**3. Project Staff.** Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

**Greg Rockett:** Greg serves as our construction manager for this project. He's the Residential Construction Manager at Self-Help Development Corporation with decades of construction experience and Founding Board of Directors member of Pee Wee Homes. Greg has overseen the construction of hundreds of quality affordable housing units across the country and has helped oversee the previous 7 units of Pee Wee Homes.

**Sarah Howell:** Architect, AIA LEED AP, lead architect designing and constructing efficient, beautiful, customized homes for reconstruction in the Make It Right Foundation effort post-Hurricane Katrina. Sarah's design plans and specifications were used to build the first seven Pee Wee Homes and are being used for this project as well. Sarah is also a founding board member of Pee Wee Homes and will help oversee this project as part of the Site Development and Construction Committee of Pee Wee Homes.

**Heather Ferrell:** Architect and Executive Director of Prism Design Lab, a member of the SEED Network, the National Organization of Minority Architects, the Association for Community Design and is the Executive Director of Prism Design Lab. She earned a BS of Anthropology from NC State University and a Masters of Architecture from the University of Oregon. She is a registered architect in the states of North Carolina and Massachusetts. She has provided the final architectural plans for this project.

**David Swanson:** David has nearly 40 years of experience in landscape architecture and planning in public and private practice, with particular expertise in site planning and historic preservation issues. He specializes in the use of native landscapes and natural settings, and in the adaptive reuse of landscape and hardscape elements. He and his spouse/business partner Terri have served on various boards and commissions including the Chapel Hill Design Review Board, Chapel Hill Community Design Commission, and the Chapel Hill Historic District Commission. He is serving as the Landscape Architect for this project.

**Quinton Harper:** Pee Wee Homes' new Executive Director, Quinton recently founded and directed Activate! IFC. He has over a decade of non-profit, community organizing and advocacy experience and will be helping coordinate the team overseeing this project.

**New Start Development:** An acclaimed Black-owned general contracting business led by Greg Mann, who has

several decades of construction and contracting experience. Greg will serve as the general contractor for two of the homes as well as provide oversight for all of the site work.

**Hope Renovations:** A nationally award-winning non-profit that provides women with construction trades training, primarily through critical home repair work. Hope Renovations has built a new construction tiny home in Durham in partnership with Coram Homes. Sandy DeWeese, Director of Construction Programs, will manage the project for Hope Renovations. Hope Renovations will serve as the general contractor for one home.

**Mellicent Blythe, LCSW** - Pee Wee Homes Board Chair and Clinical Faculty in the School of Social Work at UNC. Mellicent has served on Pee Wee Homes board for three years as its Vice-Chair and will help coordinate board support and oversight for this project.

**Libby Searles-Bohs** – Pee Wee Homes Treasurer, Libby has extensive bookkeeping and financial management experience and will help oversee the processing of invoices and financial management of this project.

**Pee Wee Homes Tenancy Committee:** made up of professional social workers, homeless programs service providers, and board members with lived experience, this committee will be responsible for identifying tenants, managing leasing and other property management, as well as connecting with service providers to support the project's tenants. The committee is also made up of people with lived experience of experiencing housing insecurity and Pee Wee Homes tenants.

## **B. "What"**

**1. Type of Activity.** Please check the category under which your project falls.

- ☐ Acquisition
- ☐ Pre-development costs
- ☐ Rental subsidy
- ☐ Ownership subsidy
- ☐ New construction for homeownership
- ☒ New construction for rental
- ☐ Rehabilitation for owner-occupied or rental

**2. Project Description.** Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

This grant will help us construct three new permanently affordable rental homes at 106 Hill Street, and extend our community of support for three additional residents transitioning out of homelessness. The 106 Hill Street site was donated by Carrboro to Pee Wee Homes for this purpose. The designs and site plans are complete; the zoning permit has been granted; and we

have submitted for final building permits. Two general contractors are lined up to do the site work and construction, managed by our site development and construction committee. The only missing piece is the remaining gap funding pending in our Orange County bond application (that has been recommended by their affordable housing board to the Commissioners) and requested in this application, a gap which resulted from rising construction and infrastructure costs over our two years of site development on this project. When we were allocated \$60,000 of our \$100,000 request two years ago from Carrboro's Affordable Housing Special Revenue Fund, the board told us to come back if we needed additional funding based on costs. We are applying for this \$51,100 because the delays from Carrboro's planning process (two years!) and the requirements for specialized engineering led to significant increases in our infrastructure and construction costs.

The three homes will range in size 360 - 384 square feet on the interior and take advantage of creative livable design elements to maximize space and creatively engage the physical environment. The land these homes will be built on resides within the Northside neighborhood and is right across the street from Baldwin Park and two blocks from downtown Carrboro. By building in this neighborhood, the project leverages an existing community asset to allow for our tenants to live independently within the context of community. This project will assist with the dire need for affordable rental development in our community. The Pee Wee Homes model builds in ongoing communities of support, distinguishing it from other tiny home community models.

### **C. "Where"**

1. Project Location. This project will occur at 106 Hill St in Carrboro, on the corner of Hill and Broad streets in the Lloyd/Broad section of the Northside Neighborhood of Carrboro. This location is across the street from a park and community garden, a block from Piedmont Community Health Center, two blocks from grocery stores, shops, and restaurants in downtown Carrboro as well as the many bus lines that run down Main Street. It is also half a mile from Northside Elementary School.

2. Project Size (if applicable). Please provide the size of development

site: 0.172 acres

Please attach the following:

- ✓ Site map showing lot boundaries, locations of structure(s), and other site features

- ✓ General location map (at least ½ mile radius)

(both are included in attachment called "Maps of 106 Hill St"

#### **D. "When"**

Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.)

Attached as "106 Hill St Project Timeline and Project Schedule"

#### **E. Project Details**

If the questions below are not applicable or the requested information is not currently available, please insert N/A.

##### **1. Property Acquisition.**

a. Has your agency acquired real property in order to carry out the project, or is property acquisition planned? Yes, Pee Wee Homes owns the property (donated by Carrboro!)

b. Is the property currently occupied? If so, attach a description of your plan to relocate. No, the property is vacant

c. Please attach an appraisal of the property. Appraisal of vacant land attached.

##### **2. Construction/RehabilitationDetail.**

a. How many units will be newly constructed? 3 units

b. How many units will be rehabilitated? N/A

c. What is the square footage of each unit? 360, 384, and 384 SF

d. What is the number of bedrooms in each unit? 1

e. What is the number of bathrooms in each unit? 1

f. How many units will have full ADA accessibility? 0

g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?

Within Carrboro town limits at 106 Hill St.

h. Please attach the following:



- ✓ Floor plan(s)
- ✓ Elevation(s)
- ✓ List of Energy Efficiency measures included in the project (if applicable)
- ✓ List of Universal Design principles included in the project (if applicable)

### 3. Design, Affordability, Marketing, and Supportive Services.

a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.

When the property was conveyed to Pee Wee Homes by the Town of Carrboro, the organization agreed to restrictive covenants ensuring a 99 year period of affordability for these units to serve households with incomes below 30% of the area median income.

b. What are the proposed rents (including utility costs) or sales prices for completed units?

Tenants pay a monthly rent amount no more than 30% of their income, generally in the range of \$220-\$400 per month, calculated based on income and estimated utility expenses. Additionally, 10% of each tenant's on-time rental payment is held in escrow for the tenant – assisting tenants in building equity during their residency. The tenant will be able to use these escrow deposits as a cushion in emergencies or to transition to their next home.

c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:

We will partner with the Community Empowerment Fund (CEF), Interfaith Council for Social Services (IFC) and Orange County to reach homeless and formerly homeless individuals. CEF provides support to 600 homeless and near-homeless individuals in Orange County and has been a partner on previous projects. Partnership with Orange County Coordinated Entry will enable the agency to prioritize the needs of potential tenants based on their circumstances and needs. Pee Wee Homes also has a waitlist of income-eligible renters.

d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.

Pee Wee Homes' model centers around energy efficiency and quality, sustainable design.

1) Design: Pee Wee Homes are designed to provide incredibly efficient spaces, take up little impervious surface, and to utilize high-quality sustainable materials in the construction process. We receive additional design support from occupational therapists at UNC's Partnerships in Aging to plan in universal design features and aging-friendly designs given how many of our residents are seniors.

2) Energy efficiency measures: We incorporate a range of energy efficient measures into our home builds, including LED lighting fixtures, extensive envelope improvements (R-40 attic insulation, sealed attic and crawlspace, etc), Energy Star appliances and windows, high efficiency mini-split HVAC systems, and water sense toilets.

3) Solar Panels: starting with our current development project, we are adding solar panels in our builds,

thanks to a generous private donor interested in environmental sustainability.

4) Proactive maintenance visits: We have a maintenance team, including a qualified General Contractor, who visits our homes regularly, changing out filters and checking in on maintenance, safety, and repair concerns proactively.

5) Reserves: We have established maintenance and replacement reserves into all of our building projects, and include additional 20% of rental revenue each year to add to this reserve. This helps ensure that in case of major maintenance issues or the need to replace several larger systems, our organization can respond immediately.

e. What supportive services, if any, will be provided through this project?

With help from the Pee Wee Homes Tenancy Committee, made up of professional social workers and several homeless programs service providers, the Resident Support Specialist will collaborate with each tenant to develop a support plan and connect our tenants with service providers and community partners to for issues around aging in place, financial planning, food access, and social work support. We are committed to providing our residents with the support and grace they require to transition out of homelessness. Our highly skilled and energized board is ready to jump in and help our tenants with tasks such as furnishing their homes or providing transportation to important events and appointments. In addition to very low rents, ten percent of each tenant's on-time rental payment is held in escrow for the tenant – assisting tenants in building equity. The tenant will be able to use these escrow deposits as a cushion in emergencies or to transition to their next home. In addition to building equity for the tenant, rental payments will help to perpetuate the model and provide for maintenance costs to ensure that dwellings remain high-quality, safe places to call home.

### Section 3: PERFORMANCE MEASUREMENTS

#### A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI.</i>
Build quality homes for extremely low-income individuals.	By June 2024, complete three new rental units affordable for Orange County individuals who make $\leq$ 30% AMI.
Provide permanent, independent housing and a community of support to sustain transitions out of homelessness.	Three new Pee Wee Homes residents will make transitions out of homelessness, pay no more than 30% of their income to housing costs, and be sustained in a community of support for years to come.

### **B. Alignment with Town Goals and adopted affordable housing strategies.**

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

The PWH 106 Hill St project aligns with many of the local goals and affordable housing strategies as outlined in the Town of Carrboro Affordable Housing Goals and Strategies document and the Carrboro Connect comprehensive plan.

The project specifically addresses the following Town of Carrboro goals:

- 2.1 Increase number of rental units that are permanently affordable to individuals and families earning less than 60% AMI.
- 2.4 Reduce erosion of rental housing quality and affordability.

The project specifically aligns with goals and strategies elevated in the Carrboro Connects:

- Goal 2. Increase the number of rental units that are permanently affordable to those earning less than 30% AMI and historically disadvantaged households.
- Strategy 2.2: Create targeted rental programs for extremely low-income households (less than 30% AMI).
- Strategy 3.2: Support affordable housing options for older adults and persons with different abilities
- Strategy 3.4: Assist with acquisition of land for affordable housing.
- Strategy 5.2: Help extremely low-income households and people experiencing homelessness transition to permanent affordable housing.
- Strategy 5.3: Prevent homelessness.

The most relevant niche that Pee Wee Homes and this project in particular fall into, is providing housing to those with <30% AMI. Though our project may only house a few individuals, only 5% of the housing in Orange County is currently available to those of extremely low income, so we believe any step in the right direction will significantly help this population, especially as our organization continues to pick up momentum and grow. We also prioritize our housing for individuals who are experiencing homelessness or have a history of chronic homelessness, which aligns with the Orange County strategic plan priorities (2020-2025 Orange County Five Year Consolidated Plan) . It is our goal to be able to provide housing for people who are aging or who have service needs, and we have taken steps in that direction. But as the situation of homelessness in our county is so dire, at this time we prioritize building units with as much livable design incorporated as possible and are still working on our capacity to support those with service needs.

## **Section 4: PROJECT BUDGET AND PRO-FORMA**

### **A. Project Budget**

- ✓ Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which

funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.

Attached as "106 Hill St Detailed Project Budget" and funding commitment letters are attached as well.

Has an appraisal been conducted? If so, please attach.

Appraisal of the vacant land is attached.

### **B. Terms of Project Funding**

Please specify the type of funding request for which you are applying:

☒ Grant ☐ Loan

### **C. Pro-forma (for rental property only)**

- ☒ If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

## **Section 5: ORGANIZATION DESCRIPTION**

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

### **A. Organization**

What is your organization's . . .

#### 1. Mission statement?

The mission of Pee Wee Homes is to create dignified, affordable, tiny homes in a caring community for, and with, people transitioning out of homelessness.

#### 2. Incorporation date (Month and Year)?

August, 2017

#### 3. Estimated Total Agency Budget for this fiscal year?

\$243,871

#### 4. Total number of agency staff (full time equivalents):

1.5 FTE

### **B. Organization Track Record and Community Support**

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project.

This project is shovel ready because of the broad-based collaboration and support that exists for this project. This support includes construction support from a Black-owned general contracting business, New Start Development, led by Greg Mann, who has several decades of construction and contracting experience. Greg will serve as the general contractor for two of the homes as well as provide oversight for all of the site work. Hope Renovations, a nationally award-winning non-profit that provides women with construction trades training, primarily through critical home repair work. Hope Renovations has built a new construction tiny home in Durham in partnership with Coram Homes, and will serve as the general contractor for one home.

Pee Wee Homes also collaborates closely with many organizations and community groups to make our builds happen and house our neighbors as can be seen by the answer to question 4 below. Self-Help and the Jackson Center, leaders of the Northside Neighborhood Initiative, initiated the conversation for Carrboro to donate this lot for affordable housing. The Northside Compass Group, consisting of leaders throughout Northside, is supportive of Pee Wee Homes as an organization, and has a track record of helping provide community support and friendship to our residents once they move in, by providing them services offered to those in need in the neighborhood. Through huge support from the Carrboro Affordable Housing Advisory Board, the Town of Carrboro donated the parcel at 106 Hill Street to Pee Wee Homes in 2022.

2. Involvement of intended beneficiaries of the project in the planning process.

The Pee Wee Homes Board includes at least five formerly homeless individuals, two of whom are current Pee Wee Homes' residents. As part of the board, they have been involved in the planning, visioning, design, and fundraising for these units and are a critical part of all decision-making for the organization. This includes the recent development of our Three Year Strategic Plan, the nomination and election of board members, participation on sub-committees, and the successful efforts to rezone the Hill Street property a few years back. Additionally, the current residents of the Pee Wee Homes provided feedback on their experiences in their homes and improvements they would suggest to provide guidance on design adaptations and livability of the units.

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables.

Pee Wee Homes has completed 7 units of affordable housing in Chapel Hill since 2016. Four of these homes are located in Northside (Chapel Hill) and three at the Church of the Advocate. All these projects have been incredibly successful communities so far, with seven residents who have all made transitions out of homelessness (all over the age of 58) and are receiving support from staff, neighbors, board members, and other volunteers. The model has been working: residents are paying on average \$286 in income-based rent, gaining equity, and sustaining their transitions into permanent housing (our longest resident is now in year 6 of stable housing with Pee Wee Homes).

4. Collaborative relationships with other agencies.

Pee Wee Homes has close collaborative relationships with the Jackson Center, the Community Empowerment Fund, Self-Help Credit Union, the Interfaith Council, UNC-Chapel Hill, and the Towns of Chapel Hill and Carrboro. Many of these collaborations are sustained by nature of our board wearing multiple hats and bringing their connections with the above agencies and institutions with them to their work with Pee Wee Homes. There are other groups we connect with as well for specific projects, such as Carol Woods, SOHRAD, Partnerships in Aging, Church of the Advocate, and local social workers. We believe firmly that collaboration is, and has been, the key to our success.

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive.

We plan to link with the Jackson Center, the Community Empowerment Fund and the Inter-Faith Council to coordinate and provide community to those transitioning out of homelessness. As an organization, it is part of our mission to allow individuals to be supported in community. The programs: the Jackson Center, CEF and IFC offer will support our residents with ongoing resources, community connections, and advocacy. As an organization, we too will provide training to ensure residents are empowered and confident in utilizing house amenities and managing their needs. As an organization, we have partnered with UNC occupational therapy students to conduct a capacity analysis evaluating how we as an organization can best assist our residents to transition out of homelessness and age in community.

6. Any other features relating to organization capacity that you consider relevant, (i.e., property management experience, including accepting Section 8 Vouchers, etc.).

Our property management team is made up of a licensed contractor, the former director of the Partnerships in Aging, and our Resident Support Coordinator who make monthly proactive maintenance visits as well as responsive ones to ensure high quality management. Additionally, we accept housing choice vouchers for rental units and provide income-based rents to our residents that do not exceed 30% of each resident's income.

## **Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST**

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

☐ YES

☒ NO

b) Members of or closely related to members of the governing bodies of Carrboro?

☐ YES

☒ NO

c) Current beneficiaries of the project/program for which funds are requested?

- ☐ YES  
☒ NO

d) Paid providers of goods or services to the program or having other financial interest in the program?

- ☐ YES  
☒ NO

If you have answered YES to any question, **please explain below**. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an **undisclosed** conflict may result in the termination of any grant awarded.

Attachment A

## 2023 Income Limits

US Department of Housing and Urban Development (HUD)

Durham-Chapel Hill Metropolitan Statistical Area  
 (Durham, Orange, and Chatham Counties)

<b>Income Level</b>	<b>1 person</b>	<b>2 people</b>	<b>3 people</b>	<b>4 people</b>	<b>5 people</b>	<b>6 people</b>	<b>7 people</b>	<b>8 people</b>
<b>30% area median income</b>	\$21,250	\$24,300	\$27,350	\$30,350	\$32,800	\$35,250	\$37,650	\$40,100
<b>50% area median income</b>	\$35,400	\$40,450	\$45,500	\$50,550	\$54,600	\$58,650	\$62,700	\$66,750
<b>60% area median income</b>	\$42,480	\$48,540	\$54,600	\$60,660	\$65,520	\$70,380	\$75,240	\$80,100
<b>80% area median income</b>	\$56,650	\$64,750	\$72,850	\$80,900	\$87,400	\$93,850	\$100,350	\$106,800





## **106 Hill Street Project Timeline & Schedule**

### **May 2021**

Orange County 2021 HOME funds committed

### **December 2021-February 2022**

Town of Carrboro Affordable Housing Special Revenue Funding secured

Secured major private donor

### **January 2023**

Submit final revised site plans for approval

Submit for zoning permits

Bids for General Contractor and other contractors solicited

### **April 2023-June 2023**

Orange County 2023 HOME funds committed

Received and responded to zoning permit review comments

### **July-September 2023**

Bid review and contractor selection

Major gift received for solar panel system for all 3 homes

Oak Funding from Northside Neighborhood Initiative Committed

Submitted updated zoning plans to final round of comments

### **October-December 2023**

Granted zoning/land permits by Town of Carrboro

Contracts signed with Hope Renovations/New Start Development (General Contractors)

Submitted for building permits

Broke Ground on site for all three Pee Wee Homes

Applied for final gap subsidy based on final contract numbers

### **January 2024**

Site clearance and preparation for construction

Site work completed

Final gap fund decisions from Orange County and Carrboro

Construction on all three homes underway

### **June 2024**

Construction complete and certificate of occupancy obtained

*Occupied on July 1, 2024*

**Pee Wee Homes**  
**Project Budget: 106 Hill Street**

<b>Sources</b>	<b>Amount</b>	<b>Affordability Period</b>
<b>Foundation Grants</b>		
Oak Foundation Matching Grant(Northside Neighborhood Initiati	<b>\$40,000</b>	N/A
<b>Government Grants</b>		
Town of Carrboro Affordable Housing Special Revenue Fund Gr	<b>\$60,000</b>	99 years by deed restriction
Orange Co. 2021 HUD/HOME Program Grant	<b>\$100,000</b>	30% AMI - 15 years; affordable - 99 years
Orange Co. 2023 HUD/HOME Program Grant	<b>\$50,000</b>	30% AMI - 15 years; affordable - 99 years
Orange Co. CIP/Bond Funds	<b>\$166,500</b>	TBD
Town of Carrboro Affordable Housing Special Revenue Fund Gr	<b>\$51,100</b>	99 years by deed restriction
<b>Private Donations</b>	<b>\$126,400</b>	N/A
<b>Total Sources</b>	<b>\$594,000</b>	
<b>Expenses</b>		
	<b>Budget</b>	
Pre-Development (surveys, soil sampling, etc.)	<b>\$2,000</b>	
Site work and infrastructure	<b>\$56,000</b>	*Based on final contract
Construction & Materials (includes site work & solar installation)	<b>\$474,000</b>	*Based on final contract breakdowns) provided b
Solar Installation	<b>\$30,000</b>	*Based on estimates by
Design & Engineering (soft costs)	<b>\$3,200</b>	
Personnel & Operations	<b>\$800</b>	
Contingency (5%)	<b>\$28,000</b>	
<b>Total Expenses</b>	<b>\$594,000</b>	

## **Status**

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Committed by NNI

Awarded 10/26/2021.  
Contract signed 3/3/2022;  
Revised 10/23  
Awarded as part of the  
FY21-22 Annual Action  
Plan, Development  
Awarded as part of the  
FY23-24 Annual Action  
Plan, Development  
Agreement Signed  
Proposed September  
2023; Recommended by  
OCAHB on 12/19/23

This request, proposed  
January 2024

Awarded and received

numbers for site work  
numbers (with detailed  
y General Contractors  
two solar companies

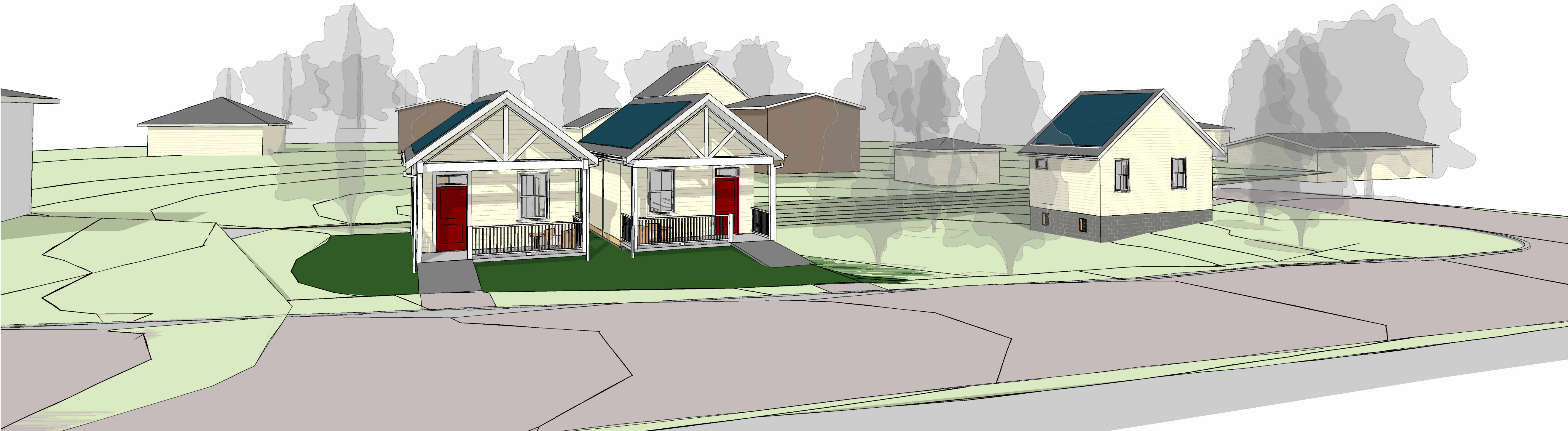
20 Year Pro Forma: Pee Wee Homes on Hill Street

																					<u>ASSUMPTIONS</u>			
Revenue to Landlord	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Monthly Rent Yr 1	\$ 300	per unit	
Gross Potential Rent	\$ 10,800	\$ 11,124	\$ 11,458	\$ 11,801	\$ 12,155	\$ 12,520	\$ 12,896	\$ 13,283	\$ 13,681	\$ 14,092	\$ 14,514	\$ 14,950	\$ 15,398	\$ 15,860	\$ 16,336	\$ 16,826	\$ 17,331	\$ 17,851	\$ 18,386	\$ 18,938	Annual Rent Inflation	3%		
Vacancy of 5%	\$ (540)	\$ (556)	\$ (573)	\$ (590)	\$ (608)	\$ (626)	\$ (645)	\$ (664)	\$ (684)	\$ (705)	\$ (726)	\$ (747)	\$ (770)	\$ (793)	\$ (817)	\$ (841)	\$ (867)	\$ (893)	\$ (919)	\$ (947)	Vacancy	5%		
Effective Gross Income	\$ 10,260	\$ 10,568	\$ 10,885	\$ 11,211	\$ 11,548	\$ 11,894	\$ 12,251	\$ 12,619	\$ 12,997	\$ 13,387	\$ 13,789	\$ 14,202	\$ 14,628	\$ 15,067	\$ 15,519	\$ 15,985	\$ 16,464	\$ 16,958	\$ 17,467	\$ 17,991	Rental Units	3		
																					<u>ASSUMPTIONS</u>			
Expenses to Landlord																					Starting Insurance	\$ 500	3%	
Insurance	\$ 1,500	\$ 1,545	\$ 1,591	\$ 1,639	\$ 1,688	\$ 1,739	\$ 1,791	\$ 1,845	\$ 1,900	\$ 1,957	\$ 2,016	\$ 2,076	\$ 2,139	\$ 2,203	\$ 2,269	\$ 2,337	\$ 2,407	\$ 2,479	\$ 2,554	\$ 2,630	Management Fee	20%	3%	
Management (includes lawn)	\$ 2,052	\$ 2,114	\$ 2,177	\$ 2,242	\$ 2,310	\$ 2,379	\$ 2,450	\$ 2,524	\$ 2,599	\$ 2,677	\$ 2,758	\$ 2,840	\$ 2,926	\$ 3,013	\$ 3,104	\$ 3,197	\$ 3,293	\$ 3,392	\$ 3,493	\$ 3,598	Maintenance Costs	15%	3%	
Maintenance	\$ 1,539	\$ 1,585	\$ 1,633	\$ 1,682	\$ 1,732	\$ 1,784	\$ 1,838	\$ 1,893	\$ 1,950	\$ 2,008	\$ 2,068	\$ 2,130	\$ 2,194	\$ 2,260	\$ 2,328	\$ 2,398	\$ 2,470	\$ 2,544	\$ 2,620	\$ 2,699	Repl. Reserve	15%	3%	
Replacement reserves	\$ 1,539	\$ 1,585	\$ 1,633	\$ 1,682	\$ 1,732	\$ 1,784	\$ 1,838	\$ 1,893	\$ 1,950	\$ 2,008	\$ 2,068	\$ 2,130	\$ 2,194	\$ 2,260	\$ 2,328	\$ 2,398	\$ 2,470	\$ 2,544	\$ 2,620	\$ 2,699	Oper. Reserve	10%	3%	
Operating reserves	\$ 1,026	\$ 1,057	\$ 1,088	\$ 1,121	\$ 1,155	\$ 1,189	\$ 1,225	\$ 1,262	\$ 1,300	\$ 1,339	\$ 1,379	\$ 1,420	\$ 1,463	\$ 1,507	\$ 1,552	\$ 1,598	\$ 1,646	\$ 1,696	\$ 1,747	\$ 1,799	Equity (Savings to Tenant)	10%	3%	
Equity/Tenant Escrow (savings to tenant)	1,026	1,057	1,088	1,121	1,155	1,189	1,225	1,262	1,300	1,339	1,379	1,420	1,463	1,507	1,552	1,598	1,646	1,696	1,747	1,799	Other Costs	5%	3%	
Other	\$ 513	\$ 528	\$ 544	\$ 561	\$ 577	\$ 595	\$ 613	\$ 631	\$ 650	\$ 669	\$ 689	\$ 710	\$ 731	\$ 753	\$ 776	\$ 799	\$ 823	\$ 848	\$ 873	\$ 900				
Total Expenses	\$ 9,195	\$ 9,471	\$ 9,755	\$ 10,048	\$ 10,349	\$ 10,660	\$ 10,979	\$ 11,309	\$ 11,648	\$ 11,997	\$ 12,357	\$ 12,728	\$ 13,110	\$ 13,503	\$ 13,908	\$ 14,326	\$ 14,755	\$ 15,198	\$ 15,654	\$ 16,123				
NOI	\$ 1,065	\$ 1,097	\$ 1,130	\$ 1,164	\$ 1,199	\$ 1,235	\$ 1,272	\$ 1,310	\$ 1,349	\$ 1,390	\$ 1,431	\$ 1,474	\$ 1,518	\$ 1,564	\$ 1,611	\$ 1,659	\$ 1,709	\$ 1,760	\$ 1,813	\$ 1,867				
Debt Service (No Debt service)																								
First mortgage payment (N/A)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-				
Annual Cash Flow	\$ 1,065	\$ 1,097	\$ 1,130	\$ 1,164	\$ 1,199	\$ 1,235	\$ 1,272	\$ 1,310	\$ 1,349	\$ 1,390	\$ 1,431	\$ 1,474	\$ 1,518	\$ 1,564	\$ 1,611	\$ 1,659	\$ 1,709	\$ 1,760	\$ 1,813	\$ 1,867				
	1 Year Total	3 year Total	5 Year Total	7 Year Total	10 year Total	15 Year Total	20 Year Total																	
Total Accrual to Pee Wee Homes Pay it Forward Fund	\$ 1,065	\$ 3,292	\$ 5,654	\$ 8,161	\$ 12,209	\$ 19,808	\$ 28,617																	

**\* SPECIAL NOTES ON ABOVE:**  
1) Debt service has not been included in this pro forma. This is for several reasons: a) The rent can be lower each month depending on a resident's income and eliminate any revenue; 2) Any revenue is used to jumpstart future Pee Wee Homes projects (Pay it Forward Fund) or to sustain this project over time (as costs rise over rental rates)  
2) Disposition of property is not included in this pro forma. The property will have a legal agreement for permanent affordability and will remain in the ownership of Pee Wee Homes, Inc.  
3) Pee Wee Homes has a collective replacement reserve that this annual amount adds to.  
4) The "Equity" line is a 10% of rent payment that will go into a special savings account for the tenant to build a small amount of equity/savings through their time renting here.



CONSULTANTS:



DIVISION 1 - GENERAL CONDITIONS

A. GENERAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENTLY ADOPTED EDITION OF THE FOLLOWING:  
THE NORTH CAROLINA BUILDING CODE  
THE NORTH CAROLINA MECHANICAL CODE  
THE NORTH CAROLINA PLUMBING CODE  
THE NATIONAL ELECTRIC CODE  
THE NORTH CAROLINA ENERGY CODE  
ALL OTHER APPLICABLE CODES  
ALL GUIDELINES AND REGULATIONS SET BY THE TOWN OF CARRBORO  
ALL GUIDELINES AND REGULATIONS SET BY ORANGE COUNTY

B. STRUCTURAL NOTE:  
1. ALL STRUCTURAL MEMBERS AND CONNECTIONS SHALL BE DESIGNED BY THE CONTRACTOR OR A QUALIFIED STRUCTURAL ENGINEER TO MEET THE NORTH CAROLINA BUILDING CODE. THE ARCHITECTURAL DESIGNER IS NOT RESPONSIBLE FOR THE SIZING OF ANY STRUCTURAL MEMBERS OR THE DESIGN OF ANY STRUCTURAL CONNECTIONS REGARDLESS OF WHAT IS WRITTEN OR IMPLIED IN THIS SET OF DOCUMENTS.

C. GENERAL NOTES:

1. CONTRACT DOCUMENTS CONSIST OF DRAWINGS, SPECIFICATIONS, ADDENDA, AND OTHER DOCUMENTS LISTED IN THE CONTRACT BETWEEN OWNER AND CONTRACTOR. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.

2. THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL PERMITS, LICENSES, AND INSPECTIONS, AND PAY ALL FEES NECESSARY FOR THE EXECUTION OF THE WORK, INCLUDING BUT NOT LIMITED TO WATER AND SEWER TAP-IN FEES, IMPACT FEES AND BUILDING PERMIT FEES.

3. LAYOUT: FINAL ORIENTATION OF THE BUILDINGS ON THE SITE AND ESTABLISHMENT OF FLOOR LEVEL BENCH MARKS SHALL BE PROVIDED BY A LICENSED SURVEYOR AND SUBJECT TO FINAL APPROVAL BY THE OWNER.

4. MEASUREMENTS: DRAWINGS SHALL NOT BE SCALED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. FINAL LOCATIONS OF SWITCHES, FIXTURES, GRILLES, COVERS, ETC. SHALL BE DETERMINED IN THE FIELD AT THE APPROVAL OF THE OWNER. THE CONTRACTOR SHALL CHECK, COORDINATE AND VERIFY ALL DIMENSIONS AND CONSTRUCTION DETAILS BEFORE STARTING ANY CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE OWNER.

5. SUBMITTALS: CONTRACTOR SHALL REVIEW, APPROVE, AND SUBMIT TO THE OWNER SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS FOR APPROVAL, WITH REASONABLE PROMPTNESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHOP DRAWINGS AND REQUIRED SUBMITTAL REVIEW AND APPROVAL, AND SHALL ALSO:

- a. PERFORM NO PORTION OF THE WORK REQUIRING SHOP DRAWINGS OR OTHER SUBMITTALS UNTIL THE SHOP DRAWINGS OR OTHER SUBMITTALS HAVE BEEN REVIEWED BY THE OWNER AND RETURNED TO THE CONTRACTOR WITH NO EXCEPTIONS TAKEN.
- b. REVIEW AND APPROVE SHOP DRAWINGS AND OTHER SUBMITTALS TO DETERMINE AND VERIFY: MATERIAL AND COLORS, FIELD MEASUREMENTS, AND COORDINATION WITH THE OTHER WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- c. NOT BE RELIEVED OF THE RESPONSIBILITY FOR DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, EVEN AFTER THE SHOP DRAWINGS AND/OR REQUIRED SUBMITTALS HAVE BEEN REVIEWED BY THE OWNER UNLESS, THE CONTRACTOR CLEARLY DIRECTS SPECIFIC ATTENTION TO THE DEVIATION IN THE WRITING OR ON THE SHOP DRAWING OR SUBMITTAL ITSELF.

6. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PUBLISHED INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE NOTED.

7. PROTECTION OF WORK: WORK SHALL INCLUDE PROVIDING OF ALL FORMS OF PROTECTION AS NECESSARY TO PRESERVE THE WORK OF OTHER TRADES, FREE FROM DAMAGE. ALL TRADES SHALL PROTECT THEIR OWN WORK TO PREVENT DAMAGE BY OTHERS DURING THE COURSE OF CONSTRUCTION. FINISH SURFACES SHALL BE PROPERLY PROTECTED AT TIME OF INSTALLATION.

8. SURFACE CONDITIONS: BEGINNING OF ANY SPECIFIC WORK SHALL INDICATE ACCEPTANCE OF SURFACES AND CONDITIONS BY TRADE THAT WILL PERFORM THAT WORK.

9. WARRANTIES: THE CONTRACTOR SHALL:  
a. WARRANTY ALL CONSTRUCTION FOR A PERIOD OF ONE (1) YEAR  
b. WARRANTY ALL ROOFING AND WATERPROOFING FOR A MINIMUM PERIOD OF TWO (2) YEARS OR GREATER IF SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS.  
c. WARRANTY ALL HEATING AND AIR CONDITIONING EQUIPMENT FOR A MINIMUM PERIOD OF FIVE (5) YEARS OR GREATER IF SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL DESIGN CALCULATIONS OF STRUCTURAL MEMBERS NOT SPECIFICALLY SHOWN IN THE DRAWINGS OR SPECIFICATIONS. THE PURPOSE OF THIS ITEM IS NOT TO PLACE ADDITIONAL RESPONSIBILITY ON THE CONTRACTOR, BUT TO ENCOURAGE THE CONTRACTOR TO INFORM THE OWNER OF ANY REQUIRED STRUCTURAL MEMBERS NOT SHOWN IN THE DRAWINGS.

12. PROVIDE EACH BUILDING SITE WITH A TRASH RECEPTACLE AND MAINTAIN THE BUILDING SITE IN A CLEAN AND ORDERLY FASHION. CLEAN UP SHALL BE ON A DAILY BASIS. REMOVE AND DISPOSE OF WASTE MATERIALS IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL ORDINANCES. AT ALL TIMES BUILDING SITE SHALL BE KEPT IN A NEAT, ORDERLY APPEARANCE.

13. THE CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR EMPLOYEES AND SUBCONTRACTORS. TOILET IS TO BE SERVICED ON A REGULAR BASIS.

14. MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE DESIGN/BUILD BY RESPECTIVE SUB-CONTRACTOR. MECHANICAL, ELECTRICAL, AND PLUMBING SUB-CONTRACTORS SHALL BE LICENSED IN THE STATE OF NORTH CAROLINA AND SHALL OBTAIN PERMITS FOR THEIR WORK.

6.12.2023

PERMIT DRAWINGS

DRAWING LIST

GENERAL  
A0.01 COVER SHEET  
A0.03 SURVEY

ARCHITECTURAL

SITE  
L-1.0 EXISTING CONDITION PLAN  
L-2.0 SITE PLAN  
L-2.1 SITE GRADING PLAN  
L-3.0 UTILITY PLAN

A2.00 FOUNDATION PLAN  
A2.01 FLOOR PLANS  
A2.03 ROOF PLAN  
A3.01 MEP SCHEMATIC  
A4.01 EXTERIOR ELEVATIONS  
A4.02 EXTERIOR ELEVATIONS  
A4.03 EXTERIOR ELEVATIONS  
A5.01 BUILDING SECTIONS  
A6.01 WALL SECTIONS  
A7.01 RATED WALL DETAILS  
A7.02 EXTERIOR DETAILS

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Project Name  
PEE WEE HOMES HILL STREET

Project Number  
PROJ. NUMBER

Date  
6.12.2023

Scale

Drawing  
COVER SHEET

A0.01

PERMIT DRAWINGS







PEE WEE HOMES HILL  
STREET  
PEE WEE HOMES

106 HILL STREET, CARRBORO, NC

MIT DRAWINGS  
6.12.2023

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Project Name  
PEE WEE HOMES HILL STREET

Project Number  
PROJ. NUMBER

Date  
6.12.2023

Scale  
1" = 20'-0"

Drawing

SURVEY

# A0.03

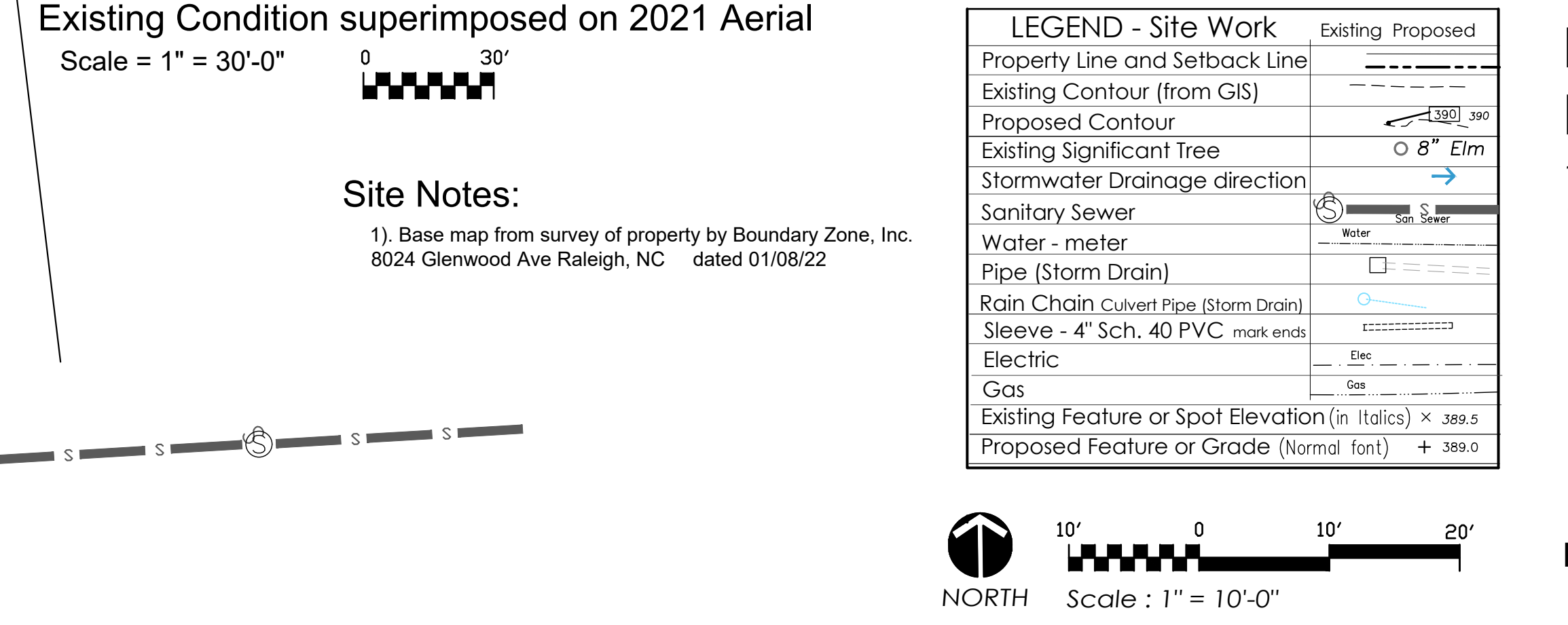
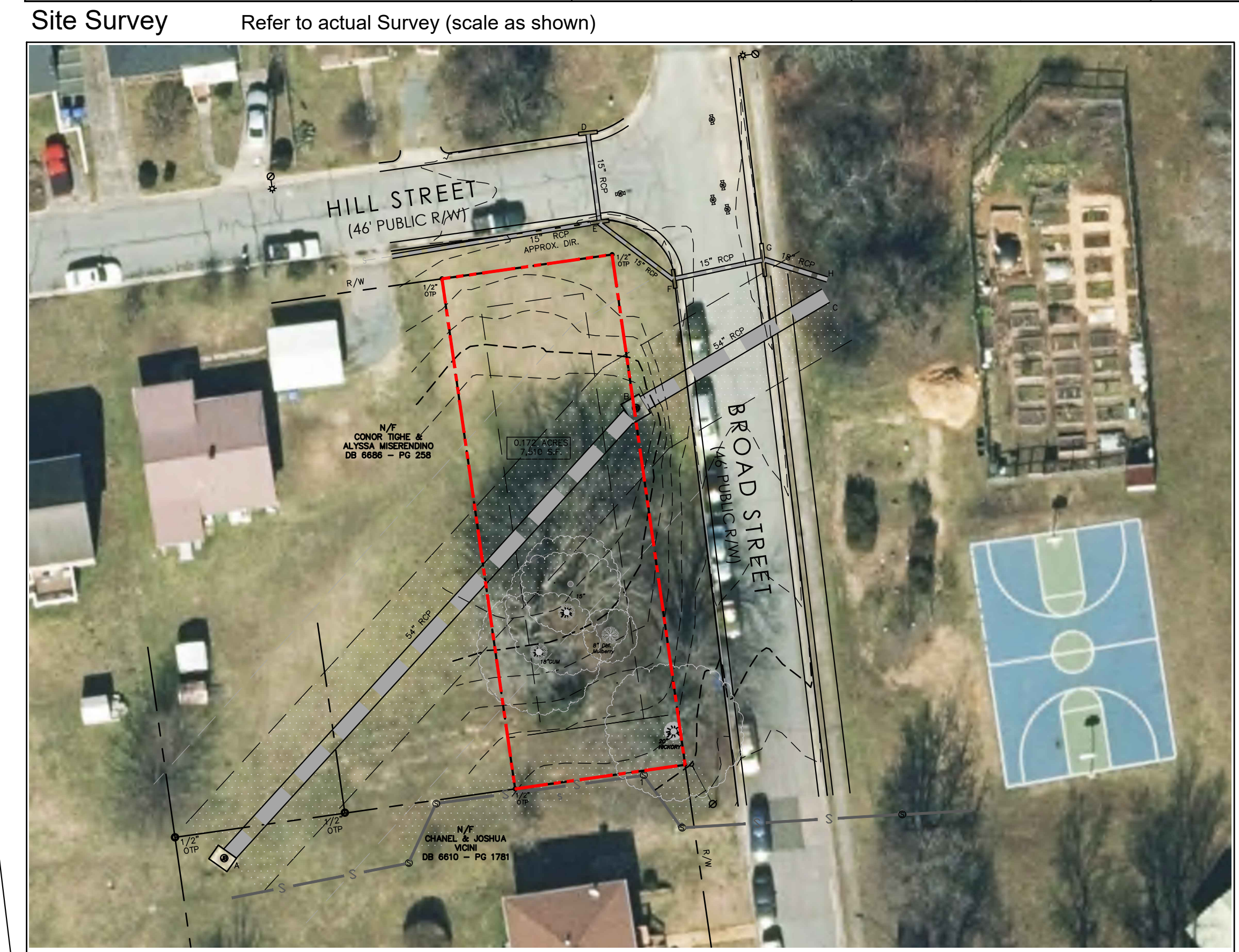
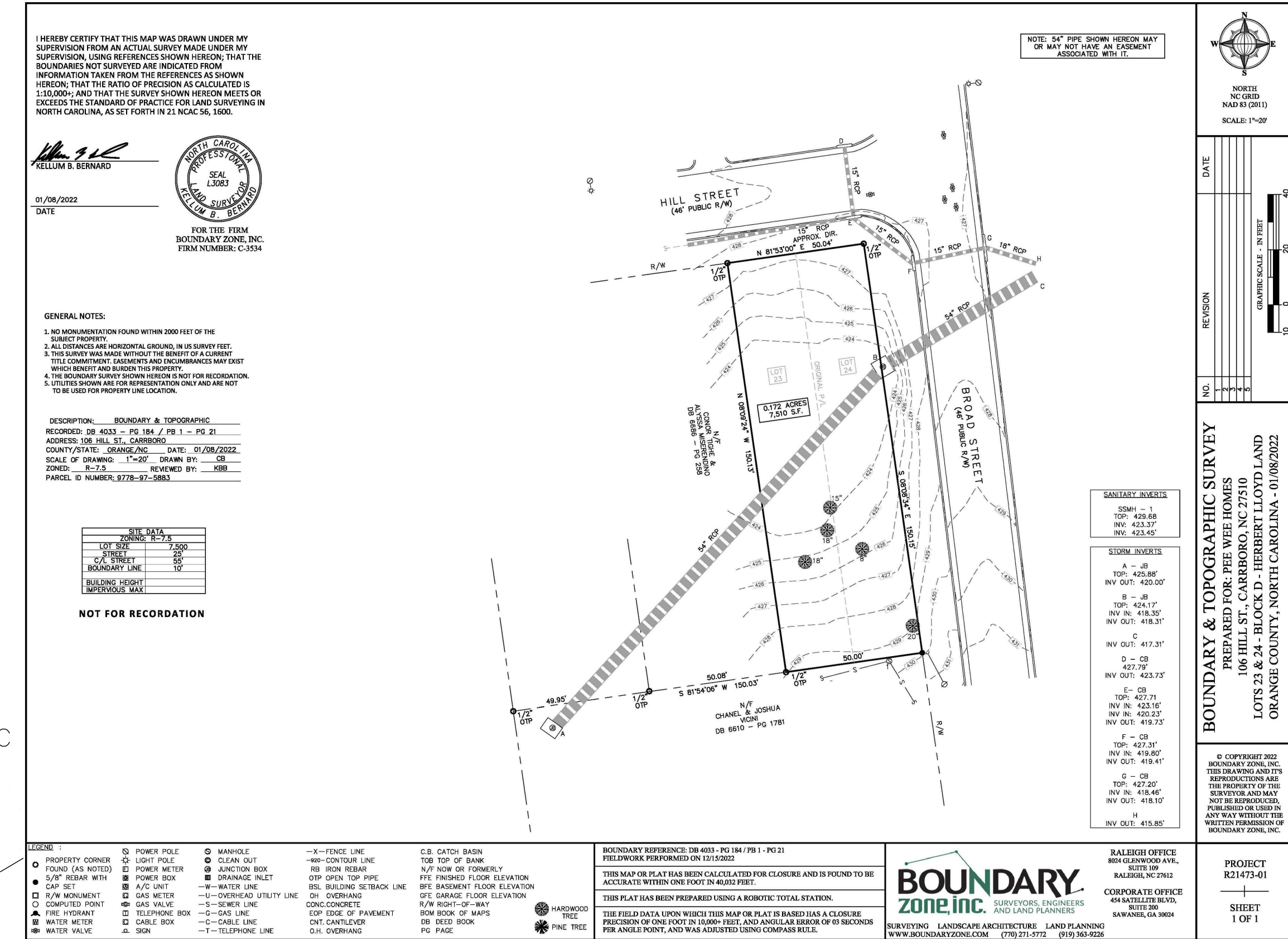
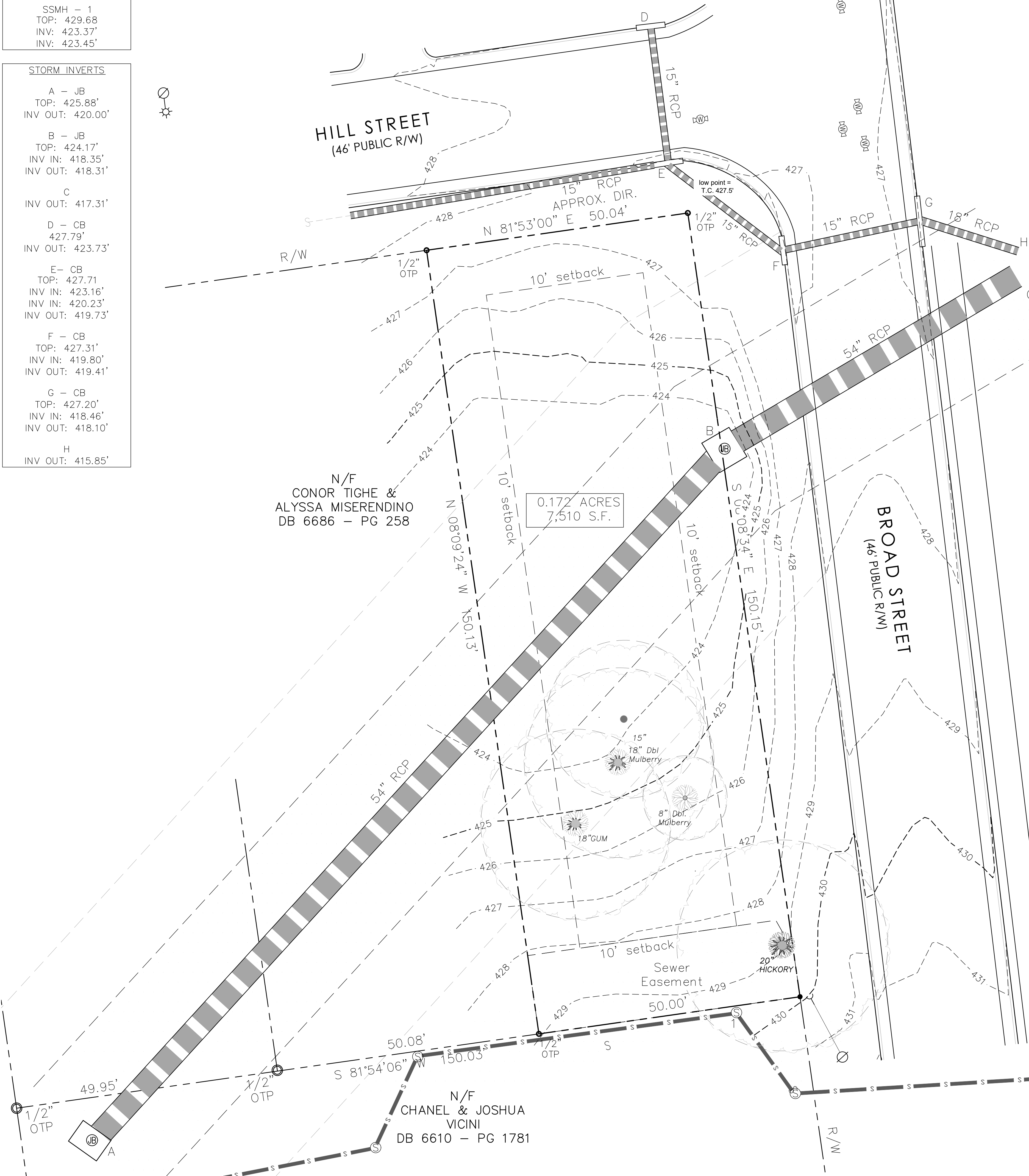
PERMIT DRAWINGS

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SANITARY INVERTS	
SSMH — 1	
TOP: 429.68	
INV: 423.37'	
INV: 423.45'	

STORM INVERTS	
A — JB	
TOP: 425.88'	
INV OUT: 420.00'	
B — JB	
TOP: 424.17'	
INV IN: 418.35'	
INV OUT: 418.31'	
C	
INV OUT: 417.31'	
D — CB	
TOP: 427.79'	
INV IN: 420.23'	
INV OUT: 419.73'	
E — CB	
TOP: 427.71	
INV IN: 423.16'	
INV IN: 420.23'	
INV OUT: 419.73'	
F — CB	
TOP: 427.31'	
INV IN: 419.80'	
INV OUT: 419.41'	
G — CB	
TOP: 427.20'	
INV IN: 418.46'	
INV OUT: 418.10'	
H	
INV OUT: 415.85'	



PEEWEEHOMES

Consultants

SWANSON and ASSOCIATES P.A. LANDSCAPE ARCHITECTURE

Chapel Hill, NC  
Ph. (919) 929-9000  
info@swansonlandscapearchitecture.com

461

David T. Swanson

January 04, 2023

Electronic Signature

Rev 3: Adjust FFE for units to be min. 2 ft above 227.5' 05-12-23

Rev 2: Refine Grading and revise Sewer lateral for Unit 1 04-10-23

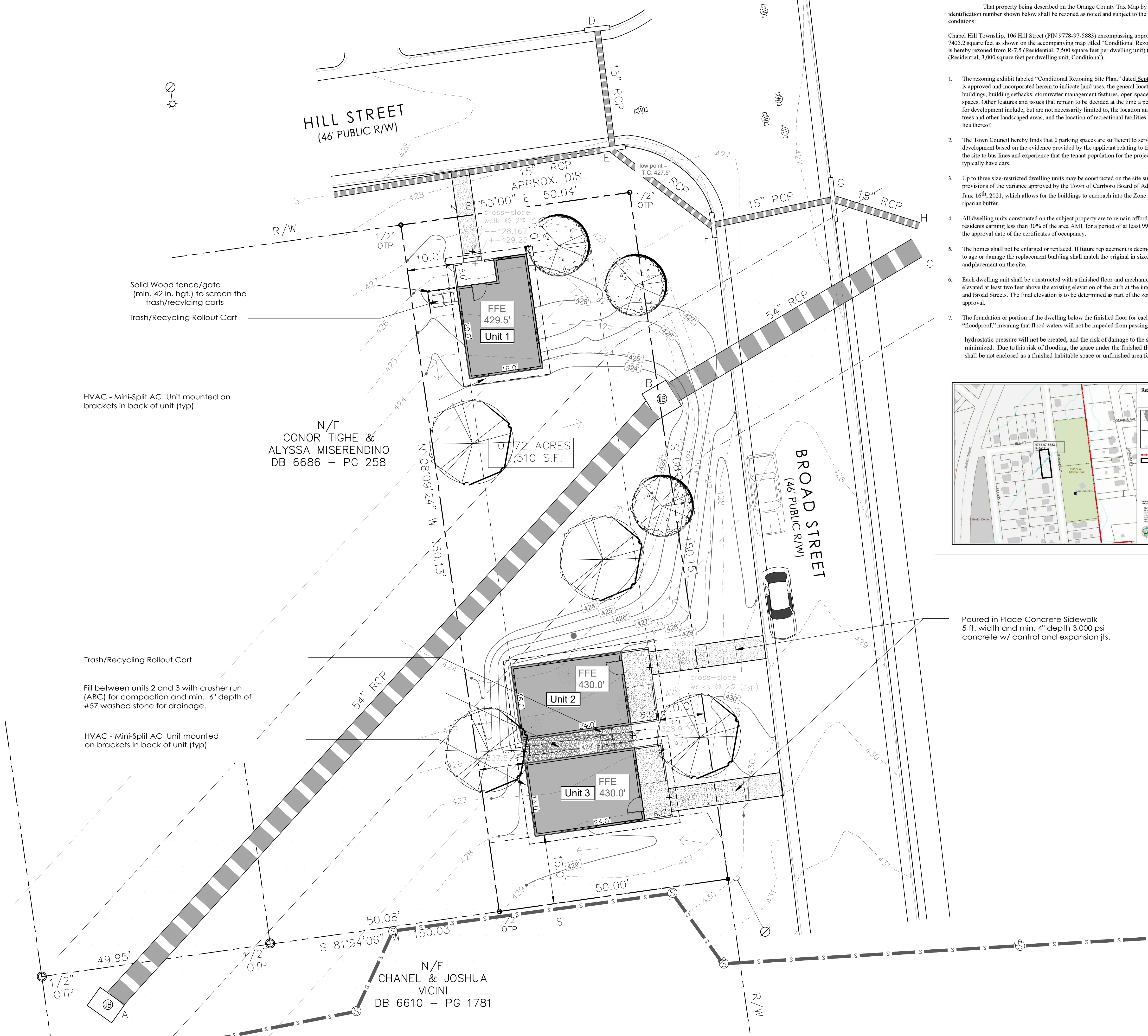
Rev 1: Add Sewer laterals and note re: 4" DIP to tap into sewer main in easement 01-09-23

Date: 01-05-23

Existing Condition Plan

L-1.0





Ordinance No. 1/2021-22

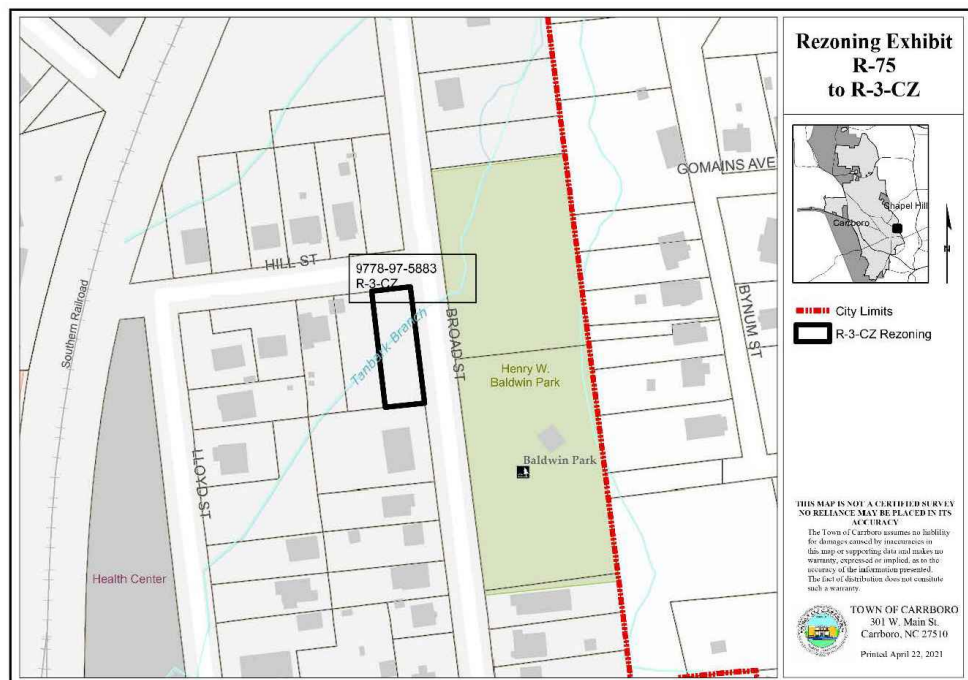
THE TOWN COUNCIL OF THE TOWN OF CARRBORO ORDAINS:

SECTION 1. The Official Zoning Map of the Town of Carrboro is hereby amended as follows:

That property being described on the Orange County Tax Map by parcel identification number shown below shall be rezoned as noted and subject to the following conditions:

Chapel Hill Township, 106 Hill Street (PIN 9778-97-5883) encompassing approximately 7405.2 square feet as shown on the accompanying map titled "Conditional Rezoning Site Plan" is hereby rezoned from R-7.5 (Residential, 7,500 square feet per dwelling unit) to R-3-CZ (Residential, 3,000 square feet per dwelling unit, Conditional).

- The rezoning exhibit labeled "Conditional Rezoning Site Plan," dated September 28, 2021 is approved and incorporated herein to indicate land uses, the general location and size of buildings, building setbacks, stormwater management features, open space and parking spaces. Other features and issues that remain to be decided at the time a permit is requested for development include, but are not necessarily limited to, the location and number of trees and other landscaped areas, and the location of recreational facilities or payment in-lieu thereof.
- The Town Council hereby finds that 0 parking spaces are sufficient to serve this development based on the evidence provided by the applicant relating to the proximity of the site to bus lines and experience that the tenant population for the project does not typically have cars.
- Up to three size-restricted dwelling units may be constructed on the site subject to the provisions of the variance approved by the Town of Carrboro Board of Adjustment on June 16<sup>th</sup>, 2021, which allows for the buildings to encroach into the Zone 1 and Zone 2 riparian buffer.
- All dwelling units constructed on the subject property are to remain affordable for residents earning less than 30% of the area AMI, for a period of at least 99 years following the approval date of the certificates of occupancy.
- The homes shall not be enlarged or replaced. If future replacement is deemed necessary due to age or damage the replacement building shall match the original in size, height, massing and placement on the site.
- Each dwelling unit shall be constructed with a finished floor and mechanical units elevated at least two feet above the existing elevation of the curb at the intersection of Hill and Broad Streets. The final elevation is to be determined as part of the zoning permit approval.
- The foundation or portion of the dwelling below the finished floor for each unit shall be "floodproof," meaning that flood waters will not be impeded from passing through, hydrostatic pressure will not be created, and the risk of damage to the structure will be minimized. Due to this risk of flooding, the space under the finished floor for each unit shall be not enclosed as a finished habitable space or unfinished area for storage



Poured in Place Concrete Sidewalk  
5 ft. width and min. 4" depth 3,000 psi  
concrete w/ control and expansion jts.

## CONDITIONAL ZONING NOTES AND INFORMATION

Parcel Address: 106 Hill Street  
Carrboro, NC 27510

Orange County PIN No.: 9778-97-5883

The site plan is illustrative. The project as shown will require a conditional use permit. The applicant understands and accepts that approval of this site plan exhibit does not in any way relieve applicant from producing a site plan for the conditional use permit that fully complies with all applicable provisions of The Carrboro LUO.

Current Zoning Designation: R-7.5 and Lloyd-Broad Overlay District  
Proposed Zoning Designation: R-3 Conditional (R-3-CZ) and Lloyd-Broad Overlay District

Total Property Area: 0.17 acres  
7,405.20 sf

Proposed Use Classifications (see permissible use Table 15-146)  
1.111 Single Family Detached (one unit per lot)  
1.121 Single Family Detached (more than one unit per lot)

The maximum residential density of the project shall be limited to 3 single family residential dwelling units.

Proposed Setbacks, as approved by Variance dated June 16, 2021:

10' front yard at Hill Street  
10' front yard at Broad Street  
15' rear yard  
10' side yard

Trees Removed - (3) Existing trees whose canopy covers approximately 40% of lot  
Trees / Canopy Coverage Provided: (5) Native Species as Selected by Town Arborist to be appropriate for topographical conditions of the site and to achieve 40% Canopy Coverage at Maturity

Required Open Space: 2,962 sf (40% of area)  
Provided Open Space: 5,623 sf (area, shaded in green on Site Plan, excluding walkways, driveway, and "recreation space" - picnic shelter or gazebo)

Required Recreational Facilities per LUO Section 15-196: 31.17 (10.39 per Residence)  
Proposed Recreational Facilities: 32 Points (216 sf Picnic Shelter)

Parking Required: 3 Spaces, 1 per unit  
Parking Provided: 1 Space

Encroachments into Zone 1 and Zone 2 Stream Buffers Approved as Shown by Variance dated June 16, 2021

### Tree Removal Justification

There are five existing trees that will need to be removed as they are the construction zone for two of the proposed units.

15" and 18" double Mulberry  
8" Mulberry  
18" Gum  
20" Hickory

All trees and stumps will have to be removed because of siting of the units and the associated utility work.

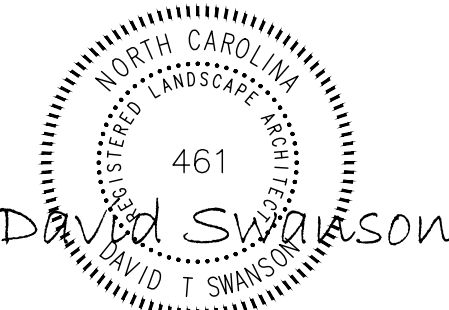
The trees will be replaced with a minimum of 7 (seven) in-kind native trees that will grow to meet intent of providing the 40% tree canopy coverage for the site. The tree selection will be determined once the initial grading and site work is completed and final selection will be after assessment and site evaluation (soil conditions). All newly planted trees will be selected from the approved list of appropriate trees for Town of Carrboro. Likely the new trees will be selected will be adapted to growing in wetter growing conditions and will be:

Tulip Poplar (Liriodendron )  
Hornbeam (Carpinus )  
Serviceberry (Amelanchier )

### Consultants

SWANSON  
and ASSOCIATES P.A.  
LANDSCAPE ARCHITECTURE

Chapel Hill, NC  
Ph. (919) 929-9000  
info@swansonlandscapearchitecture.com



January 04, 2023  
Electronic Signature

## PEEWEE HOMES

106 Hill Street,  
Carrboro, North Carolina

Rev 4: Adjust plantings out of OWASA  
Easement 06-23-23

Rev 3: Adjust FFE for units to be min.  
2 ft above 227.5' 05-12-23

Rev 2: Refine Grading and revise  
Sewer lateral for Unit 1 04-10-23

Rev 1: Add Sewer laterals  
and note re: 4" DIP to tap into  
sewer main in easement 01-09-23

Date: 01-05-23

Site Plan  
L-2.0

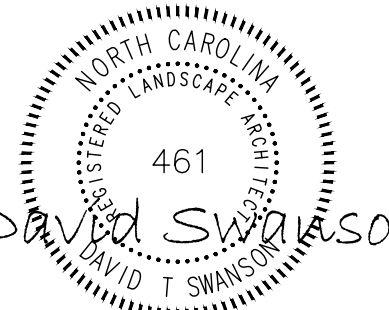




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Ph. (919) 929-9000  
info@swansonlandscapearchitecture.com



January 04, 2023  
Electronic Signature

SANITARY INVERTS

SSMH — 1  
TOP: 429.68  
INV: 423.37'  
INV: 423.45'

STORM INVERTS

A — JB  
TOP: 425.88'  
INV OUT: 420.00'

B — JB  
TOP: 424.17'  
INV IN: 418.35'  
INV OUT: 418.31'

C  
INV OUT: 417.31'

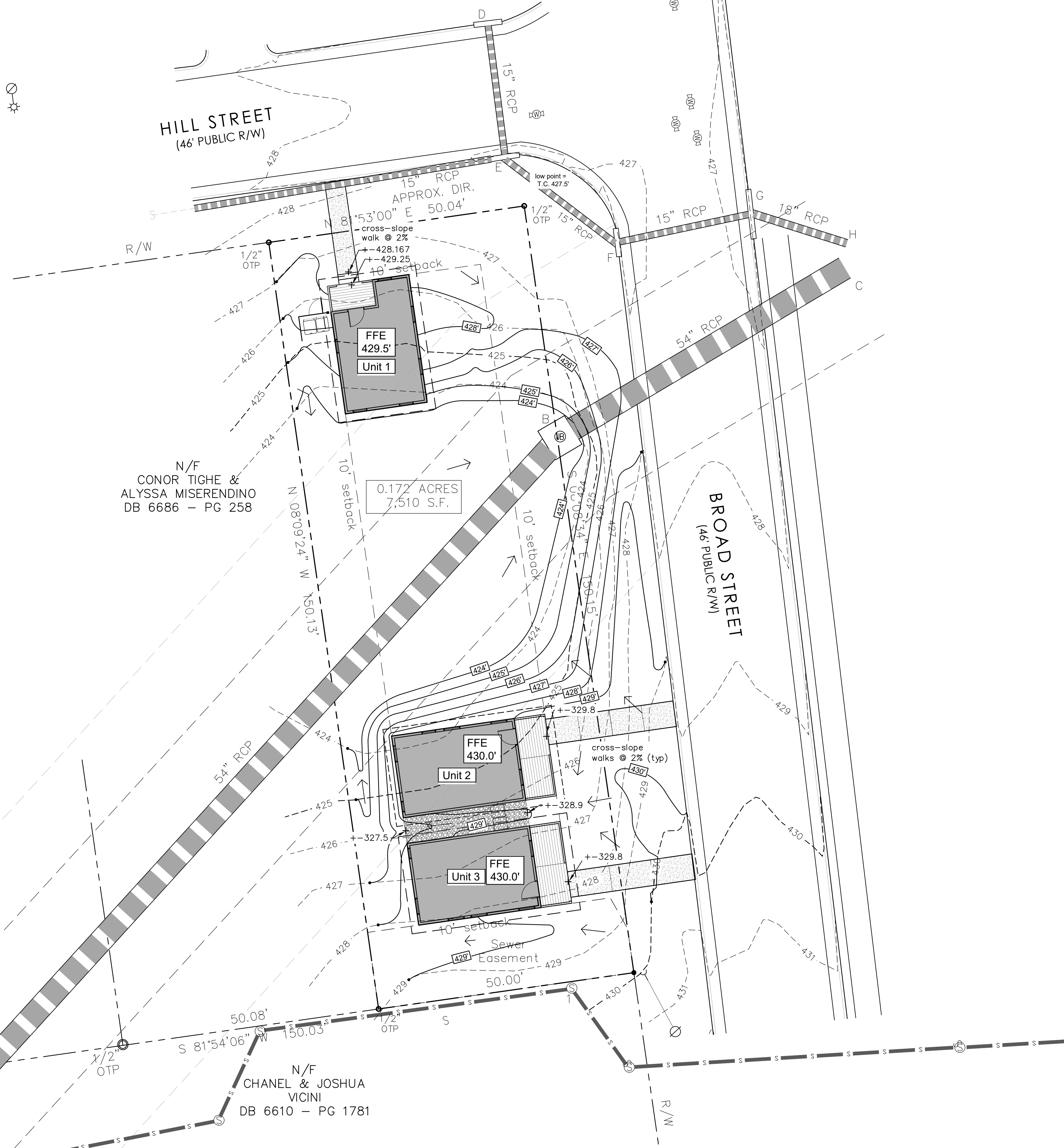
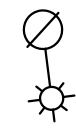
D — CB  
427.79'  
INV OUT: 423.73'

E — CB  
TOP: 427.71  
INV IN: 423.16'  
INV IN: 420.23'  
INV OUT: 419.73'

F — CB  
TOP: 427.31'  
INV IN: 419.80'  
INV OUT: 419.41'

G — CB  
TOP: 427.20'  
INV IN: 418.46'  
INV OUT: 418.10'

H  
INV OUT: 415.85'



LEGEND - Site Work		Existing	Proposed
Property Line and Setback Line		---	---
Existing Contour (from GIS)		--- 430 ---	---
Proposed Contour		---	--- 430 ---
Existing Significant Tree			○ 12" Mulberry
Stormwater Drainage direction			→
Sanitary Sewer		San. Sewer	Water
Water - meter			Water
Pipe (Storm Drain)			Water
Rain Chain Culvert Pipe (Storm Drain)			Water
Roof Leader Downspout Drain			Water
Sleeve - 4" Sch. 40 PVC mark ends			Water
Electric		Elec	Water
Gas		Gas	Water
Proposed PeeWee House			Water
Existing Feature or Spot Elevation (in Italics)		389.5'	Water
Proposed Feature or Grade (Normal font)			389.0



10' 0 10' 20'  
Scale : 1" = 10'-0"

PEEWEE  
HOMES

106 Hill Street,  
Carrboro, North Carolina

Rev 4: Adjust plantings out of OWASA  
Easement 06-23-23

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2 ft above 227.5' 05-12-23

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Sewer lateral for Unit 1 04-10-23

Rev 1: Add Sewer laterals  
and note re: 4" DIP to tap into  
sewer main in easement 01-09-23  
Date: 01-09-23

Site Grading Plan

L-2.1



SSMH - 1  
TOP: 429.68  
INV: 423.37'  
INV: 423.45'

A - JB  
TOP: 425.88'  
INV OUT: 420.00

B - JB  
TOP: 424.17'  
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INV OUT: 419.41'

G - CB  
TOP: 427.20'  
INV IN: 418.46'  
INV OUT: 418.10'

INV OUT: 415.85

Elec. Utility meter base located on  
back of units (see architectural)

N/F  
CHANEL & JOSHUA  
VICINI  
DB 6610 - PG 1781

- Water meters - final location to be field determined at property/ROW line

Grade of sewer pipe where the pipe enter house would be ~ 427.61 (assuming 2% slope over distance of 160 ft from manhole - allowing for 12" above inv. at the manhole). Plumber or others to confirm the pipe(s) existing house to be sufficient elevation with clearance under house for plumbing.  
Cover for the sewer pipe extending to the cleanout to be determined - but it is apparent that the grade will need to be built up here to get appropriate cover.

- Sewer Clean-Out

Sewer lateral from Unit 1  
to go around Yard Inlet and extend into Right of Way  
to get depth for coverage of pipe  
slope sewer lateral at 2% ( $\frac{1}{4}$ "/ft) = 1.62 l.f. x's 2% = 3.24 ft.

Top of 52" RCP ~ 422.64  
 Top of grade ~ 427.0 +-(  
 (this represents approx. 4.36 ft. of cover over the RCP )  
 Sewer lateral crossing this point would be at elev.  
 425.8 (bottom of sewer lateral pipe) and  
 426.14 (top of 4" PVC pipe).  
 This represents approx. 16.3 in. cover.  
 OWASA has reviewed and approved this cover.

- Water meters - final location to be field determined at property/ROW line

Sewer lateral from Unit 1  
slope sewer lateral at 2% ( $\frac{1}{4}$ "/ft) =  
162 l.f. x's 2% = 3.24 ft.

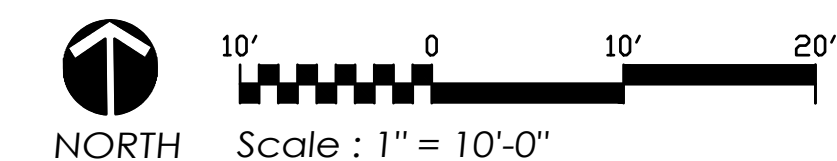
— Sewer Clean-Out for Unit 1

– Sewer Clean-Outs (three separate for each Unit to be located outside of OWASA sewer easement)

— Sewer laterals from Unit 1, 2 & 3  
to tap into existing sewer main with individual taps.  
Note: Per OWASA, sewer pipes tapping into the  
main within easement to be 4" DIP (Ductile Iron Pipe)  
Utilize one trench for the three laterals.

## LEGEND - Site Work

	Existing	Proposed
Property Line and Setback Line		
Existing Contour (from GIS)		
Proposed Contour		
Existing Significant Tree		
Stormwater Drainage direction		
Sanitary Sewer		
Water - meter		
Pipe (Storm Drain)		
Rain Chain culvert Pipe (Storm Drain)		
Roof Leader Downspout Drain		
Sleeve - 4" Sch. 40 PVC mark ends		
Electric		
Gas		
Proposed PeeWee House		
Existing Feature or Spot Elevation (in Italics)		
Proposed Feature or Grade (Normal font)		



# PEEWEE HOMES

106 Hill Street,  
Carrboro, North Carolina

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Rev 3: Adjust FFE for units to be min.  
2 ft above 227.5' 05-17-23

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Sewer lateral for Unit 1 04-10-23

Rev 1: Add Sewer laterals  
and note re: 4" DIP to tap into

Date: 01-05-23

Utility Plan  
L-3.0



CONSULTANTS:

PEE WEE HOMES HILL

STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

PERMIT DRAWINGS  
6.12.2023

46

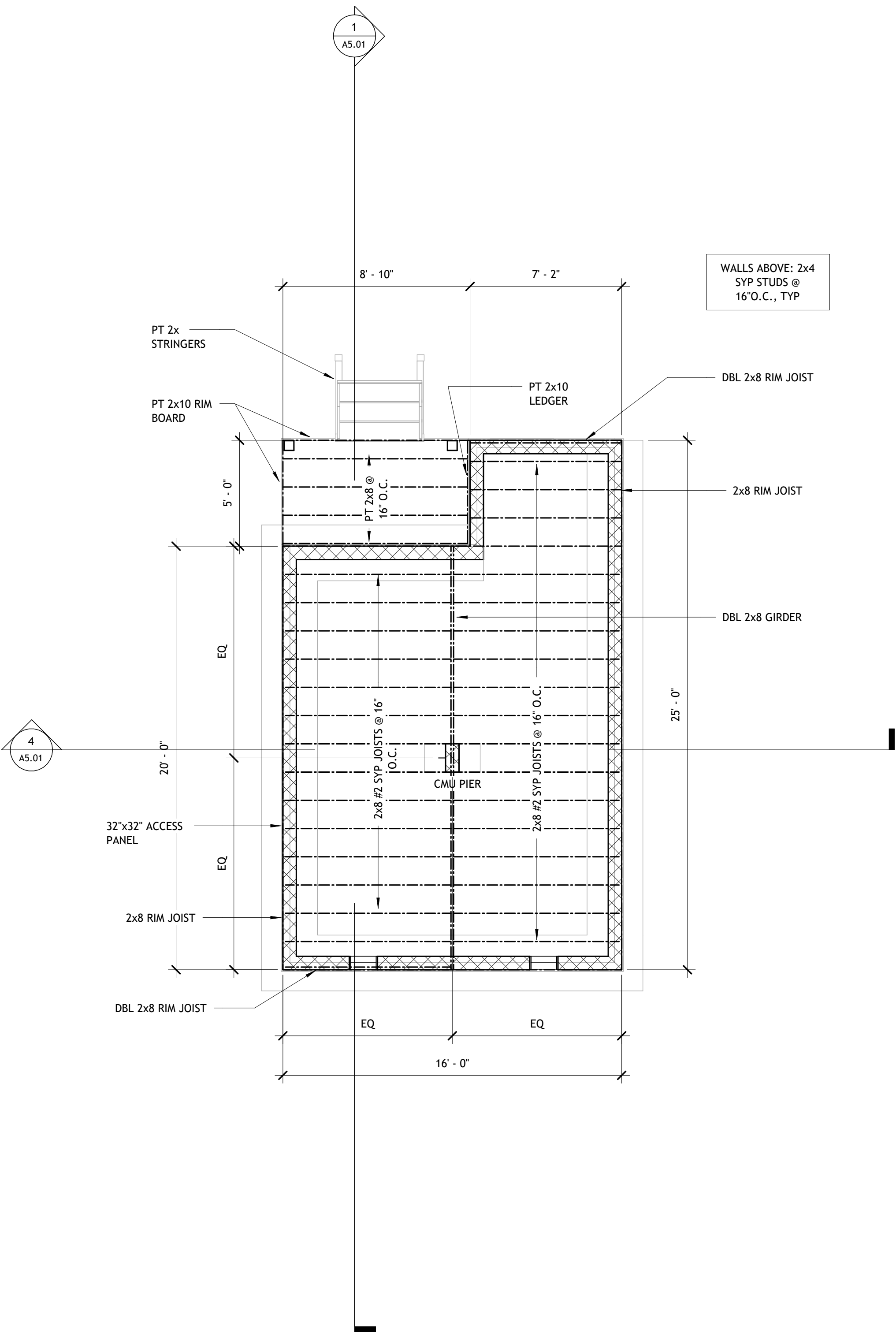
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no.	date	revision

Project Name  
PEE WEE HOMES HILL STREET  
Project Number  
PROJ. NUMBER  
Date  
6.12.2023  
Scale  
1/4" = 1'-0"  
Drawing  
FOUNDATION PLAN

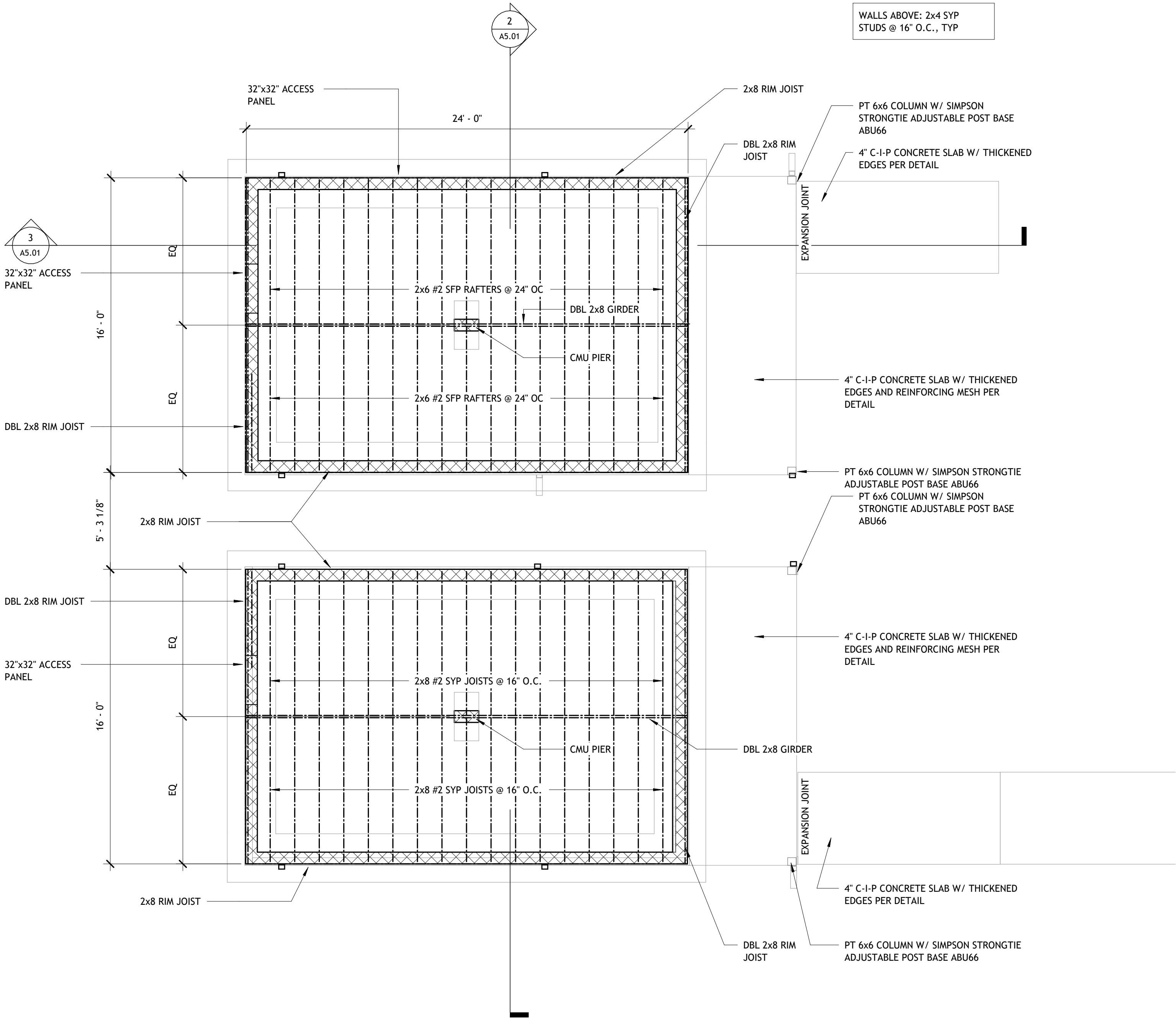
A2.00

PERMIT DRAWINGS



2 FOUNDATION PLAN AND FLOOR FRAMING PLAN - UNIT A

A2.00 1/4" = 1'-0"



1 FOUNDATION PLAN AND FLOOR FRAMING PLAN - UNITS B & C

A2.00 1/4" = 1'-0"

CONSULTANTS:

PEE WEE HOMES HILL

STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

PERMIT DRAWINGS  
6.12.2023

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Project Name  
PEE WEE HOMES HILL STREET

Project Number  
PROJ. NUMBER

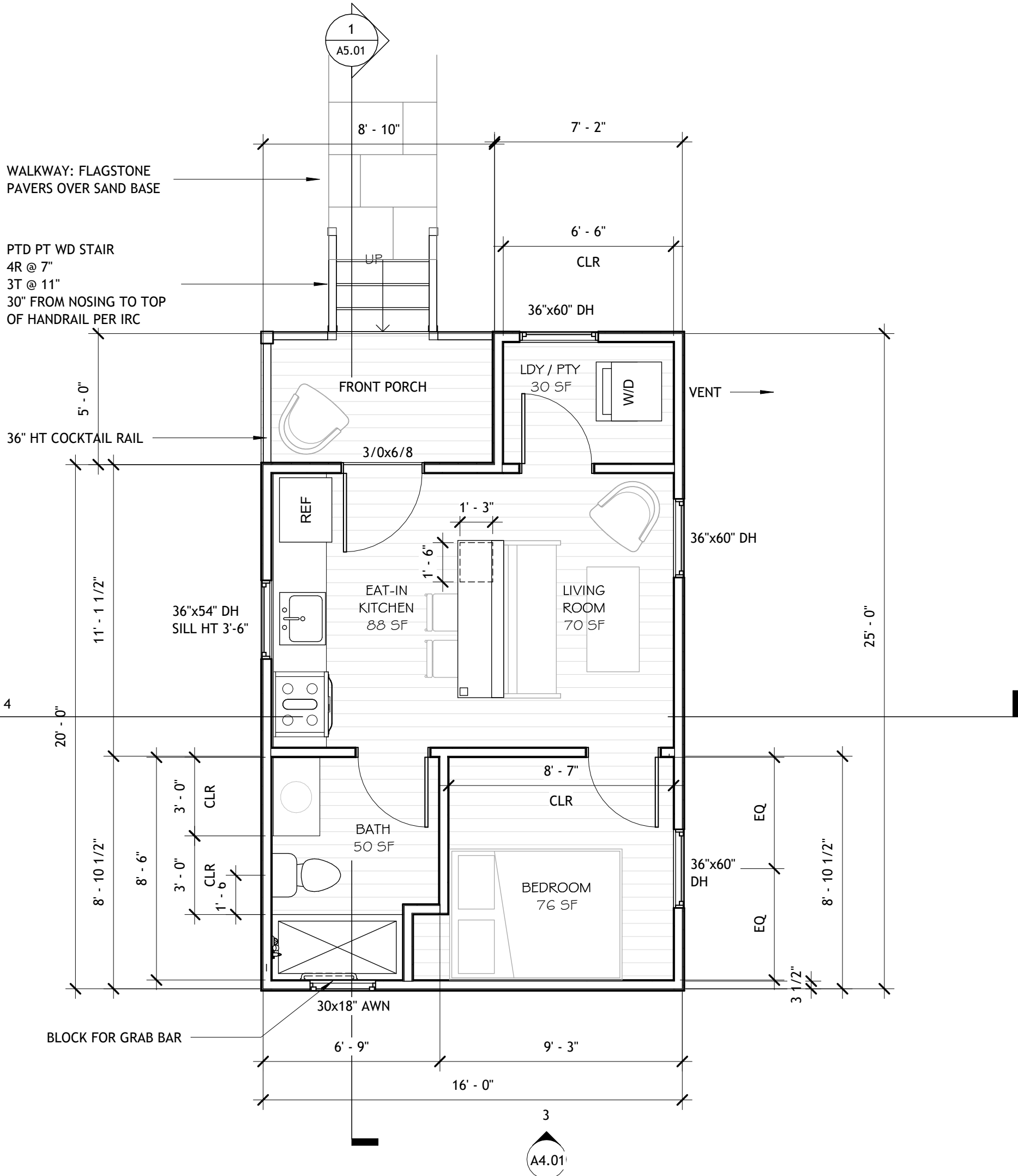
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Scale  
As indicated

Drawing  
FLOOR PLANS

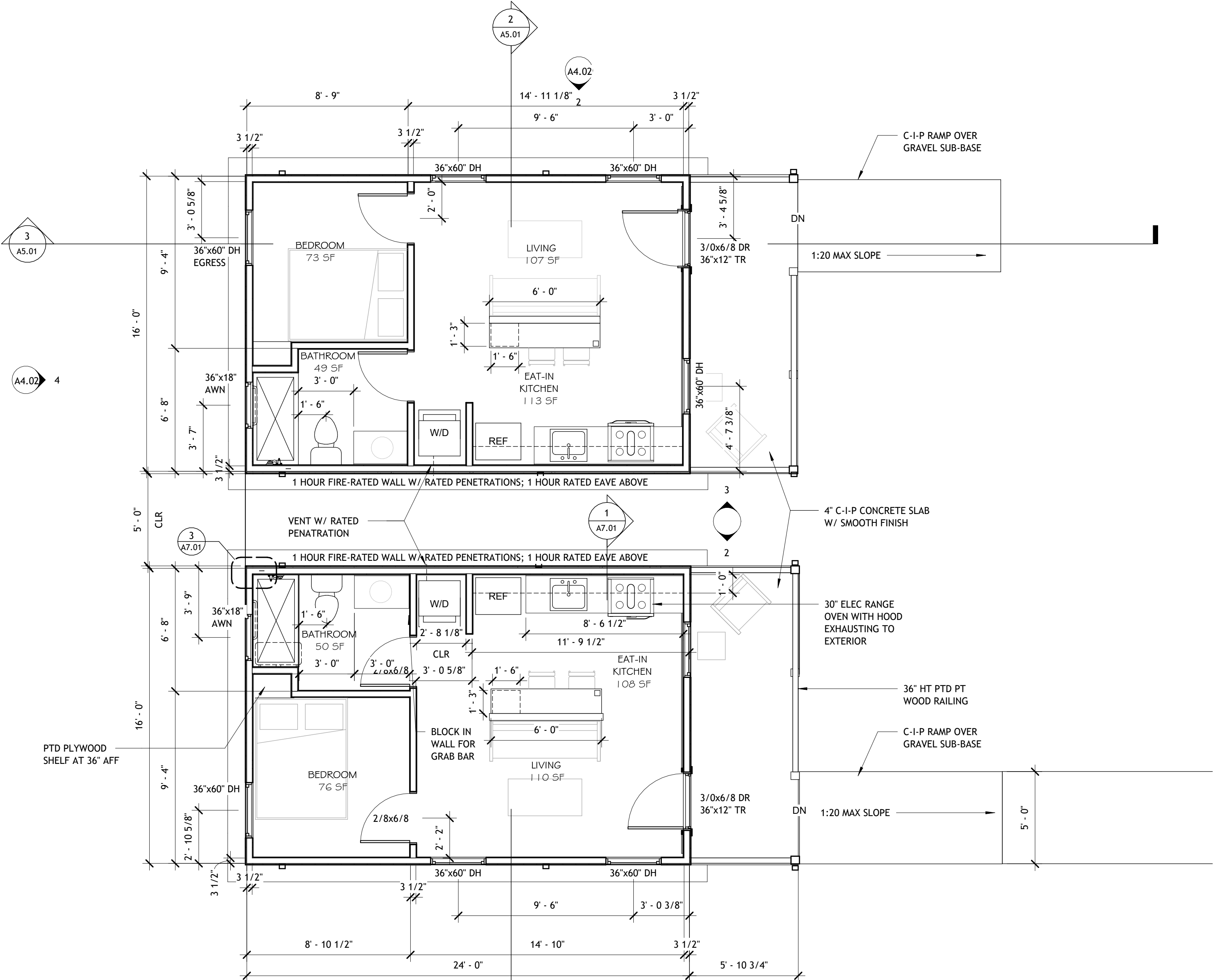
A2.01

PERMIT DRAWINGS



2 FLOORPLAN - UNIT A (360 GSF)

A2.01 1/4" = 1'-0"



1 FLOOR PLAN - UNITS B & C (384 GSF EA)

A2.01 1/4" = 1'-0"

OUTLINE SPECIFICATIONS

- SEALED CMU CRAWL W/ 15 MIL VAPOR BARRIER AT EARTH
- 2x4 FRAMING AT WALLS, SHEATHING, HOUSE WRAP
- ROOF FRAMING MAY BE ATTIC TRUSSES 2x10 RAFTERS @ 24" O.C.
- R-15 DENSE PACK CELLULOSE INSULATION AT WALLS AND FLOOR
- R-38 INSULATION AT ROOF
- VINYL WINDOWS, SDL SPACERS, INSULATED LOW-E GLASS
- 2-PANEL PTD SOLID WOOD INTERIOR DOORS
- LEVEL 3 SMOOTH PTD GWB WALLS AND CEILING
- 1x4 PAINTED POPLAR TRIM
- LUXURY VINYL PLANK FLOORING
- PTD WOOD CABINETS
- PLASTIC LAMINATE COUNTERTOPS
- LOW THRESHOLD ACRYLIC SHOWER BASE AND SHOWER WALL KIT
- MINISPLIT W/ TRANSFER VENT FAN AT BATHROOM AND BEDROOM
- LED LIGHT FIXTURES
- LOW BOY ELECTRIC WATER HEATER IN CRAWL

PEE WEE HOMES HILL  
STREET  
PEE WEE HOMES

106 HILL STREET, CARBORO, NC

PERMIT DRAWINGS  
6.12.2023

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no.	date	revision

Project Name  
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Project Number  
PROJ. NUMBER

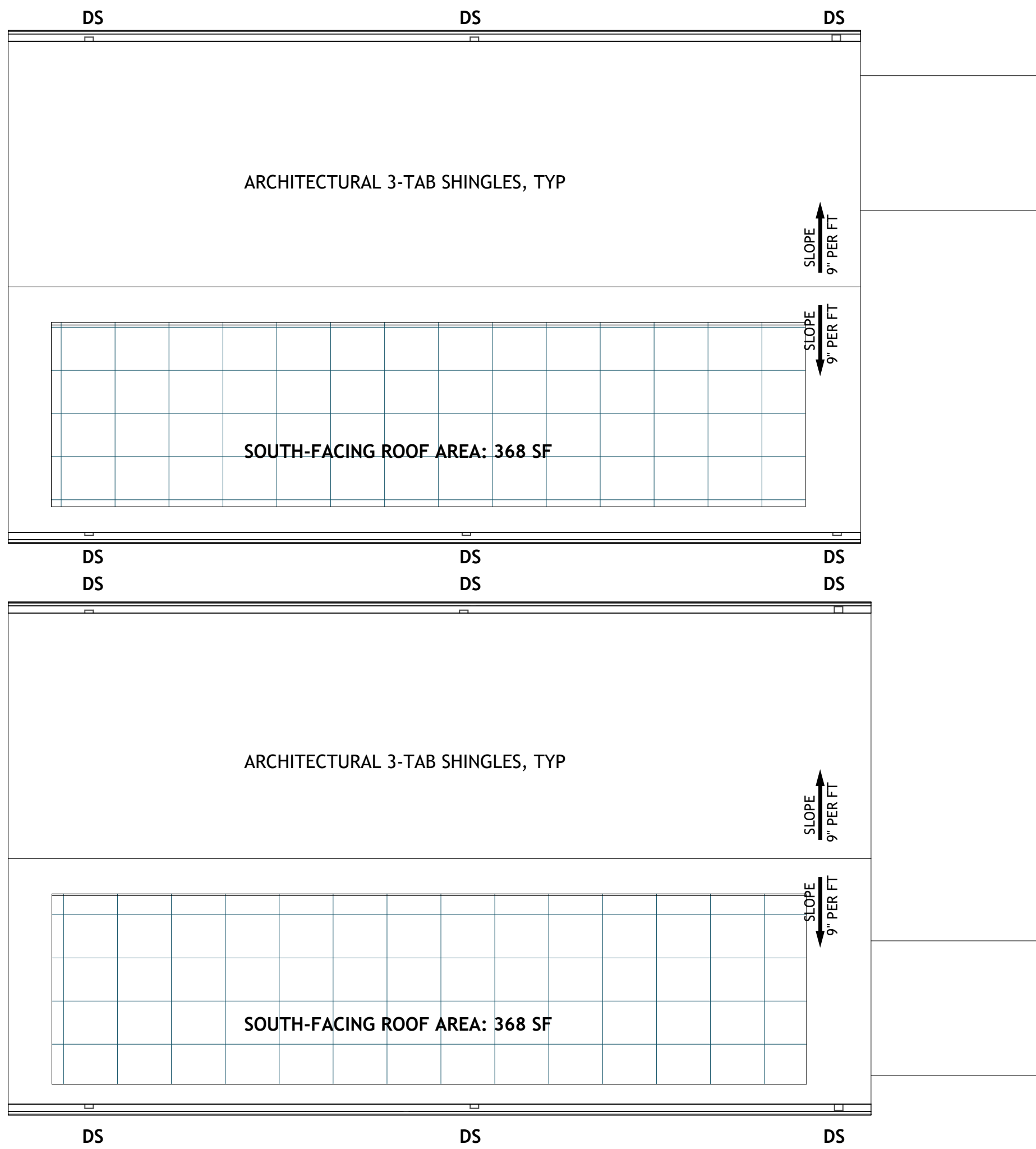
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6.12.2023

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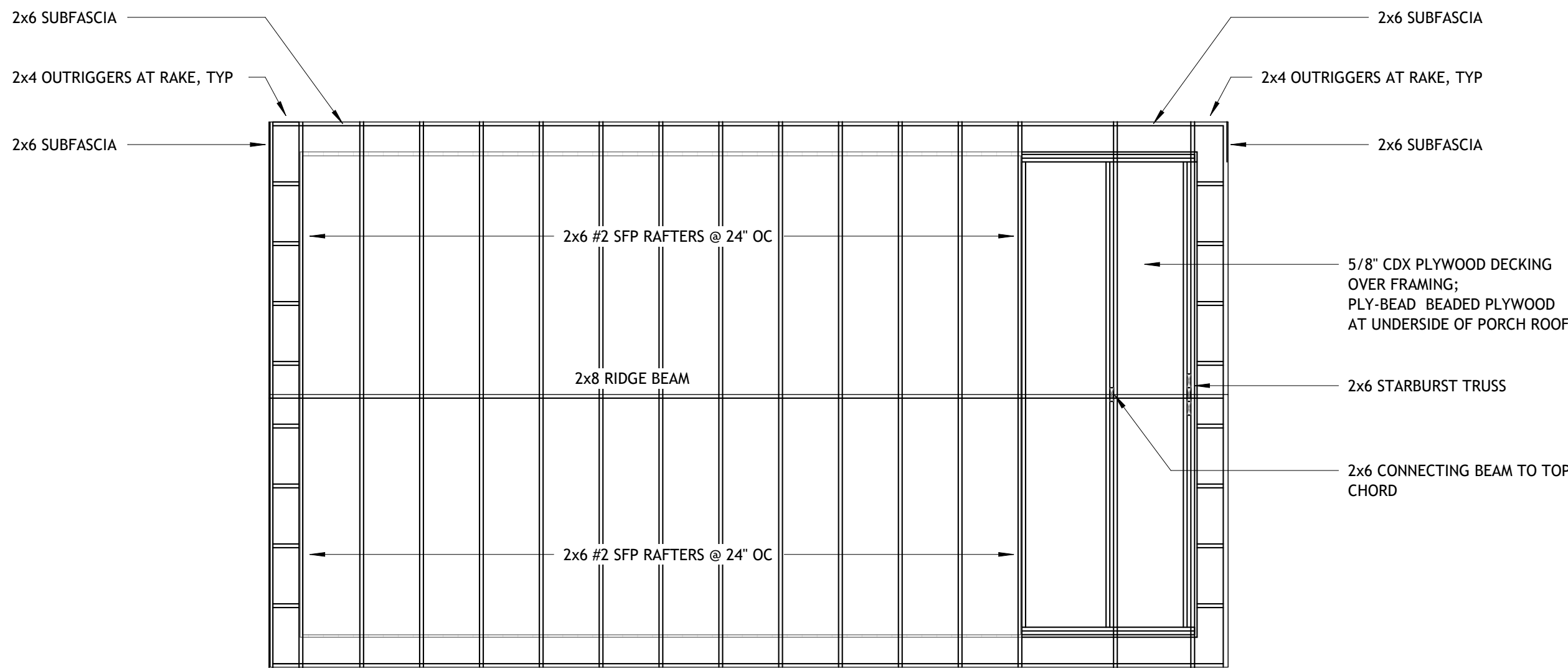
Drawing \_\_\_\_\_  
ROOF PLAN

# A2.03

PERMIT DRAWINGS



A2.03	$1/4'' = 1'-0''$
-------	------------------



A2.03	$1/4'' = 1'-0''$
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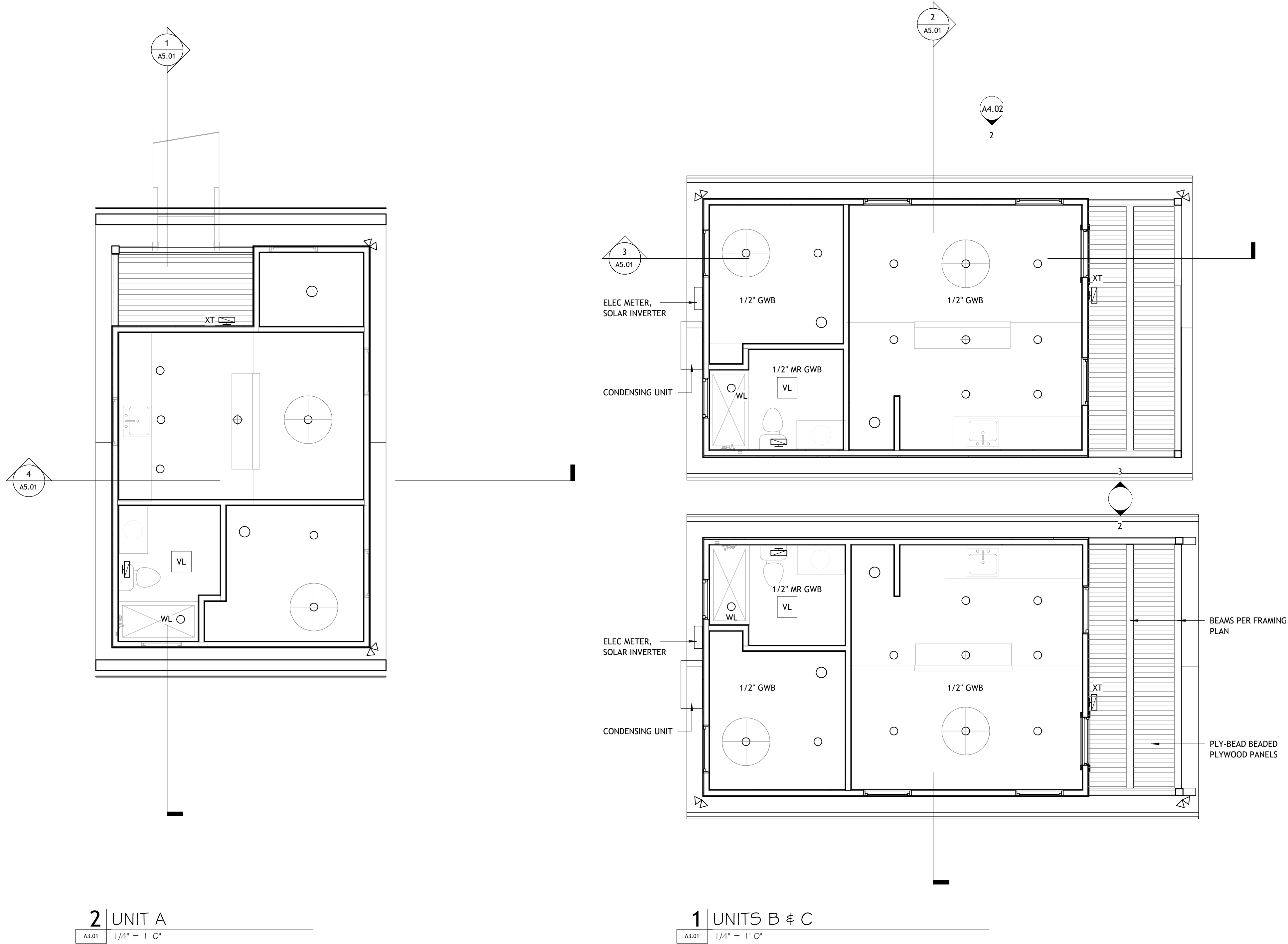
ALT: ATTIC TRUSS LAYOUT TO BE PROVIDED BY TRUSS MANUFACTURER



















NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

CONSULTANTS:



REFLECTED CEILING PLAN LEGEND

	WALL SCONCE		HEIGHT TYPE		CEILING HEIGHT TAG
	EXTERIOR WALL SCONCE				
					
	RECESSED DOWN LIGHT				ACCESS PANEL: 20"x30" NET OPENING AVG 30" CLEAR HEADROOM ABOVE PER RES CODE SECTION 807.1
	RECESSED DOWN LIGHT - WET LOCATION				BATHROOM EXHAUST VENT / LIGHT COMBO; VENT TO EXTERIOR
	36" CEILING FAN W/ LIGHT KIT				PENDANT
	SURFACE MOUNTED LIGHT				MOTION SENSORED FLOOD

OUTLINE SPECIFICATIONS

- SEALED CMU CRAWL W/ 15 MIL VAPOR BARRIER AT EARTH
- 2x4 FRAMING AT WALLS, SHEATHING, HOUSE WRAP
- ROOF FRAMING MAY BE ATTIC TRUSSES 2x10 RAFTERS @ 24" O.C.
- R-15 DENSE PACK CELLULOSE INSULATION AT WALLS AND FLOOR
- R-38 INSULATION AT ROOF
- VINYL WINDOWS, SDL SPACERS, INSULATED LOW-E GLASS
- 2-PANEL PTD SOLID WOOD INTERIOR DOORS
- LEVEL 3 SMOOTH PTD GWB WALLS AND CEILING
- 1x4 PAINTED POPLAR TRIM
- LUXURY VINYL PLANK FLOORING
- PTD WOOD CABINETS
- PLASTIC LAMINATE COUNTERTOPS
- LOW THRESHOLD ACRYLIC SHOWER BASE AND SHOWER WALL KIT
- MINISPLIT W/ TRANSFER VENT FAN AT BATHROOM AND BEDROOM
- LED LIGHT FIXTURES
- LOW BOY ELECTRIC WATER HEATER IN CRAWL

PEE WEE HOMES HILL

STREET

PEE WEE HOMES

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Project Name  
PEE WEE HOMES HILL STREET

Project Number  
PROJ. NUMBER

Date  
6.12.2023

Scale  
As indicated

Drawing  
MEP SCHEMATIC

A3.01

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CONSULTANTS:

PEE WEE HOMES HILL

STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

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6.12.2023

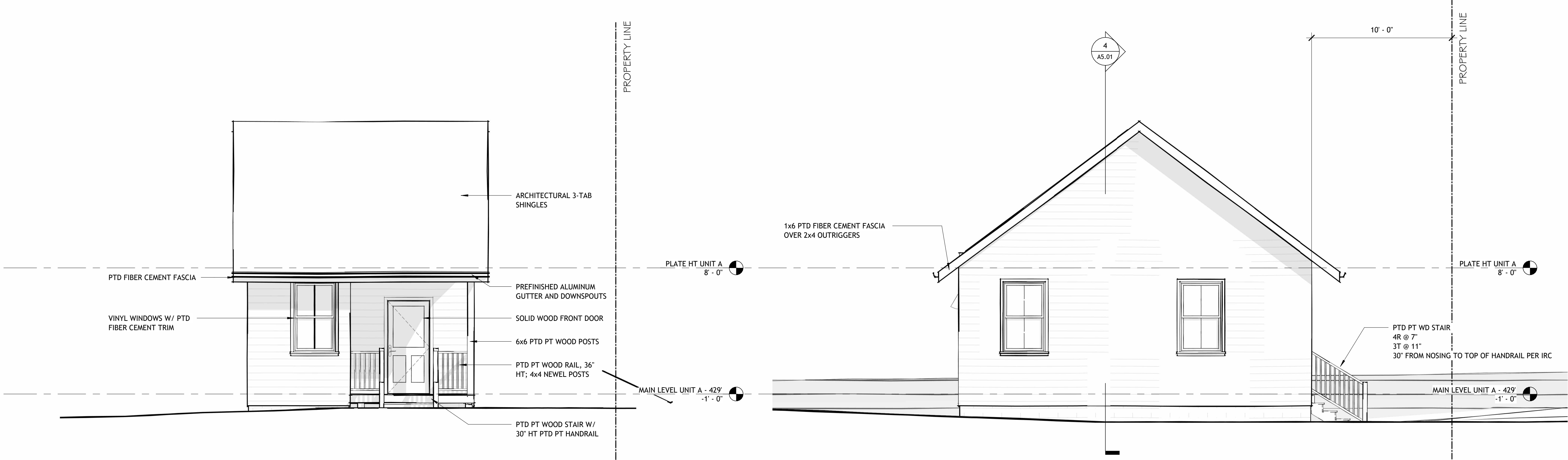
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Project Name  
PEE WEE HOMES HILL STREET  
Project Number  
PROJ. NUMBER  
Date  
6.12.2023  
Scale  
As indicated  
Drawing  
EXTERIOR ELEVATIONS

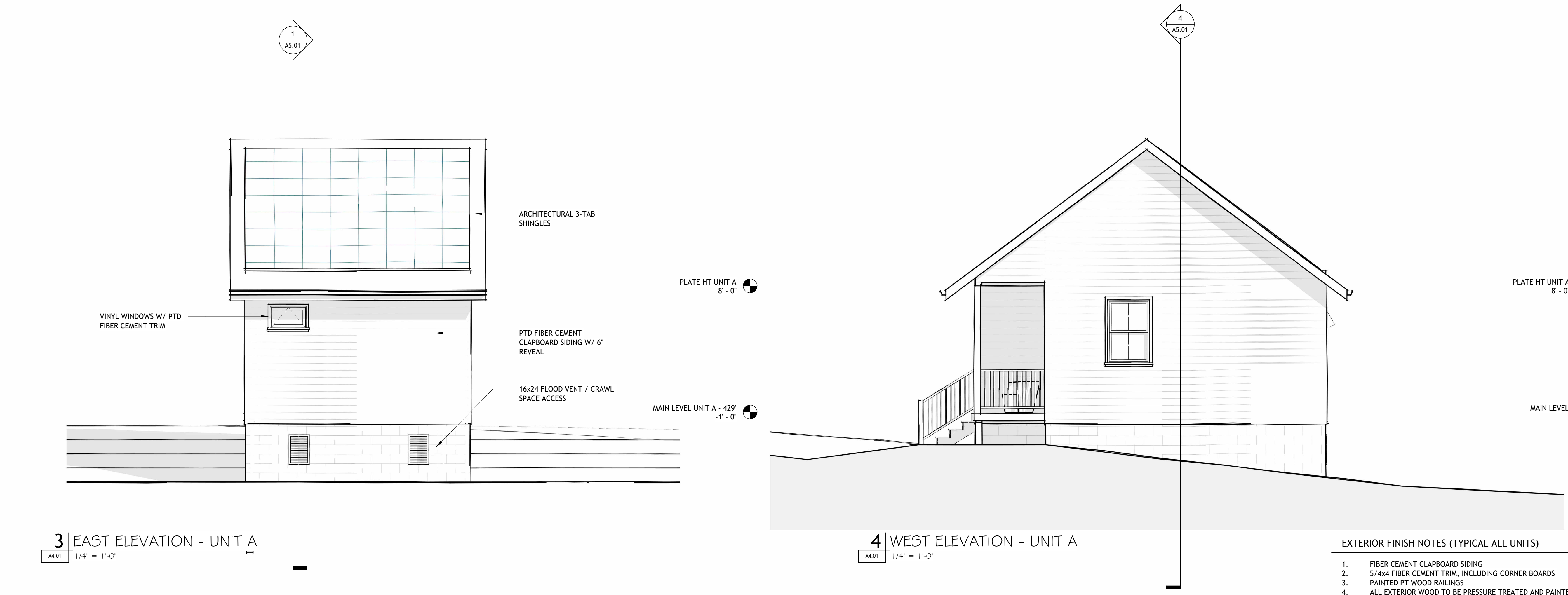
A4.01

PERMIT DRAWINGS



2 NORTH ELEVATION - HILL STREET - UNIT A

1 EAST ELEVATION - BROAD STREET - UNIT A



3 EAST ELEVATION - UNIT A

4 WEST ELEVATION - UNIT A

EXTERIOR FINISH NOTES (TYPICAL ALL UNITS)

- FIBER CEMENT CLAPBOARD SIDING
- 5/4x4 FIBER CEMENT TRIM, INCLUDING CORNER BOARDS
- PAINTED PT WOOD RAILINGS
- ALL EXTERIOR WOOD TO BE PRESSURE TREATED AND PAINTED
- ARCHITECTURAL SHINGLE ROOF
- VINYL WINDOWS
- SOLID WOOD FRONT DOOR
- 1'-0" EAVE AND RAKE



CONSULTANTS:

PEE WEE HOMES HILL

STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

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no.	date	revision

Project Name  
PEE WEE HOMES HILL STREET

Project Number  
PROJ. NUMBER

Date  
6.12.2023

Scale  
As indicated

Drawing  
EXTERIOR ELEVATIONS

A4.02

PERMIT DRAWINGS

EXTERIOR FINISH NOTES (TYPICAL ALL UNITS)

1. FIBER CEMENT CLAPBOARD SIDING
2. 5/4x4 FIBER CEMENT TRIM, INCLUDING CORNER BOARDS
3. PAINTED PT WOOD RAILINGS
4. ALL EXTERIOR WOOD TO BE PRESSURE TREATED AND PAINTED
5. ARCHITECTURAL SHINGLE ROOF
6. VINYL WINDOWS
7. SOLID WOOD FRONT DOOR
8. 1'-0" EAVE AND RAKE

PTD PT 2x6 STARBURST; FASTEN TO 2x6's ON FLAT WITH GALVANIZED 3x3 CLIP ANGLES, INTERIOR FACE; SANDWICH BETWEEN PLIES OF DOUBLE 2x10 BEAM AND FASTEN WITH 2 1/2" CORTEX DECK SCREW HIDDEN FASTENERS

5/4 x 10" FIBER CEMENT FASCIA OVER DBL 2x10 BEAM W/ SPACER

PLATE HT  
9'-3"

MAIN LEVEL UNITS B & C -  
0'-0"

1 | BROAD STREET ELEVATION - UNITS B & C

A4.02 1/4" = 1'-0"

3 | SOUTH ELEVATION - UNIT B

A4.02 1/4" = 1'-0"

4 | WEST ELEVATION - UNITS B & C

A4.02 1/4" = 1'-0"

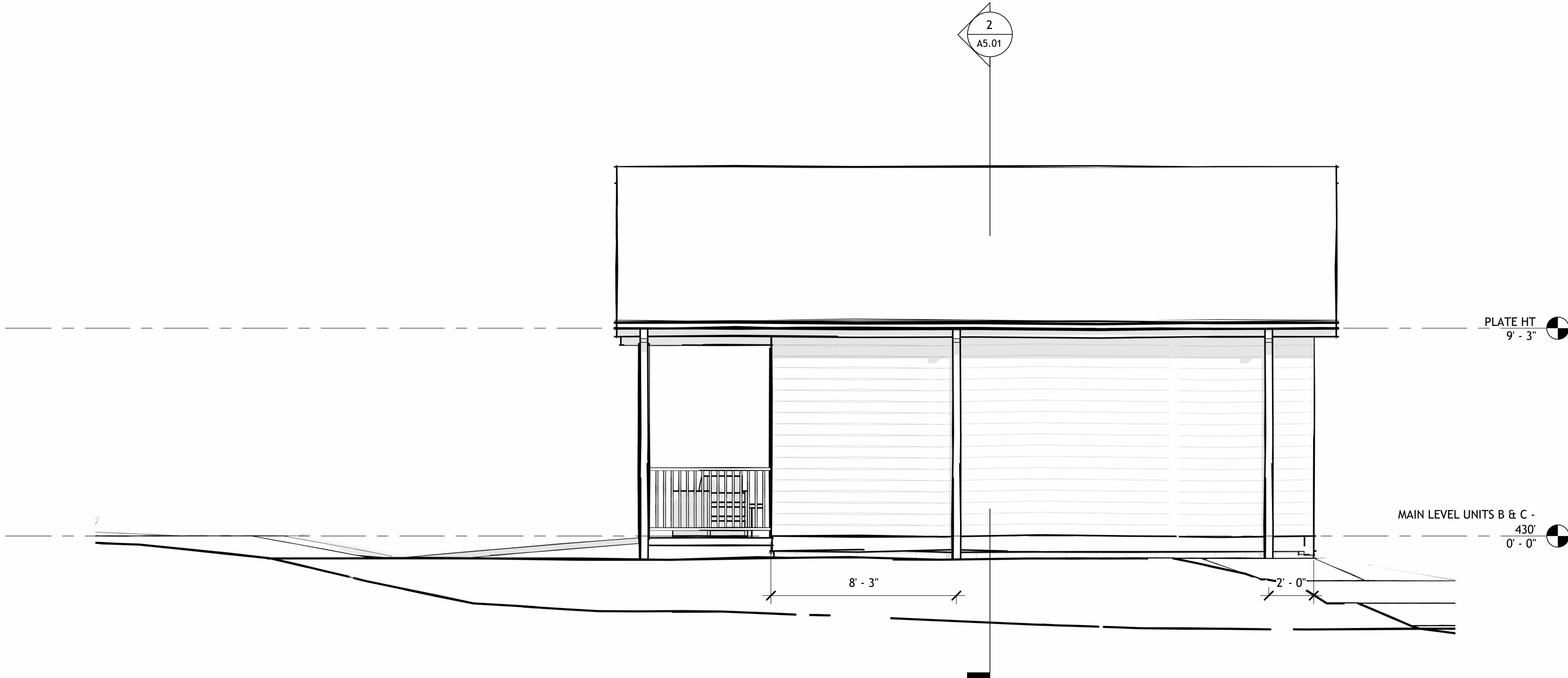
2 | NORTH ELEVATION - UNIT B

A4.02 1/4" = 1'-0"

CONSULTANTS:



1 | SOUTH ELEVATION - UNIT C  
A4.03 1/4" = 1'-0"



2 | NORTH ELEVATION - UNIT C  
A4.03 1/4" = 1'-0"

PEE WEE HOMES HILL

STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

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no.	date	revision

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PEE WEE HOMES HILL STREET  
Project Number  
PROJ. NUMBER  
Date  
6.12.2023  
Scale  
1/4" = 1'-0"  
Drawing  
EXTERIOR ELEVATIONS

A4.03

PERMIT DRAWINGS



CONSULTANTS:

PEE WEE HOMES HILL

STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

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Project Name  
PEE WEE HOMES HILL STREET

Project Number  
PROJ. NUMBER

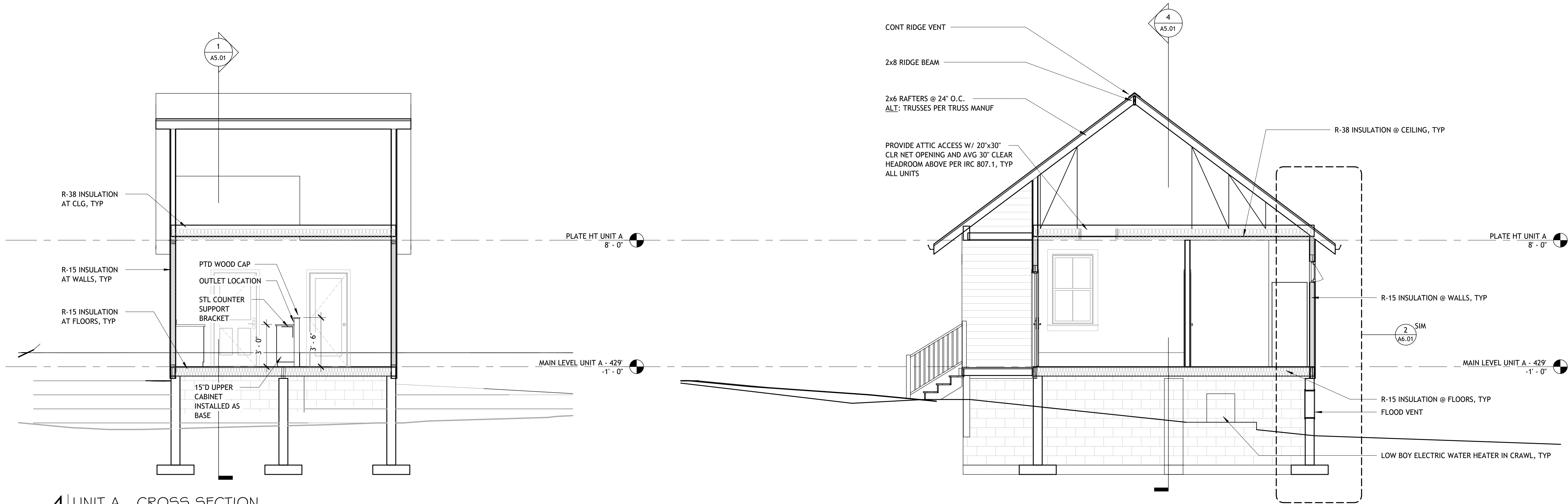
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Scale  
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Drawing  
BUILDING SECTIONS

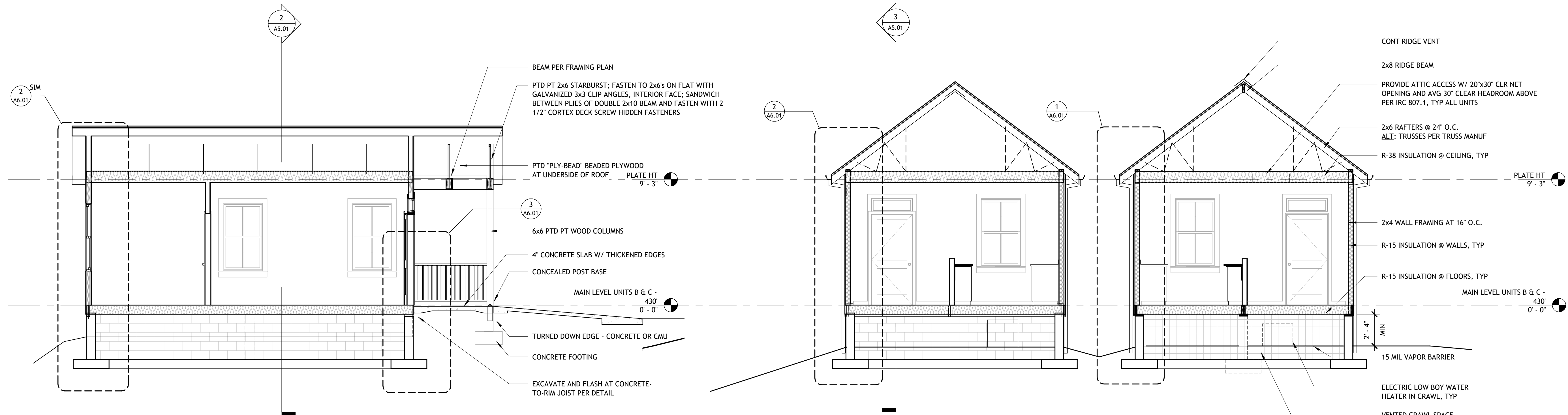
A5.01

PERMIT DRAWINGS



4 | UNIT A - CROSS SECTION

1 | UNIT A - TRANSVERSE SECTION



3 | UNITS B & C - TRANSVERSE SECTION

2 | UNITS B AND C - CROSS SECTION 01

CONSULTANTS:

PEE WEE HOMES HILL STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

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6.12.2023

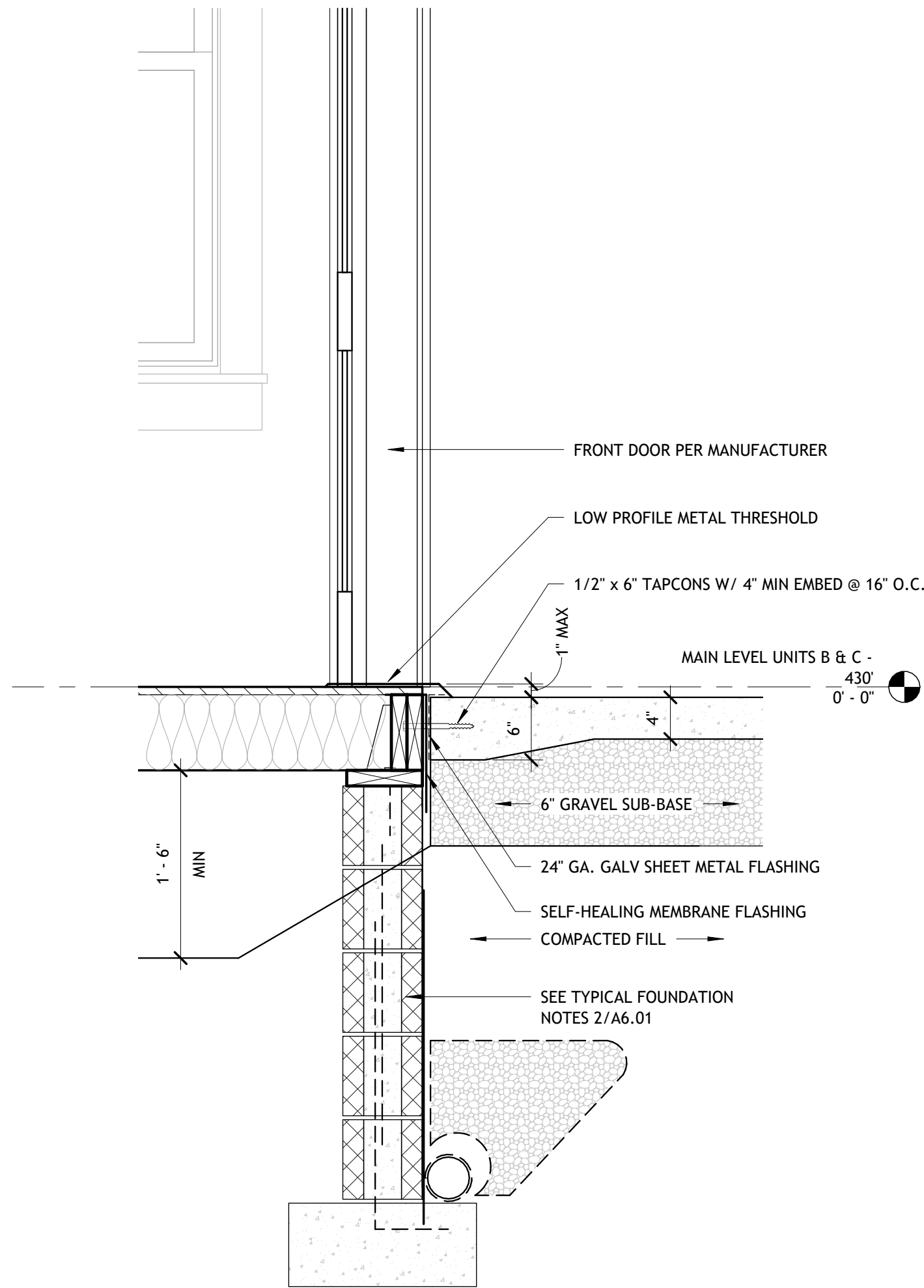
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Drawing

WALL SECTIONS

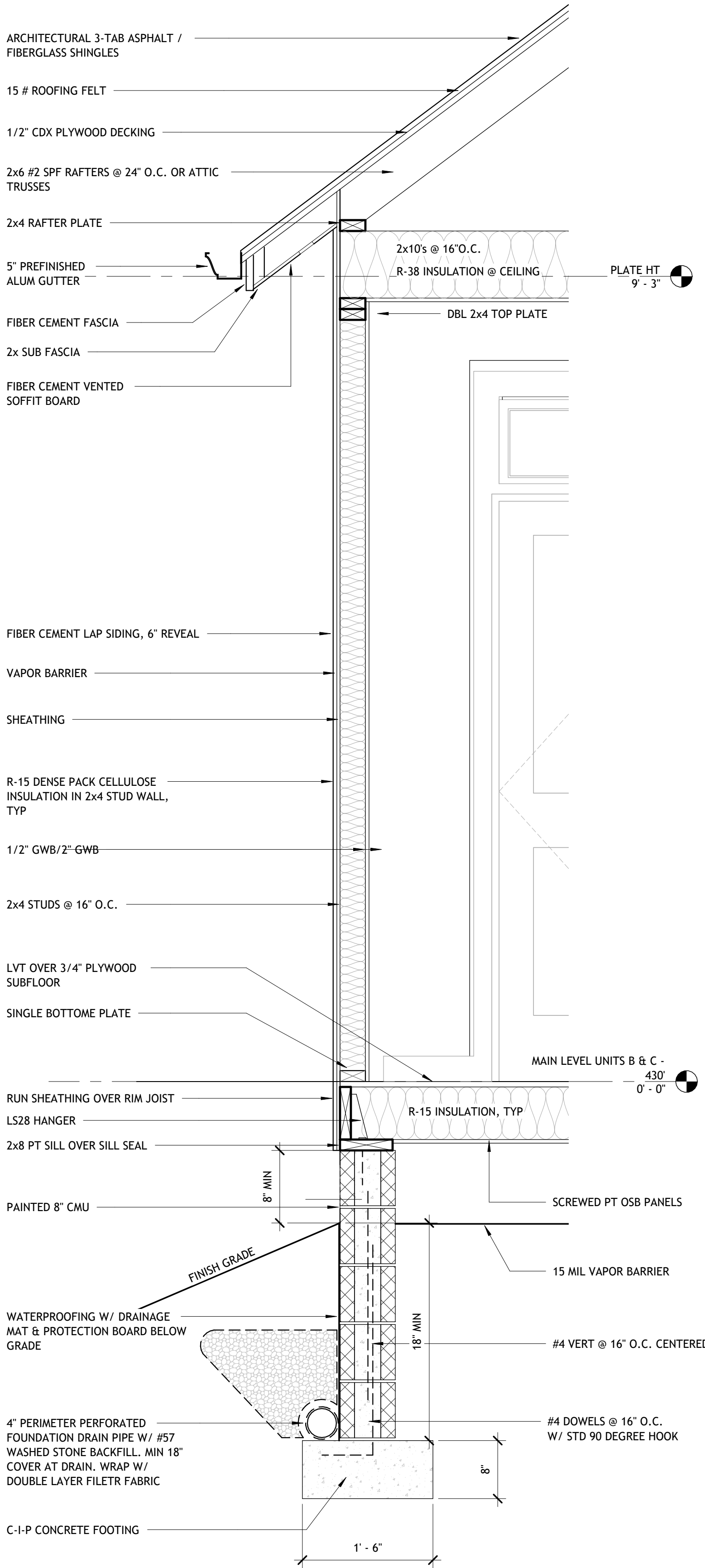
A6.01

PERMIT DRAWINGS



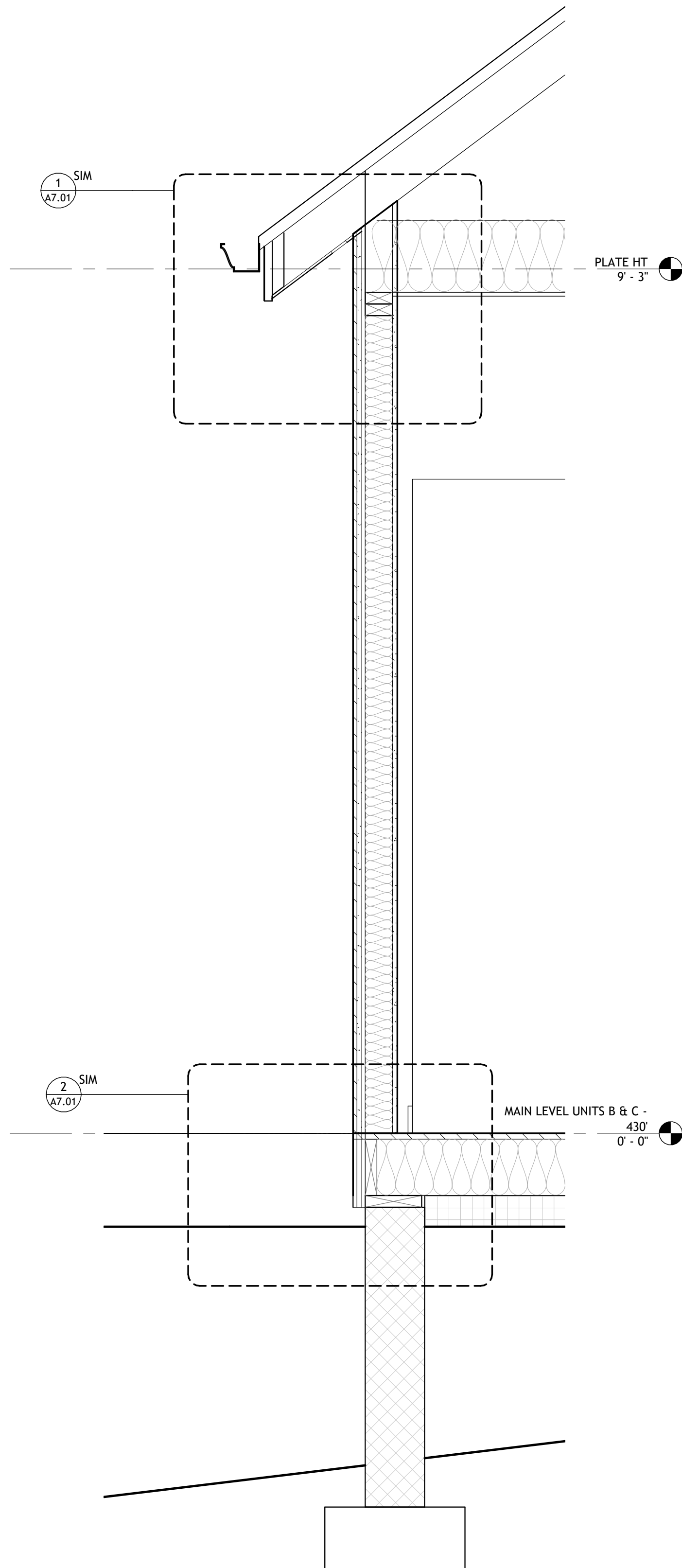
3 | UNITS B & C - WALL SECTION DETAIL AT CONCRETE PORCH

A6.01 1" = 1'-0"



2 | TYPICAL WALL SECTION

A6.01 1" = 1'-0"



1 | UNITS B AND C - WALL SECTION @ RATED WALL

A6.01 1" = 1'-0"



CONSULTANTS:

PEE WEE HOMES HILL

STREET

PEE WEE HOMES

106 HILL STREET, CARBORO, NC

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Project Name  
PEE WEE HOMES HILL STREET

Project Number  
PROJ. NUMBER

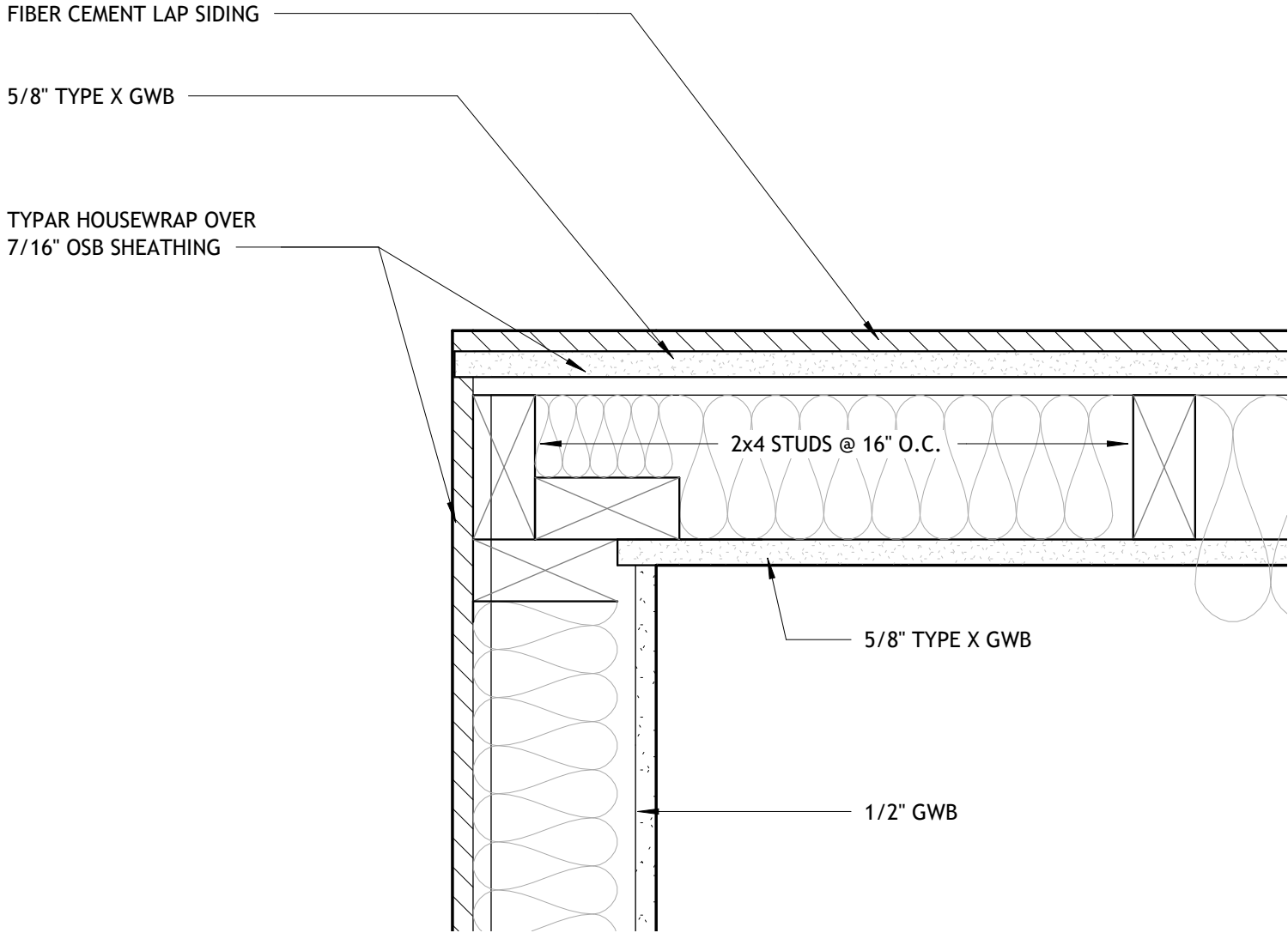
Date  
6.12.2023

Scale  
3" = 1'-0"

Drawing  
RATED WALL DETAILS

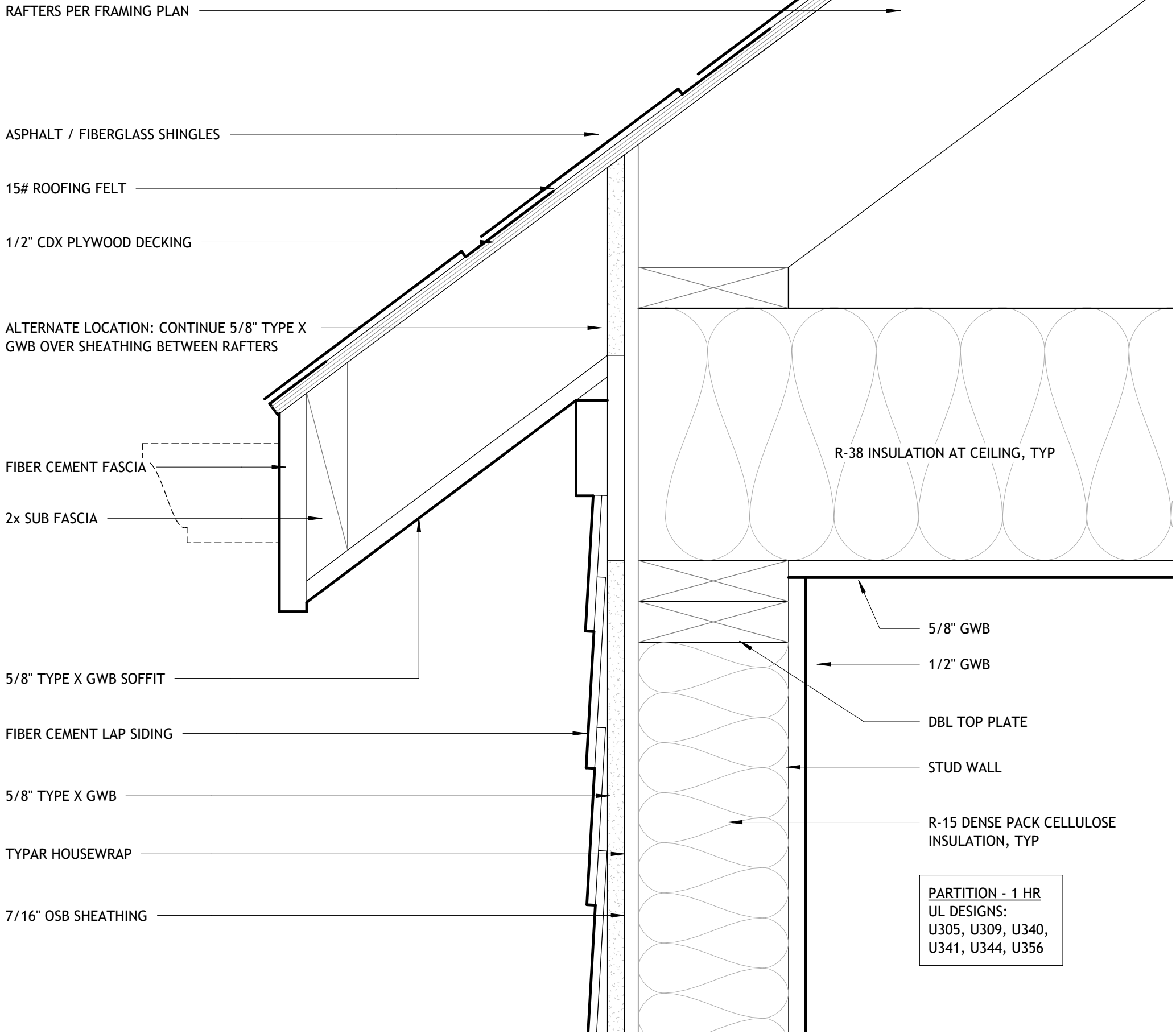
A7.01

PERMIT DRAWINGS



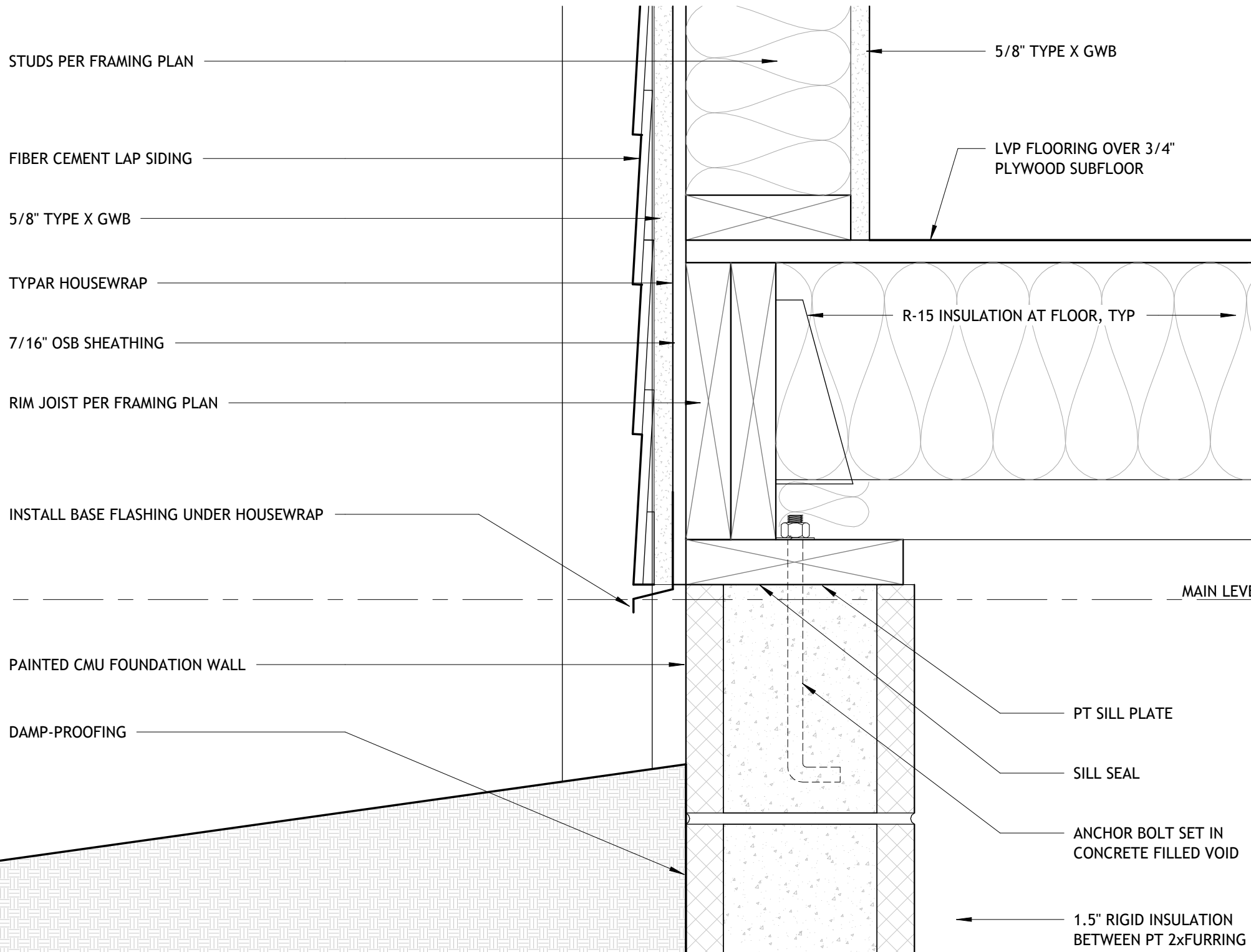
3 PLAN DETAIL AT 1 HOUR RATED WALL

A7.01 3" = 1'-0"



1 EAVE DETAIL @ RATED WALL

A7.01 3" = 1'-0"



2 WALL SECTION AND FLOOR ASSEMBLY DETAIL @ RATED WALL

A7.01 3" = 1'-0"



# PEE WEE HOMES HILL

STREET  
PEE WEE HOMES

106 HILL STREET, CARBORO, NC

MIT DRAWINGS  
6.12.2023

56

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no.	date	revision
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Project Name  
PEE WEE HOMES HILL STREET

Project Number  
PROJ. NUMBER

Date  
6.12.2023

Scale  
1/2" = 1'-0"

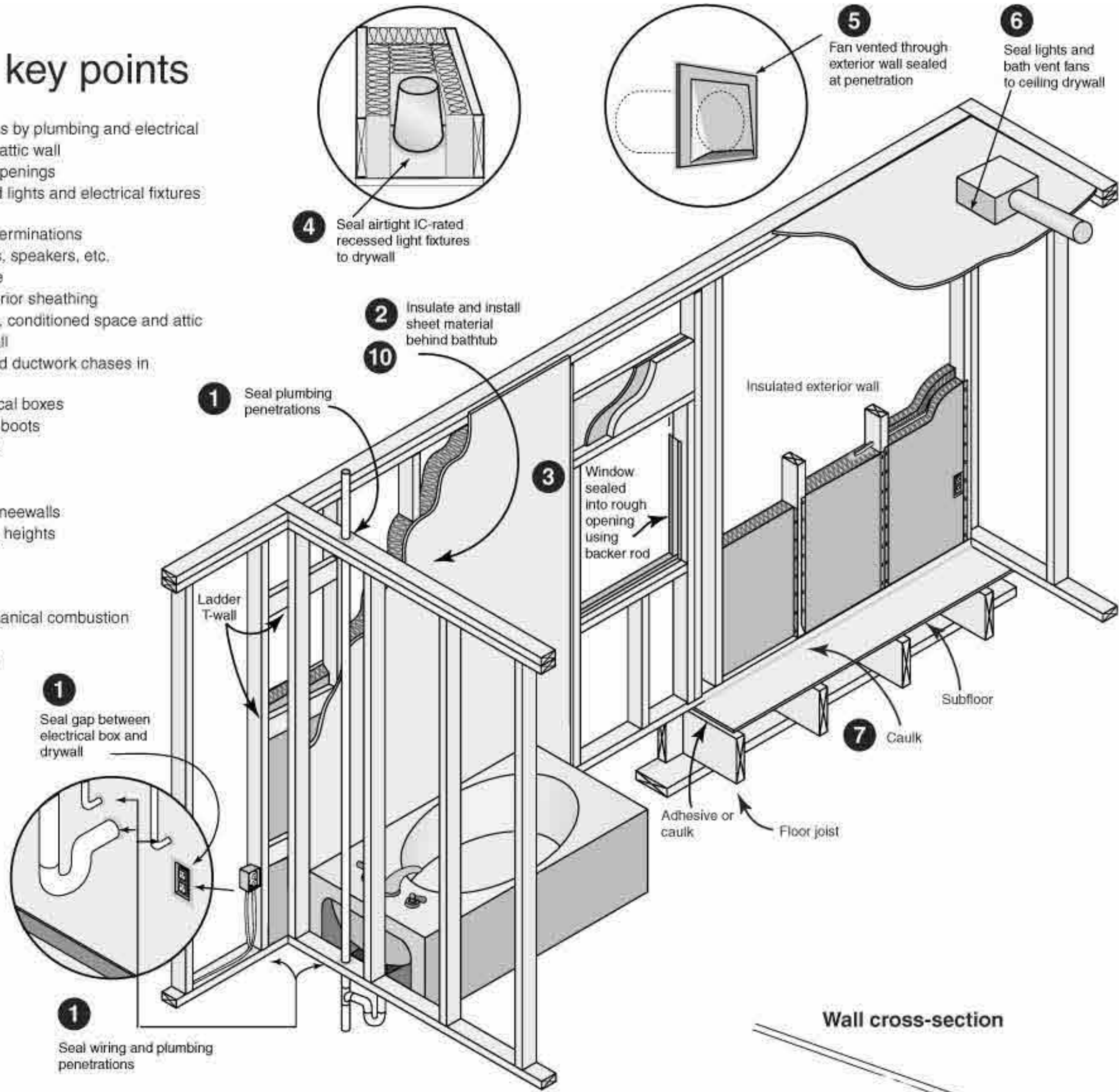
## Drawing

### EXTERIOR DETAILS

# A7.02

PERMIT DRAWINGS

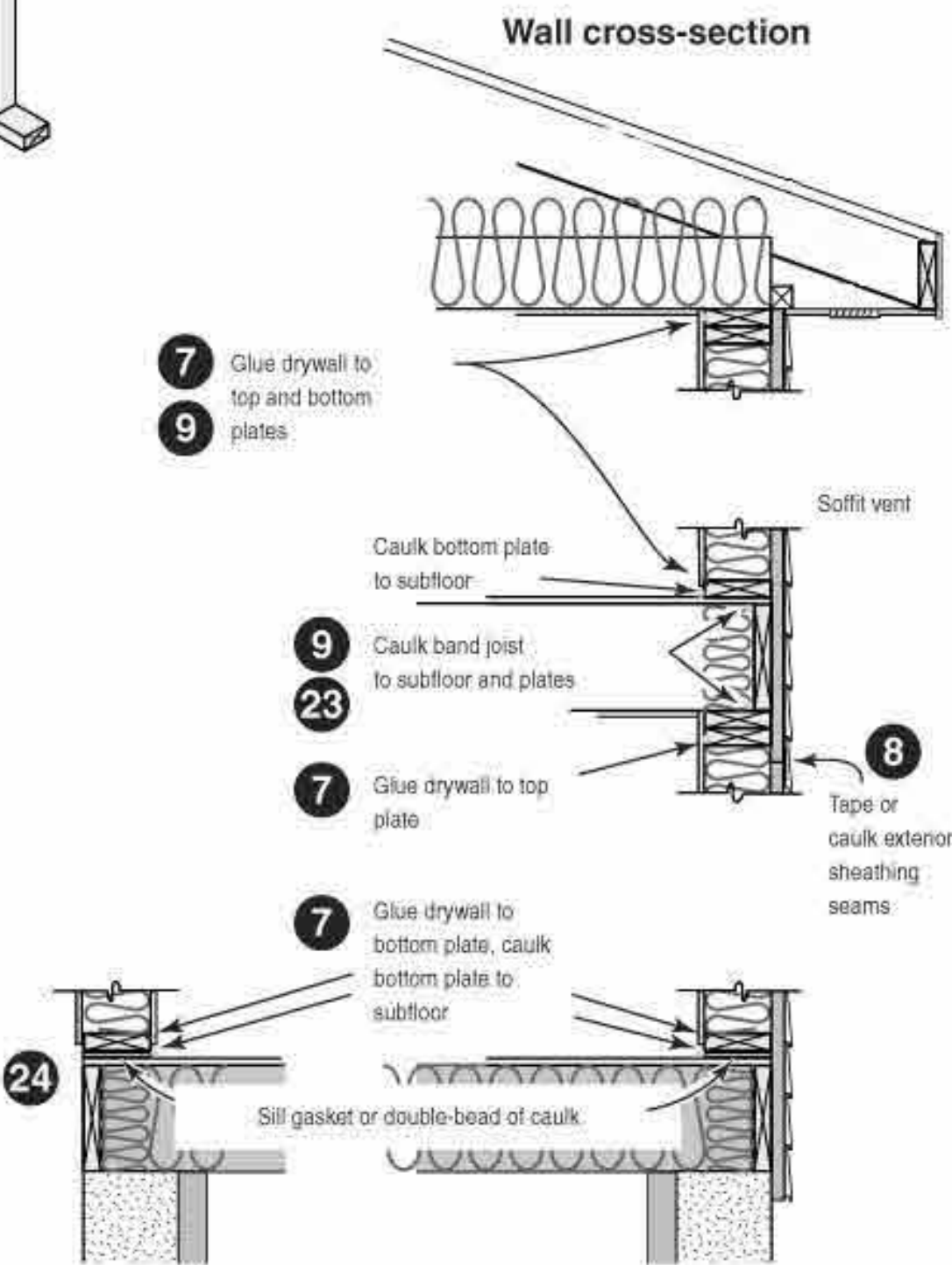
1. Plate and wall penetrations by plumbing and electrical
2. Tub/shower on outside or attic wall
3. Window and door rough openings
4. Airtight, IC-rated recessed lights and electrical fixtures exposed to attic
5. Exterior wall exhaust fan terminations
6. Ceiling mounted bath fans, speakers, etc.
7. Bottom plate and top plate
8. Seams between rigid exterior sheathing
9. Band area between floors, conditioned space and attic
10. Garden tub on exterior wall
11. Mechanical equipment and ductwork chases in attics, crawlspaces
12. Ceiling/crawlspace electrical boxes
13. Ceiling/crawlspace HVAC boots
14. Shower and tub drain line
15. Fireplace inserts
16. Attic kneewall doors
17. Joist cavities under attic kneewalls
18. Transition between ceiling heights (e.g., 10' to 8')
19. Attic scuttle hole
20. Attic pull-down stairs
21. Wall penetrations of mechanical combustion closets
22. Thresholds at mechanical combustion closet doors
23. Band joist exposed to exterior
24. Band area exposed to unconditioned space (such as basement or garage)
25. Exterior wall penetrations for refrigeration lines, condensate line, etc.



**Sealing Chases and Common Mistakes**

The diagram illustrates a cross-section of a basement wall and floor with various penetrations and sealing points. The following list identifies the numbered callouts and their corresponding descriptions:

- 1** Seal electrical penetrations
- 1** Seal plumbing penetrations
- 11** Seal and in dropped so
- 12** Caulk electrical boxes and fixtures to drywall
- 13** Seal HVAC penetrations
- 13** Seal HVAC penetrations
- 7** Seal bo pl



2

Use baster rod or spray foam (appropriate for windows) to fill gaps between window/door and rough opening

16

Caulk and seal rough opening

Rigid insulation

Weather-strip door opening and threshold

Diagram 16 shows a cross-section of a door opening. The door is open to the left. The rough opening is sealed with caulking. The interior of the opening is filled with rigid insulation. A weather-strip door opening and threshold is shown at the bottom of the opening.

**14** Seal bathtub drain penetration

**Disclaimer:**  
This document is intended solely to help graphically demonstrate the air leakage provisions of section 502.1.4 of the 2000 IECC. It does not cover all airsealing locations or techniques. Other code provisions may be applicable as well.

Insulation dams prevent loose-fill insulation from falling through access

Hatch lid pushes up and out of the way for access

Rigid insulation plus batt

Trim

19 Air seal gasket

Rigid insulation box forms lid for pull-down attic access.

Insulation dams prevent loose-fill insulation from falling through access.

Cover box pushes up and out of the way for access.

Weatherstripping

Weatherstripping

Panel

Seal gasket between lid and opening caulk, rod, or seal.

20

Intentional combustion air inlets as per mechanical code

Flue stack

21

Seal gas and plumbing penetrations through walls

Insulated walls (optional)

Insulated water heater (recommended)

Bottom plate sealed

Door closes against solid threshold

22

Solid (non-louvered) door with weatherstripping

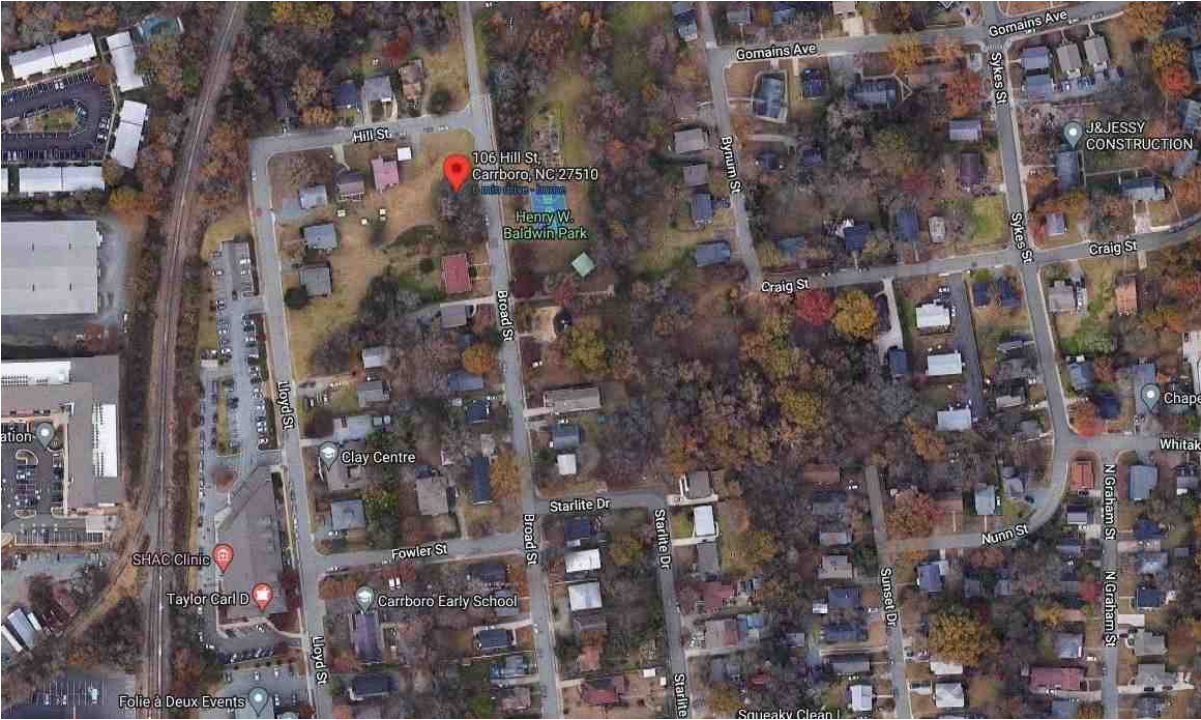
**25** Caulk exterior wall penetrations for refrigeration lines, condensate line, etc.

A diagram showing a technician applying caulk to the exterior wall penetration for refrigeration lines and a condensate line. The technician is using a caulking gun to apply the caulk around the lines where they enter the wall. The lines are labeled 'REFRIGERATION LINES' and 'CONDENSATE LINE'.



Borrower	N/A				File No. 26576	
Property Address	106 Hill St					
City	Carrboro	County	Orange	State	NC	Zip Code 27510
Client	Erika M. Walker					

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Property Address: 106 Hill St	City: Carrboro	State: NC	Zip Code: 27510
Client: Erika M. Walker	Address: Pee Wee Homes , 8410 Merin Rd, Chapel Hill, NC 27516		
Appraiser: John A. McPhaul, III	Address: 2 Bolin Hts Ste A, Chapel Hill, NC 27514-5739		

**STATEMENT OF ASSUMPTIONS & LIMITING CONDITIONS**

- The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it. The appraiser assumes that the title is good and marketable and, therefore, will not render any opinions about the title. The property is appraised on the basis of it being under responsible ownership.

- The appraiser may have provided a plat and/or parcel map in the appraisal report to assist the reader in visualizing the lot size, shape, and/or orientation. The appraiser has not made a survey of the subject property.

- If so indicated, the appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other data sources) and has noted in the appraisal report whether the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.

- The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand.

- The appraiser has noted in the appraisal report any adverse conditions (including, but not limited to, the presence of hazardous wastes, toxic substances, etc.) observed during the inspection of the subject property, or that he or she became aware of during the normal research involved in performing the appraisal. Unless otherwise stated in the appraisal report, the appraiser has no knowledge of any hidden or unapparent conditions of the property, or adverse environmental conditions (including, but not limited to, the presence of hazardous wastes, toxic substances, etc.) that would make the property more or less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied, regarding the condition of the property. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, the appraisal report must not be considered as an environmental assessment of the property.

- The appraiser obtained the information, estimates, and opinions that were expressed in the appraisal report from sources that he or she considers to be reliable and believes them to be true and correct. The appraiser does not assume responsibility for the accuracy of such items that were furnished by other parties.

- The appraiser will not disclose the contents of the appraisal report except as provided for in the Uniform Standards of Professional Appraisal Practice, and any applicable federal, state or local laws.

- An appraiser's client is the party (or parties) who engage an appraiser in a specific assignment. Any other party acquiring this report from the client does not become a party to the appraiser–client relationship. Any persons receiving this appraisal report because of disclosure requirements applicable to the appraiser's client do not become intended users of this report unless specifically identified by the client at the time of the assignment.

- The appraiser's written consent and approval must be obtained before this appraisal report can be conveyed by anyone to the public, through advertising, public relations, news, sales, or by means of any other media, or by its inclusion in a private or public database. Possession of this report or any copy thereof does not carry with it the right of publication.

- Forecasts of effective demand for the highest and best use or the best fitting and most appropriate use were based on the best available data concerning the market and are subject to conditions of economic uncertainty about the future.

The Scope of Work is the type and extent of research and analyses performed in an appraisal assignment that is required to produce credible assignment results, given the nature of the appraisal problem, the specific requirements of the intended user(s) and the intended use of the appraisal report. Reliance upon this report, regardless of how acquired, by any party or for any use, other than those specified in this report by the Appraiser, is prohibited. The Opinion of Value that is the conclusion of this report is credible only within the context of the Scope of Work, Effective Date, the Date of Report, the Intended User(s), the Intended Use, the stated Assumptions and Limiting Conditions, any Hypothetical Conditions and/or Extraordinary Assumptions, and the Type of Value, as defined herein. The appraiser, appraisal firm, and related parties assume no obligation, liability, or accountability, and will not be responsible for any unauthorized use of this report or its conclusions.

Additional Comments (Scope of Work, Extraordinary Assumptions, Hypothetical Conditions, etc.):  
We have made the extraordinary assumption that in spite of the drainage easement impacting the lot that a single family home could be constructed. Should this not be the case it could have a detrimental impact on our value conclusions.



APPRAISER'S CERTIFICATION

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The credibility of this report, for the stated use by the stated user(s), of the reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.
- I did not base, either partially or completely, my analysis and/or the opinion of value in the appraisal report on the race, color, religion, sex, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property, or of the present owners or occupants of the properties in the vicinity of the subject property.
- Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.
- Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification.

Additional Certifications:  
None

DEFINITION OF MARKET VALUE \*:

Market value means the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. Buyer and seller are typically motivated;
2. Both parties are well informed or well advised and acting in what they consider their own best interests;
3. A reasonable time is allowed for exposure in the open market;
4. Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
5. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

\* This definition is from regulations published by federal regulatory agencies pursuant to Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act (FIRREA) of 1989 between July 5, 1990, and August 24, 1990, by the Federal Reserve System (FRS), National Credit Union Administration (NCUA), Federal Deposit Insurance Corporation (FDIC), the Office of Thrift Supervision (OTS), and the Office of Comptroller of the Currency (OCC). This definition is also referenced in regulations jointly published by the OCC, OTS, FRS, and FDIC on June 7, 1994, and in the Interagency Appraisal and Evaluation Guidelines, dated October 27, 1994.

Client Contact:	Client Name: Erika M. Walker
E-Mail: peeweehomes@gmail.com	Address: Pee Wee Homes , 8410 Merin Rd, Chapel Hill, NC 27516

APPRAISER

Appraiser Name: John A. McPhaul, III  
Company: McPhaul Appraisal, Inc.  
Phone: (919) 968-6866  
E-Mail: john@mcphaulappraisal.com  
Date Report Signed: 01/05/2023  
License or Certification #: A137 State: NC  
Designation: N. C. Certified Residential Real Estate Appraiser  
Expiration Date of License or Certification: 06/30/2023  
Inspection of Subject: ☒ Did Inspect ☐ Did Not Inspect (Desktop)  
Date of Inspection: 01/03/2023

SUPERVISORY APPRAISER (if required)  
or CO-APPRAISER (if applicable)

Supervisory or Co-Appraiser Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Date Report Signed: \_\_\_\_\_  
License or Certification #: \_\_\_\_\_ State: \_\_\_\_\_  
Designation: \_\_\_\_\_  
Expiration Date of License or Certification: \_\_\_\_\_  
Inspection of Subject: ☐ Did Inspect ☐ Did Not Inspect  
Date of Inspection: \_\_\_\_\_

SIGNATURES



**File No.: 26576**

LAND APPRAISAL REPORT

106 Hill St(PIN# 97789758& File No.: 26576

TRANSFER HISTORY

My research ☐ did ☒ did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data Source(s): MLS & Tax Records.

1st Prior Subject Sale/Transfer

Date: 3/24/2022

Price: \$0

Source(s): DB:6775/1365

2nd Prior Subject Sale/Transfer

Date: 5/16/2006

Price: \$0

Source(s): DB:4033/184

Analysis of sale/transfer history and/or any current agreement of sale/listing:

The subject has not sold in the past 3 years, and the comparables have not sold within 12 months.

SALES COMPARISON APPROACH

FEATURE	SUBJECT PROPERTY	COMPARABLE NO. 1		COMPARABLE NO. 2		COMPARABLE NO. 3	
Address	106 Hill St Carrboro, NC 27510	101 Hargraves St Carrboro, NC 27510		138 Lincoln Ln Chapel Hill, NC 27516		110 Sue Ann Ct Carrboro, NC 27510	
Proximity to Subject		0.45 miles S		0.74 miles S		0.56 miles NW	
Sale Price	\$ n/a		\$ 135,000		\$ 99,000		\$ 160,000
Price/	\$ n/a	\$ 16.31		\$ 14.14		\$ 15.97	
Data Source(s)	On Site	TMLS#2330748;DOM 7		TMLS#2325889;DOM 510		TMLS#2368242;DOM 25	
Verification Source(s)	Tax Records	MLS & Tax Records		MLS & Tax Records		MLS & Tax Records	
VALUE ADJUSTMENT	DESCRIPTION	DESCRIPTION	+ (-) \$ Adjust	DESCRIPTION	+ (-) \$ Adjust	DESCRIPTION	+ (-) \$ Adjust
Sales or Financing	n/a	ArmLth		ArmLth		ArmLth	
Concessions	n/a	Cash;0		Cash;0		Cash;0	
Date of Sale/Time	01/03/2023 INSP	1/5/2021		12/15/2021		4/1/2021	
Rights Appraised	Fee Simple	Fee Simple		Fee Simple		Fee Simple	
Location	N;Res;	N;Res;		N;Res;		N;Res;	
Site Area	7,405	8,276	0	7,002	0	10,019	-25,000
PIN#	9778975883	9778958485		9778946093		9778687921	
Easements	Drainage	None	-10,000	None	-10,000	None	-10,000
Tax Value 2022	\$120,000	\$150,000		\$78,200		\$175,500	
Net Adjustment (Total, in \$)		<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$	-10,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$	-10,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$	-35,000
Adjusted Sale Price (in \$)		\$	125,000	\$	89,000	\$	125,000
Summary of Sales Comparison Approach		See attached addenda.					

PUD

PROJECT INFORMATION FOR PUDs (if applicable)

☐ The Subject is part of a Planned Unit Development.

Legal Name of Project:

Describe common elements and recreational facilities:

RECONCILIATION

Indicated Value by: Sales Comparison Approach \$

123,000

Final Reconciliation

The Sales Comparison Approach is considered the best reflection of buyer attitudes and adopted.

This appraisal is made ☒ "as is", or ☐ subject to the following conditions:

☒ This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.

Based upon an inspection of the subject property, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is:

\$ 123,000, as of: 03/24/2022, which is the effective date of this appraisal.

If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.

ATTACH.

A true and complete copy of this report contains 28 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report, which contains the following attached exhibits:

☒ Limiting cond./Certifications

☒ Narrative Addendum

☒ Location Map(s)

☒ Flood Addendum

☒ Additional Sales

☒ Photo Addenda

☒ Parcel Map

☐ Hypothetical Conditions

☒ Extraordinary Assumptions

☐

SIGNATURES

Client Contact:

E-Mail: peeweehomes@gmail.com

APPRaiser

Appraiser Name: John A. McPhaul, III

Company: McPhaul Appraisal, Inc

Phone: (919) 968-6866

E-Mail: john@mcphaulappraisal.com

Date of Report (Signature): 01/05/2023

License or Certification #: A137

Designation: N. C. Certified Residential Real Estate Appraiser

Expiration Date of License or Certification: 06/30/2023

Inspection of Subject: ☒ Did Inspect ☐ Did Not Inspect (Desktop)

Date of Inspection: 01/03/2023

Client Name: Erika M. Walker

Address: Pee Wee Homes , 8410 Merin Rd, Chapel Hill, NC 27516

SUPERVISORY APPRAISER (if required) or CO-APPRaiser (if applicable)

Supervisory or Co-Appraiser Name:

Company:

Phone:

Fax:

E-Mail:

Date of Report (Signature):

License or Certification #:

Designation:

Expiration Date of License or Certification:

Inspection of Subject: ☐ Did Inspect ☐ Did Not Inspect

Date of Inspection:

GP LAND

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Form GPLND - "TOTAL" appraisal software by a la mode, inc. - 1-800-ALAMODE

3/2007





Borrower	N/A				
Property Address	106 Hill St				
City	Carrboro	County	Orange	State	NC Zip Code 27510
Client	Erika M. Walker				

• **GP Land: Site Description - Zoning Description**

The purpose of each of the foregoing residential districts is to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in non-residential districts.

• **GP Land: Site Description - Summary of Highest & Best Use**

The Fifth Edition of The Dictionary of Real Estate Appraisal by the Appraisal Institute defines highest and best use as: The reasonably probable and legal use of vacant land or an improved property that is physically possible, appropriately supported, financially feasible and that results in the highest value. Most textbooks don't mention "appropriately supported" as part of the highest and best use definition. The Uniform Standards of Professional Appraisal Practice (USPAP) does not have a definition for highest and best use. However, if an appraisal report is prepared, it requires the appraiser to summarize the support and rationale for that opinion.

The appraiser's highest and best use analysis considered the property as it is improved. The use of the comparable sales demonstrates that the improvements are compatible with market demand for the neighborhood, and the present improvements contribute to the value of the subject property so that its value is greater than the estimated vacant site value, the appraiser has considered the existing use as reasonable and reported it as the highest and best use.

• **GP Land: Summary of Sales Comparison Approach**

All comparables are considered to be very similar in location, design, functional utility and market appeal. They are all from the subject market area and are considered to be the best indicators of value for the subject available. Sales 1-3 were given the most weight. Below are the agent comments from each sales recent listing.

**101 Hargraves St** - Lot one block from Franklin St and UNC- Chapel Hill.

**138 Lincoln Ln** - Wonderful lots at end of a Dead -End road. 3 lots available. Wonderful opportunityto build in Chapel Hill. Tax value TBD

**110 Sue Ann Ct** - Fabulous opportunity to build your own house in the center of Carrboro! You willhave Privacy at the end of the court with dedicated Open Space around and nostreets bordering you. Almost 1/4 acre wooded lot less than a mile to WeaverStreet Market and even closer to park, bikeway and Carrboro Elementary. Newsurvey needed to confirm setbacks. Close proximity to the Farmer's Market, UNC,cafes, restaurants, shops & park path to Booker Creek and Carolina N bike, dog &people trails. Mockup shown. Duplex OK. Lot has Zone 1 & 2 riparian buffers. Current buildable area in dwg ~1500ft2 ftprt,Larger area w/Zone 2 variance w town (see docs)- submit appl, survey & plans &have hearing. OK for landscaped R2 buffer. Lot & house dimensions hand-drawnapproximations. Access easemt over OWASA 15' to right of manhole. PerOWASA prob wont disturb easemt & if do will do basic repair concrete/gravel.

**119 Old Pittsboro Rd** - Rare opportunity to build your dream home in downtown Carrboro! Oh so close to all the amazing retail, restaurants, local brew & services thisspecial town has to offer. Bike to campus, stroll to the farmers' market & connect with a true community! New sidewalk in the works on the Westside of S. Greensboro. Adjacent lot on S. Greensboro could be combined for a truly remarkable property.Sewer access for adjacent 428 S. Greensboro lot will require a 5-foot "flag" on this property - lots will be re-drawn to allow. Old Pittsborolot will not be sold until sewer access granted. Listing agent will happily walk the property with qualified buyers.

**428 S Greensboro St** - Rare opportunity to build your dream home in downtown Carrboro! Oh so close to all the amazing retail, restaurants, local brew & services thisspecial town has to offer. Bike to campus, stroll to the farmers' market & connect with a true community! New sidewalk in the works on the Westside of S. Greensboro. Adjacent lot on Old Pittsboro could be combined for a truly remarkable property.Sewer access for this lot will require a 5-foot "flag" to 119 Old Pittsboro - lots will be re-drawn before closing to allow. Old Pittsboro lot willnot be sold until sewer access granted. Listing agent will happily walk the property with qualified buyers.

**MARKET ALLOCATION/EXTRACTION REVIEW**

**Extraction**

A method of estimating land value in which the depreciated cost of the improvements on the improved property is estimated and deducted from the total sale price to arrive at an estimated sale price for the land; most effective when the improvements contribute little to the total sale price of the property.

**Allocation**

- 1.The general process of separating value between the component parts of a property.
- 2.A method of estimating land value in which sales of improved properties are analyzed to establish a typical ratio of land value to total property value and this ratio is applied to the property being appraised or the comparable sale being analyzed. Since there were no sales of recently constructed home it is difficult to use the extraction method so we have relied on Market Allocation to establish support for the indicated value in the Sales Comparison Approach to value.

On the attached Market Statistics page you can see that the closed sales in the last 12 months in the subject's expanded market area and they ranged in Sales Prices from \$210,000---\$2,500,000 with an average sales price of \$555,000. Using a market allocation attributing 20%-25% of the sales price to the land the indicated lot values would be from \$111,000--\$138,750.

As can readily be discerned from the sales comparison approach an allocation of @22% is most reflective of the current market.

2 of 2



Doc No: 30069848  
Recorded: 03/31/2022 04:10:42 PM  
Fee Amt: \$26.00 Page 1 of 3  
Excise Tax: \$0.00  
Orange County North Carolina  
Mark Chilton, Register of Deeds  
BK 6775 PG 1365 - 1367 (3)

*Melley K. Kump*

NORTH CAROLINA SPECIAL WARRANTY DEED

Excise Tax - \$0 -

Recording: Time, Book and Page

Parcel 9778-97-5883M

Mail after recording to Robert Hornik, Brough Law Firm 1526 E. Franklin St S  
Suite 200, Chapel Hill, NC 27514

This instrument prepared by Robert E. Hornik, Jr.; The Brough Law Firm (without title search)  
Brief Description for the index \_\_\_\_\_

THIS DEED made this 24<sup>th</sup> day of March, 2022, by and between:

GRANTOR	GRANTEE
Town of Carrboro, a North Carolina Municipality 301 W. Main Street Carrboro, NC 27510	Pee Wee Homes, a North Carolina non-profit corporation 8410 Merin Road Chapel Hill, NC 27516

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

**WITNESSETH**, that the Grantor, for One Dollar (\$1.00) and other good and valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of Carrboro, Chapel Hill Township, Orange County, North Carolina and more particularly described as follows:

See Attachment A; being the same property conveyed to Grantor by a deed recorded on May 19, 2006 in the Orange County Registry at Deed Book 4033, at Page 184.

**TO HAVE AND TO HOLD** the aforesaid lot or parcel of land all privileges and appurtenances thereto belonging to the Grantee in fee simple.

BK 6775 PG 1366 DOC# 30069848

And the Grantor covenants with the Grantee, that Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against he lawful claims of all persons claiming by, under or through Grantor except for the exceptions hereinafter stated.  
Title to the property hereinabove described is subject to the following exceptions:

Easements and restrictions of record.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

(SEAL) TOWN OF CARRBORO, a North Carolina Municipal Corporation  
ATTEST:

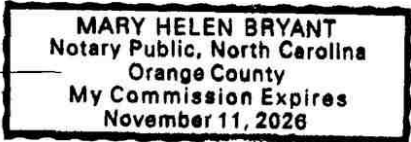
  
Wesley Barker, Clerk

BY   
Richard White, Town Manager

Orange County, North Carolina

I, Mary H. Bryant, a Notary Public in and for said County and State, do hereby certify that Wesley Barker, with whom I am personally acquainted, personally appeared before me, and being duly sworn, says that he is the Clerk of the Town of Carrboro and that he knows the common seal of the Town of Carrboro, a municipal corporation, and is acquainted with Richard White, Town Manager of the Town of Carrboro, and that he saw said Town Manager sign the foregoing instrument and he affixed the common seal of said Town of Carrboro to said instrument, and that he as Town Clerk signed his name in attestation of said instrument by Richard White.

My commission expires: Nov. 11, 2026 Mary H. Bryant  
Notary Public



The foregoing Certificate of \_\_\_\_\_ is certified to be correct. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the first page hereof.

\_\_\_\_\_  
REGISTER OF DEEDS FOR ORANGE COUNTY

By \_\_\_\_\_ Deputy/Assistant-Register of Deeds

BK 6775 PG 1367 DOC# 30069848

BEGINNING at a stake Southwest intersection of Carr and Hill Streets, running thence with Carr Street South 3° 15' East 150 feet to a stake thence South 86° 45' West 50 feet to a stake, thence North 3° 15' West 150 feet to a stake in Hill Street, thence with Hill Street North 86° 45' East 50 feet to the beginning, and being Lots #23 and 24, Block D, of the Herbert Lloyd land in the Town of Carrboro, North Carolina, as per survey of E. H. Coxley, November, 1919, and traced by S. M. Credle, October 15, 1924, and recorded in the Office of the Register of Deeds for Orange County, North Carolina.

*Attached A*

Book 6775





Tuesday, December 20, 2022



LOCATION

Property Address	No Address Available NC
Subdivision	
County	Orange County, NC

GENERAL PARCEL INFORMATION

Parcel ID/Tax ID	9778975883
Alternate Parcel ID	7.93.F.2
Account Number	
District/Ward	21
2020 Census Trct/Blk	107.05/2
Assessor Roll Year	2021

PROPERTY SUMMARY

Property Type	
Land Use	
Improvement Type	
Square Feet	

CURRENT OWNER

Name	Pee Wee Homes
Mailing Address	8410 Merin Rd Chapel Hill, NC 27516-9231

SCHOOL ZONE INFORMATION

Northside Elementary School	0.4 mi
Elementary: Pre K to 5	Distance
Smith Middle School	1.9 mi
Middle: 6 to 8	Distance
Chapel Hill High School	2.3 mi
High: 9 to 12	Distance

SALES HISTORY THROUGH 12/09/2022

Date	Amount	Buyer/Owners	Seller	Instrument	No. Parcels	Book/Page Or Document#
3/24/2022		Pee Wee Homes		Special Warranty Deed		6775/1365 30069848
5/16/2006		Carrboro Town Of				4033/184
2/1/1977	\$1,000					270/482

TAX ASSESSMENT

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Information Deemed Reliable But Not Guaranteed.

Property Report, cont.

Tax Assessment	2022	Change (%)	2021	Change (%)	2020
Appraised Land	\$120,000.00		\$120,000.00	\$35,000.00 (41.2%)	\$85,000.00
Appraised Improvements					
Total Tax Appraisal	\$120,000.00		\$120,000.00	\$35,000.00 (41.2%)	\$85,000.00
Total Assessment	\$120,000.00		\$120,000.00	\$35,000.00 (41.2%)	\$85,000.00
Jurisdiction Rates					
Carrboro City	0.00604				
Orange County	0.00831				
Chapel Hill/Carrboro School District	0.00183				

TAXES

Tax Year	City Taxes	County Taxes	Total Taxes
2022	\$725.28	\$997.44	\$1,942.32
2021	\$725.28	\$982.44	\$1,927.32
2020	\$509.49	\$737.72	\$1,418.74
2019	\$505.24	\$737.72	\$1,414.49
2018	\$104.02	\$148.82	\$288.16
2017	\$103.15	\$146.60	\$285.06
2016	\$75.06	\$111.81	\$213.41
2015	\$75.06	\$111.81	\$213.41
2014	\$75.06	\$111.81	\$213.41
2013	\$75.06	\$109.27	\$210.87

MORTGAGE HISTORY

No mortgages were found for this parcel.

FORECLOSURE HISTORY

No foreclosures were found for this parcel.

PROPERTY CHARACTERISTICS: BUILDING

No Buildings were found for this parcel.

PROPERTY CHARACTERISTICS: EXTRA FEATURES

No extra features were found for this parcel.

PROPERTY CHARACTERISTICS: LOT

Land Use		Lot Dimensions	
Block/Lot		Lot Square Feet	7,405
Latitude/Longitude	35.914883°/-79.068674°	Acreage	0.17

PROPERTY CHARACTERISTICS: UTILITIES/AREA

Gas Source	Private	Road Type	Paved
Electric Source	Public	Topography	
Water Source	Public	District Trend	
Sewer Source	Public	Special School District 1	
Zoning Code	R75	Special School District 2	
Owner Type			

LEGAL DESCRIPTION

Subdivision	Plat Book/Page	1/21
-------------	----------------	------

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Information Deemed Reliable But Not Guaranteed.

Property Report, cont.

Block/Lot	District/Ward	21
Description	24 BI D Herbert Lloyd Pa/24 Aka 23-24 Herbert Lloyd P1/21	

FEMA FLOOD ZONES

Zone Code	Flood Risk	BFE	Description	FIRM Panel ID	FIRM Panel Eff. Date
X	Minimal		Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level.	3710977800K	11/17/2017

LISTING ARCHIVE

No Listings found for this parcel.
------------------------------------

# R75 Zoning District

## Section 15-135(a)

The following basic residential districts are hereby established: R-20, R-15, R-10, R-7.5, R-3, R-2, R-R, R-S.I.R., and R-S.I.R.-2. The purpose of each of the foregoing residential districts is to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in non-residential districts.

(AMENDED 5/12/81; 12/7/83; 2/4/86)

### Requirements for the R75 Zoning District

Feature	Requirement
Boundary Setback (ft)	10
Centerline Setback (ft)	55
Cluster Min Sq Ft (sq ft)	5625
Maximum Height (ft)	35
Min Lot Size (sq ft)	7500
Min Lot Width (ft)	75
Min Sq Ft / Unit (sq ft)	7500
R/W Setback (ft)	25

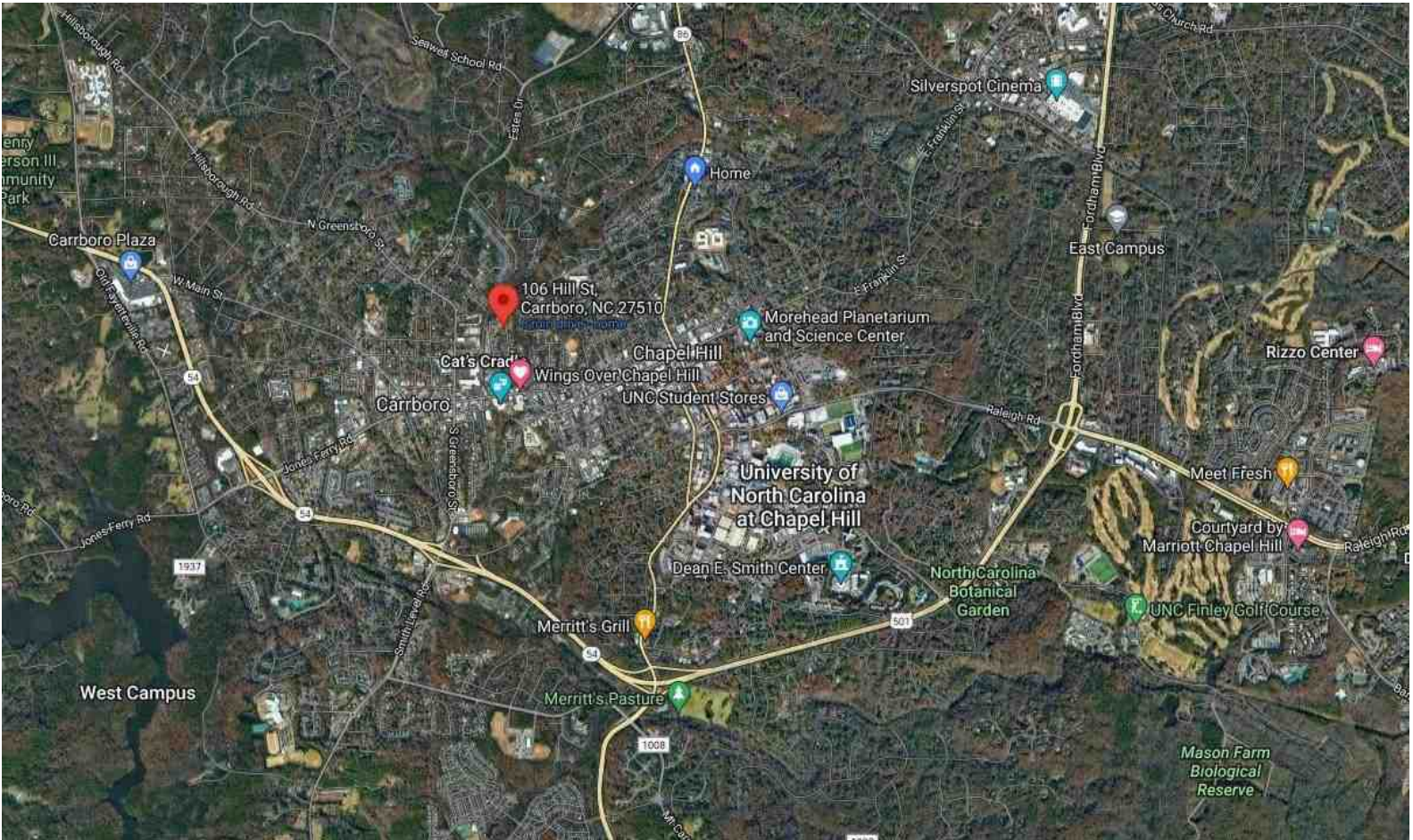
### Uses Allowed in the R75 Zoning District

Category	Land Use	Required Permit
1.111	Single Family Detached 1 per lot (Site Built / Modular)	Z
1.112	Class A Mobile Home 1 per lot	Z
1.121	Single Family Detached 1-4 units (Site Built / Modular)	Z
1.1211	Single Family Detached 5-12 units (Site Built / Modular)	SUP
1.1212	Single Family Detached 13+ units (Site Built / Modular)	CUP
1.122	Class A Mobile Home > 1 per lot 1-4 units	Z
1.1221	Class A Mobile Home > 1 per lot 5-12 units	SUP
1.1222	Class A Mobile Home > 1 per lot 13+ units	CUP
1.21	2-Family Conversion 1-4 units	Z
1.2101	2-Family Conversion 5-12 units	SUP
1.2102	2-Family Conversion 13 + units	CUP
1.22	Primary Residence with Assessory Apartment 1-4 units	Z
1.2201	Primary Residence with Assessory Apartment 5-12 units	SUP
1.2202	Primary Residence with Assessory Apartment 13+ units	CUP
1.231	Duplex 1-4 units (Maximum 20% with > 3 bedrooms)	Z
1.2311	Duplex 5-12 units (Maximum 20% with > 3 bedrooms)	SUP
1.2312	Duplex 13 + units (Maximum 20% with > 3 bedrooms)	CUP
1.241	2-Family Apartment 1-4 units (Maximum 20% with > 3 bedrooms)	Z
1.2411	2-Family Apartment 5-12 units (Maximum 20% with > 3 bedrooms)	SUP
1.2412	2-Family Apartment 13+ units (Maximum 20% with > 3 bedrooms)	CUP
1.31	Multi-Family Conversion 3-4 units	Z

1.3101	Multi-Family Conversion 5-12 units	SUP
1.3102	Multi-Family Conversion 13+ units	CUP
1.321	Multi-Family Townhouse 3-4 units (Maximum 20% with > 3 bedrooms)	Z
1.3211	Multi-Family Townhouse 3-12 units (Maximum 20% with > 3 bedrooms)	SUP
1.3212	Multi-Family Townhouse 13+ units (Maximum 20% with > 3 bedrooms)	CUP
1.331	Multi-Family Apartments 3-4 units (Maximum 20% with > 3 bedrooms)	Z
1.3311	Multi-Family Apartments 5-12 units (Maximum 20% with > 3 bedrooms)	SUP
1.3312	Multi-Family Apartments 13+ units (Maximum 20% with > 3 bedrooms)	CUP
1.41	Fraternities, Sororities, Dormitories, and Similar Housing	CUP
1.42	Boarding Houses, Rooming Houses	SUP
1.43	Adult Care Home, Class A	Z
1.44	Adult Care Home, Class B	SUP
1.45	Child Care Home, Class A	Z
1.46	Child Care Home, Class B	SUP
1.47	Maternity Home	Z
1.48	Nursing Care Home	Z
1.51	Tourist Homes and Other Temporary Residences	SUP
1.61	Temporary Homes for the Homeless	SUP
1.9	Home Occupation	Z
5.11	Elementary and Secondary Schools	CUP
5.2	Churches, Synagogues, Temples, etc.	Z, S (>1 Acre)
5.31	Libraries, Museums, Art Galleries, and Similar Uses in Residential Building < 3,500 sq. ft.	SUP
6.14	Community Center (Public / Non-Profit)	Z
6.21	Outdoor Recreation / Private Lands / without Town Sponsorship / Not Part of a Residential Development	SUP
6.221	Outdoor Recreation on Public Lands Operated by the Town of Carrboro	Z
6.222	Outdoor Recreation on Public Lands Operated by a Public Entity Not the Town	CUP
13.1	Police Stations	Z
13.2	Fire Stations	Z
13.3	Rescue Squad, Ambulance Service	SUP
13.4	Civil Defense Operation	SUP
14.11	Agriculture and Farming Excluding Livestock	Z
14.2	Silvicultural Operations	Z
14.4	Reclamation Landfill	Z
15.82	All Other Town-Owned and/or Operated Facilities and Services	Z
17.1	Utility Facility, Neighborhood	SUP
17.4	Underground Utility Lines	Z
18.1	Towers and Antennas < 50 ft. Tall	Z
18.3	Antennas > 50 ft. Tall on Structures Other Than Towers [Not accessory15-150(c)5]	SUP
21.1	Town-Owned Cemetery	Z
22.1	Child Day Care Home	Z
22.2	Child Day Care Facility	SUP
22.3	Senior Citizens Day Care, Class A	SUP
22.4	Senior Citizens Day Care, Class B	SUP
23.1	Temporary Construction Structures / Parking On Site	Z
26.1	Major Subdivisions 5-12 Lots	SUP
26.1001	Major Subdivisions 13+ Lots	CUP
26.2	Minor Subdivisions 2-4 Lots	Z
27	Combination Uses	Z, SUP, or CUP (15-154)
29	Special Events	CUP
34.2	Bed and Breakfast	SUP



Aerial Map





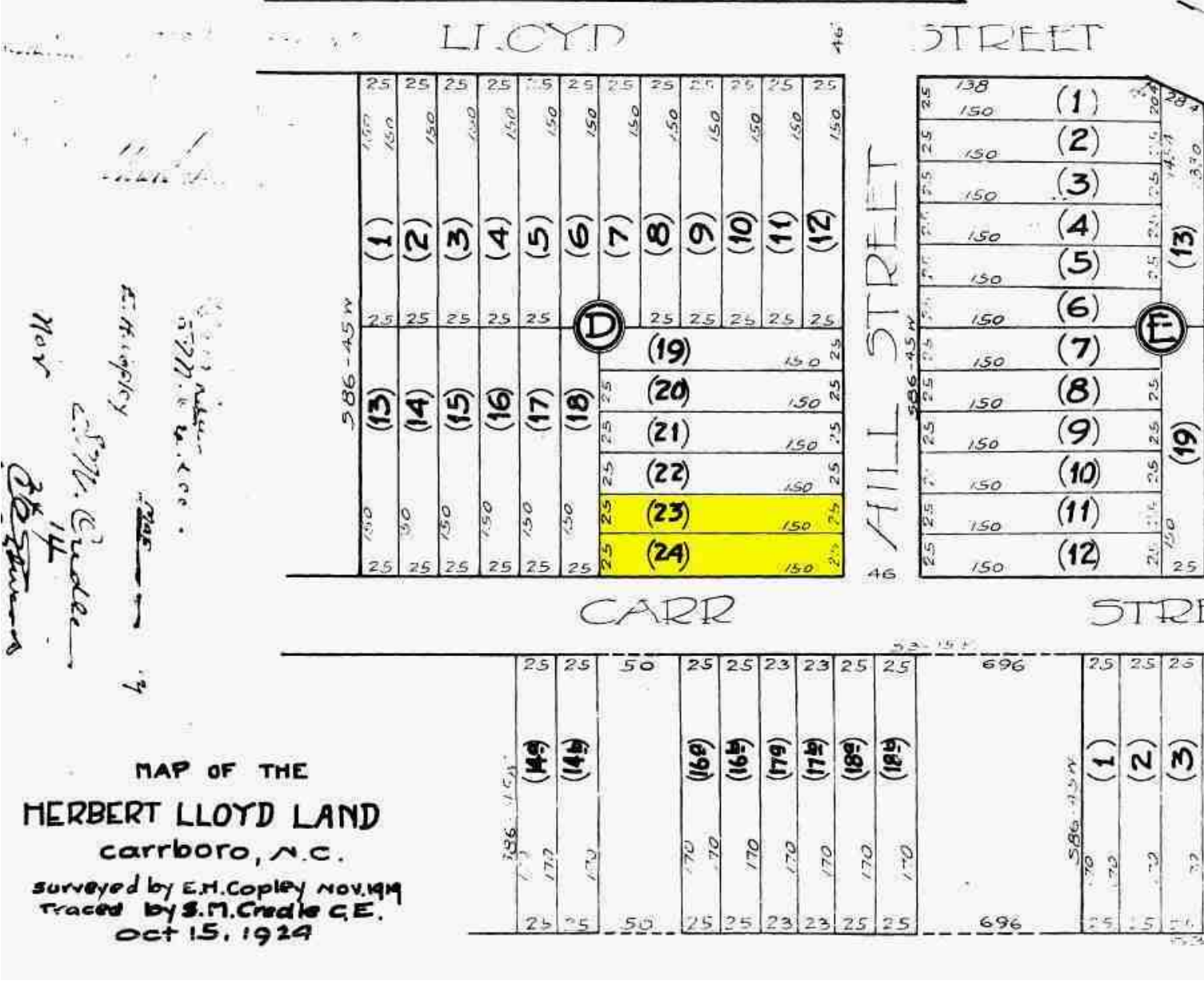
## Tax Map

Borrower	N/A						
Property Address	106 Hill St						
City	Carrboro	County	Orange	State	NC	Zip Code	27510
Client	Erika M. Walker						



Plat Map

Borrower	N/A				
Property Address	106 Hill St				
City	Carrboro	County	Orange	State	NC
Client	Erika M. Walker	Zip Code	27510		





Site Map

Borrower	N/A			
Property Address	106 Hill St			
City	Carrboro	County	Orange	State NC Zip Code 27510
Client	Erika M. Walker			

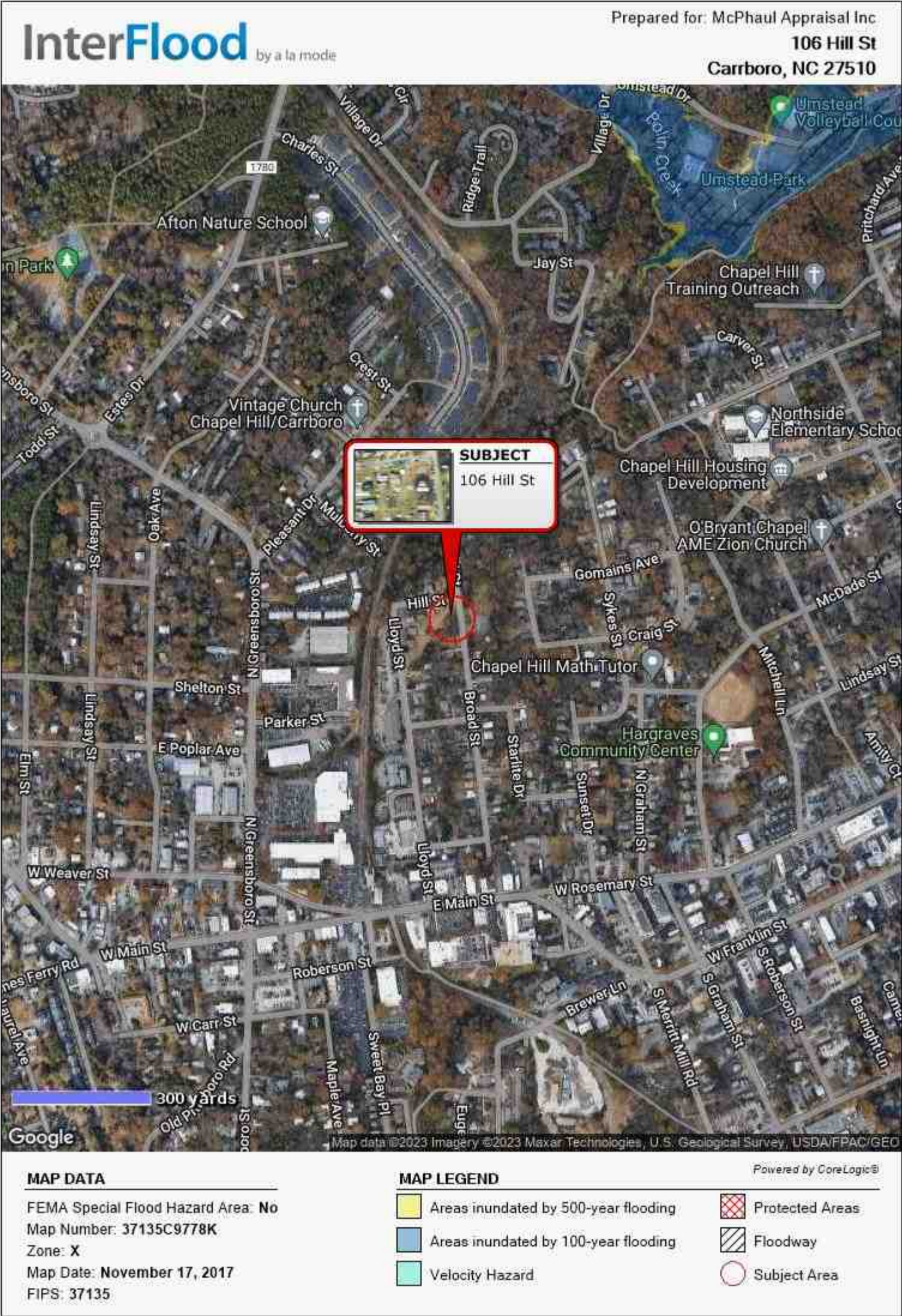
Yellow area is buildable.





Flood Map

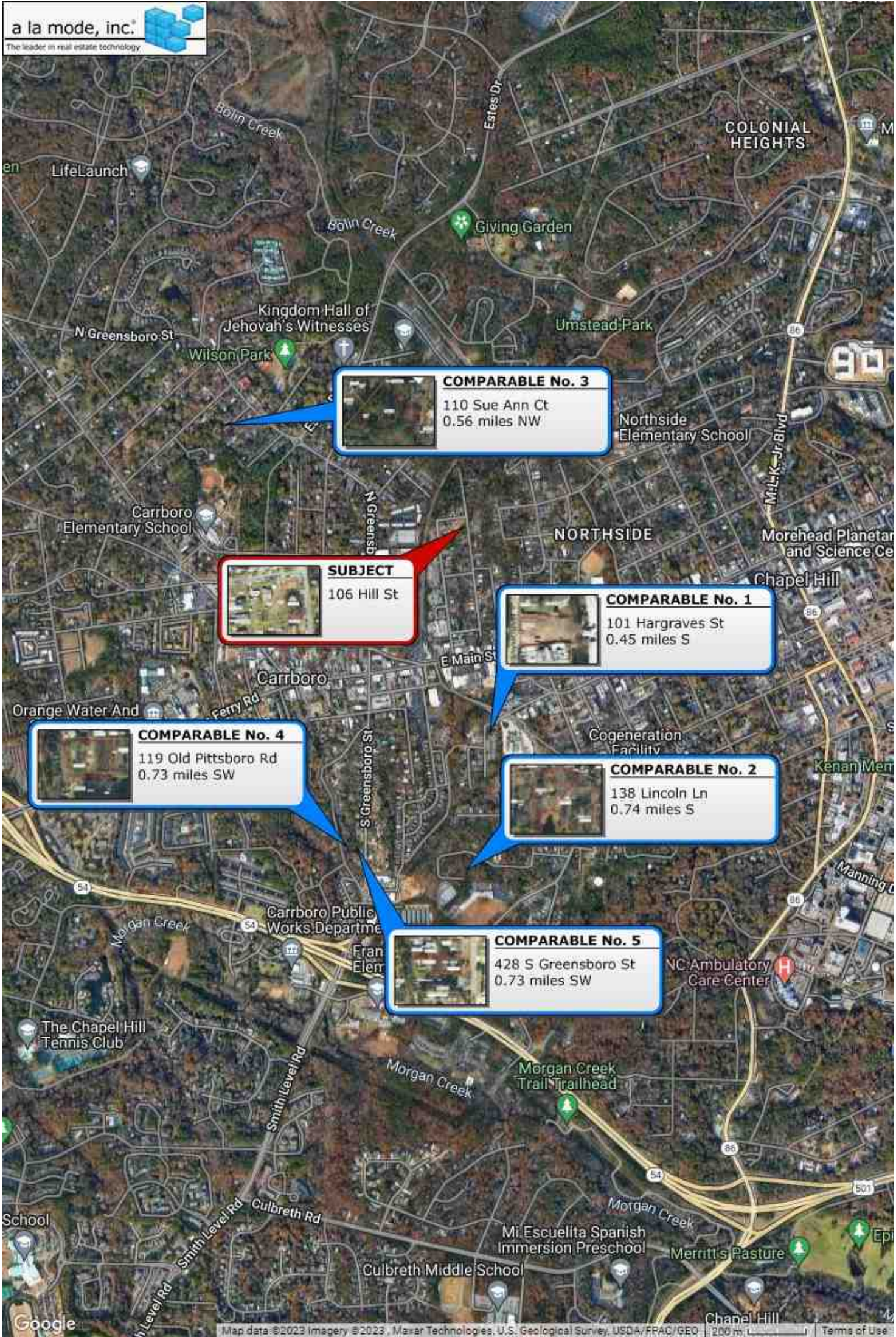
Borrower	N/A				
Property Address	106 Hill St				
City	Carrboro	County	Orange	State	NC
Client	Erika M. Walker			Zip Code	27510





Location Map

Borrower	N/A				
Property Address	106 Hill St				
City	Carrboro	County	Orange	State	NC Zip Code 27510
Client	Erika M. Walker				





Subject Land Photo Page

Borrower	N/A				
Property Address	106 Hill St				
City	Carrboro	County	Orange	State	NC Zip Code 27510
Client	Erika M. Walker				



Subject Front

106 Hill St	
Sales Price	n/a
Date of Sale	01/03/2023 INSP
Site Area	7,405
Location	N;Res;
PIN#	9778975883
Easements	Drainage
Tax Value 2022	\$120,000



Subject Rear



Subject Street



Photograph Addendum

Borrower	N/A				
Property Address	106 Hill St				
City	Carrboro	County	Orange	State	NC Zip Code 27510
Client	Erika M. Walker				





Photograph Addendum

Borrower	N/A					
Property Address	106 Hill St					
City	Carrboro	County	Orange	State	NC	Zip Code 27510
Client	Erika M. Walker					

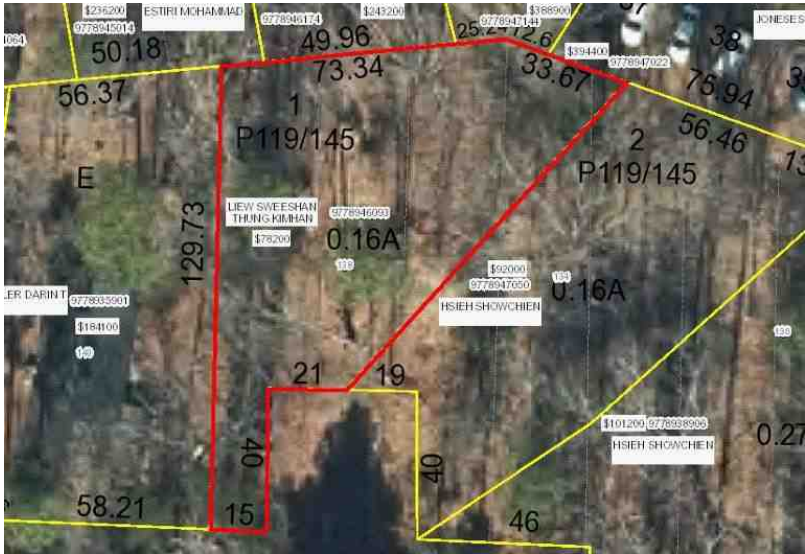


Comparable Photo Page						
Borrower	N/A					
Property Address	106 Hill St					
City	Carrboro	County	Orange	State	NC	Zip Code 27510
Client	Erika M. Walker					



Comparable 1

101 Hargraves St  
Prox. to Subject 0.45 miles S  
Sale Price 135,000  
Gross Living Area  
Total Rooms  
Total Bedrooms  
Total Bathrooms  
Location N;Res;  
View  
Site 8,276  
Quality  
Age



Comparable 2

138 Lincoln Ln  
Prox. to Subject 0.74 miles S  
Sale Price 99,000  
Gross Living Area  
Total Rooms  
Total Bedrooms  
Total Bathrooms  
Location N;Res;  
View  
Site 7,002  
Quality  
Age

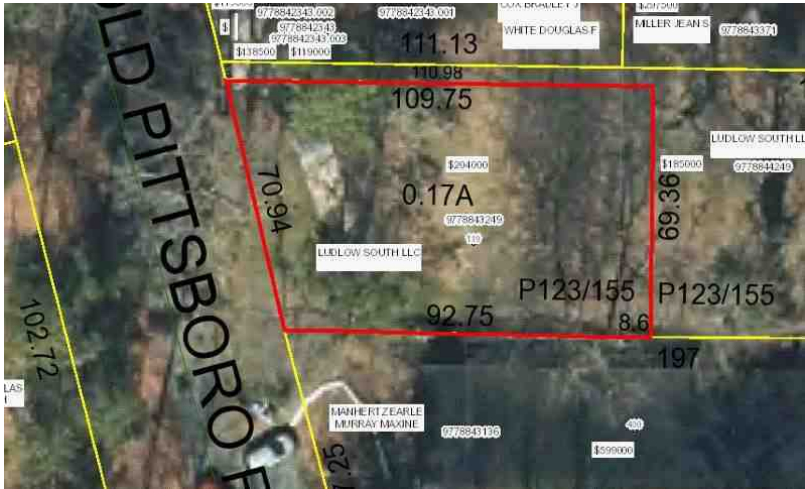


Comparable 3

110 Sue Ann Ct  
Prox. to Subject 0.56 miles NW  
Sale Price 160,000  
Gross Living Area  
Total Rooms  
Total Bedrooms  
Total Bathrooms  
Location N;Res;  
View  
Site 10,019  
Quality  
Age



Comparable Photo Page						
Borrower	N/A					
Property Address	106 Hill St					
City	Carrboro	County	Orange	State	NC	Zip Code 27510
Client	Erika M. Walker					



Comparable 4

119 Old Pittsboro Rd  
Prox. to Subject 0.73 miles SW  
Sale Price 175,000  
Gross Living Area  
Total Rooms  
Total Bedrooms  
Total Bathrooms  
Location N;Res;  
View  
Site 9,583  
Quality  
Age



Comparable 5

428 S Greensboro St  
Prox. to Subject 0.73 miles SW  
Sale Price 175,000  
Gross Living Area  
Total Rooms  
Total Bedrooms  
Total Bathrooms  
Location N;Res;  
View  
Site 8,712  
Quality  
Age

Comparable 6

Prox. to Subject  
Sale Price  
Gross Living Area  
Total Rooms  
Total Bedrooms  
Total Bathrooms  
Location  
View  
Site  
Quality  
Age





**NORTH CAROLINA  
APPRAISAL BOARD**

**APPRAISER QUALIFICATION CARD**

REGISTRATION / LICENSE / CERTIFICATE HOLDER

22

**JOHN A MCPHAUL III**

23

**A137**

APPRAISER NUMBER

**C**

TYPE

**Y**

NATIONAL REGISTRY



Appraiser's Signature



Executive Director

**EXPIRES JUNE 30, 2023**



## ENERGY EFFICIENCY MEASURES

106 Hill St

### **Planned list of energy efficient measures:**

- Electrical - Solar PV panels (kWh array TBD) on south facing roofs for energy efficiency and cost effectiveness for our tenants
- Lighting Fixtures – all LED fixtures
- Envelope Improvements
  - Air seal attics, crawlspace, sill/top plate; all windows, doors, etc.
  - Insulation: attic (R-40);
  - Crawlspace sealed with conditioned air provided- for applicable split-level unit
- Appliances – Energy Star Qualified Units
- Windows, Doors – Energy Star Qualified
- HVAC
  - Programmable Thermostat
  - High-efficiency mini-splits
  - Energy Star Qualified Unit, 14 SEER
- Plumbing
  - Water Sense toilets
  - Energy Star water heater



Universal Design Features  
106 Hill St

**Planned list of universal design features:**

- Clear door opening widths for all entrance doorways
- 1:20 max ramps for approach to two of three units
- Zero threshold showers
- Natural light and cross ventilation
- Adjustable height shelves in wall cabinets
- Single-lever water controls on plumbing fixtures
- Electrical outlets 18" minimum height

\*\*\***Livable Design**- Pee Wee Homes is committed to building homes with livable design. Having received the proper variances needed from Town Council to build into the stream buffer, we can now build two of these units to have livable design for residents to age in place. We have considered options like a wall without wiring in it so it can be removed if needed to make space for the bathrooms to accommodate accessibility.



HILL ST

106 HILL ST, CA 95071, 27510

BROAD ST





West End Fellowship

Northside  
Elementary School

106 Hill St,  
Carrboro, NC 27510

Harris Teeter

Weaver Street Market

Hampton Inn &  
Suites Chapel Hill...

Carrburritos

McDonald's

Cha House

Jade Palace

Tin Cup Ice



106 HILL ST, RALEIGH, NC, 27610



BROAD ST

100 HILLY CANYON, 27510





## Town of Carrboro

Affordable Housing Special Revenue Fund Application

## OVERVIEW

The Town of Carrboro established an Affordable Housing Special Revenue Fund in 2007. The goal of the Affordable Housing Special Revenue Fund is to advance the Town's goal of increasing and improving the stock of affordable housing within Carrboro and its planning jurisdiction.

The Affordable Housing Task Force was established in 2012 for the purpose of creating recommendations for an affordable housing strategy. In June of 2014, this goal was accomplished when the then Board of Aldermen approved the Town's Affordable Housing Goals and Strategies document. From this work, an Affordable Housing Advisory Commission (AHAC) was formed in 2017. This Commission's responsibilities related to the fund include:

- Reviewing and making recommendations to the Town Council for new or revised policies regarding the operation of the Affordable Housing Fund;
- Reviewing and making recommendations to the Town Council on affordable housing funding applications.

With this in mind, requests for funding (as explained below) will be reviewed by the AHAC who will then make a recommendation to the Town Council regarding the request.

## FUNDING

Source of Funds. The Affordable Housing Special Revenue Fund may be funded by payments made by developers in lieu of providing affordable housing units under the applicable provisions of the Land Use Ordinance. Other revenue sources for the fund may include grants, donations, loans, interest payments, or other contributions or assignments.

The principal and interest earned on funds received from developers, grants, donations, loans, interest payments, or other revenues that may become available also accrue to this fund. As the Affordable Housing Special Revenue Fund develops over time, it is anticipated that funding will be available for time-sensitive acquisition requests that arise outside the established funding cycles.

Since June 2018, the Town Council has passed two half cent property tax increases, creating a dedicated revenue source for affordable housing. For Fiscal Year 21-22 the Council has approved an amount equal to 1.5¢, which is an allocation of \$337,500.

## APPROVAL

In 2018 the Town Council voted to allow the Town Manager to approve or deny funding applications for no more than \$5,000 or 15% of the existing fund, whichever is lower. These applications do not have to provide performance measures and can apply outside of the funding cycles.

Any requests over this threshold that are not appropriated by the Town Council during the budget cycle or by resolution will complete the following application. The application will be reviewed by the AHAC and their recommendation to approve or deny funding will go to the Town Council.

## ELIGIBILITY

Nonprofits and nonprofits applying on behalf of individuals may request funds to be used to address projects that meet the Town's affordable housing goals. Please see our website for a list of local housing providers: <http://www.townofcarrboro.org/982/Affordable-Housing>

In order to qualify for participation in the Affordable Housing Special Revenue Fund process, the following criteria must be met by the beneficiaries (individuals), if applicable, and substantiated by the applicant (nonprofit organizations):

- a. Beneficiaries must be a resident of Carrboro or the Carrboro planning jurisdiction, or purchasing a home in Carrboro or the Carrboro planning jurisdiction;
- b. Beneficiaries must have a gross household income of 115% the Area Median Income or less, with priority given to households at 80% of AMI and below for homeowners, and 60% of AMI and below for renters, unless otherwise described (Please see Attachment A for current income limits.);
- c. Beneficiaries must be unable to obtain a loan, either subsidized or unsubsidized, on comparable terms and conditions;
- d. Beneficiaries or applicants must be the owner of the property in fee simple or leasehold estate and have paid or have appropriate arrangements with the county tax assessor to pay the tax bill, if the property is to be rehabilitated, or have clear title if the property is to be purchased or constructed;
- e. Beneficiaries must be residing in the property to be rehabilitated, or if purchased or constructed, occupy the property when the acquisition is completed. The building or affordable unit that is subject to program funding must have an \_\_\_\_\_



anticipated life of at least 20 years after rehabilitation, or 30 years, if constructed or acquired;

f. Beneficiaries must also have an intact homeowner's insurance policy, if applicable.

## PROJECT REPORTING AND MONITORING

Recipients of funds for development are required to submit written progress reports to the Town by the end of the fiscal year (June 30) to monitor progress and performance, financial and administrative management, and compliance with the terms of the performance agreements. Reporting information may include: progress toward achieving performance goals, description of activities/challenges, and revisions of proposed project timelines/budgets. Please submit annual reports electronically by June 30 to: [amvanaman@townofcarrboro.org](mailto:amvanaman@townofcarrboro.org)

Recipients of funds for home repairs/rehab are to submit details of work completed when submitting invoices for reimbursement of funds.

## PERMITTED USES OF FUNDING

### Development & Acquisition

Loans: 1. To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of acquiring affordable housing.

2. To provide direct deferred payment loans to beneficiaries to supplement loans made by financial institutions for the purpose of acquiring affordable housing.

Land Banking: To assist in the purchase of land for conveyance to nonprofit affordable housing agencies.

Construction: To pay some or all of the expenses associated with the construction of affordable housing.

Acquisition: To acquire developed properties suitable for resale to individuals or families.

Pre-development Costs: To pay some or all of the pre-development costs (such as feasibility studies, appraisals, land options and preparation of an application) for projects to be developed for the purpose of providing rental or owner-occupied affordable housing.

Land Trust: To provide grants to organizations for land trust projects that guarantee long-term affordability of a property through a 99-year renewable ground leases or for maintenance of land trust housing stock.

Subsidy: To provide permanent subsidies to reduce the sale price of new or existing housing units so as to make them more affordable.

## **Repair, Rehabilitation, Weatherization & Preservation**

- To provide for emergency home repairs of properties in the affordable housing stock. \*
- To provide for the weatherization of properties in the affordable housing stock. \*
- To provide for the maintenance of properties in the affordable housing stock that are falling into disrepair. \*
- To guarantee the payment of loans or subsidize the interest rate on loans made by financial institutions to beneficiaries for the purpose of rehabilitating affordable housing.
- To provide grants or loans to nonprofits to avoid losing homes in the permanent affordable housing stock as a result of foreclosure.

## **Housing Stabilization**

Town of Carrboro Housing Stabilization Assistance funds are administered by Orange County through the [Emergency Housing Assistance](#) program.

- To provide rental and/or utility deposit grants for Housing Choice Voucher, Permanent Supportive Housing (PSH), Rapid Re-housing, HUD-VASH and Housing Opportunities for Persons w/ AIDS (HOPWA) recipients relocating to rental units in Carrboro as a result of their current rental units no longer accepting a housing subsidy listed above. \*
- To provide rental and/or utility deposit grants for those who have been assessed by the Coordinated Entry process as it relates to homelessness and have identified safe, decent, and affordable housing. \*
- Assistance may be used for payment of security deposits, utility connections/arears, mortgage assistance and/or rental payments given extenuating circumstances. \*

\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

## **FUNDING PRIORITIES**

The fund is dedicated to the development and preservation of affordable housing. Priority goals include **increasing the supply of affordable housing units, increasing the quality of housing stock while maintaining affordability, and helping people stay in the homes they have (both owners and renters).**

Priority project areas include:

- Rental projects that serve households with incomes 60% and below the Area Median Income (AMI), with greater priority to those serving households with extremely low incomes.

- Homeownership projects that serve households with incomes 80% and below the AMI.

## GENERAL APPLICATION INFORMATION AND PROCEDURES

Funding applications are accepted three times a year: October 1, January 1, and April 1. Funding is based on the availability of funds. Only as many funding cycles will be completed as necessary to use the available funds. All application documents should be submitted electronically to [Anne-Marie Vanaman](#). Applications are reviewed by the Affordable Housing Advisory Commission. The AHAC's recommendations for funding are then forwarded to the Town Council for final approval.

## CHECKLIST OF REQUIRED DOCUMENTATION

### Application:

- |                          |            |   |
|--------------------------|------------|---|
| <input type="checkbox"/> | Section 1: | Applicant and Project Overview                |
| <input type="checkbox"/> | Section 2: | Project Description                           |
| <input type="checkbox"/> | Section 3: | Performance Measurements*                     |
| <input type="checkbox"/> | Section 4: | Project Budget and Pro-forma                  |
| <input type="checkbox"/> | Section 5: | Agency Description                            |
| <input type="checkbox"/> | Section 6: | Disclosure of Potential Conflicts of Interest |

### Other Required Attachments:

Please provide **one copy** of each of the following documents (once per year):

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Current list of Board of Directors, including addresses, phone numbers, terms, and relevant affiliations |
| <input type="checkbox"/> | Current Bylaws and Articles of Incorporation   |
| <input type="checkbox"/> | IRS tax determination letter [501(c)(3)] (if applicable)   |
| <input type="checkbox"/> | Most recent independent audit (if applicable)  |

Applications may not be considered for the following reasons:

1. Project does not align with the eligibility criteria for these funding sources
2. Applicant has demonstrated poor past performance in carrying out projects or complying with funding guidelines
3. Applicant fails to provide required information
4. Incomplete or late applications

\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.

PLEASE CALL OR EMAIL ANNE-MARIE VANAMAN WITH FUNDING QUESTIONS:

919-918-7321 OR [amvanaman@carrboronc.gov](mailto:amvanaman@carrboronc.gov)



# FUNDING APPLICATION

DATE:

## Section 1: APPLICANT AND PROJECT OVERVIEW

### A. Applicant Information

Applicant/Organization's Legal Name: \_\_\_\_\_

Primary Contact Person and Title: \_\_\_\_\_

Applicant/Organization's Physical Address: \_\_\_\_\_

Applicant/Organization's Mailing Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

### B. Project Information

Project Name: \_\_\_\_\_

Total Project Cost: \_\_\_\_\_

Total Amount of Funds Requested: \_\_\_\_\_

Please specify which permitted use of funding is being requested (as listed in Section 2: B.1.):

To the best of my knowledge all information and data in this application are true and current. The document has been duly authorized by the governing board of the applicant.

Signature: \_\_\_\_\_

Executive Director or other Authorized Signatory

Date

## Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the “who,” “what,” “when,” and “where” questions about your project). **Do not assume the reader knows anything about the project.**

### A. “Who”

1. Who is the target population to be served and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

2. Please indicate the income of the beneficiaries (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI		
31%-60% of AMI		
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
TOTAL		

Income Group	Seniors age62+	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI									
31%-60% of AMI									
61-80% of AMI									
81-100% of AMI									
101-115% of AMI									
TOTAL									

3. **Project Staff.** Please provide names of staff, contractors, and/or volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

## **B. "What"**

**1. Type of Activity.** Please check the category under which your project falls.

- ☐ Acquisition
- ☐ Pre-development costs
- ☐ Rental subsidy
- ☐ Ownership subsidy
- ☐ New construction for homeownership
- ☐ New construction for rental
- ☐ Rehabilitation for owner-occupied or rental (including urgent repairs - see \*)
- ☐ Land banking
- ☐ Grant to land trust
- ☐ Foreclosure assistance
- ☐ Other (specify): \_\_\_\_\_

*\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside of the funding cycles.*

**2. Project Description.** Please provide a general overview of your project, including what you are planning to produce, how the requested funds will be used and how you are planning to carry out the project. Include how your project meets the criteria of eligible uses.

## **C. "Where"**

**1. Project Location.** Please be as specific as possible.

**2. Project Size (if applicable).** Please provide the size of development site: \_\_\_\_\_ acres

Please attach the following:

- ☐ Site map showing lot boundaries, locations of structure(s), and other site features
- ☐ General location map (at least ½ mile radius)

## **D. "When"**

☐ Attach a **detailed** timetable showing when each work task will be completed (e.g., planning; obtaining financial commitments; design; environmental review; bidding; loan closing; key milestones in construction; marketing; final inspection; occupancy; etc.)

## **E. Project Details**

If the questions below are not applicable or the requested information is not currently available, please insert N/A.

**1. Property Acquisition.**

- a. Has your agency acquired real property in order to carry out the project, or is property acquisition planned? \_\_\_\_\_



- b. Is the property currently occupied? If so, attach a description of your plan to relocate.
- c. Please attach an appraisal of the property.

## 2. Construction/Rehabilitation Detail.

- a. How many units will be newly constructed?
- b. How many units will be rehabilitated?
- c. What is the square footage of each unit?
- d. What is the number of bedrooms in each unit?
- e. What is the number of bathrooms in each unit?
- f. How many units will have full ADA accessibility?
- g. Is the proposed project located in Carrboro Town limits, ETJ, or transitional area?
- h. Please attach the following:
  - ☐ Floor plan(s)
  - ☐ Elevation(s)
  - ☐ List of Energy Efficiency measures included in the project (if applicable)
  - ☐ List of Universal Design principles included in the project (if applicable)

## 3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:
- b. What are the proposed rents (including utility costs) or sales prices for completed units?
- c. Explain your agency's process for marketing to ensure an adequate pool of income-eligible renters to buyers:
- d. Describe the use of **energy efficient principles**, universal design, and/or materials with extended life span.
- e. What supportive services, if any, will be provided through this project?

### Section 3: PERFORMANCE MEASUREMENTS

#### A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten units that are affordable to households earning less than 80%AMI</i>

#### B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

### Section 4: PROJECT BUDGET AND PRO-FORMA

#### A. Project Budget

☐ Attach a detailed project budget in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.

☐ Has an appraisal been conducted? If so, please attach.

#### B. Terms of Project Funding

Please specify the type of funding request for which you are applying:

☐ Grant      ☐ Loan

#### C. Pro-forma (for rental property only)

☐ If you are developing a property for rent, please attach a 20-year pro-forma showing estimated income, expenses, net operating income, debt service, and cash flow.

## **Section 5: ORGANIZATION DESCRIPTION**

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

### **A. Organization**

What is your organization's . . .

1. Mission statement?
2. Incorporation date (Month and Year)?
3. Estimated Total Agency Budget for this fiscal year? \$
4. Total number of agency staff (full time equivalents):

### **B. Organization Track Record and Community Support**

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project
2. Involvement of intended beneficiaries of the project in the planning process
3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables
4. Collaborative relationships with other agencies
5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive
6. Any other features relating to organization capacity that you consider relevant, (i.e. property management experience, including accepting Section 8 Vouchers, etc.).



## Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Are any of the Board Members or employees of the agency which will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES ☐ NO ☐

b) Members of or closely related to members of the governing bodies of Carrboro?

YES ☐ NO ☐

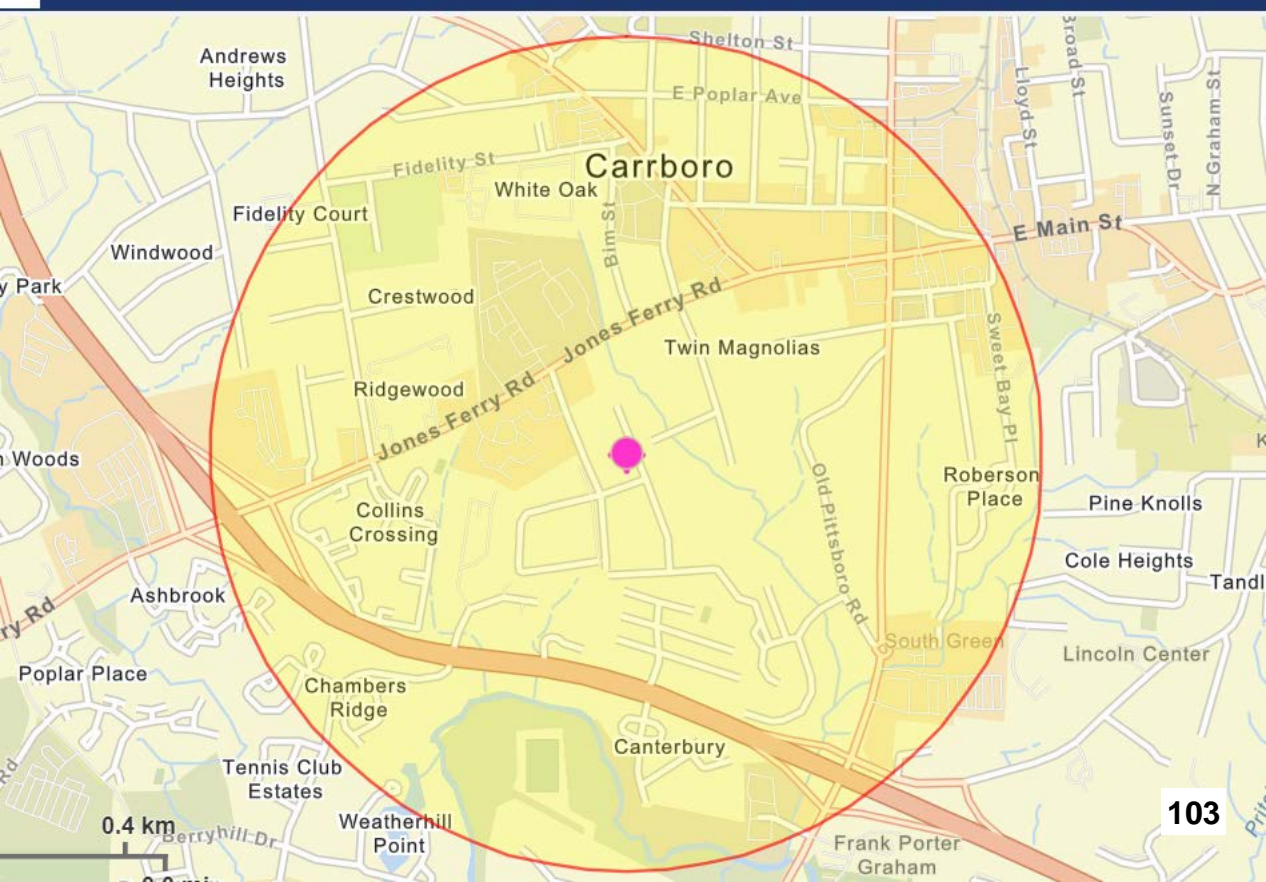
c) Current beneficiaries of the project/program for which funds are requested?

YES ☐ NO ☐

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES ☐ NO ☐

If you have answered YES to any question, **please explain below**. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an **undisclosed** conflict may result in the termination of any grant awarded.



# Carrboro

172928

203 PRINCE ST

JANUARY 1ST OWNER MAILING ADDRESS

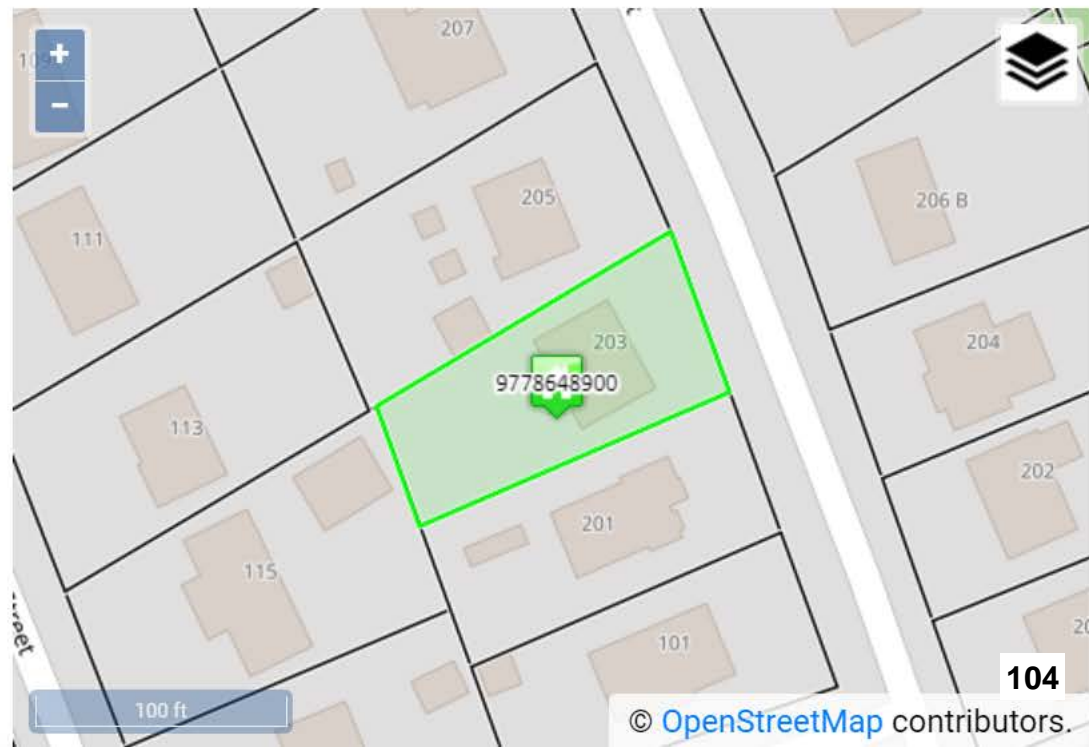
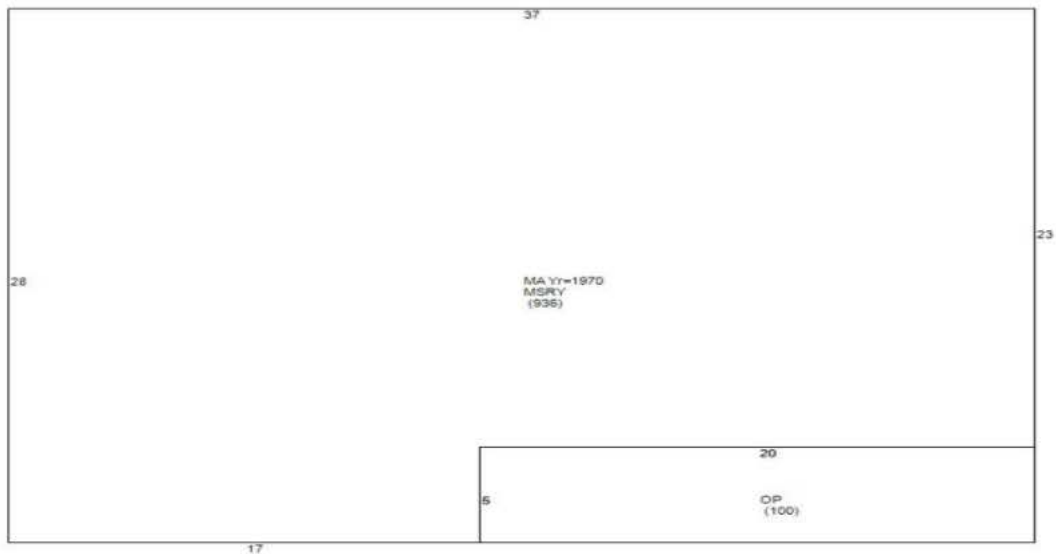
NEELY ALBERTA L

203 PRINCE ST

CARRBORO NC 27510

Total Assessed Value

\$206,500





**Orange - 100 Weatherhill Pointe Carborro NC 27510**

**Project Notes: 1871 sq. ft. conventional 2 story house built on a crawl space in 19 AHF and DEC HHF.**

**Area: 3 Interior**

Title	Trade	Decription
Drywall - Patch, Small	Drywall	Clean out and expand hole to allow the insertion of a 1/2" gypsum backer board coated with construction adhesive. Screw through drywall face to secure. After adhesive is set, apply patching plaster to 1/ 4" of surface. Finish with compound, wet sand ready for paint. Prime and paint to match, including adjacent area to a corner or wall edge for consistency

**Area: 4 HVAC**

Title	Trade	Decription
Heat Pump w/ Electric Heat - Replace	HVAC	Use ACCA Manual J residential load calculation tool to calculate the loads and select equipment. Install a 15.3 SEER2 / 7.0 HSPF2 Heat Pump with electric auxiliary heat to existing ductwork. New outdoor unit shall be installed on a pad. Install a programmable thermostat with daily setbacks and holds. Program the thermostat to the times requested by the occupant, and demonstrate the functions to the owner. Insure that the system ductwork is capable of handling 400 cfm of airflow per ton. Rework return air duct if necessary to ensure easy access, good fit and easy replacement of air filter. Seal all exposed duct joints as a part of this item with Duct Mastic. Complete and file the warranty registration and provide copies to the owner.

**Area: 6 Plumbing**

Title	Trade	Decription
-------	-------	------------

Shower Conversion	Plumbing	Remove existing tub. Install a 5', 4 piece, fiberglass low curb shower unit. Include a seat and ADA compliant grab bars; drain and overflow; PVC waste; single lever shower diverter; shower rod; shower faucet and a hand-held shower head with a maximum 2.0 GPM flow rate. Install faucet controls toward the outside of the tub for easier access. Exterior wall sections behind the tub shower unit and any plumbing penetrations must be completely air-sealed prior to installation.
Plumbing General	Plumbing	Replace Shower valve in upstairs tub

#### Area: 10 General Conditions

Title	Trade	Description
Project Supervision and Management	General	Project Management and Supervision

**TOTAL ESTIMATED PROJECT COST**

Work Scope

93. 6/12 Shingle, 200 Amp DEC service, Dominion Gas, OWASA utilities. Good for Carrboro

Notes	Cost Per Unit	Quantity	Unit	Total Cost
Bathroom ceiling, stairwell	\$ 450.00	\$ 2.00	Each	\$ 900.00

Notes	Cost Per Unit	Quantity	Unit	Total Cost
	\$ 11,000.00	\$ 1.00	Each	\$ 11,000.00

Notes	Cost Per Unit	Quantity	Unit	Total Cost
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LH 30x60	\$	5,500.00	\$	1.00	Each	\$	5,500.00
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	\$	850.00	\$	1.00	Each	\$	850.00
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Notes	Cost Per Unit	Quantity	Unit	Total Cost
\$500 project development fee + 20% of Construction Estimate	\$ 4,150.00	\$ 1.00	Each	\$ 4,150.00
				\$ 22,400.00

## RTT WORK SCOPE

### Orange - 203 Prince Street Carrboro NC 27510

**Project Notes: 936 sq. ft. conventional brick ranch on a crawlspace built in 1970. DEC 200 am**

### Area: 2 Exterior

Title	Trade	Description
Railing - Exterior Replace	Carpentry	Remove deteriorated railing. Install preservative treated code approved grab-able handrail supported by 4"x 4" treated posts, 4' on center. Rail to be free from cracks, splinters, and rough edges. Set first post in a 12"x 8"x 12" concrete sleeve or on concrete block, bolt remaining posts to stringer with 7" lags.
Gutter - Replace, Aluminum 5"	Carpentry	Remove existing gutter. Install seamless, 5" K' style .027 aluminum gutter, in white or brown, owner's choice. Install to fascia with 5 in. hidden gutter hangers fastened with screws, such as the Amerimax model 21812, spaced per manufacturer's recommendations.
Window - Repair	Carpentry	Repair window without replacing sash. Repair and adjust window to open and close smoothly, replacing broken glass and caulking as needed.
Roof - Replace Fiberglass Shingles	Roofing	Remove and dispose of all roofing & defective sheathing. Cut a 1" wide vent at ridge board. Replace up to 5 sf of sheathing per 100 sf of roof using pine board or CDX plywood of matching thickness. Install 15 lb felt underlayment over the entire roof with manufacturer approved fasteners. Install preformed white aluminum, drip edge, and vent pipe boots. Install ENERGY STAR labeled self-sealing, laminated fiberglass asphalt shingles with a limited lifetime warranty. Replace all flashing, including valleys, with 0.19" aluminum sheet metal. Install step flashing and counter flashing at all wall junctures. Install flashing and roofing shingle style, not relying on sealants for waterproofing. Install shingle-over ridge vent. Color choice by owner.

### Area: 3 Interior

Title	Trade	Decription
Drywall - Patch, Large	Drywall	Cut back defective gypsum to expose half of the studs on each side of the hole. Cut and tightly fit drywall patch. Glue and nail or screw patch. Apply tape and 3 coats of compound feathered out at least 8". Sand ready for paint.
Carpet and Pad - Removal	Carpentry	Remove carpet, pad, metal edge strips and tack strips to a recycling center if available. If recycling is not possible remove to a code legal dump.

#### Area: 4 HVAC

Title	Trade	Decription
Bath Fan - Install	Electrical	Install an Energy Star ceiling or through-the-wall, exterior ducted, vent fan with damper, and chrome faceplate capable of 60CFM at 60 sones. Include power and switch wiring using #14 copper Romex. Repair any tear out.
Heat Pump w/ Electric Heat - Replace	HVAC	Use ACCA Manual J residential load calculation tool to calculate the loads and select equipment. Install a 15 SEER Heat Pump with electric auxiliary heat to existing ductwork. New outdoor unit shall be installed on a pad. Install a programmable thermostat with daily setbacks and holds. Program the thermostat to the times requested by the occupant, and demonstrate the functions to the owner. Insure that the system ductwork is capable of handling 400 cfm of airflow per ton. Rework return air duct if necessary to ensure easy access, good fit and easy replacement of air filter. Seal all exposed duct joints as a part of this item with Duct Mastic. Complete and file the warranty registration and provide copies to the owner.
Ductwork and Air Distribution	HVAC	Install low velocity insulated metal or flexible duct work from HVAC equipment to registers.

#### Area: 7 Bathroom

Title	Trade	Decription
Grab Bar - Tub & Shower	Carpentry	Install 3 grab bars within the tub/shower alcove. One horizontal grab bar shall be provided on the back wall, one installed in a horizontal position, between 33 inches 36 inches above the floor of the tub measured to the top of the gripping surface.



Toilet - Replace ADA	Plumbing	Install an ADA compliant, maximum 1.28 GPF vitreous china commode, with a seat height between 17 and 19 inches. Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal. Use the rough-in dimension necessary to minimize the clearance between the tank and the wall.
Modification - Install toilet rails	Plumbing	Install new set of toilet rails per OT recommendation

#### Area: 8 Kitchen

Title	Trade	Description
Cabinets - Wood Base	Carpentry	Replace base cabinets. Install base cabinet with door stiles of solid oak, birch or ash and matching veneered flush plywood panels. Cabinet face frames shall be solid oak, birch or ash with plywood casing and corner bracing. Drawer boxes shall be made of solid wood or plywood, with solid wood drawer fronts. Install "D" shaped pulls on all doors and drawers even when finger grooves exist.
Cabinets - Wood Wall	Carpentry	Replace wall cabinets. Install new wall cabinets with door stiles of solid oak, birch or ash and matching veneered flush plywood panels. Cabinet face frames shall be solid oak, birch or ash with plywood casing and corner bracing. Install "D" shaped pulls on all doors and drawers even when finger grooves exist.
Countertop - Replace	Carpentry	Dispose of existing counter top. Field measure and install specified new countertop. All particleboard and MDF components must comply with California 93120 (formaldehyde content) or all exposed edges must be sealed with a low-VOC sealant. Screw to base cabinet a square edged plastic laminate counter top. Provide end-caps and cutout for sink. Caulk countertop to adjoining walls with low VOC caulking to match wall color. Owner's choice of in-stock color and texture.

Sink - Kitchen	Plumbing	Install a 22 gauge, stainless steel, self rimming kitchen sink including a steel, metal body faucet, rated at 2.0 GPM or less, with a 15 year drip-free warranty, grease trap, supply lines, full port ball type shut-off valves & escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered (no compression fittings) & all PVC fittings except for the trap glued.
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#### Area: 9 Weatherization

Title	Trade	Decription
Crawlspace Weatherization	Thermal & Moisture	Install a minimum 6 mil poly vapor barrier on ground in crawl space. Overlap seams in the plastic by 2 feet and seal the seams with fiberglass mesh tape and mastic. All penetrations including but not limited to those created by plumbing, electrical and HVAC equipment will be sealed tight. Install a minimum of R-19 faced batt insulation between joists at floor level with hangers every 24".
Attic Weatherization	Thermal & Moisture	After air sealing install blown in borate treated cellulose insulation loose filled to at least R-38 u-value. Maintain ventilation routes from soffit and other vents with baffles. Replace all material removed or cut to gain access to match existing materials. Insulate fold down stair with an airtight 2" thick reflective foil faced polyisocyanurate foam box with seams and seal the edges with a compatible foil tape.

#### Area: 10 General Conditions

Title	Trade	Decription
General Conditions	Project Supervision	RTT Project Supervision

#### TOTAL ESTIMATED PROJECT COST

## DPE - 12/29/2023

up electric service, no gas, OWASA for water and sewer. Asphalt shingle roof on 4/12 slope.

Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
Repair or replace front rails	\$ 55.00	30	Linear Feet	\$ 1,650.00	RTT	Carrboro AHF
	\$ 12.00	100	Linear Feet	\$ 1,200.00	RTT	Carrboro AHF
	\$ 160.00	8	Each	\$ 1,280.00	RTT	Carrboro AHF
	\$ 425.00	16	Squares	\$ 6,800.00	RTT	Carrboro AHF

Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
Kitchen	\$ 14.00	32	Square Feet	\$ 448.00	RTT	Carrboro AHF
LR and BR1	\$ 220.00	2	Room	\$ 440.00	RTT	Carrboro AHF

Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
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	\$ 650.00	1	Each	\$ 650.00	RTT	Carrboro AHF
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	\$ 8,500.00	1	Each	\$ 8,500.00	RTT	OC Climate Action
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	\$ 4,000.00	1	Square Feet	\$ 4,000.00	RTT	Carrboro AHF
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Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
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	\$ 450.00	1	Each	\$ 450.00	RTT	Carrboro AHF
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\$	675.00	1	Each	\$	675.00	RTT	Carrboro AHF
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\$	225.00	1	Each	\$	225.00	RTT	Carrboro AHF
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Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
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\$	210.00	8	Linear Feet	\$	1,680.00	RTT	Carrboro AHF
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\$	185.00	8	Linear Feet	\$	1,480.00	RTT	Carrboro AHF
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\$	75.00	8	Linear Feet	\$	600.00	RTT	Carrboro AHF
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\$	850.00	1	Each	\$	850.00	RTT	Carrboro AHF
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Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
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\$	3.00	936	Square Feet	\$	2,340.00	RTT	OC Climate Action
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\$	2.00	938	Square Feet	\$	2,110.50	RTT	OC Climate Action
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Notes	Cost Per Unit	Quantity	Unit	Total Cost	Labor Source(s)	Funding Source(s)
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\$500 project developer fee + 20% of Construction Estimate	\$	7,575.70	1	Each	\$	7,575.70	RTT	OC Climate Action / Carrboro AHF
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					<b>\$ 42,954.20</b>		
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## Town of Carrboro Grant Request - Budget and Funding Matrix

Homeowner	Service Address	Project Budget	Town of Carrboro Request	AHP Funded from Previous Cycle	Orange County Climate Action	Other RTT Match
	100 Weatherhill Pointe	\$ 22,400.00	\$ 6,000.00	\$ 9,200.00	\$ 7,200.00	\$ -
	203 Prince Street	\$ 42,954.20	\$ 27,730.99	\$ -	\$ 15,223.21	
<b>TOTALS</b>		<b>\$ 65,354.20</b>	<b>\$ 33,730.99</b>	<b>\$ 9,200.00</b>	<b>\$ 22,423.21</b>	<b>\$ -</b>

# Affordable Housing Special Revenue Fund

## Application

Fiscal Year 2023-2024



**TOWN OF CARRBORO • NC**  
**HOUSING & COMMUNITY SERVICES**



# FUNDING APPLICATION

DATE:

1/4/24

## Section 1: APPLICANT AND PROJECT OVERVIEW

### A. Applicant Information

Applicant/Organization's Legal Name: EmPOWERment, INC

Primary Contact Person and Title: Delores Bailey, Executive Director

Applicant/Organization's Physical Address: 109 N. Graham Street, #200, Chapel Hill, NC 27516

Applicant/Organization's Mailing Address: 109 N. Graham Street, #200, Chapel Hill, NC 27516

Telephone Number: 919-967-8779

Email Address: www.empowermentinc.org

### B. Project Information

Project Name: Homestead Project

Total Project Cost: \$2,50,000.00

Total Amount of Funds Requested: \$100,000.00

Please specify **which permitted use of funding is being requested** (as listed in Section 2: B.1.):

This is a naturally occurring affordable rental (NOAH) project. This funding will acquire ten affordable single-family rental homes on 9 acres.

To the best of my knowledge, all information and data in this application are accurate and current. The document has been duly authorized by the governing board of the applicant.

Signature:

Delores Bailey

Executive Director or other Authorized Signatory

1/4/2024

Date

## Section 2: PROJECT DESCRIPTION

Please provide a thorough description of the project (by answering the "who," "what," "when," and "where" questions about your project). **Do not assume the reader knows anything about the project.**

### A. "Who"

1. Who is the target population to be served, and how will their needs be addressed through this project? If this is a repair or rehabilitation project, please address how the beneficiary meets eligibility requirements and provide substantiation, such as a deed, homeowner insurance policy statement, etc.

Families earning between 31-60% Area Median Income (AMI) are the target population to be served. This is a Naturally Occurring Affordable Housing community, which means the current residents live affordably without subsidies but could be displaced if a developer purchased the community. Through acquiring this community, EmPOWERment can preserve ten homes for affordable rental. With EmPOWERment ownership, these tenants will not be displaced. This project will ensure long-term affordability through deed restrictions, performance agreements, development agreements, and the right of first refusals.

2. Please indicate the beneficiaries' income (households) to be served through the proposed project. Please see **Attachment A** for the current income limits for the Durham-Chapel Hill MSA.

Income Group (Area Median Income)	Number of Beneficiaries	% of Total Beneficiaries
<30% of AMI		
31%-60% of AMI	59	100%
61-80% of AMI		
81-100% of AMI		
101-115% of AMI		
<b>TOTAL</b>	59	100%

Income Group	Seniors age 62+	Children	Disability Present	Asian	Black	Hisp./ Latinx	Mixed Race	Other	White
<30% of AMI									
31%-60% of AMI	5	12			9	21			12
61-80% of AMI									
81-100% of AMI									
101-115% of AMI									
<b>TOTAL</b>	5	12			9	21			12

3. **Project Staff.** Please provide names of staff, contractors, and volunteers that will be involved with the project. Describe their responsibilities with the project and track record in successful completion of similar projects in the past:

- Delores Bailey (EmPOWERment Executive Director) has served as the Executive Director of EmPOWERment, Inc. since 2005. For this project, Ms. Bailey will negotiate the acquisition of the properties. She will be responsible for creating the budget and the pro forma as well as overall management of the project. Under her leadership, EmPOWERment grew its rental properties from 12 to 65, including three mobile homes. Ms. Bailey has managed ten new construction projects and numerous renovation projects during her seventeen years as Executive Director. Ms. Bailey

has a Bachelor of Science in Behavioral and Social Science.

- La Tanya Davis (EmPOWERment Operations Manager) has been a part of the EmPOWERment's team since 2007. For this project, Ms. Davis will be responsible for managing timetables and project costs and coordinating the transfer of properties. Before her current job, Ms. Davis was the Property Manager for EmPOWERment's rental program. Before property management, Ms. Davis was the Finance Manager. Ms. Davis is also a licensed Real Estate Broker. Ms. Davis has extensive experience working with the Executive Director on acquisition, new construction, and rehab projects. Ms. Davis has a master's in business education.
- Sharron Reid (EmPOWERment's lead HUD Certified Housing Counselor). For this project, Ms. Reid will be responsible for verifying the incomes of current residents. She is prepared to provide rental counseling and budgeting information for the tenants if required. She is nationally certified by HUD, meaning she is certified to provide counseling throughout the United States. Ms. Reid collaborates with various community agencies to connect clients with housing stability resources. She provides services to individuals and families seeking housing counseling assistance in rental, pre-purchase, delinquency, and foreclosure. She advocates for clients by contacting landlords, mortgage companies, and lenders to help resolve crises. Ms. Reid teaches various housing-related classes, such as financial literacy, budgeting, and homebuyer education. Ms. Reid has a Bachelor of Science in criminal justice.
- Valencia Thompson (EmPOWERment's Property Manager). Ms. Thompson has been the Property Manager for EmPOWERment since 2019. For this project, she is responsible for meeting with and setting up a rental protocol for each family member. She will create and maintain the new leases. Ms. Thompson works directly with tenants, manages administrative rental duties, data collection, tenant rental software, and Website management of the Rental Program. Ms. Thompson is also a nationally certified housing counselor and works alongside Ms. Reid to ensure vulnerable tenants and homeowners in Orange County remain in stable housing. Ms. Thompson is a licensed Real Estate Broker. She has an MBA in Accounting and Finance.
- Quintonia Thorpe (EmPOWERment's Finance Manager). For this project, Ms. Thorpe will provide complete accounting services. She will be responsible for grant and cash management and financial reporting. Ms. Thorpe has over 25 years of accounting experience, including several years as a financial analyst and money manager. She holds a Bachelor of Arts degree and a master's in business administration & health administration.

## **B. "What"**

**1. Type of Activity.** Please check the category under which your project falls.

- ☒ Acquisition
- ☐ Pre-development costs Rental
- ☐ subsidy Ownership subsidy
- ☐ New construction for homeownership New
- ☐ construction for rental
- ☐ Rehabilitation for owner-occupied or rental (including urgent repairs - see \*) Land
- ☐ banking
- ☐ Grant to land trust Foreclosure
- ☐ assistance
- ☐ Other (specify): \_\_\_\_\_
- ☐

*\*Starred items requesting no more than \$5,000 or 15% of the existing fund, whichever is lower, do not have to provide performance measures and can apply outside the funding cycles.*

**2. Project Description.** Please provide a general overview of your project, including what you plan to produce, how the requested funds will be used, and how you plan to carry out the project. Include how your project meets the criteria of eligible uses.

This project attempts to preserve naturally affordable housing (NOAH) in Carrboro, NC, by acquiring ten single-family homes off Homestead Road that have become a community. These homes will house people earning between 31%-61% AMI and remain affordable for 99 years. This acquisition will continue to add to the affordable housing stock following the Town of Carrboro 2022-2042 Comprehensive Plan “that there is a home for everyone in Carrboro.” This project will ensure that communities like this remain safe and affordable, meeting the criteria for eligible residents of Carrboro.

### **C. “Where”**

#### **1. Project Location.** Please be as specific as possible.

This Naturally Occurring Affordable Housing (NOAH) community is located outside the Carrboro city limits on Homestead Road near McDougle Elementary/Middle School. It is within two miles of a business area (Carrboro Plaza), which includes a grocery store, restaurants, and a bus line. The property is less than 4 miles from the Roger Road Neighborhood Association recreation center.

#### **2. Project Size (if applicable).** Please provide the size of the development site: 9.42 acres

Please attach the following:

- ☒ Site map showing lot boundaries, locations of structure(s), and other site features General
- ☐ location map (at least ½ mile radius)

### **D. “When”**

Attach a **detailed** timetable showing when each work task will be completed (e.g., planning, obtaining financial commitments, design, environmental review, bidding, loan closing, key milestones in construction, marketing, final inspection, occupancy, etc.)

### **E. Project Details**

If the questions below are not applicable or the requested information is unavailable, please insert N/A.

#### **1. Property Acquisition.**

- a. Has your agency acquired real property to carry out the project, or is property acquisition planned? No. This is an acquisition.
- b. Is the property currently occupied? If so, attach a description of your plan to relocate.  
Yes. This property is currently occupied by tenants earning 31%-61% AMI. This is a NOAH project; it is presently affordable per HUD’s definition of affordable. These tenants will not be displaced.
- c. Please attach an appraisal of the property. Comparative Marketing Analysis is attached.

#### **2. Construction/Rehabilitation Detail.**

- a. How many units will be newly constructed? *N/A*
- b. How many units will be rehabilitated? *N/A*
- c. What is the square footage of each unit? *700 to 1000 square feet*
- d. What is the number of bedrooms in each unit? *(9)-2-bedroom units and (1 ) 3-bedroom unit*



- e. What is the number of bathrooms in each unit? **One bath in each unit**
- f. How many units will have full ADA accessibility? **N/A**
- g. Is the proposed project in Carrboro Town limits, ETJ, or transitional area? **YES**

h. Please attach the following:

- ☐ Floor plan(s) Elevation(s) (See
- ☐ Attachments)
- ☐ List of Energy Efficiency measures included in the project (if applicable)
- ☐ List of Universal Design principles included in the project (if applicable)

### 3. Design, Affordability, Marketing, and Supportive Services.

- a. Describe any methods to ensure long-term affordability of housing units, including subsidy recapture, equity sharing, deed restrictions, etc.:

EmPOWERment will secure the following documents to ensure the long-term affordability of these housing units for 99 years:

Performance agreements that include “right of first refusal” language for Orange County and Carrboro.

Deed restrictions that reinforce 99 years of affordability will be enforced.

- b. What are the proposed rents (including utility costs) or sales prices for completed units?

\$1100 for two bedrooms and \$1500 for three bedrooms.

- c. Explain your agency’s process for marketing to ensure an adequate pool of income-eligible renters to buyers:

EI’s process for marketing to an adequate pool of income-eligible renters has been tried and tested over twenty years of rental property management by our rental property Management team. Our first and best marketing tool is our current tenants. EI’s vacancy rate is less than 5%. When there is a vacant unit, it is marketed through our website, empowermentinc.org, and NCHousingSearch.org. Other partners' recommendations include the Community Empowerment Fund (CEF), the Department of Social Services, Family Success Alliance (FSA) local churches, and EI’s in-house Waitlist of eligible individuals. EmPOWERment advertises in the neighborhood newsletters such as The Northside News and on social media. We encourage our tenants to share information with friends and family members. We also post flyers at community gathering locations such as the Hargraves Community Center and Carrboro Community Parks, where posting is allowed. Priority is given to those applicants who fall into the “most vulnerable population” category.

- d. Describe the use of **energy-efficient principles**, universal design, and materials with extended life span.

This project is an acquisition of ten existing single-family homes. As repairs and upgrades are needed, EI will incorporate a universal design and replace any aged appliances with energy-efficient ones. EI will seek opportunities to partner with other County programs to weatherize the homes.

- e. What supportive services, if any, will be provided through this project?

EI has fostered a sustainable community environment by creating more affordable housing through several support services available for tenants. For example, rental counseling,

Homebuyers Education Classes, pre-eviction counseling, and limited budgeting classes provided by HUD-certified counselors. There is also access to the EmPOWERment Inc. MOM Utility fund for those facing financial hardships. EI has created a Tenant Association that meets to share information and resources with all EmPOWERment tenants.

### Section 3: PERFORMANCE MEASUREMENTS

#### A. Goals and Objectives

Please complete the following chart with information about the project's goals and objectives.

Goal/Objective	Measurement
<i>Ex: Provide housing for low- to moderate-income households.</i>	<i>Ex: By 2020, build ten affordable units to households earning less than 80%AMI.</i>
Provide housing for low to moderate households.	This acquisition will produce ten affordable rental units for low-income households earning 31-60% AMI.

#### B. Alignment with Town Goals and adopted affordable housing strategies.

Please explain how the proposed project aligns with the Town Council Goals and adopted affordable housing strategies.

This acquisition will continue to add to the affordable rental stock following the Town of Carrboro 2022-2042 Comprehensive Plan “that there is a home for everyone in Carrboro.” The proposed project seeks to protect naturally occurring affordable housing, defined by the article “Preserving affordable housing” in the Washington Post written by Haisten Willis as “rental housing at least two decades old, short on amenities and affordable without a subsidy (2020)”. These houses will continue to provide a safety net for ten families.

### Section 4: PROJECT BUDGET AND PRO-FORMA

#### A. Project Budget

☒ Attach a **detailed project budget** in Excel format showing all sources and uses of funds. Indicate which funds are committed or pending and include the % of committed funds toward this project. Attach funding commitment letters where available or copies of funding applications previously submitted.  
**Attaching signature pages of grant applications.**

☐ Has an appraisal been conducted? If so, please attach.  
**Attaching CMA/Market Analysis.**

## **B. Terms of Project Funding**

Please specify the type of funding request for which you are applying:

☒ Grant

☐ Loan

## **C. Pro-forma (for rental property only)**

☐ If you are developing a property for rent, please attach a 20-year pro forma showing estimated income, expenses, net operating income, debt service, and cash flow.

## **Section 5: ORGANIZATION DESCRIPTION**

If you have already provided this information on a previous application in the current fiscal year, you do not need to provide this information again.

### **A. Organization**

What is your organization's . . .

1. Mission statement?

EmPOWERment, Inc. aims to empower individuals and communities to achieve their destiny through community organizing, affordable housing, and grassroots economic development. EmPOWERment's affordable housing mission is to reduce or remove housing barriers for the most vulnerable populations in Chapel Hill. Priorities are given to that population.

2. Incorporation date (Month and Year)? **March, 1996**
3. Estimated Total Agency Budget for this fiscal year? **\$800,000**
4. Total number of agency staff (full time equivalents): **4**

### **B. Organization Track Record and Community Support**

Please describe your organization's experience and ability to carry out the proposed project, including:

1. Evidence of coordination of this application with other organizations to complement and/or support the proposed project

EmPOWERment has been purchasing privately owned properties since it was started in 1996. We have acquired over 65 properties in 27 years. Like this project, we have been most successful in purchasing NOAH properties to add to the rental inventory. We meet monthly with housing partners like the Orange County Affordable Housing Coalition, FSA, CEF, and IFC to discuss acquiring more affordable units. These discussions include buying properties, maintaining older properties, and finding funding for repairs. Many of our existing properties are old, and EmPOWERment continues to make repairs and upgrades to units to extend the life of these properties and alleviate the displacement of families.

2. Involvement of intended beneficiaries of the project in the planning process

For this project, the intended beneficiaries are the families currently living in the units. We have started a discussion with the current owner. That communication will change when the property is acquired. As vacancies occur, EI will collaborate with the families living there now to include them in the planning process. We will conduct tenant meetings to gather responses to help EI understand the problems tenants face so additional programs can be created to support them.

3. Past achievements in carrying out similar projects and evidence of successful record of meeting proposed budgets and timetables

Rental acquisitions: for the last five years, the EI rental inventory has increased by 2-3 units per year. We have consistently been on time and on budget for these acquisitions. Acquisitions and rehabs since COVID have depended on the supply chain for materials and longer than usual wait times for laborers. We work diligently to capture those two distractions on the timeline for the project.

Affordable rental: EI counselors collaborated with other non-profit agencies and municipalities to assist hundreds of families in maintaining housing through and after the pandemic. EI's timely response to the urgency of tenants is imperative. Our eviction prevention reach is 100%. EI has seen the highest level of growth in counseling and continues to rise.

4. Collaborative relationships with other agencies

EI has excellent collaborative relationships with other agencies that provide similar services throughout Orange County. We have mentioned the housing agencies we partner with earlier in the application. EmPOWERment is proud to collaborate with other local and state agencies like the NAACP, Kidzu, FSA, Boomerang, Northside Elementary School, local churches, community centers, and business owners. Many of these relationships allow us to gather resources for our current and potential clients and neighborhood members. EI has worked on these relationships for many years.

5. Plans to develop linkages with other programs and projects to coordinate activities so solutions are holistic and comprehensive

EmPOWERment Inc. has a history of collaborating with other programs in the Orange County area to help support the communities we serve. We strive to create a holistic and comprehensive support network by providing resources and connecting individuals with other organizations. We shall continue these partnerships to ensure tenants have access to community resources and services. EI works with UNC students, area politicians, business owners, and school administrators to address the needs of underserved individuals in our community through program assistance and information sharing. The most crucial coordination EI can do is to provide more affordable housing for the underserved community of Orange County.

6. Any other features relating to organization capacity that you consider relevant (i.e., property management experience, including accepting Section 8 Vouchers, etc.).

EI is very proud to have an elite property management program that understands racial discrimination and bias that create barriers for marginalized communities. EI's property management team has over 20 years of experience working in underserved communities. EI accepts all kinds of housing vouchers, including VASH for veterans, housing choice vouchers, and vouchers from agencies such as DSS. EmPOWERment's goal is to assist Individuals who may have experienced hardships in the past and need "empowering" to the next stage of their life, which could lead to a second chance.



## Section 6: DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Are any of the Board Members or employees of the agency that will be carrying out this project, or members of their immediate families, or their business associates:

a) Employees of or closely related to employees of the Town of Carrboro

YES ☐ NO ☒

b) Members of or closely related to members of the governing bodies of Carrboro?

YES ☐ NO ☒

c) Current beneficiaries of the project/program for which funds are requested?

YES ☐ NO ☒

d) Paid providers of goods or services to the program or having other financial interest in the program?

YES ☐ NO ☒

If you have answered YES to any question, **please explain below**. The existence of a potential conflict of interest does not necessarily make the project ineligible for funding, but the existence of an **undisclosed** conflict may result in the termination of any grant awarded.

# TIMELINE



EMPOWERMENT, INC. ACQUISITION OF HOMESTEAD ROAD COMMUNITY, CHAPEL HILL, NC							
301 Homestead Road Housing							
This will add 10 houses to Carrboro's affordable housing inventory.							
(	2,500,000.00)	Acquisition Price					
(	30,000.00)	Upgrades					
(	2,530,000.00)						
<b>FUNDING SOURCES</b>				<b>Percentage</b>			
	Town of Carrboro ARPA*		600000	24%			
	Orange County CIP		800000	32%			
	Orange County HOME		105000	4%			
	Orange County HOME 2024-25*		200000	8%			
	Town of Carrboro AHSRF*		100000	3%			
	EMPOWERment Inc*		225000	9%			
	FHLB of Atlanta*		500000	20%			
Acquisition Price + Upgrades			2530000				

\* Pending

20-YEAR PRO FORMA, 301 Homestead Road, CHAPEL HILL, NC				

EmPOWERment, Inc accepts housing vouchers. We also rent to families without vouchers. Our target tenant population earns 30% to 80% of the area median income. The pro forma

is based on initial rent at \$1100 per month for 9 units, \$1500 for 1 unit.

Rental increase is calculated at 3% every five years.

	<u>Year 1</u>	<u>Year 2</u>	<u>Year 3</u>	<u>Year 4</u>
<b>Income</b>	( 136,800.00)	( 136,800.00)	(136,800.00)	( 136,800.00)
Vacancy 3% per yr (1 month)	( <u>(4,104.00)</u> )	( <u>(4,104.00)</u> )	( <u>(4,104.00)</u> )	( <u>(4,104.00)</u> )
Total Income	( 132,696.00)	( 132,696.00)	(132,696.00)	( 132,696.00)
<b>Expenses</b>				
Management fee	( 9,600.00)	( 9,600.00)	( 9,600.00)	( 9,600.00)
Maintenance & Repair	( 18,000.00)	( 18,720.00)	( 19,468.80)	( 20,247.55)
Administrative/Legal	( 12,000.00)	( 12,000.00)	( 12,000.00)	( 12,000.00)
Insurance	( 12,000.00)	( 12,480.00)	( 12,979.20)	( 13,498.37)
Property Taxes	( 6,000.00)	( 6,240.00)	( 6,489.60)	( 6,749.18)
Utilities	( 14,400.00)	( 14,976.00)	( 15,575.04)	( 16,198.04)
Rental Reserves	( 20,000.00)	( 20,000.00)	( 20,000.00)	( 18,000.00)
Turn-over Costs	( <u>25,000.00</u> )	( <u>25,000.00</u> )	( <u>25,000.00</u> )	( <u>18,000.00</u> )
Total Expenses	( 117,000.00)	( 119,016.00)	(121,112.64)	( 114,293.15)
Annual Income	( 132,696.00)	( 132,696.00)	(132,696.00)	( 132,696.00)
Less Expenses	( <u>117,000.00</u> )	( <u>119,016.00</u> )	( <u>121,112.64</u> )	( <u>114,293.15</u> )
Net Operating Income	( 15,696.00)	( 13,680.00)	( 11,583.36)	( 18,402.85)




<u>Year 5</u>	<u>Year 6</u>	<u>Year 7</u>	<u>Year 8</u>	<u>Year 9</u>	<u>Year 10</u>
( 142,272.00)	( 142,272.00)	( 142,272.00)	( 142,272.00)	(142,272.00)	( 149,385.60)
( <u>(4,268.16)</u> )	( <u>(4,268.16)</u> )	( <u>(4,268.16)</u> )	( <u>(4,268.16)</u> )	( <u>(4,268.16)</u> )	( <u>(4,481.57)</u> )
( 138,003.84)	( 138,003.84)	( 138,003.84)	( 138,003.84)	(138,003.84)	( 144,904.03)
( 10,200.00)	( 10,200.00)	( 10,200.00)	( 10,200.00)	( 10,200.00)	( 10,200.00)
( 21,057.45)	( 21,899.75)	( 22,775.74)	( 23,686.77)	( 24,634.24)	( 25,619.61)
( 12,000.00)	( 12,000.00)	( 12,360.00)	( 12,730.80)	( 12,730.80)	( 12,730.80)
( 14,038.30)	( 14,599.83)	( 15,183.83)	( 15,791.18)	( 16,422.83)	( 17,079.74)
( 7,019.15)	( 7,299.92)	( 7,591.91)	( 7,895.59)	( 8,211.41)	( 8,539.87)
( 16,845.96)	( 17,519.80)	( 18,220.59)	( 18,949.42)	( 19,707.39)	( 20,495.69)
( 18,000.00)	( 18,720.00)	( 18,720.00)	( 18,720.00)	( 18,720.00)	( 18,720.00)
( <u>18,720.00</u> )	( <u>18,720.00</u> )	( <u>18,720.00</u> )	( <u>18,720.00</u> )	( <u>18,720.00</u> )	( <u>18,720.00</u> )
( 117,880.87)	( 120,959.31)	( 123,772.08)	( 126,693.76)	(129,346.68)	( 132,105.72)
( 138,003.84)	( 138,003.84)	( 138,003.84)	( 138,003.84)	(138,003.84)	( 144,904.03)
( <u>117,880.87</u> )	( <u>120,959.31</u> )	( <u>123,772.08</u> )	( <u>126,693.76</u> )	( <u>129,346.68</u> )	( <u>132,105.72</u> )
( 20,122.97)	( 17,044.53)	( 14,231.76)	( 11,310.08)	( 8,657.16)	( 12,798.32)

<u>Year 11</u>	<u>Year 12</u>	<u>Year 13</u>	<u>Year 14</u>	<u>Year 15</u>	<u>Year 16</u>
( 149,385.60)	( 149,385.60)	( 149,385.60)	( 156,854.88)	( 164,697.62)	( 164,697.60)
( <u>(4,481.57)</u> )	( <u>(4,481.57)</u> )	( <u>(4,481.57)</u> )	( <u>(4,705.65)</u> )	( <u>(4,940.93)</u> )	( <u>(4,940.93)</u> )
( 144,904.03)	( 144,904.03)	( 144,904.03)	( 152,149.23)	( 159,756.70)	( 159,756.67)

( 10,200.00)	( 10,200.00)	( 10,200.00)	( 10,200.00)	( 10,200.00)	( 10,200.00)
( 26,644.40)	( 27,710.17)	( 28,818.58)	( 29,971.32)	( 31,170.18)	( 32,416.98)
( 12,730.80)	( 13,112.72)	( 13,112.72)	( 13,112.72)	( 13,112.72)	( 13,506.11)
( 17,762.93)	( 18,473.45)	( 19,212.39)	( 19,980.88)	( 20,780.12)	( 21,611.32)
( 8,881.47)	( 9,236.72)	( 9,606.19)	( 9,990.44)	( 10,390.06)	( 10,805.66)
( 21,315.52)	( 22,168.14)	( 23,054.86)	( 23,977.06)	( 24,936.14)	( 25,000.00)
( 18,720.00)	( 18,720.00)	( 18,720.00)	( 18,720.00)	( 18,720.00)	( 18,720.00)
( <u>19,468.80</u> )	( <u>20,247.55</u> )	( <u>21,057.45</u> )	( <u>21,899.75</u> )	( <u>22,775.74</u> )	( <u>22,775.74</u> )
( 135,723.91)	( 139,868.76)	( 143,782.20)	( 147,852.18)	( 152,084.96)	( 155,035.81)
( 144,904.03)	( 144,904.03)	( 144,904.03)	( 152,149.23)	( 159,756.70)	( 159,756.67)
( <u>135,723.91</u> )	( <u>139,868.76</u> )	( <u>143,782.20</u> )	( <u>147,852.18</u> )	( <u>152,084.96</u> )	( <u>155,035.81</u> )
( 9,180.12)	( 5,035.27)	( 1,121.83)	( 4,297.05)	( 7,671.74)	( 4,720.86)

<u>Year 17</u>	<u>Year 18</u>	<u>Year 19</u>	<u>Year 20</u>
( 164,697.60)	( 164,697.60)	( 172,932.48)	( 172,932.48)
( <u>(4,940.93)</u> )	( <u>(4,940.93)</u> )	( <u>(4,940.93)</u> )	( <u>(4,940.93)</u> )
( 159,756.67)	( 159,756.67)	( 167,991.55)	( 167,991.55)
( 10,200.00)	( 10,200.00)	( 10,200.00)	( 10,200.00)

( 33,713.66)	( 33,713.66)	( 33,713.66)	( 33,713.66)
( 13,506.11)	( 13,506.11)	( 13,506.11)	( 13,506.11)
( 22,475.77)	( 23,374.81)	( 23,374.81)	( 23,374.81)
( 11,237.89)	( 11,237.99)	( 11,687.40)	( 11,687.40)
( 25,000.00)	( 25,000.00)	( 25,000.00)	( 25,000.00)
( 18,720.00)	( 18,720.00)	( 18,720.00)	( 18,720.00)
( <u>22,775.74</u> )	( <u>22,775.74</u> )	( <u>25,619.61</u> )	( <u>25,619.61</u> )
( 157,629.17)	( 158,528.30)	( 161,821.59)	( 161,821.59)
( 159,756.67)	( 159,756.67)	( 167,991.55)	( 167,991.55)
( <u>157,629.17</u> )	( <u>158,528.30</u> )	( <u>161,821.59</u> )	( <u>161,821.59</u> )
( 2,127.50)	( 1,228.37)	( 6,169.96)	( 6,169.96)

20-YEAR PRO FORMA, 301 Homestead Road, CHAPEL HILL, NC				
EmPOWERment, Inc accepts housing vouchers. We also rent to families without vouchers. Our target tenant population earns 30% to 80% of the area median income. The pro forma is based on initial rent at \$1100 per month for 9 units, \$1500 for 1 unit. Rental increase is calaulated at 3% every five years.				
	<u>Year 1</u>	<u>Year 2</u>	<u>Year 3</u>	<u>Year 4</u>
<b>Income</b>	136,800.00	136,800.00	136,800.00	136,800.00
Vacancy 3% per yr (1 month)	<u>(4,104.00)</u>	<u>(4,104.00)</u>	<u>(4,104.00)</u>	<u>(4,104.00)</u>
Total Income	132,696.00	132,696.00	132,696.00	132,696.00
<b>Expenses</b>				
Management fee	9,600.00	9,600.00	9,600.00	9,600.00
Maintenance & Repair	18,000.00	18,720.00	19,468.80	20,247.55
Administrative/Legal	12,000.00	12,000.00	12,000.00	12,000.00
Insurance	12,000.00	12,480.00	12,979.20	13,498.37
Property Taxes	6,000.00	6,240.00	6,489.60	6,749.18
Utilities	14,400.00	14,976.00	15,575.04	16,198.04
Rental Reserves	20,000.00	20,000.00	20,000.00	18,000.00
Turn-over Costs	<u>25,000.00</u>	<u>25,000.00</u>	<u>25,000.00</u>	<u>18,000.00</u>
Total Expenses	117,000.00	119,016.00	121,112.64	114,293.15
Annual Income	132,696.00	132,696.00	132,696.00	132,696.00
Less Expenses	<u>117,000.00</u>	<u>119,016.00</u>	<u>121,112.64</u>	<u>114,293.15</u>
Net Operating Income	15,696.00	13,680.00	11,583.36	18,402.85



<u>Year 5</u>	<u>Year 6</u>	<u>Year 7</u>	<u>Year 8</u>	<u>Year 9</u>	<u>Year 10</u>
142,272.00	142,272.00	142,272.00	142,272.00	142,272.00	149,385.60
<u>(4,268.16)</u>	<u>(4,268.16)</u>	<u>(4,268.16)</u>	<u>(4,268.16)</u>	<u>(4,268.16)</u>	<u>(4,481.57)</u>
138,003.84	138,003.84	138,003.84	138,003.84	138,003.84	144,904.03
10,200.00	10,200.00	10,200.00	10,200.00	10,200.00	10,200.00
21,057.45	21,899.75	22,775.74	23,686.77	24,634.24	25,619.61
12,000.00	12,000.00	12,360.00	12,730.80	12,730.80	12,730.80
14,038.30	14,599.83	15,183.83	15,791.18	16,422.83	17,079.74
7,019.15	7,299.92	7,591.91	7,895.59	8,211.41	8,539.87
16,845.96	17,519.80	18,220.59	18,949.42	19,707.39	20,495.69
18,000.00	18,720.00	18,720.00	18,720.00	18,720.00	18,720.00
<u>18,720.00</u>	<u>18,720.00</u>	<u>18,720.00</u>	<u>18,720.00</u>	<u>18,720.00</u>	<u>18,720.00</u>
117,880.87	120,959.31	123,772.08	126,693.76	129,346.68	132,105.72
138,003.84	138,003.84	138,003.84	138,003.84	138,003.84	144,904.03
<u>117,880.87</u>	<u>120,959.31</u>	<u>123,772.08</u>	<u>126,693.76</u>	<u>129,346.68</u>	<u>132,105.72</u>
20,122.97	17,044.53	14,231.76	11,310.08	8,657.16	12,798.32

<u>Year 11</u>	<u>Year 12</u>	<u>Year 13</u>	<u>Year 14</u>	<u>Year 15</u>	<u>Year 16</u>
149,385.60	149,385.60	149,385.60	156,854.88	164,697.62	164,697.60
<u>(4,481.57)</u>	<u>(4,481.57)</u>	<u>(4,481.57)</u>	<u>(4,705.65)</u>	<u>(4,940.93)</u>	<u>(4,940.93)</u>
144,904.03	144,904.03	144,904.03	152,149.23	159,756.70	159,756.67
10,200.00	10,200.00	10,200.00	10,200.00	10,200.00	10,200.00
26,644.40	27,710.17	28,818.58	29,971.32	31,170.18	32,416.98
12,730.80	13,112.72	13,112.72	13,112.72	13,112.72	13,506.11
17,762.93	18,473.45	19,212.39	19,980.88	20,780.12	21,611.32
8,881.47	9,236.72	9,606.19	9,990.44	10,390.06	10,805.66
21,315.52	22,168.14	23,054.86	23,977.06	24,936.14	25,000.00
18,720.00	18,720.00	18,720.00	18,720.00	18,720.00	18,720.00
<u>19,468.80</u>	<u>20,247.55</u>	<u>21,057.45</u>	<u>21,899.75</u>	<u>22,775.74</u>	<u>22,775.74</u>
135,723.91	139,868.76	143,782.20	147,852.18	152,084.96	155,035.81
144,904.03	144,904.03	144,904.03	152,149.23	159,756.70	159,756.67
<u>135,723.91</u>	<u>139,868.76</u>	<u>143,782.20</u>	<u>147,852.18</u>	<u>152,084.96</u>	<u>155,035.81</u>
9,180.12	5,035.27	1,121.83	4,297.05	7,671.74	4,720.86

<u>Year 17</u>	<u>Year 18</u>	<u>Year 19</u>	<u>Year 20</u>
164,697.60	164,697.60	172,932.48	172,932.48
<u>(4,940.93)</u>	<u>(4,940.93)</u>	<u>(4,940.93)</u>	<u>(4,940.93)</u>
159,756.67	159,756.67	167,991.55	167,991.55
10,200.00	10,200.00	10,200.00	10,200.00
33,713.66	33,713.66	33,713.66	33,713.66
13,506.11	13,506.11	13,506.11	13,506.11
22,475.77	23,374.81	23,374.81	23,374.81
11,237.89	11,237.99	11,687.40	11,687.40
25,000.00	25,000.00	25,000.00	25,000.00
18,720.00	18,720.00	18,720.00	18,720.00
<u>22,775.74</u>	<u>22,775.74</u>	<u>25,619.61</u>	<u>25,619.61</u>
157,629.17	158,528.30	161,821.59	161,821.59
159,756.67	159,756.67	167,991.55	167,991.55
<u>157,629.17</u>	<u>158,528.30</u>	<u>161,821.59</u>	<u>161,821.59</u>
2,127.50	1,228.37	6,169.96	6,169.96

# CMA Summary Report - Market Analysis

## RESIDENTIAL Summary Statistics

<b>High</b>	<b>Low</b>	<b>Average</b>	<b>Median</b>
LP: \$300,000	\$229,000	\$259,333	\$249,000
SP: \$283,937	\$200,000	\$249,645 $\times 9 =$	\$265,000

## RESIDENTIAL - Sold

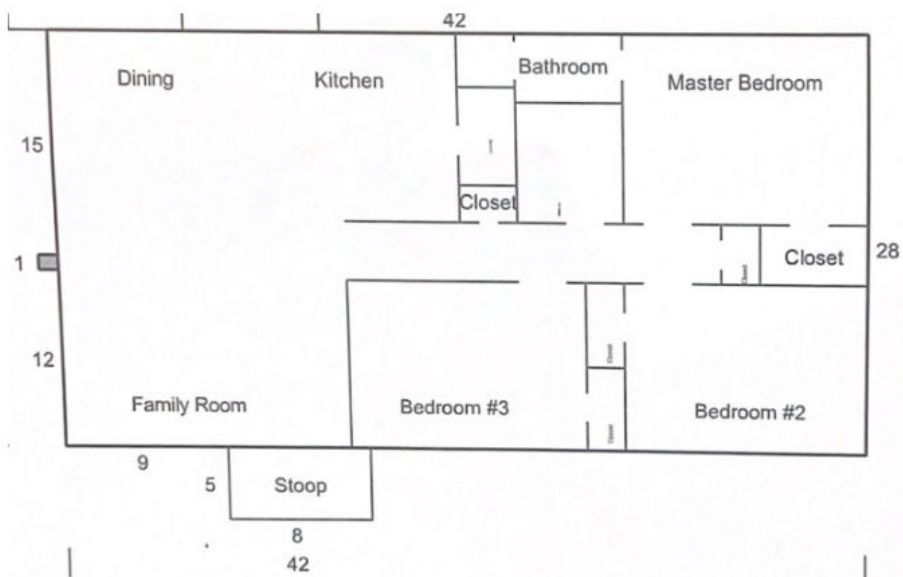
Number of Properties: 3

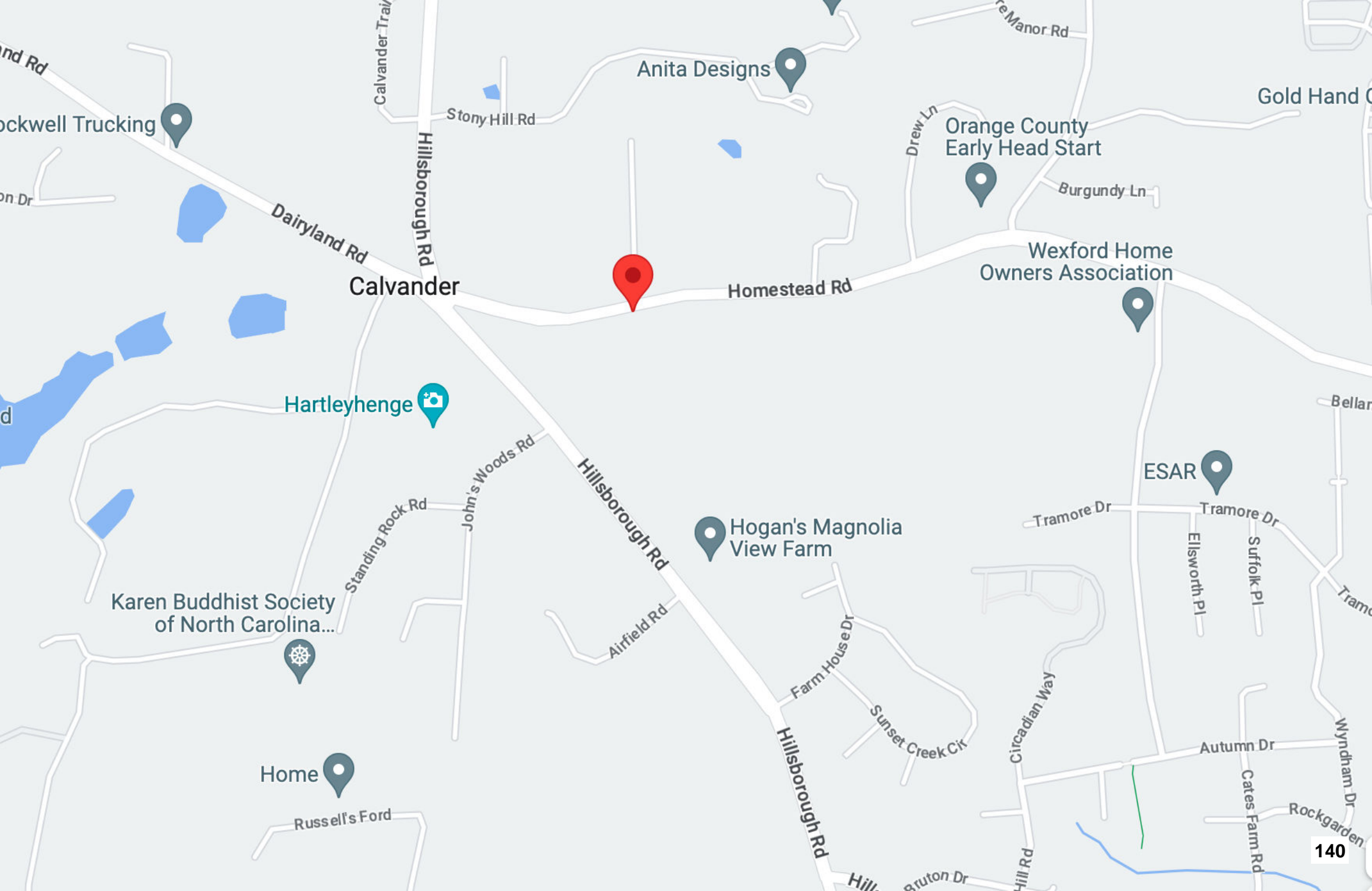
Num	MLS #	PropDesc	Address	Subdiv	Beds	TotBths	YrBlt	SPLP	LvngAreaSF	DOM	LP	LP/LvngAreaSF	SP	SP/LvngAreaSF
1	2487937	SF	2506 NC 86 N Highway	Not in a Subdivision	2	1	1962	0.87	864	68	\$229,000	\$265.05	\$200,000	\$231.48
2	2492329	SF	113 Glosson Circle	Crestwood Acres	2	1	1967	0.88	875	9	\$300,000	\$342.86	\$265,000	\$302.86
3	2514913	SF	1400 W NC 54 Highway	Not in a Subdivision	2	1	1980	1.14	952	3	\$249,000	\$261.55	\$283,937	\$298.25
Avg					2	1	1969	0.96	897	26	\$259,333	\$289.82	\$249,646	\$277.53
Min					2	1	1962	0.87	864	3	\$229,000	\$261.55	\$200,000	\$231.48
Max					2	1	1980	1.14	952	68	\$300,000	\$342.86	\$283,937	\$302.86
Med					2	1	1967	0.88	875	9	\$249,000	\$265.05	\$265,000	\$298.25

average sales price 250,000  $\times 9$  units = 2,250,000

average sales price 340,000  $\times 1 = 340,000$   
 3 bedroom  
 3 bedroom  
2,590,000.







Anita Designs

Orange County  
Early Head Start

Wexford Home  
Owners Association

Hartleyhenge

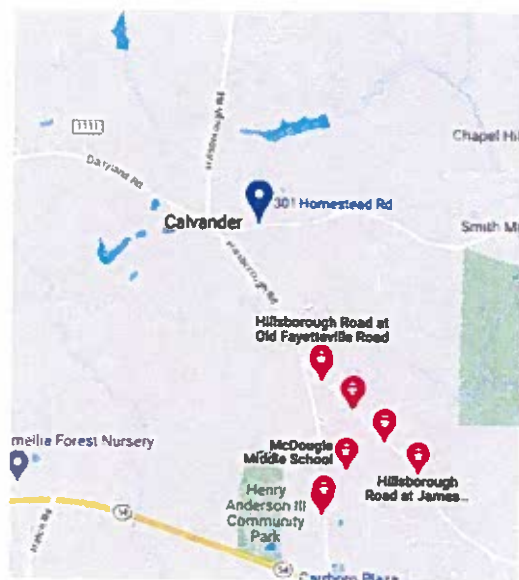
Hogan's Magnolia  
View Farm

ESAR

Karen Buddhist Society  
of North Carolina...

Home

Russell's Ford



## **Race and Equity Pocket Questions**

**Title and purpose of this initiative:** Approval of Recommended Funding from the Affordable Housing Special Revenue Fund.

**Department:** Housing and Community Services

### **What are the racial and equity impacts?**

Renters of color earn disproportionately less than white renters. Black, Latino, and Native American workers are more likely than white workers to be employed in sectors with lower median wages, like service or production, while white workers are more likely to be employed in higher-paying management and professional positions (Bureau of Labor Statistics, 2020a; Allard & Brundage, Jr., 2019). Even within the same occupations, however, the median earnings for white workers are often higher than the median earnings for Black and Latino workers. As a result of such disparities, Black and Latino workers face larger gaps between their wages and the cost of housing than white workers (Out of Reach Report, National Low-Income Housing Coalition, 2022).

In Orange County, the current fair market rent is \$1,631 and requires an hourly wage of \$31.37 to afford. The fair market rent has increased 24% in the last year and 55% over the last five years. As a result, 54% of renters have difficulty affording their homes. (*The 2024 Housing Need in Orange County*, North Carolina Housing Coalition, January 2024.)

**Critical repairs, modifications, and weatherization of older homes:** Some populations are disproportionately burdened by negative health effects from unhealthy home environments caused by poor insulation, plumbing and electrical issues, poor ventilation, etc.: the elderly, low-income, and Black households. In addition, all three populations are more likely to be burdened by high energy costs. (Farris J. *Housing, Weatherization, and Health*. UNC Chapel Hill Department of Health Sciences Community Practice Lab; 2023.)

- Funding the EmPOWERment request would support the acquisition of 10 rental units, currently occupied by low-income households, and would keep the units as Naturally Occurring Affordable Housing (NOAH) instead of potentially being sold to a buyer uninterested in providing affordable housing.
- Funding the Pee Wee Homes request would add 3 new, small homes to Carrboro's affordable housing stock and would provide homes for 3 individuals earning less than 30%AMI and who are often transitioning from being unhoused.
- Funding the Rebuilding Together of the Triangle request would support critical repairs and modifications for two Carrboro homes owned by long-time Black homeowners so that they can lower their utility bills and age in place.



**Who is or will experience community burden?**

EmPOWERment project: The ten households currently occupying the units off Homestead Road may experience a burden if the units are sold to another buyer who is not committed to keeping the units affordable. They may face higher rent in their current home or struggle to find another affordable unit in Carrboro or elsewhere in the county.

Pee Wee Homes project: Three individuals exiting homelessness would not be able to transition to affordable housing if these homes are not built.

RTT project: Four people would continue to live in aging homes in need of repairs, weatherization, including heating and cooling systems, and face high utility bills if the project isn't funded.

EmPOWERment, Pee Wee Homes, and RTT may experience an increased financial burden in pursuing their projects.

**Who is or will experience community benefit?**

EmPOWERment: 59 people currently living in 10 rental units.

Pee Wee Homes: 3 people to live in the small homes. These people have not yet been selected.

Rebuilding Together of the Triangle: 4 people living in 2 homes.

The 3 nonprofits will benefit by having these funds available to complete their projects.

**What are the root causes of inequity?**

The root causes of inequity are poverty (caused by intentional actions to deny wealth and equitable education and employment), as well as policies & practices such as: enslavement, government-sponsored intentional racism such as redlining; restrictive zoning ordinances; lending practices that create barriers; the illegality of rent control in NC; and white power structures' lack of willingness to address disparities.

**What might be the unintended consequences of this action or strategy?**

Future applicants to the AHSRF (April 2024 cycle) would face fewer funds available for their projects. These requests, because they must meet the AHSRF eligibility requirements, could create or preserve additional affordable housing units in Carrboro for households earning 80% or below of the area median income.

**How is your department planning to mitigate any burdens, inequities, and unintended consequences?**

The department continues to engage with jurisdictional peers and community partners to advance affordable housing in the community and to address racial inequities in housing under the guidance of the One Orange Countywide Racial Equity Framework and the Town's Office of Race and Equity. Since this department was formed our work has been increasingly focused on



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racial disparities in housing, preservation of Black neighborhoods, and increasing housing options for extremely low-income households.



## Agenda Item Abstract

File Number: 24-012

**Agenda Date:** 2/6/2024  
**In Control:** Town Council  
**Version:** 1

**File Type:** Agendas

Resolution Supporting an Application for Transportation Demand Management Grant Program.

**PURPOSE:** Request for the Town Council to consider a resolution authorizing the submittal of an application for Central Pines Regional Council's FY25-26 Triangle Transportation Choices grant program.

**DEPARTMENT:** Planning

**CONTACT INFORMATION:** Christina Moon, Planning Administrator, 919-918-7325, cmoon@carrboronc.gov; Patricia McGuire, Planning Director, 919-918-7327, pmcguire@carrboronc.gov

**COUNCIL DIRECTION:**

☐ Race/Equity ☐ Climate ☒ Comprehensive Plan ☒ Other

The Town has participated in the regional transportation demand management program since 2011. Strategy 2.1 (B) in the Carrboro Connects recommends seeking to increase funding from the regional TDM program and partnering with surrounding transit authorities. Racial Equity pocket questions have been prepared.

**INFORMATION:** Transportation Demand Management (TDM) is the use of strategies aimed at changing commuting behaviors to reduce reliance on single occupancy vehicles (SOV) and travel during peak hours. Since 2007, the Triangle J Council of Governments now known as Central Pine Regional Council, has administered a TDM program for the Triangle Region. The program has evolved over the years; rebranded as Triangle Transportation Choices in 2019 and updated with a new emphasis on race and equity in 2022. New for this year, the grant cycle has been extended for two years FY25 thru FY26, and the program has been expanded to provide grants in three categories: the Traditional TDM grant, an Innovative grant and an Equity & Inclusion grant. The Innovative and Equity & Inclusion grant is open for non-profits and other business.

(Information about the TDM grants may be found here:

<https://www.centralpinesnc.gov/requests-proposalsqualifications> )

Central Pines receives NCDOT funding for the TDM program from the Durham-Chapel Hill-Carrboro Metropolitan Planning Organization (DCHC MPO) and the Capital Area Metropolitan Planning Organization (CAMPO) for TDM activities. The grants provide funding for activities, and development and dissemination of program materials and associated staff time, aimed at changing behavior. Reimbursement is provided for preapproved activities at the rates shown in the table below.

Program Type	Grant Reimbursement	Grant Applicant Match Required
Traditional: Regional Service Provider	80%	20%
Traditional: Local Service Provider	50%*	50%*
Innovative Projects	50%*	50%*
Equity and Inclusion Initiative	80%**	20%**

The Town of Carrboro has participated in the Traditional grant program since 2011, primarily as a subrecipient for the Town of Chapel Hill. Last year, the Town submitted its first application as a standalone recipient and was selected for funding. Carrboro continues to collaborate with its local partners, the Town of Chapel Hill, Chapel Hill Transit and UNC-Chapel Hill on activities such as the bike breakfast, bike on bus events, Lighten-Up rides, and safety workshops. Staff has also participated in Carrboro in Motion events and hopes to continue to increase the number of activities and to expand into more neighborhoods.

**FISCAL IMPACT:** There is no financial impact associated with receiving this item. If the Town is awarded a grant, staff will bring back a separate agenda item relating to the project budget.

**RECOMMENDATION:** Staff recommends that the Town Council consider the resolution (*Attachment A*) supporting the submittal of an application for Central Pines Regional Council's FY25-26 Triangle Transportation Choices grant program.



A RESOLUTION SUPPORTING AN APPLICATION FOR CENTRAL PINE  
REGIONAL COUNCIL'S FY25-26 TRANSPORTATION DEMAND  
MANAGEMENT PROGRAM, TRIANGLE TRANSPORTATION CHOICES

WHEREAS, Transportation Demand Management (TDM) is a set of strategies designed to encourage alternative choices for travel and daily commuting such as biking, walking, public transit, telework, or some combination, to reduce the environmental impacts of driving alone, particularly during peak periods; and

WHEREAS, the Durham-Chapel Hill-Carrboro Metropolitan Planning Organization (DCHC-MPO), the Capital Area Metropolitan Planning Organization (CAMPO), and the North Carolina Department of Transportation (NCDOT) have provided funding to the Central Pine Regional Council to support Transportation Demand Management activities in the region; and

WHEREAS, the Town of Carrboro has partnered with the Town of Chapel Hill, Chapel Hill Transit, and the University of North Carolina at Chapel Hill to coordinate TDM activities for the last several years; and

WHEREAS, Carrboro is working with its partners to develop a set of activities, outreach and events as part of the upcoming FY25-26 TDM grant application; and

WHEREAS, the grant, if awarded, would provide up to 50% match of approved activities; and

WHEREAS, the TDM grant application requires a resolution of support from the Town Council.

NOW, THEREFORE, BE IT RESOLVED by the Carrboro Town Council that the Town Council supports continued participation in the regional transportation demand management program and authorizes staff to submit an application for the Central Pines Regional Council's FY25-26 Triangle Transportation Choices grant program.

This the 6<sup>th</sup> day of February 2024.

## **Race and Equity Pocket Questions**

### **Title and purpose of this initiative:**

Resolution Supporting an Application for Central Pines Regional Council's FY25-26 Transportation Demand Management Grant Program, Triangle Transportation Choices. The purpose of this item is to request that the Town Council to consider a resolution authorizing the submittal of an application for Central Pines Regional Council's FY25-26 Triangle Transportation Choices grant program.

**Department:** Planning

### **What are the racial and equity impacts?**

The purpose of this agenda item is to request authorization to apply for a TDM grant. If awarded, the Town would be able to seek 50-percent reimbursement for preapproved activities designed to encourage the use of alternative modes of travel and reducing frequency of traveling during the AM/PM commuting peak. For residents with limited to no access to a car, TDM events can provide useful information and equipment. TDM events also provide an opportunity to learn about transportation infrastructure projects in the planning, design or construction phase.

### **Who is or will experience community burden?**

The program is not anticipated to create a burden to the community, in that residents can choose to participate in an event, or not, and participation is free. Shift workers and people who have limited time, and young children may have difficulty learning about the events and opportunities to get involved. Language may also present a barrier for some residents.

### **Who is or will experience community benefit?**

During TDM events staff typically has safety related bike/ped equipment available for free, as well as bus maps and transit information, opportunities to participate on group bicycle rides, guided by experienced riders and other events to feel part of the community.

### **What are the root causes of inequity?**

Lack of representation among decision makers, lack of a seat at the table, finding it difficult to attend or participate in public events can contribute to inequity. Having an overall distrust in government and governmental processes, based on personal experiences and/or examples of structural racism in government decisions, particularly those relating to departments of transportation can also cause inequity. In the case of TDM events, it may also include not having access to a bicycle to participate in a group ride or not knowing how to ride a bicycle.

### **What might be the unintended consequences of this action or strategy?**

Participation in the grant means that some staff time and funding is not available for other priorities that may more directly benefit community members such as shorter time frames for review of applications.

**How is your department planning to mitigate any burdens, inequities, and unintended consequences?** The department will make choices relating to the size of the proposed budget, the locations of activities and the demographics and expected benefits to community members, the selection of activities and programs, and extent of staff participation.



## Agenda Item Abstract

File Number: 24-017

**Agenda Date:** 2/6/2024  
**In Control:** Town Council  
**Version:** 1

**File Type:** Consent Agenda

Amendments to the Town Code and Fees Schedule for Additional Options at Westwood Cemetery

**PURPOSE:** Adopt amendments to the Town Code and Miscellaneous Fees and Charges Schedule to establish new interment options at Westwood Cemetery as outlined in the approved Westwood Cemetery Master Plan, and to set associated fees and charges for these new options to cover costs and ensure cemetery sustainability.

**DEPARTMENT:** Planning & Public Works

**CONTACT INFORMATION:** Patricia McGuire, Planning Director, 919-918-7327, pmcguire@carrboronc.gov; Kevin Belanger, Public Works Director, 919-918-7427, kbelanger@carrboronc.gov

**COUNCIL DIRECTION:**

☐ Race/Equity ☐ Climate ☐ Comprehensive Plan ☒ Other

The Town Council held two work sessions on the Westwood Cemetery over the past year - the first on October 11, 2022, and the second on June 15, 2023. A master plan reflecting direction provided by the Town Council from those work sessions was approved on September 19, 2023. Racial and Equity Pocket Questions have been prepared (*Attachment E*).

**INFORMATION:** The resolution adopting a Westwood Cemetery Master Plan on September 19, 2023 also included direction to move forward with a phased implementation of the plan (*Attachment C*). Staff have been taking steps for installation of stormwater and vehicle access infrastructure associated with the creation of new burial spaces. The Westwood Cemetery plan provides for 1,672 additional burial spaces, with 631 for traditional burials, 410 for natural burials, and 631 for remains from cremation and other offsite processes.

The Town Council adopted a resolution clarifying the use of undeveloped greenspace on October 24, 2023 (*Attachment D*). All meeting materials are available at

<https://carrboro.legistar.com/LegislationDetail.aspx?ID=6354386&GUID=45B376DA-C527-493C-AF03-8A83D3ADEA65&Options=&Search=>> for September 19 and

<https://carrboro.legistar.com/LegislationDetail.aspx?ID=6390391&GUID=E8EA2F4E-9CAE-4FD8-953A-DE4456326FA7&Options=&Search=>> for October 24.

Town Code and Fee Schedule revisions are needed to include the additional types of burial spaces at Westwood Cemetery. A revision has also been included to specify additional items that deteriorate to those that the Town can remove during cemetery maintenance. These changes include:

Town Code		
	Section Number	Revised/additional Text
1	13-1	Renames 'burial space' as 'Burial Space, Type One' and adds a new definition for burial space, Type Two.'
2	13-4	Add quiet, reflective activities as not considered disruptive in the area of the cemetery designated for open space
3	13-8	Adds temporary lighting and grave covering to the items that can be removed by the cemetery administrator when they have deteriorated and become unsightly.
4	13-12	Modifies language to specify requirement to name all those intended to be buried, whether buried traditionally or otherwise. Specifies that the remains of two individuals can be interred in the Burial Space, Type Two. Adds reference to alkaline hydrolysis.
5	13-18	Specifies that monuments can be used for Type One burial spaces only.
6	13-19	Specifies that head markers can be used on Type Two burial spaces; foot markers are not allowed on Type Two burial spaces.
7	13-22	Adds race and ethnicity to the information to be recorded for all persons whose remains are interred.
8	13-24	Adds Natural Burials as allowed within designated areas of Westwood Cemetery.
Miscellaneous Fees and Charges Schedule		
	Cemetery Fees	Adds fees for Type Two Burial Spaces for Resident/Property Owners and for Non-Residents.

An ordinance amending the Town Code and a resolution amending the Fee Schedule have been prepared (*Attachments A and B*).

**FISCAL IMPACT:** There are minimal impacts associated with amending the Town Code and Fee Schedule. A cost estimate for the Master Plan's implementation provided last September is \$630,000, with initial work to open up new burial spaces underway using remaining master planning funds.

**RECOMMENDATION:** Staff recommends that the Town Council approve amendments to the Town Code and the resolution amending the Fees and Charges Schedule (*Attachments A and B*).



AN ORDINANCE AMENDING THE CARRBORO TOWN CODE  
TO MODIFY WESTWOOD CEMETERY INTERMENT AND  
RELATED PROVISIONS

**\*\*DRAFT 1-18-2024\*\***

THE CARRBORO TOWN COUNCIL HEREBY ORDAINS:

Section 1. Article I, Section 13-1 (Definitions) of Chapter 13 of the Carrboro Town Code is amended by renaming the title of “Burial Space, Type One” and adding a new definition for ‘Burial Space, Type Two’ in alphabetical order, with the existing definitions renumbered accordingly:

(3) Burial Space, Type Two. A parcel of ground within a cemetery lot having the dimensions of 4 feet by 4 feet, and the usage of each space shall be limited to the interment of the remains of not more than two individuals, resulting from cremation, alkaline hydrolysis, or other offsite decomposition processes permitted under NCGS.

Section 2. Article II, Section 13-4 (Disruptive Activity Prohibited) of the Carrboro Town Code is amended by the addition of a new subdivision (g) to read as follows:

- (g) Passive and quiet open space activities such as sitting, reading, watching birds and other wildlife, meditating, and occurring within the area of the Westwood Cemetery property designated as undeveloped greenspace shall not be considered as disruptive activities.

Section 3. Article II, Section 13-8 (Trees, Planting, Landscaping) is amended by revising subsection (c) to read as follows:

(c) The cemetery administrator may remove from the cemetery all floral designs, flowers, weeds, plants, temporary lighting and grave coverings of any kind as soon as they deteriorate or otherwise become unsightly.

Section 4. Article II, Section 13-12 (Purchase of Burial Rights) of the Carrboro Town Code is amended by revising subdivisions (c) and (d) to read as follows

- (c) A Certificate of Burial Right shall be issued to the person who purchases a burial right. The certificate shall identify the purchaser, the specific lots or spaces to which the certificate applies, the names of the individuals intended to be buried in the spaces purchased, and whether the lots or spaces shall be used for traditional or natural burials. If spaces are intended to be reserved for unborn children or grandchildren of the purchaser, that fact shall be noted on the certificate and such offspring shall be deemed to have the same residency as their parents. If the remains of more than one person resulting from offsite processes, such as cremation or alkaline hydrolysis, are

to be located within a single space, the names of all persons whose remains are intended to be located on the space shall be indicated on the certificate.

- (d) The usage of each burial space, Type One shall be limited to one of the following: (1) the interment of one human body; (2) the interment of one human body and one urn for remains from cremation, hydrolysis, or similar; or (3) the interment of no more than four urns for remains from cremation, hydrolysis, or similar. The usage of each burial space, Type Two, shall be limited to the interment of remains of not more than two individuals, resulting from cremation, alkaline hydrolysis, or other offsite decomposition processes permitted under NCGS.

Section 5. Article II, Section 13-18 (Monuments) of the Carrboro Town Code is rewritten to read as follows:

### **Section 13-18 Monuments**

- (a) Monuments shall be allowed for Type One burial spaces only.
- (b) All monuments shall be bronze and/or stone.
- (c) All monuments shall be placed on a concrete apron which shall extend four (4) inches from each side of the base of the monument and which shall be flush with the ground in order to facilitate monument protection, stability and maintenance.
- (d) No monument for any burial space may exceed four (4) feet in height.
- (e) The length for single burial space monuments shall not exceed twenty-eight (28) inches.
- (f) A double space monument shall be permitted on two (2) adjacent burial spaces, located side by side. The length for double space monuments shall not exceed seventy-six (76) inches. A double space monument shall be centered on the line between two (2) burial spaces.
- (g) A triple space monument shall be permitted on three (3) adjacent burial spaces, located side by side. The length for the triple space monument shall not exceed one hundred-twenty (120) inches. A triple space monument shall be centered on the second (middle) burial space.
- (h) The width of monuments shall not exceed sixteen (16) inches.
- (i) All monuments shall be placed at the head of the burial space(s) and positioned perpendicular to the burial space(s).
- (j) The foregoing provisions of this section shall not apply to monuments placed prior to the effective date of this section.

Section 6. Article II, Section 13-19 (Markers) of the Carrboro Town Code is rewritten to read as follows:

**Section 13-19 Markers**

- (a) All markers shall be of bronze and/or stone.
- (b) A head marker used in place of a monument or used for a Type Two burial space shall be placed on a concrete apron which shall extend four (4) inches from each side of the base of the head marker, and which shall be laid flush with the ground in order to facilitate head marker protection, stability, and maintenance.
- (c) A head marker used in place of a monument or used for a Type Two burial space shall be laid flush with the ground, shall not exceed two (2) feet in length and one foot in width and shall be placed at the head of the grave, perpendicular to the burial space(s). Only one head marker shall be permitted on each burial space.

(d) A foot marker shall be laid flush with the ground, shall not exceed two (2) feet in length and one (1) foot in width and shall be placed at the foot of the grave, perpendicular to the burial space. One foot marker shall be permitted on each Type One burial space. Foot markers shall not be permitted on Type Two burial spaces.

(e) The foregoing provisions of this section shall not apply to markers placed prior to the effective date of this section.

Section 7. Article II, Section 13-22 (Records of Persons Buried Required) of the Carrboro Town Code is amended to read as follows:

- (a) The cemetery administrator shall keep complete and accurate records of the name, age, sex, race and ethnicity, date of death, and date of burial of every person buried in the Town cemetery, as well as the particular space where such person is buried.

Section 8. Article II, Section 13-24 (Grave Liner or Vault Required) of the Carrboro Town Code is amended with the addition of a reference to permissibility of Natural Burials in the Westwood Cemetery so that the section reads as follows:

Grave liners or vaults, composed of concrete or a substance of equivalent strength and durability, shall be required for all graves within the Town cemetery. No person may bury or cause to be buried the body of any deceased person unless the casket is properly placed within a grave liner or vault. Notwithstanding the foregoing, the Natural Burials shall be permitted in the Old Carrboro Cemetery and in the designated areas of Westwood Cemetery in conformance with this Chapter.

Section 8. This ordinance shall be effective upon adoption.

This the 6<sup>th</sup> day of February, 2024.

A RESOLUTION APPROVING CHANGES IN FY 2023-2024 MISCELLANEOUS FEES  
AND CHARGES SCHEDULE

WHEREAS, the Town Council of the Town of Carrboro has adopted a Miscellaneous Fees and Charges Schedule for FY 2023-24; and,

WHEREAS, this Schedule includes fees associated with cemetery fees administered by the Public Works Department, and,

WHEREAS, the Town Council approved the Westwood Cemetery Master Plan on September 19, 2023, which specifies additional areas for the interment of remains as traditional burials, natural burials, and other remains such as cremains, and,

WHEREAS the Town Council adopted a resolution on October 24, 2023, specifying that Cemetery Master Plan features are intended to be permanent components of the site other than the area shown as public green space, and,

NOW THEREFORE BE IT RESOLVED THAT THE TOWN COUNCIL OF THE TOWN OF CARRBORO AUTHORIZES THE FOLLOWING MISCELLANEOUS FEE INCREASES:

Section 1. The Miscellaneous Fees and Charges Schedule shall be amended to incorporate fees for a new type of burial space so that the schedule reads as follows:

Cemetery Fees	
Plot Staking	\$25
Monument/Marker Staking	\$15
Burial Space, Type One	
Resident or Property Owner	\$750 per space



Non-Resident	\$1500 per space
Burial Space, Type Two	
Resident or Property Owner	\$500 per space
Non-Resident	\$1000 per space

Section 2. The above fee changes shall become effective upon adoption.

Section 3. The Town Clerk shall provide a copy of this resolution to the Finance Officer within five days of adoption.

This the 6<sup>th</sup> day of February, 2024.

**A motion was made by Council Member Nowell, seconded by Council Member Posada that the following resolution be approved:**

**A RESOLUTION FOR APPROVING THE WESTWOOD CEMETERY MASTER PLAN**

WHEREAS, the Town Council has held two work sessions on the future use of the undeveloped area of Westwood Cemetery and provided comments on options for cemetery development; and,

WHEREAS, a Westwood Cemetery Master Plan has been created to incorporate cemetery improvements, additional areas for burial plots, diversified internment options, and undeveloped greenspace; and,

WHEREAS, the Master Plan will be implemented through a phased approach dictated by burial demand and the availability of funding;

THEREFORE, BE IT RESOLVED that the Carrboro Town Council approves the Westwood Cemetery Master Plan dated September 19, 2023 and authorizes staff to begin implementation of the plan.

THEREFORE, BE IT FURTHER RESOLVED that the columbarium should be designated as a potential third phase of development.

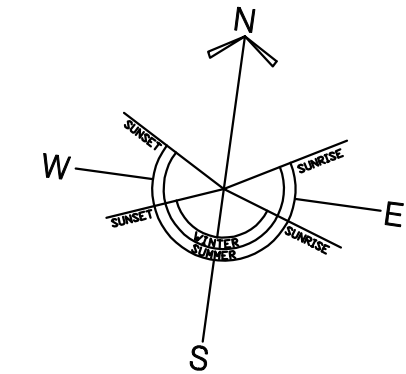
This is the 19<sup>th</sup> day of September in the year 2023.

**Ayes (5):** Mayor Damon Seils, Council Member Susan Romaine, Council Member Barbara Foushee, Council Member Danny Nowell, Council Member Eliazar Posada

**Noes (2):** Council Member Randee Haven-O'Donnell, Council Member Sammy Slade

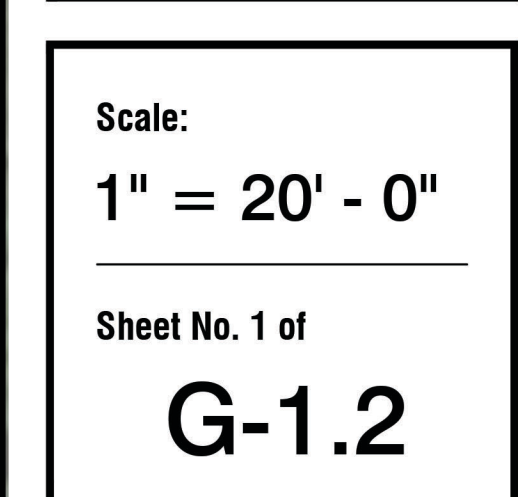
*\*Referenced Westwood Cemetery Master Plan attached*





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## **Race and Equity Pocket Questions**

**Title and purpose of this initiative:** Amendments to the Town Code and to the Miscellaneous Fees and Charges Schedule Related to Additional Interment Options at Westwood Cemetery

**Department:**

Planning, Public Works

**What are the racial and equity impacts?**

Records indicate the Westwood Cemetery was established in 1948. Until 1968, cemeteries were segregated by race Black residents were not allowed to be buried in the cemetery. The Town has not recorded the race of cemetery plot purchasers or of those interred on the site. Chapel Hill and Hillsborough have no more plots available meaning Carrboro's Westwood Cemetery is one of the few remaining locations that offer more affordable public burials in the area. Changes to allowable activities seek to protect the ongoing use of Westwood Cemetery, the dignity of funeral goers and subsequent visitors and all that accompanies this - grief and distress, honoring and celebrating lives passing on. The additional burial spaces approved in the approved Master Plan will provide for more diversity in post-death practices and include more spaces for traditional and natural burials as well as smaller plots for cremains, etc. The proposed fees for the new type of burial space is consistent with fees charged for existing spaces.

**Who is or will experience community burden?**

Community burden could be experienced by residents for whom the expanded options for burial do not meet their needs or for whom the new fees are prohibitively expensive. Others could experience burden because the Town's responsibility associated with expansion of options at Westwood Cemetery could limit the provision of other services.

**Who is or will experience community benefit?**

Residents will benefit from the increased number of spaces for traditional burials and for the expansion of options for natural and other types of burials. Continued and expanded use of the cemetery, will continue the availability of more affordable public burials, until the cemetery fills up once more. The mix of burial options for traditional and other methods is expected to extend the timeline of demand for traditional burial sites, as those interested in burial or scattering of cremated remains will have smaller spaces available for this type of interment. The approved master plan includes a designated public open space, not to be used for burials. This and other features are expected to be phased in over time and can/will provide space for the continuation of some of the activities that have been underway by residents already.

**What are the root causes of inequity?**

Root causes of inequity can be related to discrimination that limited or prevented access to spaces and services based on race. As stated previously, segregation contributed to historical



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exclusion from Westwood (and thus give a racial significance to current and future access to the cemetery).

**What might be the unintended consequences of this action or strategy?**

Residents who have been using the site for a different purpose could continue to do so, and the Town might have to mitigate this with some level of enforcement. Retention of the cemetery use also will require the Town to revisit the capacity issue later when the remaining area has been designated/plotted, and those plots are purchased.

**How is your department planning to mitigate any burdens, inequities, and unintended consequences?**

The following strategies are anticipated to mitigate burdens, inequities, and unintended consequences. Monitor information on utilization for any disparities. Include clear and easy to read signage outlining allowable uses at the Cemetery. Maintain and operate the cemetery in a manner that protects the cemetery use and allows quiet, reflective activities in the areas designated for open space. Maintain the grounds and landscape to a high standard. Provide information to the community on cemetery expansion, burial options, plot availability, and fees. Ensure there are sufficient staff resources for all cemetery operations including property maintenance and customer service for plot sales and maintenance.



## Agenda Item Abstract

File Number: 24-024

**Agenda Date:** 2/6/2024  
**In Control:** Town Council  
**Version:** 1

**File Type:** Agendas

Town Code Amendment to Codify Street Name Change

**PURPOSE:** To request that the Town Council amend the Town Code to change all references of E. Carr Street and W. Carr Street to E. Braxton Foushee Street and W. Braxton Foushee Street.

**DEPARTMENT:** Planning

**CONTACT INFORMATION:** Patricia McGuire, Planning Director, 919-918-7327,  
pmcguire@carrboronc.gov

**COUNCIL DIRECTION:**

☐ Race/Equity ☐ Climate ☐ Comprehensive Plan ☒ Other

Section 15-223 of the Land Use Ordinance outlines the process for assigning street names, including appropriate street suffixes as part of development proposals (*Attachment B*); Section 7-32 of the Town Code outlines the process for the Town administrator to assign building numbers. Racial Equity pocket questions are provided (*Attachment D*).

**INFORMATION:** On November 29, 2023, the Carrboro Town Council considered requests to rename a street within the Town to honor Braxton Foushee. The agenda item is available at this link ([Town of Carrboro - File #: 23-332 \(legistar.com\)](https://carrboro.legistar.com/LegislationDetail.aspx?ID=6431790&GUID=9C01C8F8-7586-429B-9FBE-305EDD4C2FA9&Options=&Search=>) <<https://carrboro.legistar.com/LegislationDetail.aspx?ID=6431790&GUID=9C01C8F8-7586-429B-9FBE-305EDD4C2FA9&Options=&Search=>>>. After careful consideration, the Council has decided to proceed with renaming Carr Street to Braxton Foushee Street, as follows:

*A motion was made by Council Member Slade, seconded by Council Member Posada to direct staff to rename East and West Carr St to Braxton Foushee St, to notify residents and what will be required, and how staff can assist in helping residents with the name change. Staff is to come back in three months with a plan and should also notify the Truth Plaque Taskforce in the interest of a Historical Marker. The motion carried unanimously. (Excused: Council Member Foushee)*

This decision requires changing the name of the street, which changes all the addresses on that street. Street renaming is an administrative process in which staff communicate with residents and property owners and street names do not conflict with or duplicate ones in the 911 addressing system. The address numbers for many of the properties on these streets will also change, to align with current postal service requirements and best practices. A list of addresses on East Carr Street and West Carr Street affected by these changes, with maps showing the existing and new addresses, are included as *Attachment B*. A letter communicating this change to residents and property owners was sent via first class mail on January 30.



Chapter 6 of the Town Code, “Motor Vehicles and Traffic” outlines regulations for local streets, including but not limited to speed limits, parking restrictions, and the placement of signage such as stop signs. A draft ordinance to the Town Code has been prepared changing references from E. Carr Street and W. Carr Street to E. Braxton Foushee Street and W. Braxton Foushee (*Attachment A*).

**FISCAL IMPACT:** The process for changing a street name involves costs and staff time for preparing mailings, and fabricating and installing new street signs.

**RECOMMENDATION:** Staff recommends that the Town Council approve the draft amendment (*Attachment A*) changing references of E. Carr Street and W. Carr Street to E. Braxton Foushee Street and W. Braxton Foushee Street, effective on March 27, 2024.

AN ORDINANCE AMENDING THE CARRBORO TOWN CODE TO E. CARR STREET AND  
W. CARR STREET TO BRAXTON FOUSHEE STREET

*Ordinance No. FY23/24*

THE CARRBORO TOWN COUNCIL ORDAINS:

**Section 1.** Chapter 6 Carrboro Town Code, “Motor Vehicles and Traffic” is amended by replacing E. Carr Street and W. Carr Street to Braxton Foushee Street as noted in the following table.

No.	Article	Section	Change
1	Article II – Traffic Control and Traffic Devices	Section 6-4 Stop Signs Required at Certain Intersections (a) The second named street hereby designated as a maintained or through street.	Replace “E. Carr Street and W. Carr Street to Braxton Foushee Street.”
2	Article II – Traffic Control and Traffic Devices	Section 6-4 Stop Signs Required at Certain Intersections (c) The intersections of the following streets are declared to be 3-way intersections.	Replace “E. Carr Street and W. Carr Street to Braxton Foushee Street.”
3	Article II – Traffic Control and Traffic Devices	Section 6-8 Turning Regulated; (1) No U-turns	Replace “E. Carr Street and W. Carr Street to Braxton Foushee Street
4	Article II – Traffic Control and Traffic Devices	Section 6-11. Weight Limitations on Certain Streets (b) The following streets or portions thereof are hereby designated “no thru truck” streets	Replace “E. Carr Street and W. Carr Street to Braxton Foushee Street.”
5	Article III – Speed Limits	Section 6-16. Speed Limits (4) (Twenty-five (25) miles per hour.	Replace “E. Carr Street and W. Carr Street to Braxton Foushee Street.”
6	Article IV - Parking	Section 6-19 Parking Prohibited in Certain Locations at Certain Times (b)(1)(mm) and (b)(1) (oo)	Replace “E. Carr Street and W. Carr Street to Braxton Foushee Street

**Section 2.** All provisions of any town ordinance in conflict with this ordinance are repealed.

**Section 3.** This ordinance shall become effective on March 27, 2024.

This the 6<sup>th</sup> day of February, 2024.

## **Excerpt of Town Code Chapters 7 and 15 – Street Naming/Numbering Provisions**

### **Section 7-32 House and Building Numbers**

(a) The owner of every house and every principal building shall display or cause to be displayed on the front thereof, or on the grounds in a position easily observed from the street, the number assigned to the owner's house or building by the administrator. The owner shall comply with this section within thirty (30) days after receiving a written notice from the administrator requesting the owner to do so and specifying the house or building number assigned.

(b) No person may display or cause to be displayed on any house or building any number other than the number assigned by the administrator.

(c) No person may remove, obliterate or destroy any number displayed in accordance with subsection (a).

(d) The administrator shall assign house and building numbers in accordance with a house and building numbering system that adheres as closely as possible to the principles set forth in this section. However, matters of interpretation regarding the following principles shall rest within the sound discretion of the administrator.

(1) The Town shall be divided by two axes. The north-south axis shall be Greensboro Street and Hillsborough Road, and the east-west axis shall be Main Street through Jones Ferry Road.

(2) Numbers shall run in an ascending order from east to west on streets to the west of the north-south axis. Numbers shall run in an ascending order from west to east on streets to the east of the north-south axis. Numbers shall run in ascending order from south to north on streets to the north of the east-west axis. Numbers shall run in ascending order from north to south on streets to the south of the east-west axis. 7-21

(3) All dead-end streets shall begin numbering at the open end no matter which compass direction they follow.

(4) Streets with both ends opening from the same direction shall begin numbering on the end closest to the axis. (

5) Streets which do not run north-south, or east-west shall begin numbering at the end closest to the axis.

(6) Streets which connect to both axes shall begin numbering on the end coming off the east-west axis.

(7) Each block shall begin a new number series, for examples, 101, 201, or 301.

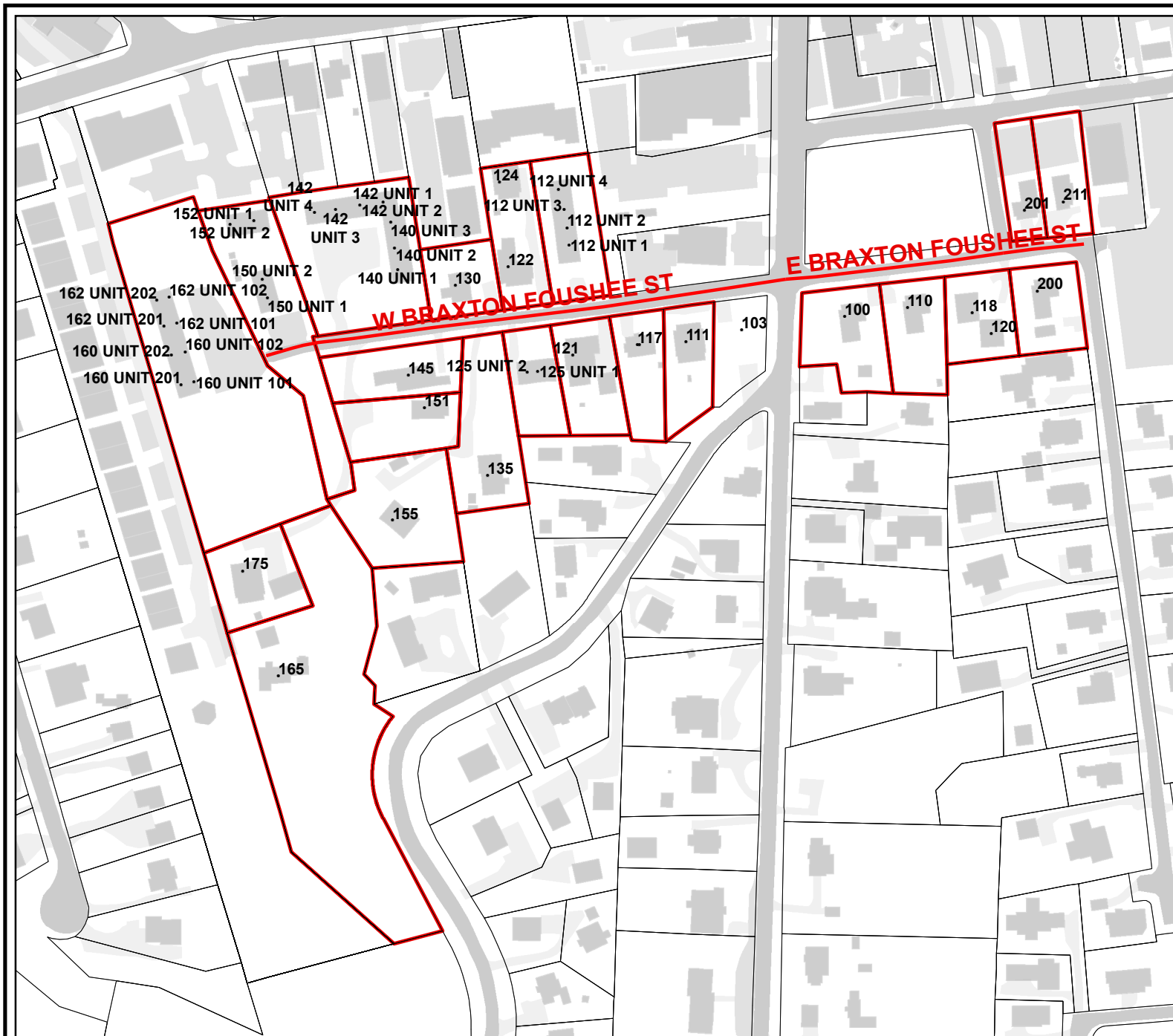
(8) Numbers shall remain unassigned in order to accommodate future development and block numbering that anticipates additional development shall be reserved in undeveloped areas

### **Section 15-223 Street Names and House Numbers.**

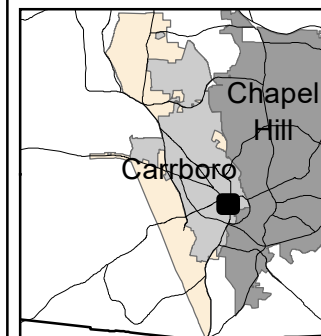
(a) Street names shall be assigned by the developer subject to the approval of the permit issuing authority. Proposed streets that are obviously in alignment with existing streets shall be given the same name. Newly created streets shall be given names that neither duplicate nor are phonetically

similar to existing streets within the town's planning jurisdiction, regardless of the use of different suffixes [such as those set forth in subsection (b)].

- (b) Street names shall include a suffix such as the following:
  - (1) Circle: A short street that returns to itself.
  - (2) Court or Place: A cul-de-sac or dead-end street.
  - (3) Loop: A street that begins at the intersection with one street and circles back to end at another intersection with the same street.
  - (4) Street: All public streets not designated by another suffix.
- (c) Building numbers shall be assigned by the town as provided in Section 7-32 of the Town Code.



## Address Assignment: New Addresses E and W Braxton Foushee Street



**THIS MAP IS NOT A CERTIFIED SURVEY  
NO RELIANCE MAY BE PLACED IN ITS  
ACCURACY**

The Town of Carrboro assumes no liability for damages caused by inaccuracies in this map or supporting data and makes no warranty, expressed or implied, as to the accuracy of the information presented. The fact of distribution does not constitute such a warranty.



**TOWN OF CARRBORO**  
301 W. Main St.  
Carrboro, NC 27510

January 12, 2024





# TOWN OF CARRBORO

NORTH CAROLINA

WWW.TOWNOFCARRBORO.ORG

PIN	Existing Address	New Address
9778852709	100 W Carr St	112 W Braxton Foushee St Unit # 1
9778852709	100 W Carr St Unit A	112 W Braxton Foushee St Unit # 2
9778852709	100 W Carr St Unit B	112 W Braxton Foushee St Unit # 3
9778852709	100 W Carr St Unit C	112 W Braxton Foushee St Unit # 4
9778851728	102 W Carr St	122 W Braxton Foushee St
9778851728	102 W Carr St Unit A	124 W Braxton Foushee St
9778850742	104 W Carr St	130 W Braxton Foushee St
9778759714	106 W Carr St Unit 1	140 W Braxton Foushee St Unit # 1
9778759714	106 W Carr St Unit 2	140 W Braxton Foushee St Unit # 2
9778759714	106 W Carr St Unit 3	140 W Braxton Foushee St Unit # 3
9778759714	106 W Carr St Unit 4	142 W Braxton Foushee St Unit # 1
9778759714	106 W Carr St Unit 5	142 W Braxton Foushee St Unit # 2
9778759714	106 W Carr St Unit 6	142 W Braxton Foushee St Unit # 3
9778759714	106 W Carr St Unit 7	142 W Braxton Foushee St Unit # 4
9778757772	108 W Carr St Unit A	152 W Braxton Foushee St Unit # 2
9778757772	108 W Carr St Unit B	152 W Braxton Foushee St Unit # 1
9778757772	108 W Carr St Unit C	150 W Braxton Foushee St Unit # 1
9778757772	108 W Carr St Unit D	150 W Braxton Foushee St Unit # 2
9778757611	110 W Carr St Unit A	162 W Braxton Foushee St Unit # 101
9778757611	110 W Carr St Unit B	162 W Braxton Foushee St Unit # 102
9778757611	110 W Carr St Unit C	162 W Braxton Foushee St Unit # 201
9778757611	110 W Carr St Unit D	162 W Braxton Foushee St Unit # 202
9778757611	110 W Carr St Unit E	160 W Braxton Foushee St Unit # 102
9778757611	110 W Carr St Unit F	160 W Braxton Foushee St Unit # 101
9778757611	110 W Carr St Unit G	160 W Braxton Foushee St Unit # 202
9778757611	110 W Carr St Unit H	160 W Braxton Foushee St Unit # 201
9778853558	101 W Carr St	111 W Braxton Foushee St
9778852596	103 W Carr St	117 W Braxton Foushee St
9778852516	105 W Carr St	121 W Braxton Foushee St
9778851545	107 W Carr St Unit A	125 W Braxton Foushee St Unit # 2
9778851545	107 W Carr St Unit B	125 W Braxton Foushee St Unit # 1
9778850570	109 W Carr St	135 W Braxton Foushee St
9778759367	111 W Carr St	155 W Braxton Foushee St
9778759577	113 W Carr St	145 W Braxton Foushee St
9778759561	115 W Carr St	151 W Braxton Foushee St
9778758359	117 W Carr St	175 W Braxton Foushee St
9778759250	119 W Carr St	165 W Braxton Foushee St
9778855692	100 E Carr St	100 E Braxton Foushee St
9778856692	102 E Carr St	110 E Braxton Foushee St
9778857684	104 E Carr St	118 E Braxton Foushee St
9778857684	104 E Carr St Unit A	120 E Braxton Foushee St
9778858676	200 E Carr St	200 E Braxton Foushee St
9778858826	201 E Carr St	201 E Braxton Foushee St
9778950770	203 E Carr St	211 E Braxton Foushee St

301 WEST MAIN STREET, CARRBORO, NC 27510 \* (919) 942-8541 \* FAX (919) 918-4465\* TDD (800) 826-7653

AN EQUAL OPPORTUNITY PROVIDER

## **Race and Equity Pocket Questions**

### **Title and purpose of this initiative:**

Town Code Amendment to Codify Street Name Change. The purpose of this agenda item is to amend the Town Code to change all references of E. Carr Street and W. Carr Street to E. Braxton Foushee Street and W. Braxton Foushee Street.

### **Department:**

Planning

**What are the racial and equity impacts?** The Town Council directed the renaming of E. Carr Street and W. Carr Street to Braxton Foushee Street on November 28, 2023. The act of codifying this change could have impacts to people who have not yet learned of this change. Braxton Dunkin Foushee, first Black member of the Carrboro Board of Aldermen, lifelong resident and civil rights and community leader for over 60 years (<https://www.carrboronc.gov/2307/Our-Roots-Run-Deep-Black-History-in-Carr> and <https://fromtherockwall.org/people/braxton-foushee> ). Julian S. Carr, former owner of the Durham Hosiery Mills, has become best known for the racially charged speech he made just four months before the General Assembly voted to name the Town in his honor in 1913 at the dedication of the statue erected on the campus of University of North Carolina at Chapel Hill recognizing students who had served as Confederate soldiers during the Civil War ([https://en.wikipedia.org/wiki/Silent\\_Sam](https://en.wikipedia.org/wiki/Silent_Sam) ). The initial work of the Town's Truth Plaque Task Force (<https://carrboro.legistar.com/LegislationDetail.aspx?ID=3489033&GUID=F33B7D3B-25F8-43A9-8424-44AE2813D6B0&Options=&Search=>) considered the relationship of the Town's name to Carr. (<https://carrboro.legistar.com/LegislationDetail.aspx?ID=3767382&GUID=C8B0D4C3-9920-4DC8-892D-11341DED6228&Options=&Search=>). Renaming the street for Foushee provided an opportunity to honor an individual whose efforts and contributions represent the Carrboro of today.

### **Who is or will experience community burden?**

Residents living along the street corridor will experience the burden and associated costs, direct and indirect for changing their address information. Others, who may not travel to Carrboro frequently, may be disoriented by the change. Delivery workers may experience delays due to the time associated with mapping products being updated to include the new addresses. Lingering addresses in databases and other service and product delivery may affect the time services or products are obtained by individuals with these addresses. The cost assistance developed for this type of Town-initiated renaming seeks to compensate residents with incomes lower than 80 percent of the Area Median for some of the indirect and direct impacts of the change.

**Who is or will experience community benefit?**

Community members who will learn more about the history of the town and individuals like Braxton Foushee who work to advance the values described in the first truth plaque. All who will see and use the new street name and in so doing feel more connected to Mr. Foushee and his lifelong commitment to establishing a more inclusive community, a more just and racially equitable place.

**What are the root causes of inequity?**

Structural racism in government decisions, particularly those relating to transportation, as well as residents' personal experiences with government, can further contribute to a reticence by historically marginalized people to understand or believe that they can request recognition of leaders and expand everyone's understanding and knowledge of history to include the whole truth.

**What might be the unintended consequences of this action or strategy?**

The burden of changing address information may be more costly than anticipated. There may be a transitional period where mail is misdelivered, or other challenges associated with directions. Searching for older, non-digital records may be somewhat more involved to locate those with the old and new addresses.

**How is your department planning to mitigate any burdens, inequities, and unintended consequences?**

Planning Department GIS staff administers the process for assigning street names, including reviewing candidate street names with Orange County EMS to prevent selecting names that are already in use or too like existing street names, shepherding property owners through the various steps and handling mapping updates and notifications. In this instance when the naming originated with the Town Council a budgetary allocation has been made that will allow residents who identify as having an income at or below 80 percent of the area median income to apply for a \$100 cost assistance payment from the Town.



## Agenda Item Abstract

File Number: 24-015

**Agenda Date:** 2/6/2024  
**In Control:** Town Council  
**Version:** 1

**File Type:** Agendas

Resolution Amending the Water and Sewer Management, Planning, and Boundary Agreement

**PURPOSE:** Consider adoption of a resolution amending the Water and Sewer Management, Planning, and Boundary Agreement (WASMPBA) requested by the Town of Chapel Hill to expand the service boundary in the southern part of Chapel Hill along the US 15-501 corridor to the Chatham County line.

**DEPARTMENT:** Planning

**CONTACT INFORMATION:** Trish McGuire, Planning Director, 919-918-7327, pmcguire@carrboronc.gov

**COUNCIL DIRECTION:**

☐ Race/Equity ☐ Climate ☐ Comprehensive Plan ☒ Other

Building on the establishment of Orange Water and Sewer Authority in 1977, the Town of Carrboro worked with its local county, state, and local partners to develop cooperative planning and management agreements that establish areas where sanitary sewer and treated potable water supply services will be provided (available at the link below and included as *Attachment B*). Racial Equity pocket questions have been completed (*Attachment D*).

**INFORMATION:** An agenda item introducing this request was considered on January 9, 2024, (<https://carrboro.legistar.com/LegislationDetail.aspx?ID=6465970&GUID=3CC75E02-BE93-4879-8742-BFCDFDA63E93&Options=&Search=>>). Council members discussed the item and directed staff to prepare a resolution that would make the requested changes. Council members also requested some additional information. The requests are listed below, with responses provided in italic text.

1. Where are the watershed boundaries and what are the environmental impacts to stormwater of the proposed service boundary change? *Per Town of Chapel Hill (TOCH) staff, revised maps are in preparation related to the Jordan Lake and University Lake watersheds and will be submitting proposed revisions to the state by the end of February. Once a response is received, TOCH staff will proceed with ordinance changes, a process that will include community meetings, Planning Commission review, Public Hearing and Council action. The work is expected to be completed by summer 2024. Any changes to WASMPBA have no impact on the watershed maps and any development proposed in the expansion area would be subject to either the Jordan Lake (WS-IV) or University Lake (WS-II) water supply watershed regulations.*
2. How do the affordable housing requirements used by the Town of Chapel Hill work? How will long-term affordability be established and maintained in association with the additional development density that will be supported by the expansion of the water and sewer service boundaries? *Per Town of Chapel Hill staff, the Town's Inclusionary Zoning Ordinance, adopted in 2011, requires new residential*

*development projects (with five or more for-sale units) to provide up to 15 percent of the units at prices that are affordable to low- to moderate-income households. This ordinance went into effect in 2011 and requires a 99-year affordability period. The targeted income levels are households earning 65 to 80 percent of the area median income. The goal of the ordinance is creation of the affordable units on-site with some opportunities for alternatives if it can be demonstrated that an alternative better achieves the goals, objectives, and policies of the Town's Comprehensive Plan. Alternatives to date have been limited to payment-in-lieu to the Town's Affordable Housing Fund.*

*The Inclusionary Zoning Ordinance offers developers density and floor area bonuses associated with the number of affordable units provided. The 15 percent affordable requirement is applicable in all zoning districts and within the Extraterritorial Jurisdiction (ETJ) with the exception of the Town Center zoning districts (10 percent requirement).*

*Additionally, the Chapel Hill Town Council has adopted policy in 2000, that any rezoning with a residential component incorporate a 15 percent affordable housing feature into the plans.*

3. Provide more context and history about the original boundary agreement. *See Attachment C.*

Judy Johnson, Assistant Planning Director for the Town of Chapel Hill and Vishnu Gangadharan, PE, Director of Engineering and Planning for OWASA are planning to be in attendance to answer questions related to this amendment.

Background. The referenced water and sewer boundaries are included within the Water and Sewer, Management, Planning, and Boundary Agreement (WASMPBA [Water-and-Sewer-Management-Planning-and-Boundary-Agreement-PDF \(orangecountync.gov\)](https://www.orangecountync.gov/DocumentCenter/View/13804/Water-and-Sewer-Management-Planning-and-Boundary-Agreement-PDF) <<https://www.orangecountync.gov/DocumentCenter/View/13804/Water-and-Sewer-Management-Planning-and-Boundary-Agreement-PDF>>), an agreement enacted in 2001 by Orange County, and the Towns of Carrboro, Chapel Hill, and Hillsborough, and the Orange Water and Sewer Authority (OWASA) for the following purposes:

1. To provide a comprehensive, county-wide system of service areas for future utility development and interest areas for dealing with private water and wastewater system problems in areas without public water and sewer service.
2. To complement growth management objectives, land use plans and annexation plans in existing agreements, such as the Orange County-Chapel Hill-Carrboro Joint Planning Agreement and Joint Planning Area Land Use Plan
3. To resolve in advance and preclude future conflicts about future service areas and annexation areas.
4. To provide for predictable long-range water and sewer capital improvement planning and financing.
5. To provide for limitations on water and sewer service in certain areas, as defined.

Amendments to the WASMPBA require the approval of all the parties to the agreement; three amendments have been approved since 2001:

1. October 5, 2010- Changes to Long-Term Interest Areas and Service Areas Efland-Mebane (see Item E.2 at [Town of Carrboro, NC :: 919-942-8541](https://www.orangecountync.gov/DocumentCenter/View/13804/Water-and-Sewer-Management-Planning-and-Boundary-Agreement-PDF))



- [<http://www01.townofcarrboro.org/BoA/Agendas/2010/09\\_07\\_2010.htm>](http://www01.townofcarrboro.org/BoA/Agendas/2010/09_07_2010.htm))
2. June 26, 2017-Changes to Long-Term Interest Areas and Service Areas Efland-Mebane. Correction to Primary Service Area designation in Carrboro (see [Town of Carrboro - File #: 17-159 \(legistar.com\)](http://legistar.com/Town%20of%20Carrboro%20-%20File%20#:20-159) <https://carrboro.legistar.com/LegislationDetail.aspx?ID=3046325&GUID=088DF567-BEEB-4468->)
  3. October 6, 2020-.Change to map, Appendix A
  4. November 17, 2020- Change to Primary Service Area to include five residential lots off Bayberry Drive in Chapel Hill (see [Town of Carrboro - File #: 20-408 \(legistar.com\)](http://legistar.com/Town%20of%20Carrboro%20-%20File%20#:20-408) <https://carrboro.legistar.com/LegislationDetail.aspx?ID=4688921&GUID=3B6E01B7-3FBB-4764-> and [Town of Carrboro - File #: 20-415 \(legistar.com\)](http://legistar.com/Town%20of%20Carrboro%20-%20File%20#:20-415) <https://carrboro.legistar.com/LegislationDetail.aspx?ID=4688922&GUID=BD69A5B6-97B9-4728->)

An informational item on the water supply watershed item is expected to be included on the Board of County Commissioners agenda for February 6. The Town of Hillsborough is expected to be considering a resolution amending WASMPBA per Chapel Hill's request on February 12.

**FISCAL IMPACT:** Staff impacts are minimal with action on this agenda item.

**RECOMMENDATION:** Staff recommends Council members consider adoption of the draft resolution expanding the water and sewer service boundary (*Attachment A*).

A RESOLUTION APPROVING AN AMENDMENT TO APPENDIX A OF THE WATER AND  
SEWER MANAGEMENT, PLANNING AND BOUNDARY AGREEMENT (WASMPBA) TO  
DESIGNATE 360.23 ACRES IN THE SOUTHEAST CHAPEL HILL AREA AS “OWASA  
PRIMARY SERVICE AREA”

WHEREAS, in 2001, Carrboro, Chapel Hill, Hillsborough, Orange County, and the Orange County Water and Sewer Authority ("OWASA") adopted a Water and Sewer Management, Planning and Boundary Agreement (“Agreement”); and

WHEREAS, amendments to the agreement require the unanimous approval of all signatories; and

WHEREAS, the Agreement was last amended on November 17, 2020; and

WHEREAS, the Chamber for a Greater Chapel Hill-Carrboro submitted a petition to the Town of Chapel Hill on June 14, 2023, requesting that the Town extend the water and sewer boundary along the US 15-501 South corridor to the Chatham County line; and

WHEREAS, the petition notes that the Chapel Hill-Carrboro area is experiencing significant pressure on the housing supply which is causing prices of housing to increase by up to 20 percent per year; and

WHEREAS, the petition also notes that approximately 43,000 workers commute into Chapel Hill daily; and

WHEREAS, OWASA’s Primary Service Area (Urban Services Area) is where water and/or sewer service is now provided or might reasonably be provided in the future; and

WHEREAS, expanding the Primary Service Area to the Chatham County line will enable opportunities to expand housing diversity and bring more housing adjacent to a potential transit corridor; and

WHEREAS, the 139 lots or portions of lots of Proposed New Service Area as shown on the map attached hereto, constituting a total area of approximately 360.23 acres, has been reviewed by OWASA and is technically feasible for provision of both water and sewer service; and

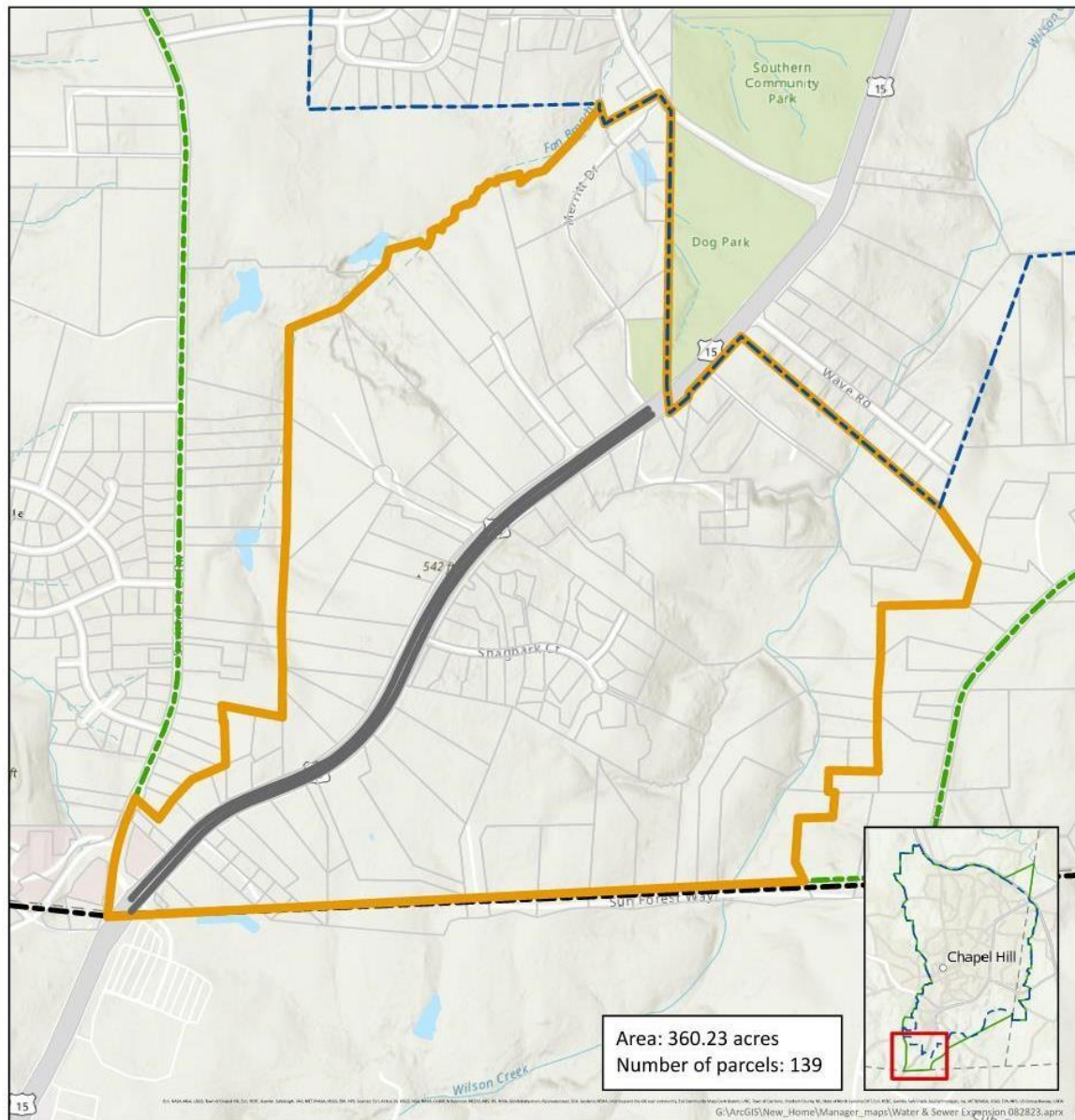
WHEREAS, the Town of Chapel Hill adopted a resolution on November 15, 2023 approving an amendment to the water and sewer service boundary as described; and

WHEREAS, the Town of Chapel Hill has requested that its staff bring back steps and strategies to ensure that this proposed service expansion aligns with the Town’s Climate Action plan and its goals of increasing middle housing (including but not limited to townhomes, triplexes, quadplexes, cottage courts) along with multi-modal infrastructure in this area.

NOW, THEREFORE, BE IT RESOLVED by the Carrboro Town Council that it approves amending Appendix A of the Agreement to designate approximately 360.23 acres in the southeast Chapel Hill area as an addition to the “OWASA Primary Service Area”, as shown on the map attached hereto.

This the 6th day of February in the year 2024.

## Water & Sewer Service Area Proposal for Southern Chapel Hill



### Legend

- Proposed New Service Area
- - - Existing Urban Service Boundary
- Orange County Parcels
- - - Chapel Hill Jurisdiction Boundary
- - - Orange County Boundary
- 15-501 Southern Corridor



Town of Chapel Hill GIS & Analytics  
August 2023



0 0.1 0.2  
Miles

## **WATER AND SEWER MANAGEMENT, PLANNING AND BOUNDARY AGREEMENT**

This AGREEMENT, made and entered into this 3rd day of December, 2001\_ by and between the COUNTY OF ORANGE, a political subdivision of the State of North Carolina; the TOWN OF CARRBORO, the TOWN OF CHAPEL HILL, and the TOWN OF HILLSBOROUGH, municipal corporations duly created and existing under the laws of North Carolina; and the ORANGE WATER AND SEWER AUTHORITY, a public water and sewer authority duly created and existing under Chapter 162A, Article 1 of the North Carolina General Statutes.

### **WITNESSETH:**

In consideration of mutual benefits regarding the definition of water and sewer service boundaries and the management and planning thereof, the parties to this agreement hereby mutually agree as follows:

## **I. PREAMBLE**

### **A. Charge to the Water and Sewer Boundary Task Force**

Since the mid-1980's, several attempts to define water and sewer service boundaries for Orange County and the municipalities of Chapel Hill, Carrboro and Hillsborough have been undertaken. In 1994, a Task Force was formed consisting of elected officials from Carrboro, Chapel Hill, Hillsborough and Orange County, as well as two members of the Orange Water and Sewer Authority Board of Directors. The charge to the Water and Sewer Service Boundary Task Force is attached as Appendix B.

### **B. Purpose of Water and Sewer Boundary Agreement**

1. To provide a comprehensive, County-wide system of service areas for future utility development and interest areas for dealing with private water and wastewater system problems in areas without public water and sewer service.

2. To complement growth management objectives, land use plans and annexation plans in existing agreements, such as the Orange County-Chapel Hill-Carrboro Joint Planning Agreement and Joint Planning Area Land Use Plan
3. To resolve in advance and preclude future conflicts about future service areas and annexation areas.
4. To provide for predictable long-range water and sewer capital improvement planning and financing.
5. To provide for limitations on water and sewer service in certain areas, as defined.

## **II. HOW THE AGREEMENT WORKS**

### **A. Effective Date of the Agreement**

This agreement shall become effective upon execution by all of the parties and signature by the chief elected or appointed official.

### **B. Term of Agreement**

This agreement shall remain in effect for ten (10) years from its execution, and shall be renewable as provided in the following subsection.

### **C. Procedure for renewal**

At the end of each ten year term, the agreement shall renew automatically, unless written notice is provided of intent to withdraw as noted in subsection E below.

### **D. Procedure for proposing and acting on changes in agreement including boundaries**

1. Any change to the agreement (including boundaries) requires approval of all parties to the agreement.
2. The addition of other parties to this agreement shall be by consent of the current parties.

### **E. Procedure for withdrawal from/decision not to renew the agreement**



1. A party may not withdraw from the agreement, until it holds a public hearing on the proposed withdrawal followed by written notice to the other parties within 30 days of the public hearing. The withdrawal shall be effective one (1) year following receipt by the other parties of the written notice.
2. If a party to the agreement withdraws as provided above, the agreement remains in effect as to the other parties until all but one party withdraws in the manner provided for the in this agreement.

**F. Accountability of Future Parties**

Future utility providers that wish to become parties of this agreement must be financially and technically capable of providing water/sewer service to address public health emergencies or other identified public facility needs, as defined by the parties of the boundary agreement. The provider must have adequate system capacity, technical capability and financial assets to address system problems within its interest area without compromising service to current customers.

**G. Courtesy Review of Development Proposals Within Service and Interest Areas**

The water and sewer providers that are parties to this agreement will be provided courtesy review and the right to provide written input into utility design and the provision of easements for all new major subdivisions and other residential and nonresidential site plan approvals within their service area and interest area. The party to this agreement with development plan review authority shall retain approval authority for all development proposals within its planning jurisdiction.

**H. Linkage with the Orange County-Chapel Hill-Carrboro Joint Planning Agreement and other future agreements**

This agreement shall be made part of the Orange County-Chapel Hill-Carrboro Joint Planning Agreement, by reference, and to any future cooperative planning agreements that may be entered into among some or all of the parties. Termination of the Joint Planning Agreement or any other cooperative planning agreement does not terminate this agreement. Termination of this agreement can only be accomplished as provided in this agreement. Similarly, the withdrawal of a party from the Joint Planning Agreement or from any other cooperative planning agreement does not constitute withdrawal from this agreement. Withdrawal from this agreement can only be accomplished as provided in this agreement.

### III. DEFINITIONS

**Primary Service Area:** An area (as shown on the Water and Sewer Service Boundary Map, which is Appendix A) where water and/or sewer service is now provided, or might reasonably be provided in the future, according to adopted plans and future amendments to adopted plans (hereinafter referred to as "service area")<sup>2</sup>.

<sup>2</sup> As per the map in Appendix A, the Town of Hillsborough Long-Term Interest Area and Primary Service Agreement are combined and for purposes of this agreement is its Primary Service Area

**OWASA Long-Term Interest Area:** An area (as shown on the Water and Sewer Service Boundary Map, which is Appendix A) within which public water and/or sewer service is not anticipated to be made, but if such services are to be provided, OWASA will be the responsible utility service provider. Long-Term Interest Areas are not service areas, and do not include areas outside of Orange County. OWASA's Long-Term Interest Area is hereinafter referred to as OWASA's "interest area."

**Orange County Long-Term Interest Area:** The areas of Orange County planning jurisdiction (as shown on the Water and Sewer Service Boundary Map, which is Appendix A) not part of a Primary Service Area or another Long-Term Interest Area within which public water and/or sewer service is not anticipated to be made, but if such services are to be provided, Orange County will be responsible for coordinating the provision of utility service. Long-Term Interest Areas are not service areas, and do not include areas outside of Orange County. Orange County's Long-Term Interest Area is hereinafter referred to as Orange County's "interest area."

Added 10-5-2010

**Hillsborough Long-Term Interest Area:** An area (as shown on the Water and Sewer Service Boundary Map, which is Appendix A) within which public water and/or sewer service is not anticipated to be made, but if such services are to be provided, the Town of Hillsborough will be the responsible utility service provider. Long Term Interest Areas are not service areas, and do not include areas outside of Orange County. Hillsborough's Long-Term Interest Area is hereinafter referred to as Hillsborough's "interest area."

**Essential Public Facility:** A publicly-owned facility, or a facility wholly financed by Federal, State or local government (or a combination thereof) that provides a service for the health, safety and general welfare of County residents (for example, a school, fire station, public safety substation or solid waste convenience center).

**Adverse Public Health Condition:** An Adverse Public Health Condition exists in the case of a wastewater system(s) when it is (1) failing, (2) documented to be failing by the Orange County Health Department, and (3) no on-site repair is approvable or recommended by the Orange County Health Department; or, in the case of a well water supply system, it meets all of the following criteria:

- the well water supply system is contaminated with a microbial, chemical or other agent which is known to cause disease or other serious health effects;
- the well water supply system is not reparable to the point where the contamination can be eliminated;
- the water from the well water supply system is not treatable prior to withdrawal to the point where the threat of disease or serious health effects is eliminated; .
- there is no alternate location on-site for a new well water supply system which can be permitted under Orange County Health Department regulatory criteria in effect at the time of the contamination or an alternative site is unacceptable because widespread existence of contamination or because of the potential of contaminant migration to the alternate site. A description of these terms and their application is provided in Section VI of this Agreement.

**Public Water or Public Sewer Service:** The provision of water and/or sewer service by a party to this agreement. This definition does not include consulting services and/or technical assistance services.

**Emergency Water Transfer:** Any short-term transfer of raw water supply or finished drinking water supply from one service provider to assist another service provider in meeting water needs during:

- a) unanticipated disruptions or emergencies relating to raw or finished water supply. Such disruptions or emergencies may result from events including, but not limited to: (i) human error; ii) equipment or power failure; iii) supply contamination; iv) major fires, floods, droughts or other disasters; and v) operations or facility maintenance activities, or
- b) periods when temporary, short-term disruption of water supply or finished water service may occur as a result of planned or unplanned maintenance of major water supply, pumping, transmission, treatment, or storage facilities.

**Non-Emergency Water Transfer:** Any transfer from one water service provider to another water service provider of raw water supply or finished drinking water supply which is not an emergency water transfer.

**Wastewater Transfer:** Any transfer from one wastewater service provider to another wastewater service provider.

**Water and/or Sewer Provider:** A municipal corporation, county, private non-profit water system, or public water and sewer authority under the N.C. General Statutes that provides water and/or sewer service to the public.

## IV. BOUNDARIES

### A. Service Areas and Interest Area Boundaries

The service area and interest area boundaries are as shown in Appendix A.

### B. Adherence to Boundaries

1. The boundaries on the map (Appendix A) define the areas in which the parties may provide water and sewer service, and no party to this agreement shall extend service beyond the designated boundaries, except as provided in this agreement. In no case shall service be extended beyond the boundaries of Orange County without the approval of the elected boards which exercise planning jurisdiction on either side of the County boundary. Any extension of lines or service into Chatham County requires the approval of Orange County, Chapel Hill or Carrboro, and OWASA.
2. OWASA presently provides water and sewer service outside of the OWASA Service Area shown on Appendix A as follows:

<u>Location</u>	<u>service provided</u>
Heritage Hills Subdivision	water and sewer
Rangewood Subdivision	water and sewer
Piney Mountain Subdivision	sewer only

OWASA may continue to provide water and sewer service and may extend water and sewer service within these subdivisions provided it does so consistent with OWASA policies and interlocal agreements related to these services that exist on the effective date of this agreement. Any change to those policies and interlocal agreements after the effective date of this agreement can only be accomplished by an amendment to this agreement.

3. The Town of Hillsborough presently provides water service outside of the proposed Hillsborough Primary Service Area shown in Appendix A as follows (see Map in Appendix F for precise locations):
  1. Along NC 86S to slightly south of New Hope Church Road
  2. Joppa Oaks, Byrdsville, Wyndfall, and Strayhorn Hills neighborhoods
  3. Wayside Baptist Church area
  4. Lands across Strouds Creek Rd from Mars Hill Baptist Church and Pathways Elementary School
  5. Portions of the Watkins Rd, former Mill Run subdivision and Perry farm
  6. Along Orange Grove Road southwest of Interstate 40 and along New Grady Brown School Road to Dimmocks Mill Road and along Old Grady Brown School Road

The Town of Hillsborough may continue to provide water service to these areas but may not extend water service in these areas or outside of the Primary Service Area.

## **V. PROCEDURES FOR PROVIDING SERVICE**

### **A. Policy Issues**

Planning and growth management issues are influenced by the location of water and sewer. This agreement is not intended to supersede other land use agreements made by the local governments.

### **B. Procedures for the provision of service within the Service Areas and Interest Areas**

1. When water and sewer service provision is required to address an adverse public health condition, or to provide service to an essential public facility, the designated provider for the service area or interest area shall have the right of first refusal to provide such service.
2. Within the service areas and interest areas, the water and sewer provider will agree to provide service, as defined in this agreement, as system capacity, financial resources, and other reasonable utility considerations allow, and as provided in this agreement.

### **C. Policy of "first-refusal"**



1. The designated water and sewer provider within a service area or interest area has first right to provide service if an adverse public health condition or essential public facility service need is established, and public water or public sewer service is determined to be required to address the adverse public health condition.
2. If the designated water and sewer provider declines to provide service, it must notify the other parties to the agreement with a statement of rationale.
3. The designated water and sewer provider may contract with another service provider to address the situation, in the manner prescribed in Section VI of this agreement, upon consultation with other jurisdictions.
4. If no other water and sewer provider is available, Orange County retains the right to address the adverse public health condition or essential public facility need in the manner prescribed in Section VI of this agreement.

## **VI. LIMITATIONS ON SERVICE**

### **A. Prohibitions and Limitations on Extension Into Interest Areas**

The development of land within interest areas is not projected to occur at urban densities, and therefore, public water and sewer service shall be prohibited in these areas, except as provided in this agreement {Section VI.B, VI.C, VI.D, VLF, VILA, VII.B, VILC}<sup>3</sup>. Individual onsite and small/community-scale alternative water supply and wastewater treatment systems not physically connected to central systems will be the primary methods of meeting the water and sewer service needs of existing and future development.

*3. ibid.*

### **B. Adverse Public Health Conditions**

An exception to the prohibition of public water and sewer service in interest areas may be made to allow the extension of lines in the event the Orange County Health Department documents an "adverse public health condition."

An adverse public health condition exists where:

1. In the case of existing wastewater system(s), it meets all of the following criteria:
  - the wastewater system is failing;
  - the wastewater system is documented to be failing by the Orange County Health Department;
  - there is no on-site repair approvable or recommended by the Orange County Health Department.

The following terms used in the criteria above mean:

Failing Wastewater System: A wastewater system is failing when sewage or effluent is seeping or discharging to the ground surface or to surface waters. A permitted, properly-functioning non-discharge wastewater system (e.g., a spray-irrigation system) and a permitted, properly-functioning discharge system are not failing wastewater systems.

Approvable On-Site Repair: An approvable on-site wastewater system repair that can be completed in a designated repair area which is approvable under Orange County Health Department regulatory soil/site criteria in effect at the time of the needed repair.

Recommended On-Site Repair: A recommended on-site repair is one that is not an approvable on-site repair, but is one that in the best professional judgment of the Orange County Health Department will reasonably enable the system to function properly. A recommended on-site repair may incorporate engineered design (a design certified by an engineer to overcome all soil/site limitations in the particular situation), site or system modification, flow reduction or other measures calculated to improve functionality of the system.

2. In the case of an existing well water supply system(s), it meets all of the following criteria:
  - the well water supply system is contaminated with a microbial, chemical or other agent which is known to cause disease or other serious health effects;
  - the well water supply system is not reparable to the point where the contamination can be eliminated;
  - the water from the well water supply system is not treatable prior to withdrawal to the point where the threat of disease or serious health effects is eliminated;
  - there is no alternate location on-site for a new well water supply system which can be permitted under Orange County Health Department regulatory criteria in effect at

the time of the contamination or an alternative site is unacceptable because widespread existence of contamination or because of the potential of contaminant migration to the alternate site.

The following terms used in the criteria above mean:

Well: A well is any excavation that is cored, bored, drilled, jetted, dug or otherwise constructed for the purpose of locating, testing, developing, draining or recharging any ground water reserves or aquifer, or that may control, divert, or otherwise control the movement of water from or into any aquifer.

Well Water Supply System: A well water supply system is any well that is intended for use or is usable as a source of water supply for domestic use (including household purposes, farm livestock, or gardens) and the pump and pipe used in connection with or pertaining thereto, including well pumps, distribution pipes, plumbing pipes, tanks, fittings, and water treatment devices.

The Orange County Health Department shall make the determination as to whether an adverse public health condition exists, and shall make a recommendation on the appropriate remedy to the governmental entity(ies) in the appropriate interest area.

The final decision to use any particular means or tool for rectifying any particular adverse public health condition remains, through zoning regulations or other land use ordinances, with the governmental entity or entities having zoning or planning jurisdiction over the area where the adverse public health condition exists. In the Orange County-Chapel Hill-Carrboro Joint Planning Area, the Joint Development Review Areas shall be used to determine which of the JPA parties shall jointly decide on the appropriate means or tool for rectifying an adverse public health condition. Public water or public sewer lines extended to provide service to an adverse public health condition or essential public facility cannot be used for other purposes or other parties, except as provided in Section VLD.

### **C. Sizing of Lines Extended Into Interest Areas**

The extension of public water or public sewer lines into an interest area shall be sized so as to comply with State technical and engineering regulations and only to serve the intended use, as defined in this agreement. However, in the case of a public water line extension,

provisions shall be made to address adequate line sizing for pressure and volume considerations.

**D. Controlling Access to Lines In Interest Areas**

Public water or public sewer lines extended to provide service to an adverse public health condition or essential public facility cannot be used for other purposes or other parties, except to remedy another adverse public health condition.

**E. Siting of Essential Public Facilities Within Interest Areas**

The location of some essential public facilities, particularly schools, requires special consideration for access to public water and sewer lines. Where possible, schools shall be sited in a manner that promotes the efficient use of existing water and sewer service. Preferably, a set of criteria governing such situations would be developed based on consultations between the appropriate school boards and the elected officials of affected jurisdictions, and applied as necessary. Publicly-owned facilities other than a public school shall be located in a manner that promotes the orderly provision of water and sewer service. The preferred method of connection is to lines that already exist, or in a manner that would minimize the need to extend existing lines.

**F. Water and Sewer Service Into/Out of Orange County**

Water and sewer service of any of the service providers that are parties to this agreement shall not be extended outside of the boundaries of Orange County without the approval of the elected boards which exercise planning jurisdiction on either side of the County boundary. Any extension of lines or service into Chatham County requires the approval of Orange County, Chapel Hill or Carrboro, and OWASA. This approval is not required when water and sewer service is required as a condition of annexation by the towns of Chapel Hill or Carrboro.

## **VII. WATER TRANSFERS AND WASTEWATER TRANSFERS**

**A. Emergency Water Transfers (This subsection shall not apply to any system operated by a municipality)**

Emergency water transfers are transfers that:

1. Are made for short-term duration. For the purpose of this Agreement, short-term duration shall be reviewed at 30 days, 60 days and 90 days, with subsequent 90-day intervals up to one year, as per the following process:
  - a. After 30 days duration, a memo from the chief administrative officials of the service providers will be sent to the managers of the jurisdictions that are parties to this Agreement. The memo shall document the emergency, steps being taken to address the situation, and notify the managers of the potential for a longer period of the emergency water transfer.
  - b. At 60 days, the service provider sending the water shall notify its elected board (or, in the case of OWASA, the member government elected boards) on the status of the emergency and provide opportunity for the boards to review and comment on the situation. The receiving provider shall provide similar information.
  - c. Between 60 days and 90 days from inception of transfer, the elected boards which exercise planning jurisdiction on either side of the boundary in which the service is provided shall review and approve or not approve the continuation of the transfer beyond 90 days. If continuation of the transfer is approved, it may continue for an additional 90-day period. Approval shall be required for each subsequent 90-day period, with a maximum emergency water transfer duration of 365 days from inception. Lack of action by the elected boards as provided in this subsection constitutes approval for the subsequent 90-day period.
  - d. At the 30-day point, the service provider shall determine that adequate water and other resources and facility capacities are available to support the extended emergency transfer without adversely affecting the quality and quantity of water supply and services to customers within its service area, and without adversely affecting environmental quality within its service area;

AND

2. Are not intended to provide raw or finished water supply necessary to support new growth and development within the service area of the service provider receiving the transfer. Neither party shall, in



planning for future growth and associated increases in water supply needs, rely upon water from the other party supplied under this agreement to serve such growth.

- a. A service provider experiencing a water emergency and receiving emergency water transfers must agree to act expeditiously and adequately to mitigate and remove the causes of the emergency conditions.

**B. Non-Emergency Water Transfers (This subsection shall not apply to the Town of Hillsborough until January 1, 2005.)**

Non-emergency water transfers are only permitted with the approval of the Orange County Board of Commissioners and the elected or appointed boards of the service providers providing and/or receiving the transfer. If OWASA is the service provider, approval must come from the OWASA Board of Directors and the elected boards of Carrboro, Chapel Hill and Orange County.

**C. Wastewater Transfers**

Wastewater transfers are only permitted with the approval of the Orange County Board of Commissioners and the elected or appointed boards of the service providers providing the transfer. If OWASA is the service provider, approval must come from the OWASA Board of Directors and the elected boards of Carrboro, Chapel Hill and Orange County.

## **VIII. LINKAGE TO OTHER AGREEMENTS**

### **Linkages to Other Agreements**

There are a number of existing agreements among the parties to this agreement that are relevant to the management and planning of public water and sewer service. In addition, this agreement and those listed below should all be read together. Where inconsistencies exist, this agreement shall control, except as otherwise provided by law. Included among these relevant agreements with linkages are:

- Hillsborough-Durham Service Area Agreement
- OWASA-Durham Service Agreement
- Eno River Capacity Use Agreement
- Hillsborough/Orange-Alamance Water Systems Agreement
- OWASA-Hillsborough Service Agreement

- OWASA-Hillsborough Bulk Water Transfer Agreement
- Chapel Hill-Durham Annexation Agreement
- Mutual Aid Agreement
- Jordan Lake Allocations from NC DEHNR
- OWASA Agreements of Purchase and Sale between 1) OWASA and Carrboro, 2) OWASA and Chapel Hill, and 3) OWASA and UNC
- OWASA Agreement and Policy related to extensions of water and sewer into University Lake Watershed (applicable to water and sewer service to Rangewood Subdivision and Heritage Hills Subdivision)
- OWASA-Orange County Agreements related to Piney Mountain Subdivision sewer service

## IX. APPENDICES

App. A Amended:  
10-5-2010  
6-26-17  
10-6-20  
11-17-20

- A. Water and Sewer Service Boundaries Map
- B. Charge to the Water and Sewer Boundary Task Force
- C. Toolbox of Remedies for Adverse Public Health Conditions
- D. Joint Planning Area Boundary Map
- E. Comprehensive Plan Land Use Maps for all Orange County local governments, and of Chatham County
- F. Town of Hillsborough Existing Water Service Outside of Primary Service Area

Added 10-5-2010

THIS AGREEMENT ENTERED INTO THIS 3<sup>rd</sup> DAY OF  
December, 2001.

Benny Franklin  
Chair, Orange County Board of Commissioners

Attest: [Signature]  
Clerk to the Orange County Board of Commissioners



[Signature]  
Mayor, Town of Chapel Hill

[Signature]  
Clerk, Town of Chapel Hill

Attest: [Signature]  
Town Clerk, Town of Carrboro



Michael R. Nell  
Mayor, Town of Carrboro

[Signature]  
Mayor, Town of Hillsborough

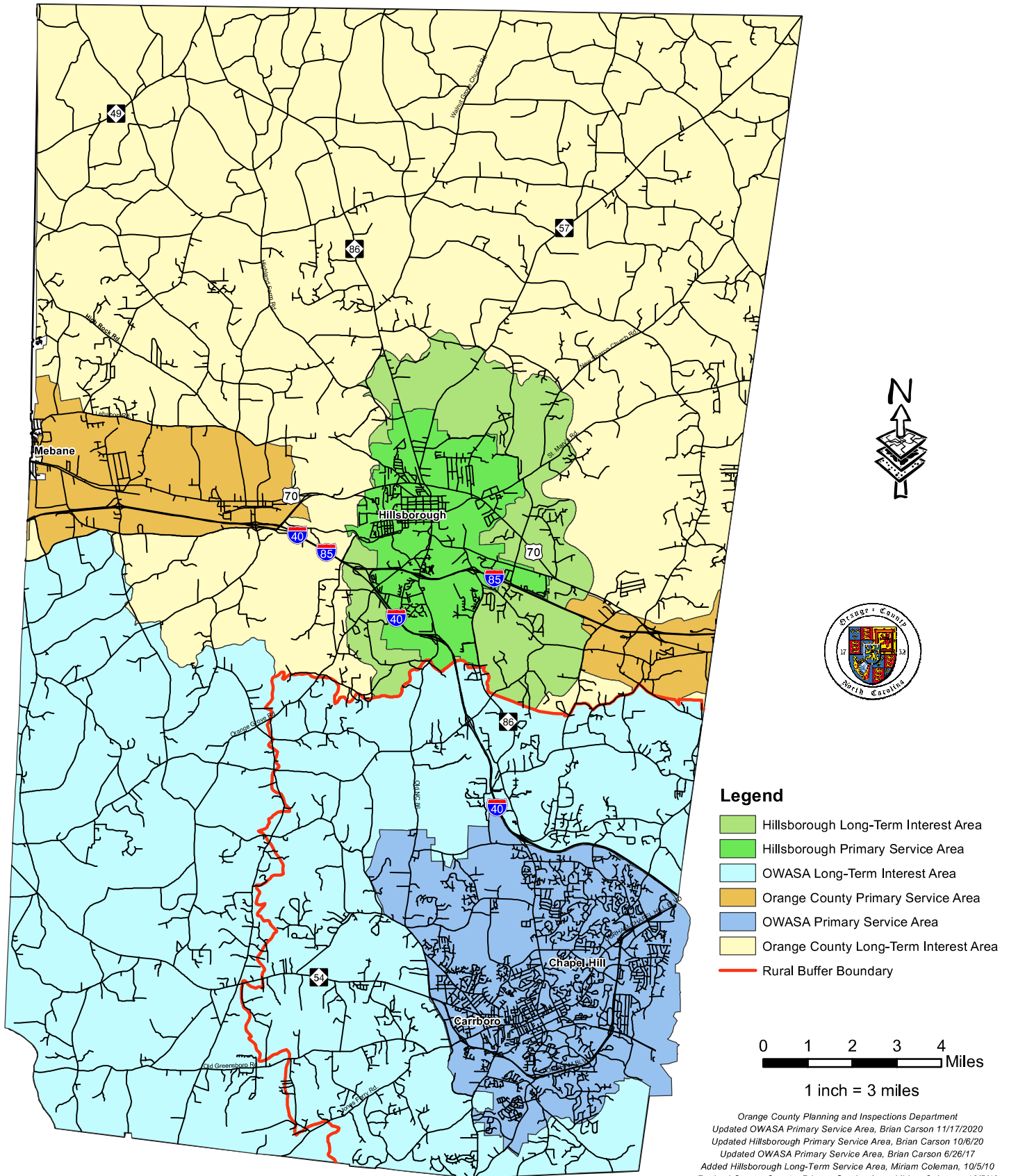


[Signature]  
Town Clerk, Town of Hillsborough

Bernadette Pelissier  
Chair, OWASA Board of Directors

# Appendix A

## Water and Sewer Management Planning and Boundary Agreement



## Appendix B

A RESOLUTION APPROVING A PROPOSED COMPOSITION OF AND CHARGE TO A COMMITTEE TO PROPOSE UTILITY SERVICE AREA BOUNDARIES, AND APPOINTING TWO COUNCIL MEMBERS TO SERVE ON THE COMMITTEE  
(94-4-11/R-5)

BE IT RESOLVED that the Council of the Town of Chapel Hill approves the following composition of and charge to a committee to proposed utility service area boundaries.

Purposes of considering water and sewer service area boundaries:

To enable local governments and utilities to make long-term plans with known rather than continuously changing boundaries.

To eliminate or minimize the potential for conflicts regarding utility service areas and future annexation areas.

To complement the existing framework of land use plans under the Joint Planning and Cooperative Planning agreements.

Composition: Two representatives from each of the following entities:

Orange County Board of Commissioners  
Hillsborough Board of Commissioners  
Carrboro Board of Aldermen  
Chapel Hill Town Council  
Orange Water and Sewer Authority Board of Directors

Charge 1: To make a report and recommendations by October, 1994 to the Orange County Board of Commissioners, Hillsborough Board of Commissioners, Carrboro Board of Aldermen, Chapel Hill Town Council and Orange Water and Sewer Authority Board of Directors regarding long-term water and sewer service area boundaries in Orange County.

Charge 2: To develop a proposal for water and sewer service areas which is based on broad policy considerations of the elected boards, including those policies in intergovernmental planning agreements.

Charge 3: The Committee's report to be submitted in October, 1994 shall be considered a proposed basic framework as a starting point for developing an agreement(s). This report shall not include a discussion of oversight of community or alternative wastewater systems or of the timing of public water or sewer extensions within long-term service area boundaries.

Charge 4: If the boards represented on the Committee agree in principle on a proposal for long-term service area boundaries, the Committee shall draft a proposed agreement(s) for consideration by the local government and utility boards. This agreement may provide



that matters involving extension of public water and sewer in the Rural Buffer are to be separately discussed.

Charge 5: If the boards agree in principle on a proposed agreement, the Committee shall seek to meet with representatives of additional jurisdictions and utilities which may need to be included in agreement(s). The additional entities would include but not necessarily be limited to the Orange Alamance Water System, City of Durham, Mebane, Graham, etc. A proposed agreement with these additional entities would be submitted for consideration by all parties.

Footnotes: The Committee, and each of the boards involved in the process above, would hold public hearing(s) at such times as each determines appropriate. The Committee would be a public body with open meetings in accord with State law.

BE IT FURTHER RESOLVED that the Council appoints  
and  
to represent the Council on the Committee.

This the 11th day of April, 1994.

## Appendix C

LAW OFFICES

COLEMAN, GLEDHILL & HARGRAVE

A PROFESSIONAL CORPORATION

129 E. TRYON STREET

P. O. DRAWER 1529

HILLSBOROUGH, NORTH CAROLINA 27278

919-732-2196

FAX 919-732-7997

March 2, 1998

FROM THE DESK OF  
GEOFFREY E. GLEDHILL

Mr. Dave Stancil  
Orange County Planning Department  
Post Office Box 8181  
Hillsborough, North Carolina 27278

**RE: Water and Sewer Boundary Agreement - Adverse Public  
Health Condition**

Dear Dave:

Enclosed are the following:

1. A replacement for VI.A. of the draft Agreement which replacement contains the expanded definitions related to adverse public health conditions, both failing septic system and contaminated well water systems.

➡ 2. A three page document which includes a matrix of solutions for a failing septic system adverse public health condition and a contaminated well adverse public health condition that I have put together after several meetings with Paul Thames and Ron Holdway.

Using the format that you used in presenting this with the agenda materials for the March 3 Task Force Committee meeting, everything except the first paragraph in the first enclosure would be in bold and italicized. Some of this, principally a few definitions in the well water area, is new. Some of it is not but for some reason did not get incorporated into the draft of the agreement that was provided with the agenda for the meeting. Also, the very last paragraph has been expanded to include the notion that the use of an extension of a public water or public sewer line to correct an adverse public health conditions is limited.

During the Board of County Commissioners and OWASA meeting I gave you some editing suggestions for the emergency water transfers section. A copy of the document with the various suggestions and thoughts is enclosed. The bold, italicized sentence that concludes subsection A.1.c. should be eliminated from the section on emergency water transfers. That sentence deals with non emergency water transfers and should be in the

Mr. Dave Stancil  
Page 2  
March 2, 1998

section of the agreement related to non emergency water transfers. As you can see from my marginal notes about the non emergency water transfers section, I think it needs more work.

Please fax as much of this as you think would be helpful to those expected to attend the Committee meeting. At a minimum, please send the revised language for section VI.A. of the Agreement. As you know, I will not be able to attend the March 3, 1998 Committee meeting. I understand that Paul and Ron will attend and should be able to help with any questions on the adverse public health condition issue.

Very truly yours,

COLEMAN, GLEDHILL & HARGRAVE, P.C.



Geoffrey E. Gledhill

GEG/lsg  
Enclosures  
xc: Ron Holdway  
Paul Thames

lsg-12  
stancil.ltr

### Matrix of Solutions

The categories of Interest Area applicable to each Interest Area defined in the Water and Sewer Boundary Agreement and the "tool bag" of remedies available to respond to an adverse public health condition are as follows:

## FAILING EXISTING WASTEWATER SYSTEM

<u>Interest Area Categories</u>	<u>Remedies</u>
1. Transition	*1. Offsite repair - individual
2. University Lake (CA and PW and Carrboro ETJ)	*2. Offsite repair - community (WTMP program)
3. Cane Creek (CA and PW) and Upper Eno (CA)	*3. Offsite repair - community, OWASA operated (WTMP program)
4. All other protected watershed areas	*4. public sewer
5. Rural Buffer (not within a protected watershed)	*5. State permitted system
6. AR/R1	6. nothing and degrees of nothing
	7. imminent health hazard declaration
	8. premises vacating
	*9. pump and haul

\*Regulatory, approvable repairs or actions

Matching the remedies to the Interest Area categories in a way that seems consistent with the discussion of the committee follows:

1. Offsite repair - individual: all categories of Interest Areas;
2. Offsite repair - community: Transition, AR/R1;
3. Offsite repair - community OWASA operated: all categories of Interest Areas;
4. public sewer: Transition, Rural Buffer (not in protected watershed), all other protected watersheds, AR/R1;
5. State permitted system: all categories of Interest Areas;
6. Nothing and degrees of nothing: all categories of Interest Areas;
7. Imminent health hazard declaration: all categories of Interest Areas;
8. premises vacating: all categories of Interest Areas.



## CONTAMINATED WELL WATER SYSTEM

<u>Interest Area Categories</u>	<u>Remedies</u>
1. Transition	*1. Offsite repair - individual
2. University Lake (CA and PW and Carrboro ETJ)	*2. Offsite repair - community (locally permitted)
3. Cane Creek (CA and PW) and Upper Eno (CA) All other protected watershed areas	*3. Offsite repair - community other than municipal and water and sewer authority (State permitted)
5. Rural Buffer (not within a protected watershed)	*4. public water - municipal, OWASA and Orange-Alamance Water System, Inc.
6. AR/R1	5. nothing and degrees of nothing
	6. imminent health hazard declaration
	7. premises vacating
	8. water buffaloes/bottled water

\*Regulatory approvable repairs or actions

Matching the remedies to the Interest Area categories in a way that seems consistent with the discussion of the committee follows:

1. Offsite repair - individual: all categories of Interest Areas;

2. Offsite repair - community (locally permitted): all categories of Interest Areas;

3. Offsite repair - community other than municipal and water and sewer authority (State permitted): all categories of Interest Areas;

4. public water: Transition, Rural Buffer (not in protected watershed), all other protected watersheds, AR/R1;

5. Nothing and degrees of nothing: all categories of Interest Areas;

6. Imminent health hazard declaration: all categories of Interest Areas;

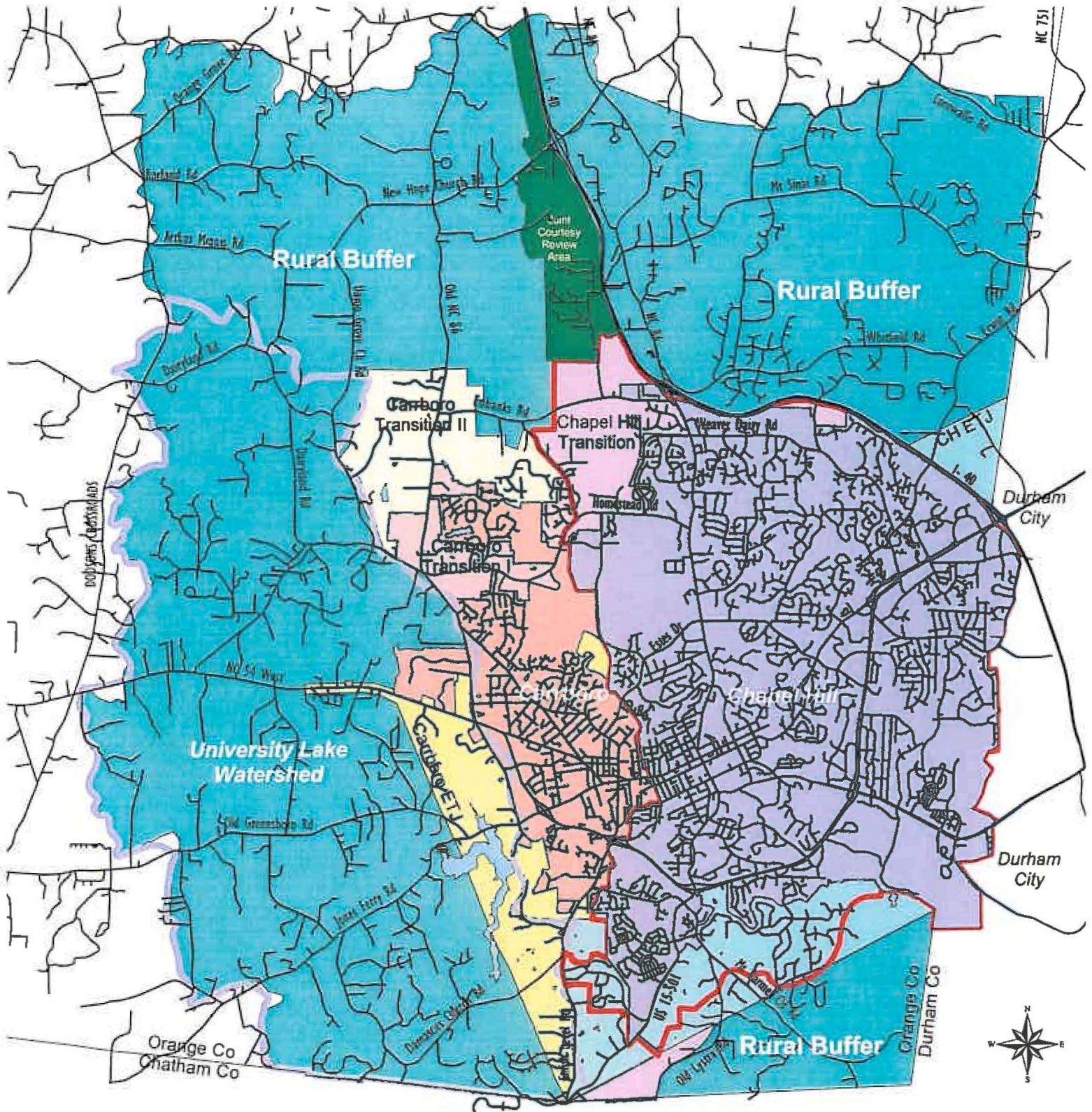
7. premises vacating: all categories of Interest Areas;

8. water buffaloes/bottled water: all categories of Interest Areas.

lsg-12  
matrix.doc



# Appendix D Joint Planning Area Boundary Map



## Chapel Hill Planning Areas

- Chapel Hill City Limits
- Chapel Hill ETJ
- Chapel Hill Urban Services Area

## Carrboro Planning Areas

- Carrboro City Limits
- Carrboro ETJ

## Orange County, Chapel Hill, Carrboro Joint Planning Agreement (JPA)

- Carrboro Transition I
- Carrboro Transition II
- Chapel Hill Transition Areas
- Rural Buffer, Orange County
- Joint Courtesy Review Area
- University Lake Watershed

2,000,000 0 2,000 4,000  
Feet

Map prepared by  
Orange County Planning  
February 18, 2004

## **Appendix E**

### **Comprehensive Plan Land Use Maps for all Orange County local governments, and of Chatham County**

**Land Use Maps for the following local governments follow:**

- **Orange County**
- **Chapel Hill**
- **Hillsborough**

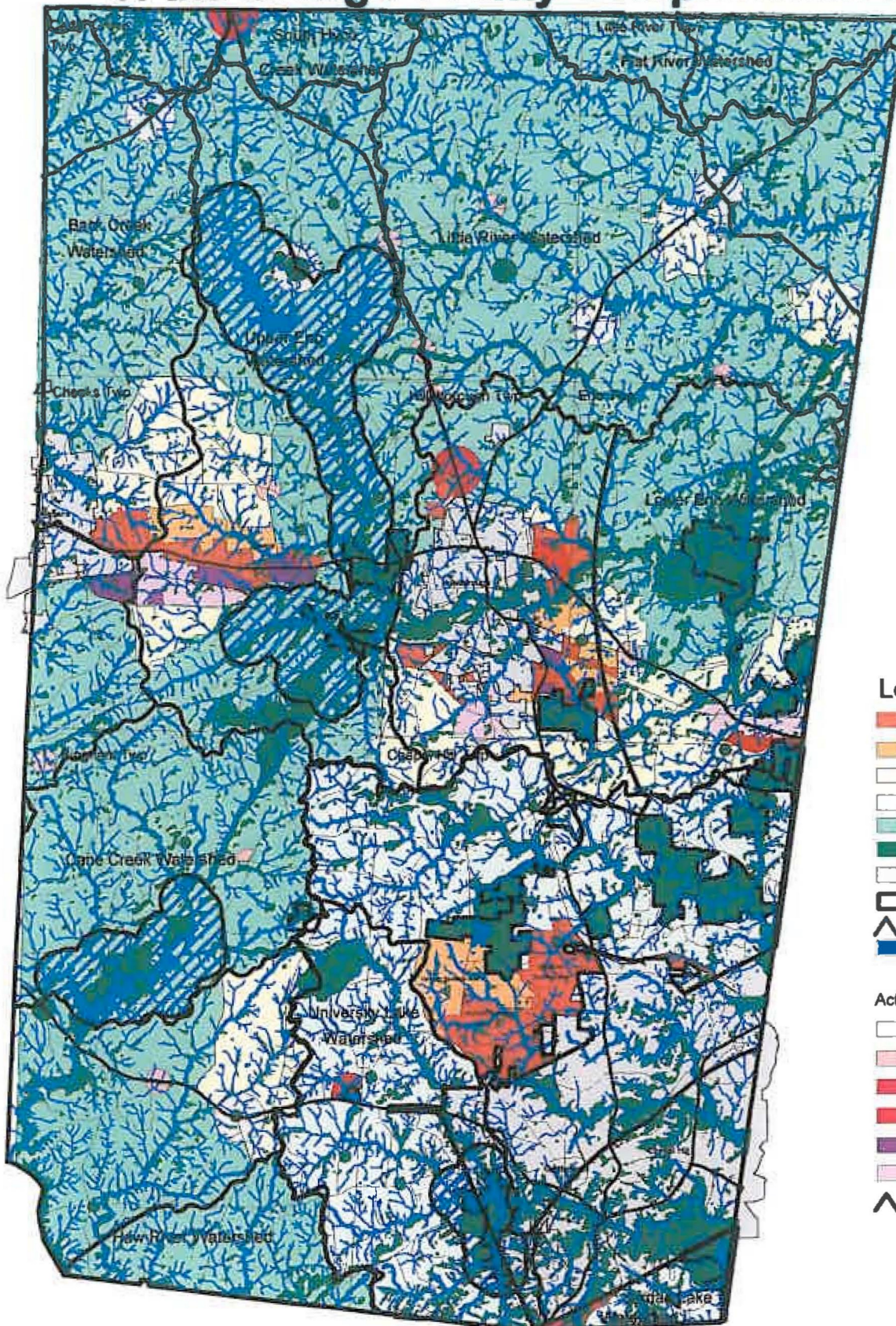
**Land Use Maps are not available for the following local governments and Zoning Maps are substituted:**

- **Carrboro**
- **Chatham County**



# LAND USE ELEMENT

## of the Orange County Comprehensive Plan



Original Adoption Date: 9-8-81  
Amended Through: 6-29-00



### Legend:

- 10 year transition
- 20 year transition
- Rural Residential
- Rural Buffer
- Agricultural Residential
- Resource Protection Areas
- Municipal Jurisdictions
- Public Interest Areas
- Water Supply Watersheds
- Watershed Critical Areas

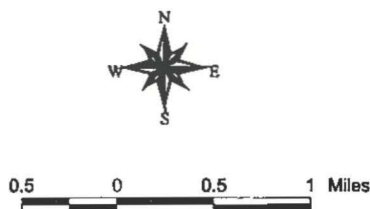
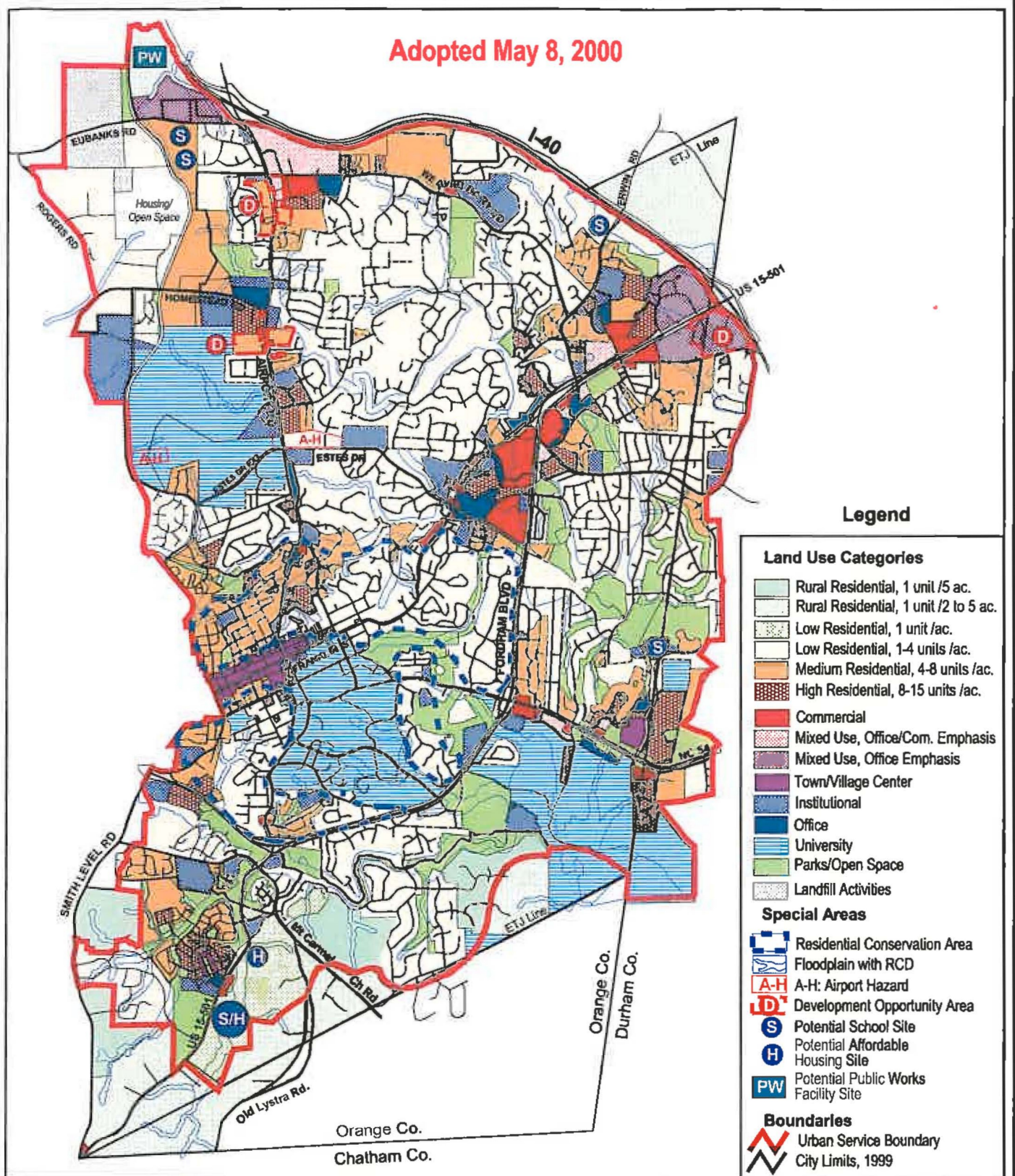
### Activity Nodes

- Rural Community Node
- Rural Neighborhood Node
- Rural Industrial Node
- Commercial Node
- Commercial/Industrial Node
- Economic Development
- OC/CH/CA Joint Planning Area

GIS map prepared by Miriam Coleman, Orange County Planning Department, 1/31/03  
(Produced in ArcView 8 from original in ArcView 3)



Adopted May 8, 2000

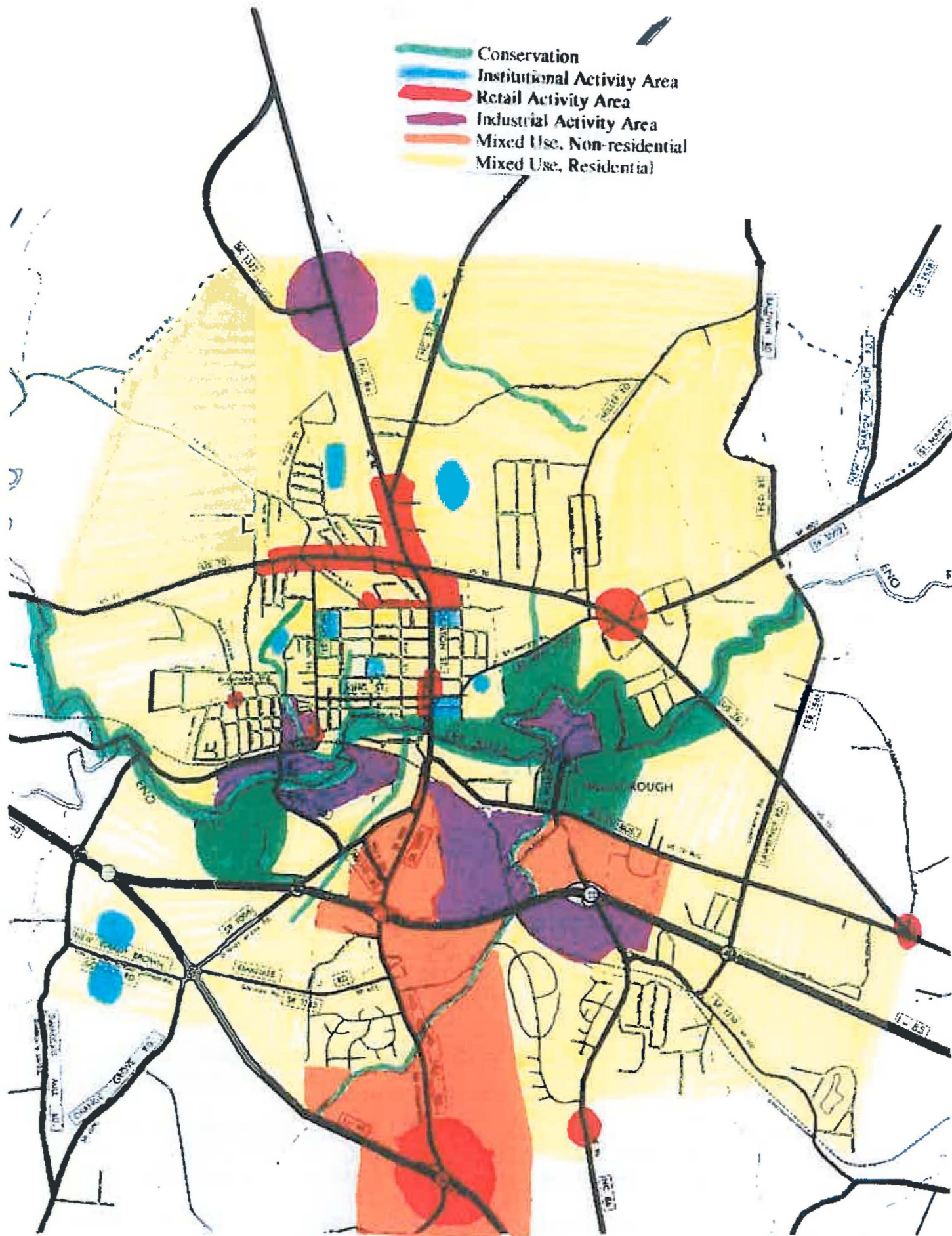


# The Land Use Plan

## Comprehensive Plan

Chapel Hill, North Carolina  
Revised Nov. 13, 2000





### Future Land Use Map

From: *Revised Vision 2010 Town of Hillsborough Comprehensive Plan, Adopted March 13, 2000*

# Carrboro Zoning and Development

## Legend

Current Development

- Conditional Use Permit
- Special Use Permit
- Zoning Permit

- Carrboro City Limit
- Planning Jurisdiction Boundary

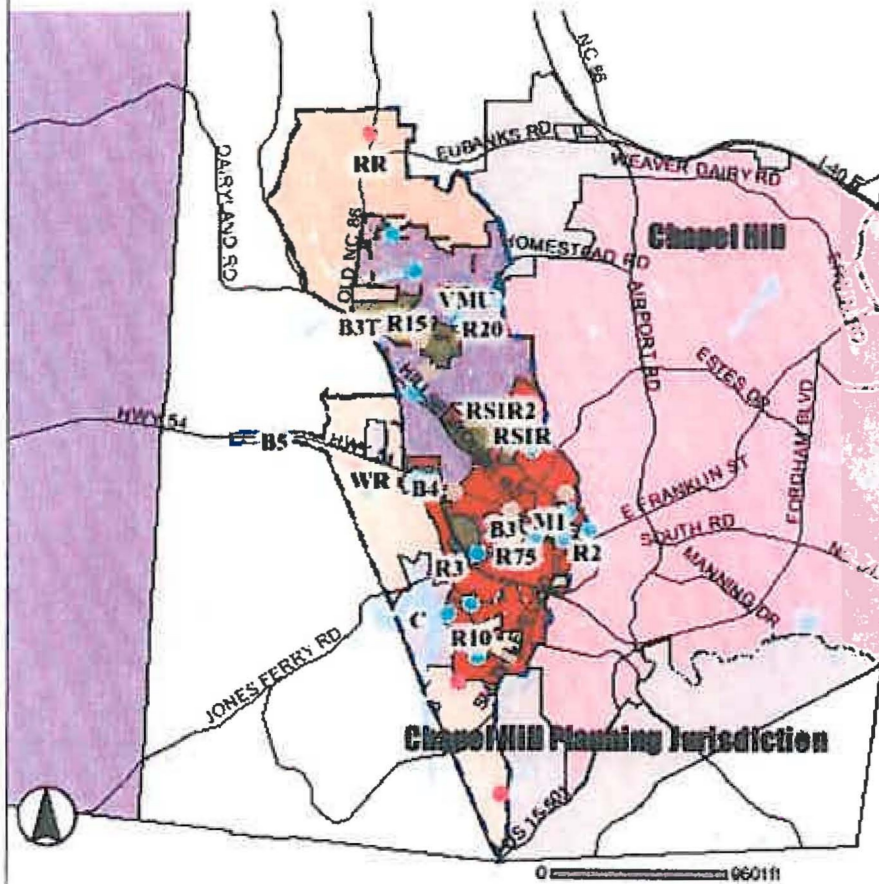
Water Bodies

Carrboro Zoning

- DIC
- DIG
- D2
- D3
- D3T
- D4
- D5
- C
- CT
- EAT
- JLWP
- M1
- MPO
- O
- CA
- R10
- R15
- R2
- R20
- R3
- R75
- R-100
- RR
- RSR
- RSR2
- VUJ
- WN3
- W3

Boundaries

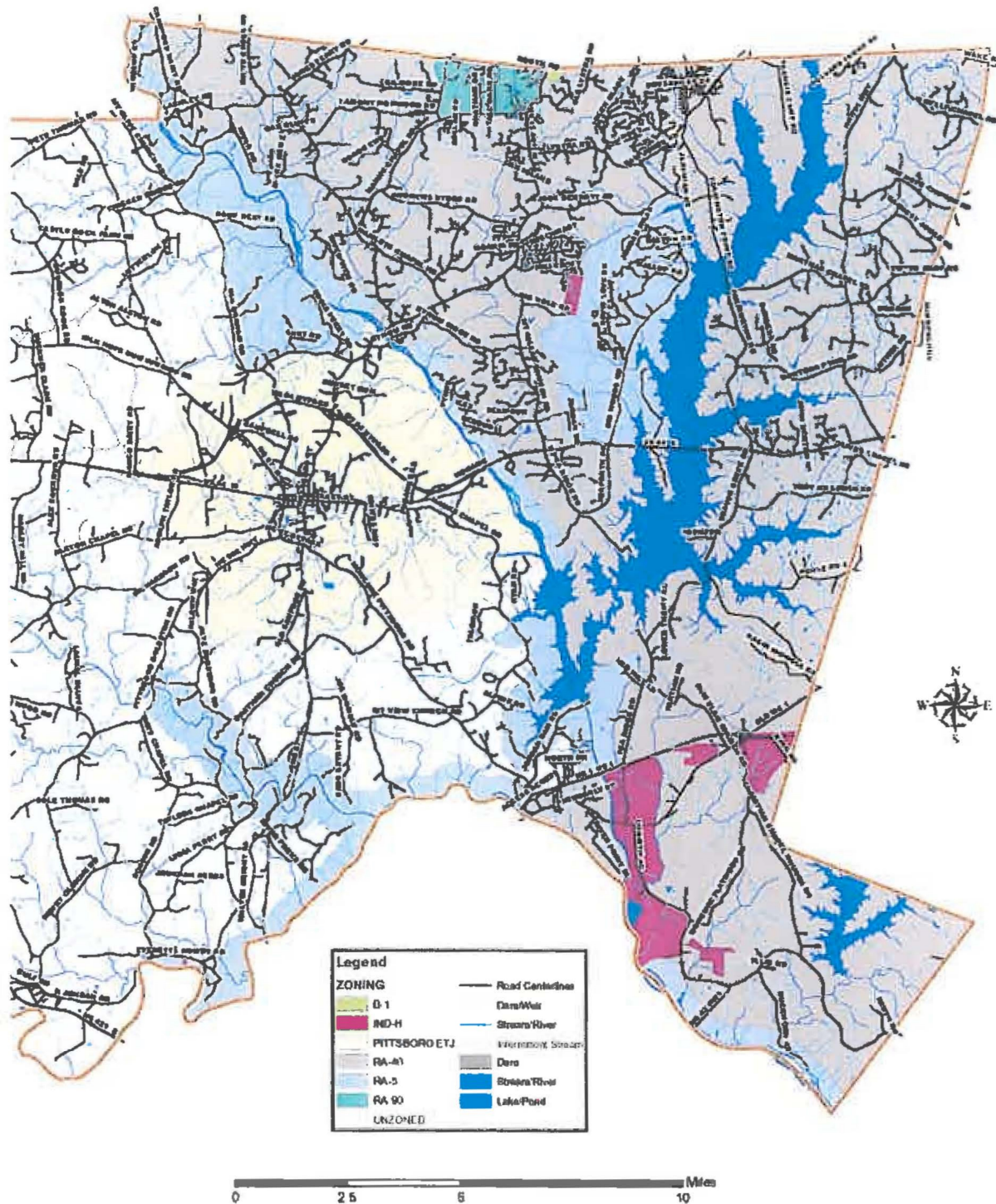
- BT
- CCL
- CGT
- CHC
- CHP
- CHT
- CKT
- ET
- ET2
- HDT
- LRT
- TA1
- TA2



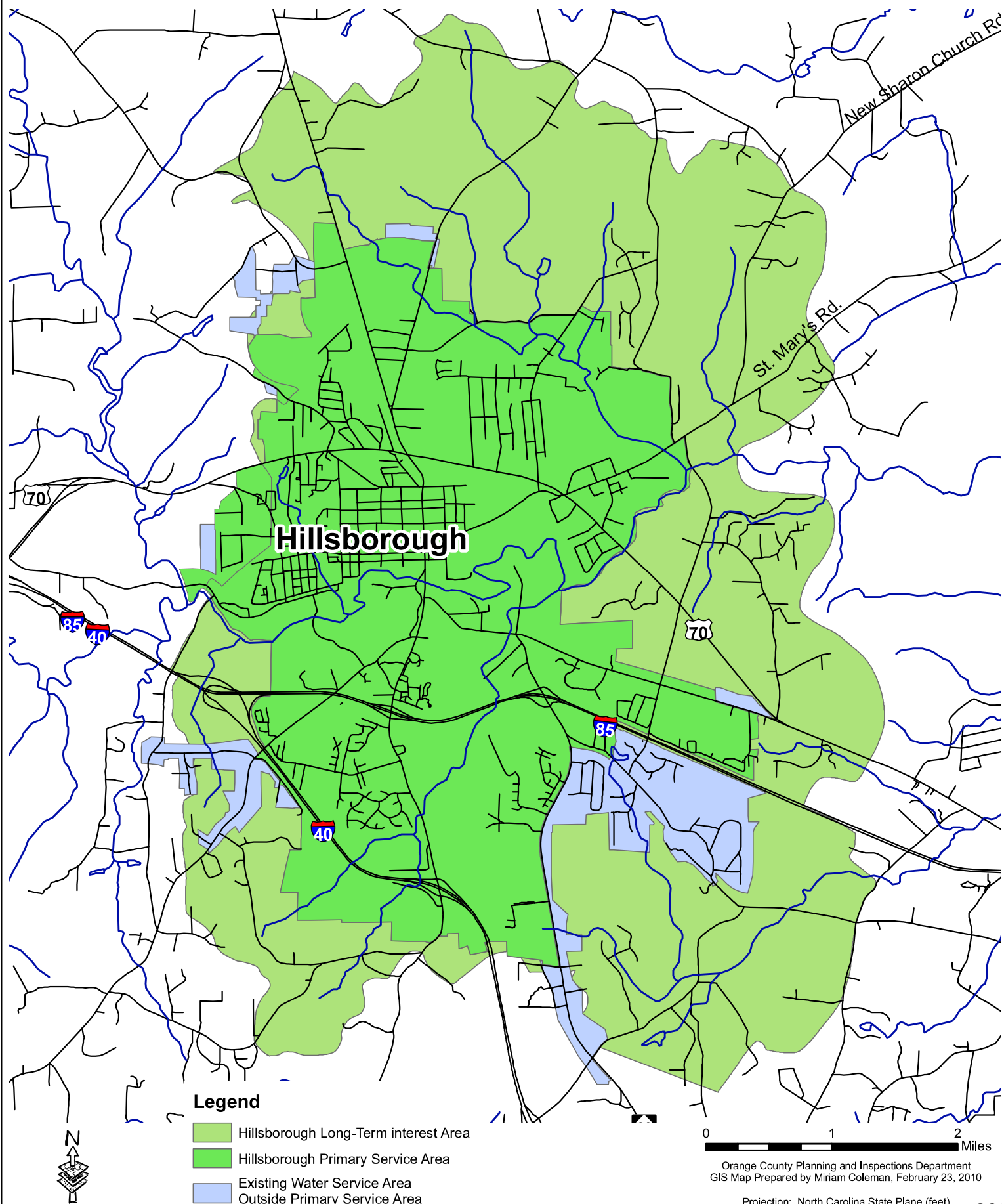


# Chatham County

## MAJOR ZONING DISTRICTS



# Town of Hillsborough Existing Water Service Outside of Primary Service Area - Appendix F



## Water and Sewer Management, Planning and Boundary Agreement (WASMPBA) Background

This agreement provides a comprehensive county-wide system of utility service areas upon which signatory entities can rely when making decisions related to issues such as planning, land use, annexation, zoning, and growth management. Available at <https://www.orangecountync.gov/DocumentCenter/View/13804/Water-and-Sewer-Management-Planning-and-Boundary-Agreement-PDF>. Attempts to define water and sewer service boundaries for Carrboro, Chapel Hill, Hillsborough, OWASA, and Orange County began in earnest in the mid-1980's. This followed the creation of Orange Water and Sewer Authority (OWASA) in 1977 and the initiation of extraterritorial jurisdiction expansion/joint planning in southern Orange County in 1979.

Several water supply-related planning efforts took place in the 1980s, lead by the Town of Carrboro and OWASA. Development regulations for the University Lake watershed were revised three times over a decade, culminating with the framework that followed North Carolina state provisions pertaining to water supply watersheds.

In 1994 a Task Force of elected officials from each municipality and two members of OWASA's Board of Directors formed to discuss these boundaries.<sup>1</sup>

In 1999, the task force presented a draft agreement to the Orange County Board of Commissioners (BOCC). On December 14, 1999, the Carrboro Board of Aldermen responded, stating they did not accept the agreement as written but reaffirmed the Town's commitment to defining this boundary.<sup>2</sup> Over the next year, stakeholders discussed and amended the draft. Notably, Carrboro asked to include the Rangewood and Heritage Hill subdivisions in the boundary, as OWASA had already been providing service for many years there.<sup>3</sup> In April of 2001, Orange County unanimously approved the draft and sent it to Town staff and OWASA for review.<sup>4</sup> Chapel Hill requested that the proposed water and sewer boundary be amended to match their new Comprehensive Land Use Plan, adopted in 2000, pursuant to an OWASA policy that precluded water or sewer connections to structures outside Chapel Hill's Urban Services Area.<sup>5</sup>

On December 3, 2001, after making Chapel Hill's requested amendments to the service area map and changes requested by Carrboro and Hillsborough, the agreement was approved by Orange County, and later signed by requisite elected officials and staff of each stakeholder. In June of 2002, Carrboro approved an amendment to the Joint Planning Agreement (JPA), that linked the plan to WASMPBA.<sup>6</sup>

In 2010, changes were proposed to WASMPBA to implement recommendations to amend the boundary as detailed in the Hillsborough-Orange County Strategic Growth Plan (developed jointly in 2006). The Board of Alderman discussed the amendment over three meetings, hearing from representatives of the Efland-Mebane Small Area Plan Implementation Focus Group, and the Orange

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<sup>1</sup> Water and Sewer Management, Planning and Boundary Agreement. December 2001.  
[http://www01.townofcarrboro.org/BoA/Agendas/2010/04\\_06\\_2010\\_D3A.pdf](http://www01.townofcarrboro.org/BoA/Agendas/2010/04_06_2010_D3A.pdf)

<sup>2</sup> Town of Carrboro. Board of Aldermen Minutes. December 14, 1999, see Page 6  
[http://www01.townofcarrboro.org/BoA/Minutes/1999/12\\_14\\_1999.pdf](http://www01.townofcarrboro.org/BoA/Minutes/1999/12_14_1999.pdf)

<sup>3</sup> Town of Carrboro. Board of Aldermen Minutes. June 27, 2000.

<sup>4</sup> Orange County. Board of County Commissioners Minutes April 17, 2001.  
<http://server3.co.orange.nc.us:8088/WebLink/0/doc/2368/Page1.aspx>

<sup>5</sup> Town of Chapel Hill. Town Council Minutes. August 27, 2001.  
<https://townhall.townofchapelhill.org/records/minutes/2001/010827.htm>

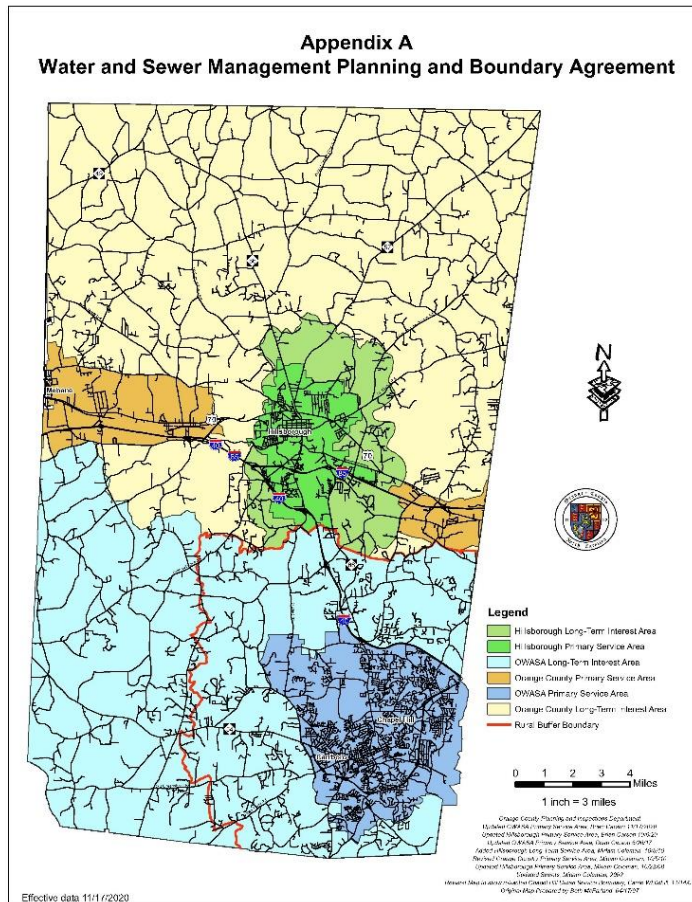
<sup>6</sup> Town of Carrboro. Board of Aldermen Minutes. April 17, 2002.  
[http://www01.townofcarrboro.org/BoA/Agendas/2002/JointPlanning\\_041702.pdf](http://www01.townofcarrboro.org/BoA/Agendas/2002/JointPlanning_041702.pdf)



## Water and Sewer Management, Planning and Boundary Agreement (WASMPBA) Background

County Board of Commissioners before approving the changes on September 7, 2010.<sup>7 8 9</sup> The amendment to the agreement was finalized on October 5, 2010.

In 2011, a proposal to amend the agreement to clarify its applicability to the use of a Jordan Lake water allocation that OWASA had obtained and maintained was brought forward. The Board of County Commissioners discussed on January 20, and the Town of Carrboro reviewed on March 1, and May 17, and resolutions communicating the Board of Aldermen's comments were adopted.<sup>10 11</sup> No amendment was adopted.



In 2017, the Board of Aldermen approved two amendments to WASMPBA to increase the development potential within the Hillsborough Long-Term Interest Area located immediately south of the Hillsborough Economic Development District and to change a 20.6 acre area in Carrboro's jurisdiction from Long-Term Interest Area to the Primary Service Area.<sup>12</sup> The Hillsborough change became effective following an associated change in the joint land use plan between Hillsborough and Orange County in 2020.<sup>13</sup>

In 2020, the Town Council and others approved an amendment to the

<sup>7</sup> Town of Carrboro. Board of Aldermen Minutes. April 6, 2010. [http://www01.townofcarrboro.org/BoA/Minutes/2010/04\\_06\\_2010.pdf](http://www01.townofcarrboro.org/BoA/Minutes/2010/04_06_2010.pdf)

<sup>8</sup> Town of Carrboro. Board of Aldermen Minutes. May 18, 2010. [http://www01.townofcarrboro.org/BoA/Minutes/2010/05\\_18\\_2010.pdf](http://www01.townofcarrboro.org/BoA/Minutes/2010/05_18_2010.pdf)

<sup>9</sup> Town of Carrboro. Board of Aldermen Minutes. September 7, 2010. [http://www01.townofcarrboro.org/BoA/Minutes/2010/09\\_07\\_2010.pdf](http://www01.townofcarrboro.org/BoA/Minutes/2010/09_07_2010.pdf)

<sup>10</sup> Orange County. Board of County Commissioners. Minutes January 20, 2011, see page 11. <http://server3.co.orange.nc.us:8088/weblink/0/doc/21755/Page1.aspx>

<sup>11</sup> Town of Carrboro Board of Aldermen March 1 and May 17, 2011. [http://www01.townofcarrboro.org/BoA/Minutes/2011/03\\_01\\_2011.pdf](http://www01.townofcarrboro.org/BoA/Minutes/2011/03_01_2011.pdf) and [http://www01.townofcarrboro.org/BoA/Minutes/2011/05\\_17\\_2011.pdf](http://www01.townofcarrboro.org/BoA/Minutes/2011/05_17_2011.pdf)

<sup>12</sup> Town of Carrboro. Board of Aldermen Minutes. May 16, 2017. <https://carrboro.legistar.com/MeetingDetail.aspx?ID=532853&GUID=D4BCC6CB-AD87-4982-913A-60D9A830EA88&Options=&Search=>

<sup>13</sup> Orange County. Board of County Commissioners. September 15, 2020, see page 51. <http://server3.co.orange.nc.us:8088/weblink/DocView.aspx?id=63286&searchid=2c969aa5-0bd4-4853-af58-a30ba0399b7f&dbid=0&cr=1>

## Water and Sewer Management, Planning and Boundary Agreement (WASMPBA) Background

agreement to expand the OWASA Primary Service Area <sup>14</sup>

Information on the 2023 request from the Town of Chapel Hill is available within the Carrboro Town Council agenda on January 9, 2024, <sup>15</sup>.

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<sup>14</sup> Town of Carrboro Town Council Minutes November 10, 2020.

<https://carrboro.legistar.com/View.ashx?M=M&ID=802057&GUID=EA26A3D2-8C54-4EBA-B51F-AD10522C5855> and Orange County Board of County Commissioners Minutes November 17, 2020, see Page 16.

<http://server3.co.orange.nc.us:8088/weblink/DocView.aspx?id=63505&searchid=2c969aa5-0bd4-4853-af58-a30ba0399b7f&dbid=0>

<sup>15</sup> Town of Carrboro Town Council Agenda January 9, 2024

<https://carrboro.legistar.com/LegislationDetail.aspx?ID=6465970&GUID=3CC75E02-BE93-4879-8742-BFCDFDA63E93&Options=&Search=>

## **Race and Equity Pocket Questions**

**Title and purpose of this initiative:** Resolution Amending the Water and Sewer Management, Planning, and Boundary Agreement- Changes to Service Areas in Chapel Hill Jurisdiction. The purpose of this item is for the Town Council to consider adoption of a resolution amending the Water and Sewer Management, Planning, and Boundary Agreement (WASMPBA) requested by the Town of Chapel Hill expand the service boundary in the southern part of Chapel Hill along the US 15-501 corridor to the Chatham County line.

**Department:** Planning

**What are the racial and equity impacts?** The WASMPBA amendment will add new areas in Chapel Hill's extraterritorial jurisdiction to the primary service area for OWASA's water and sewer services. Chapel Hill intends to plan for and support through policies and regulations additional development along this transit corridor that will include affordable housing. Local government authority regarding joint agreements related to service delivery allowed the development of this agreement. The purpose of this agreement is:

1. To provide a comprehensive, county-wide system of service areas for future utility development and interest areas for dealing with private water and wastewater system problems in areas without public water and sewer service.
2. To complement growth management objectives, land use plans and annexation plans in existing agreements, such as the Orange County-Chapel Hill-Carrboro Joint Planning Agreement and Joint Planning Area Land Use Plan
3. To resolve in advance and preclude future conflicts about future service areas and annexation areas.
4. To provide for predictable long-range water and sewer capital improvement planning and financing, and
5. To provide for limitations on water and sewer service in certain areas, as defined.

This agreement covers most of the areas in the jurisdictions of Carrboro and Chapel Hill, Hillsborough and Mebane (Orange County portion) that are located within the designated gravity waste watershed service area for treatment plants in Hillsborough and Chapel Hill. For the southern portion of the county, the area is delineated by the gravity service area of the Mason Farm Wastewater Treatment Plant, excluding those areas located within the University Lake drinking water supply watershed. Known qualified census tracts in the vicinity are located within portions of the service area in Carrboro and Chapel Hill. The agreement establishes geographical areas where water and sewer services will and will not be available. Additional research would be needed to evaluate the service boundary delineation and whether it is or has been exclusionary or has caused racially disparate outcomes.

**Who is or will experience community burden?** With the provision of water and wastewater services in a new area, mandating connection to utilities when needed in relation to changes in



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use, may pose a burden on property owners. Changes from onsite systems to OWASA services adds additional costs for modifying existing homes' plumbing to connect to the utility provider's water and wastewater systems and brings about ongoing monthly expenses proportionate to the services provided and relies on a large system separate from individual decisions and responsibilities. Property owners will determine when they connect to the systems, unless new development standards for certain types of development require this to occur. All system users will be affected by increased costs to add infrastructure to support new or expanded service areas as these costs must be charged uniformly to ratepayers. Expanding the service area could affect access to water and wastewater services for other areas of the system when it approaches the limits of its capacity. Projections currently show available capacity.

**Who is or will experience community benefit?** Properties connecting to water and wastewater systems no longer have onsite responsibilities for water and wastewater management (e.g. onsite wells and septic systems). Onsite systems may reach the end of their useful lives and connection to municipal systems, like OWASA's removes those limitations for ongoing or expanded use of properties. Failing systems can overflow to surface waters and connecting to municipal systems can reduce the potential for these types of overflows, though any wastewater system can overflow. Additional development utilizing the water and wastewater treatment systems can provide for different uses, additional density of development and allow for more compact development footprints than can occur than development supported by onsite treatment systems.

**What are the root causes of inequity?** Root causes of inequity related to governmental actions like establishing municipal service boundaries can include overlooking the interests of historically Black communities/communities of color that may have been located on land considered to be of lower value/development potential or desirability and/or land where less desirable land uses – e.g. large industrial, large commercial, or transportation with associated negative environmental impacts – have been allowed to develop. Disparate impacts can also stem from barriers to participation in planning processes and public hearings and decisions, such as access to meeting scheduling and content, lack of BIPOC representation amongst decision makers, and lack of transportation.

**What might be the unintended consequences of this action or strategy?** Increased development potential normally accrues with the addition of these services and can result in the change of the character of a community and an increased escalation of property value. Changes to the WASMPBA require the action of all parties to the agreement. There is not a requirement for a joint meeting or discussion of the item; nor is there a public hearing on the matter of amending or withdrawing from the agreement. Should the possible amendment under consideration proceed, the location of property might result in higher-than-normal cost of services or escalated property value and exceed the benefit of the additional tax revenue to the rest of the community.



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**How is your department planning to mitigate any burdens, inequities, and unintended consequences?** Actions planned and/or in use to mitigate any burdens, inequities or unintended consequences include :evaluating actions using racial equity pocket questions and REAL assessments; evaluating the social, economic, and environmental impacts and sharing this information when community decisions are being considered, and engaging with the community, directly and more broadly affected by changes; and, and seeking to ensure that actions do not have racially disparate impacts/outcomes and taking steps to address disparities where they have occurred.





## Agenda Item Abstract

**File Number:** 24-018

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**Agenda Date:** 2/6/2024  
**In Control:** Town Council  
**Version:** 1

**File Type:** Agendas

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Update on Transportation Projects

**PURPOSE:** To provide the Town Council with a status report on a number of local transportation projects that are underway.

**DEPARTMENT:** Planning

**CONTACT INFORMATION:** Christina Moon, Planning and Transportation Administrator, 919-918-7325, cmoon@carrboronc.gov; Patricia McGuire, Planning Director, 919-918-7327, pmcguire@carrboronc.gov

### COUNCIL DIRECTION:

☒ Race/Equity ☒ Climate ☒ Comprehensive Plan ☒ Other

Many of the projects and programs outlined in the update, are identified as priorities in the Comprehensive Plan, 2021 Bike Plan Update or Safe Routes to School Strategic Action Plan. Improvements to the bike-ped network provides travel options for users of different abilities, including those with limited to no access to a personal vehicle. Pocket questions have been prepared.

**INFORMATION:** This agenda item is intended to provide the Town Council with information relating to the status of transportation programs and infrastructure projects occurring throughout the Town. Staff provided the council with updates on transportation projects from 2017 to 2022 and then shifted to posting reports to the Planning, Zoning and Inspections, Transportation landing page as a companion to the visual updates available via the Town Story Map. (Links may be found here: [Transportation Planning | Carrboro, NC - Official Website \(carrboronc.gov\)](https://www.carrboronc.gov/719/Transportation) <<https://www.carrboronc.gov/719/Transportation>> ; [Current Town Projects \(arcgis.com\)](https://carrboro.maps.arcgis.com/apps/Shortlist/index.html?appid=e7d72e31f43f427e95db86dc428904af) <<https://carrboro.maps.arcgis.com/apps/Shortlist/index.html?appid=e7d72e31f43f427e95db86dc428904af>>.) The transportation report is provided in a table format, with a description of the project, an update on the status and next steps, and information relating to the source of the project (Bike Plan, Safe Routes to School Strategic Action Plan, etc.) and how the project contributes to the growth of the transportation network.

**FISCAL IMPACT:** There is no fiscal impact for receiving the update.

**RECOMMENDATION:** Staff recommends that the Town Council approve the resolution (*Attachment A*) receiving the update.

A RESOLUTION RECEIVING AN UPDATE ON TRANSPORTATION PROJECTS

WHEREAS, the Town of Carrboro has received presentations on long range regional transportation plans, such as the Comprehensive Transportation Plan (CTP), the Metropolitan Transportation Plan (MTP), and the Orange County Transit Plan; and

WHEREAS, the Town of Carrboro has a number of local transportation projects that are in process; and

WHEREAS, Town staff have requested Council input and approvals at key milestones; and

WHEREAS, staff have provided the Council with updates on particular projects at regular intervals.

NOW, THEREFORE BE IT RESOLVED by the Carrboro Town Council that the Council receives this comprehensive update on transportation projects that have been ongoing for the last several months.

This is the 6<sup>th</sup> day of February, 2024.

## Transportation Projects Update

### Introduction

This table is designed to provide an at-a-glance summary of the status of different transportation projects which have been moving forward during the last several months. Projects are roughly organized in the following manner: transportation infrastructure projects funded in the STIP; NCDOT maintenance projects; Carrboro bicycle plan projects (from the 2009 Carrboro Comprehensive Bicycle Transportation Plan and the 2020 Bicycle Plan Update; safety projects, NCDOT ADA ramp project(s), projects relating to the downtown Slow Zone, pedestrian safety projects relating to crossings; plans and policies; Vision Zero; the Orange County Transit Plan; micro-mobility; traffic calming; and American Rescue Plan (ARPA) projects.

Information is outlined with a short description of the project, a brief status report with anticipated next steps, and an explanation as to how the project fits in within the Town's overall transportation network. If you have questions about this report, please contact Tina Moon at [cmoon@carrboronc.gov](mailto:cmoon@carrboronc.gov) or 919-918-7325.

### State Transportation Improvement Program (STIP)

The Strategic Prioritization Process (SPOT), the data-driven process that NCDOT uses to select transportation projects for NCDOT's 10-year State Transportation Improvement Program (STIP), is underway.

The Town Council received an update on NCDOT's draft FY2026-2035 STIP and discussed local transportation projects for consideration in SPOT 7.0 on May 2, 2023 (<https://carrboro.legistar.com/MeetingDetail.aspx?ID=1088370&GUID=6C1EB0A7-BD94-4722-9B69-8654ACD87BC9&Options=info|&Search=>). For the most part, projects submitted as part of P6.0 will be resubmitted for P7.0.

The DCHC MPO staff entered projects into SPOT Online, NCDOT's online portal on October 27<sup>th</sup>. The data review and scoring process occurs next, followed by the assignment of local and regional input points, the release of a draft 2026-2035 STIP anticipated for winter 2024/25. No additional updates: the next step is to receive the initial scoring from NCDOT and to assign points as part of the DCHC MPO.

Please see the DCHC MPO website for the full list of projects. [Agendas & Minutes | Durham Chapel Hill Carrboro MPO, NC \(dchcmpo.org\)](https://www.dchcmpo.org)

### Local projects include:

#### Carryover

- The NC 54 sidepath was only guaranteed funding for design and is subject to reprioritization as a carryover project. NCDOT has engaged a consultant to develop an express design to provide a more accurate cost estimate.

#### Bike-Ped Projects

- Seawell School Road sidepath
- Old NC 86/Hillsborough Road to Farmhouse Road, bike lanes and a sidewalk
- Morgan Creek Greenway, Phase 2

#### Highway Projects

- Possible intersection improvement project at Calvander.
- Possible reduced conflict corridor project along NC 54.

Project Name & Description	Status	Network
<b>Infrastructure Projects</b>		
<p><b>Morgan Creek Greenway - Phase 1 (EL-4828-A)</b> This is the first phase of a greenway system that will ultimately connect Smith Level Road to University Lake with a potential spur to Carrboro High School. Phase 1 begins at the Smith Level Road bridge and extends west along the north side of Morgan Creek, with a spur to Abbey Road, and then crosses the creek via a pedestrian bridge to a terminus point near an existing informal pedestrian network in the woods, for a total of approximately 1850 linear feet.</p>	<p>Design work to prepare Phase 1 of the greenway to be readvertised for bid is underway.</p> <ul style="list-style-type: none"> <li>90-percent plans have been submitted to NCDOT for review. Revisions are underway.</li> <li>The CLOMR has been approved by FEMA.</li> <li>The contract for design services was amended to include consultant services for completion of a retaining wall design and a Phase 1 Cultural &amp; Archaeology Survey. The Cultural &amp; Archaeology Survey has been completed, and the Categorical Exclusion (CE) document submitted for review.</li> <li>The Town Council authorized the allocation of local discretionary funds on May 2, 2023.</li> <li>The DCHC MPO Board approved a resolution to amend the TIP on January 23, 2024.</li> </ul> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>Submit 100-percent plans, specification manual &amp; permits for NCDOT review.</li> <li>Once the NC Board of Transportation adopts the TIP amendment, staff will request a supplemental agreement with NCDOT to add the additional funds to the project budget and to update the project schedule.</li> <li>Staff anticipates submitting an amendment request for additional Orange County Transit funds to apply toward the additional local match.</li> <li>Staff anticipates advertising the project for construction during the summer.</li> </ul>	<p>The spur to Abbey Road provides direct access to one of the three signalized pedestrian crossings across NC 54 West (currently under design) which will connect via informal paths through the Royal Park Apartments toward Barnes Street to Jones Ferry Road and/or through to South Greensboro Street via Whispering Hills. The greenway will also connect via an underpass under Smith Level Road to the Morgan Creek Greenway in Chapel Hill which extends east parallel to NC 54. Chapel Hill is in the process of getting a consultant under contract to resume design work on Morgan Creek West.</p> <ul style="list-style-type: none"> <li>The Morgan Creek Greenway is identified in the 2020 Carrboro Bike Plan Update.</li> <li>The project is identified in <i>Carrboro Connects</i>.</li> </ul> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>The signalized pedestrian crossings along NC 54 (BL-0044)</li> <li>Phase 2 of the Morgan Creek Greenway has been submitted into the SPOT Online Portal as one of the Town's projects for P7.0—for possible funding in NCDOT's FY2026-2035 STIP.</li> </ul>
<p><b>Jones Creek Greenway (C-5181)</b> Part of the Upper Bolin Creek Greenway system, the Jones Creek Greenway is an approximately 808-foot paved multi-use path and pedestrian bridge that will connect Lake Hogan Farm Road with the existing Twin Creeks Greenway to</p>	<p>Design is 90-percent complete. The Categorical Exclusion document has been approved. Work is underway to complete the remaining easement documents.</p> <p>The Council authorized an allocation of local</p>	<p>The project will provide off-road walking and cycling options for the Lake Hogan Farms, Legends, Ballentine, and Fox Meadow neighborhoods to destinations such as Morris Grove Elementary and the future Twin Creeks Park.</p>

Project Name & Description	Status	Network
<p>Morris Grove Elementary School.</p>	<p>discretionary (federal STBG-DA) funds to the project in June 2022 and a contract amendment for the firm conducting design services on June 27, 2023.</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>Amend the municipal agreement with NCDOT to add the additional local discretionary funds to project budget, per an amendment to the FY2020-29 STIP.</li> <li>Continue to work on easement acquisition for ROW authorization.</li> <li>Prepare 100-percent plans.</li> <li>Request authorization to advertise for bid.</li> </ul>	<ul style="list-style-type: none"> <li>The project is identified in the 2020 Carrboro Bike Plan Update.</li> <li>The project is identified in <i>Carrboro Connects</i>.</li> </ul> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>The project is identified the Bolin Creek Greenway Conceptual Master Plan.</li> <li>The Town submitted Phase 2 of the Bolin Creek Greenway, which connects to the southern end of the Jones Creek Greenway and extends southeast to cross Turtle Back Drive, for the FY25 call for projects for Regional Flexible Funding (RFF).</li> </ul>
<p><b>South Greensboro Street Sidewalk (C-5650)</b></p> <p>The sidewalk will be constructed along the west side of S. Greensboro St. from the northern end of Old Pittsboro Rd. to the NC-54 eastbound off-ramp, and on to the Public Works driveway. The sidewalk would fill a major gap for pedestrians from the higher-density area along Smith Level Rd., south of NC-54 bypass, to downtown.</p>	<p>Design is 65-percent complete. Design on the waterline replacement is 90-percent complete.</p> <ul style="list-style-type: none"> <li>NCDOT approved the scope of work and associated costs for the additional design services related to the waterline replacement in the spring.</li> <li>The contract with the design firm RKA has been amended to cover the additional design services relating to the waterline.</li> <li>Work on the project resumed in late August 2023.</li> <li>The Town sent out letters to property owners and residents along the corridor on September 21, 2023.</li> <li>Additional funds (local discretionary funds and Regional Flexible Funds) have been added to the project by way of an amendment to the FY2020-29 STIP.</li> <li>NCDOT has requested that the Town expand the project scope to include resurfacing South Greensboro Street.</li> <li>The resurfacing project extends beyond the project boundaries for the sidewalk. NCDOT has</li> </ul>	<p>The sidewalk project includes a capacity analysis for narrowing the lane widths between the roundabout and the Smith Level Road bridge to install bike lanes. Vehicle lane widths need to remain wide enough to accommodate transit service. Further analysis/conversations will be needed.</p> <ul style="list-style-type: none"> <li>✓ The bike lane portion of the project is identified in the Carrboro Bike Plan.</li> <li>✓ The project is identified in <i>Carrboro Connects</i>.</li> </ul> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>A couple of the intersections along South Greensboro Street were identified with recommended improvements in NC 54 Safety Study (2019).</li> <li>Possible sidepath on the 300 block of South Greensboro Street (ARPA).</li> <li>Capacity analysis/road diet to add bike lanes to Merritt Mill Road (NCDOT Resurfacing). Project completed as part of the FY24.</li> </ul>



Project Name & Description	Status	Network
	<p>requested that the Categorical Exclusion (CE) document (which was submitted in December) be revised to include the larger study area.</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>• Resubmit the CE document.</li> <li>• Begin the process for identifying ROW/easement needs.</li> <li>• Request a SA with NCDOT to reflect the additional local discretionary and RFF funds added to the project budget as part of the STIP amendment and the resurfacing work.</li> <li>• Continue to work with NCDOT on request to reduce speed limit from 35 to 30 mph.</li> <li>• Continue to work with NCDOT and Chapel Hill Transit to identify a possible modification to the cross section along the southern portion of the corridor to provide space for bike lanes.</li> <li>• Continue work on conceptual design for sidepath on 300 block of South Greensboro Street to further bike/ped connection along N-S corridor.</li> </ul>	
<p><b>Bicycle Loop Detectors (U-4726-DF)</b> Installation of bicycle loop detectors at intersections in the downtown and at West Poplar/NC 54, to advance the traffic signals for bicyclists.</p>	<p>Revisions to the plans and specification manual at 100 percent were submitted to NCDOT in early January, revisions are underway.</p> <p>The additional funds (local discretionary) have been added to the project by way of an amendment to the FY2020-29 STIP. The project has been entered into NCDOT's online portal; staff is working with NCDOT to execute an updated MA to program the additional funds to the project and to update the project schedule.</p> <p>As noted in the 2020 Bicycle Plan Update report on October 18, 2022, work is underway to develop a restriping plan for North Greensboro Street. Part of the plan development involved conducting a capacity analysis to determine a possible lane reduction to provide space for bike lanes, a change that could</p>	<p>Installation of bike loop detectors at key locations downtown should work in concert with East Main Street bike lanes to begin to complete the bicycle infrastructure in the downtown.</p> <ul style="list-style-type: none"> <li>• The project is identified in the 2009 Carrboro Comprehensive Bicycle Transportation Plan &amp; 2020 Bicycle Plan Update.</li> </ul> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• Capacity analysis/possible road diet to add bike lanes to North Greensboro Street (NCDOT Resurfacing).</li> <li>• Modifications to the traffic signal timing in the downtown.</li> </ul>

Project Name & Description	Status	Network
	<p>affect the lane alignment at North Greensboro and Weaver and by extension the placement of bike loop detectors. The analysis, however, determined that a lane reduction was not feasible.</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>• Hold meeting to review the Categorical Exclusion document, if needed.</li> <li>• Finalize plans/manual--100-percent.</li> <li>• Request authorization to bid for construction.</li> </ul>	
<p><b>Signalized Pedestrian Crossings (BL-0044)</b> Signalized pedestrian crossings at three locations along NC 54 West: two in Carrboro and one in Chapel Hill. Carrboro locations include NC 54 &amp; Abbey Road and NC 54 &amp; Westbrook Drive.</p>	<p>Municipal agreements with NCDOT have been executed.</p> <p>Design is finished. Survey work is underway.</p> <p>Carrboro is applying \$150,000 of Orange County transit funds earmarked for a HAWK on NC 54 toward the project. (Reimbursement request has been submitted.)</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>• NCDOT to acquire necessary easements/ROW.</li> <li>• NCDOT to let the project for construction (anticipated for September 2024).</li> <li>• Construction is anticipated to begin in FY25.</li> </ul>	<p>The signalized crossings have been located at transit stops along NC 54 with high ridership and where pedestrians frequently cross the highway to access a bus stop. The crossings will further the bike/ped network by providing safe crossings across NC 54, connecting the neighborhoods south of NC 54 to the downtown area and eventually the apartments along the north side of NC 54 to Carrboro High School and University Lake, by way of the Morgan Creek Greenway.</p> <ul style="list-style-type: none"> <li>• The projects are identified in NC 54 Safety Study (2019).</li> <li>• The signalized crossings also provide improved transit access for some of the larger apartment complexes (Carolina Apartments, Royal Park, Kingswood) that are in Qualified Census Tracts.</li> </ul> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• The Morgan Creek Greenway (EL-4828A)</li> <li>• Barnes Street Sidewalk (EB-5890); not yet initiated</li> </ul>
<p><b>Homestead Road-Chapel Hill High School Multi-Use Path (U-4726-DE)</b> Phase 1B of the Bolin Creek Greenway system, the project consists of approximately 2100 linear feet of a multi-use path from Bolin Creek just</p>	<p>The ribbon cutting event was held in August 2018, and the multi-use path opened for use. A few minor punch-list items were left for the Town to complete, including replanting the BMP by the tennis courts. Staff has been working closely with NCDOT to receive the necessary approvals to the punch-list items, and</p>	<p>The multi-use path connects the residential neighborhoods at Claremont North and Winmore to the Chapel Hill High School by way of a under pass under the Homestead Road bridge. The facility also connects to Claremont South by way of a spur to the multi-use path.</p>

Project Name & Description	Status	Network
<p>north of Homestead Rd to the vicinity of Chapel Hill HS, including a crossing of Bolin Creek, approximately 200 feet south of Homestead Rd.</p>	<p>Council authorization for the necessary funding. Public Works staff is working to complete.</p> <p>During a storm event in early September 2023, a tree fell onto the pedestrian bridge, damaging a section of the bridge. Public Works was able to use cribbing to support the bridge so that it could be reopened for use.</p> <p>The need for additional time and budget requires a supplemental agreement with NCDOT to extend the project milestones. The Town is in the process of executing the SA.</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>Order the new bridge section (to be fabricated) and arrange for installation.</li> <li>Complete any remaining punch list items.</li> <li>Administrative close-out and NCDOT acceptance.</li> </ul>	<ul style="list-style-type: none"> <li>The project is identified the Bolin Creek Greenway Conceptual Master Plan.</li> <li>The Town submitted Phases 2, and 3-4 of the Bolin Creek Greenway for the FY25 call for projects for Regional Flexible Funding (RFF).</li> <li>The project is identified in the 2009 Carrboro Comprehensive Bicycle Transportation Plan &amp; 2020 Bicycle Plan Update.</li> <li>The project is identified in <i>Carrboro Connects</i></li> </ul>
<b>State Maintenance Projects</b>		
<p><b>East Main Street Resurfacing/Restriping</b></p> <p>NCDOT's resurfacing project for East Main Street in Carrboro and West Franklin Street in Chapel Hill, provided an opportunity for both towns to request new cross section designs for better bicycle infrastructure.</p> <p><a href="https://www.townofcarrboro.org/transportation/east-main-street-operational-analysis-and-restriping-plan">East Main Street Operational Analysis and Restriping Plan   Carrboro, NC - Official Website (townofcarrboro.org)</a></p>	<p>The resurfacing/restriping project is finished. NCDOT's work wrapped up in late September; the Town arranged for the installation of green pavement markings and modifications to the traffic signals, work which was completed in October.</p> <p>Staff has been in communication with Chapel Hill regarding the signal timing, particularly at Lloyd Street, and minor adjustments to the signal timing have been made. Chapel Hill staff have recommended additional modifications which Carrboro staff are reviewing.</p> <p>Staff conducted bike/ped counts in May 2022 before the resurfacing project and again in May 2023 after the new bike lanes were added. The number of cyclists roughly doubled at each of the locations counted: along Rosemary Street, at Back Alley Bikes and at the</p>	<p>The installation of bike lanes on East Main Street will complete a key segment in the main east-west corridor for downtown and adds a significant addition to the Town's overall bicycle network.</p> <ul style="list-style-type: none"> <li>The project is identified in the 2020 Carrboro Bike Plan Update.</li> <li>Of note, this is the Town's first use of green pavement markings, a treatment that requires special approval from FHWA.</li> </ul> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>Slow Zone.</li> </ul>

Project Name & Description	Status	Network
	<p>East Main/Weaver triangle. The number of pedestrians also increased at a similar rate.</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>Continue to monitor the signal timing and adjust as needed.</li> <li>Review signage and pavement markings in response to resident requests/inquiries, as appropriate.</li> </ul>	
<p><b>Merritt Mill Road Resurfacing/Restriping</b></p> <p>Merritt Mill Road is on NCDOT's resurfacing list for FY23. The project extends the full length of Merritt Mill Road from Rosemary Street to South Greensboro Street. Chapel Hill and Carrboro are working together with a consultant firm to evaluate the feasibility of a new cross section design with better bicycle infrastructure.</p>	<p>The consultant firm HNTB prepared has an initial report on an evaluation of the reallocation of the center turn lane to side bike lanes from Cameron Avenue to South Greensboro Street.</p> <p>RKA has completed a new pavement marking plan for the corridor including bike lanes from Cameron to the entrance at Perry Place/NC 54 Bypass off ramp. NCDOT approved the design.</p> <p>The resurfacing project including the signal work, utility work, milling, pavement and white pavement markings was completed in late August.</p> <p><u>Next Step(s)</u></p> <p>The towns are working to get an estimate for the installation of green pavement marking.</p> <p>Additional work to improve the transition from the Libba Cotten bikeway to Merritt Mill Road and Cameron Avenue to follow as part of future projects. The additional costs associated with the necessary signal work at the intersection made it too expensive to include as part of the resurfacing project.</p> <p>It is anticipated the Libba Cotten/Cameron Avenue connection will be revisited as part of the bicycle infrastructure improvements for Cameron scheduled</p>	<p>Merritt Mill was not identified in the long-range network for the 2020 Bike Plan update, however, the inclusion of bike lanes for some or all of the corridor significantly improves bike access to the Pine Knolls and Cole Heights neighborhoods and access to the Lincoln Center offices and athletic fields as well as to Perry Place, the new affordable housing project by CASA.</p> <p>A possible modification at the east end of the Libba Cotten bikeway to improve the transition from the bikeway to Merritt Mill Road and Cameron Avenue has also been analyzed.</p>



Project Name & Description	Status	Network
	to get underway in the upcoming year.	
<p><b>Jones Ferry Road Resurfacing/Restriping</b> Jones Ferry Road is on NCDOT's resurfacing list for FY23. The project includes Jones Ferry Road from East Main Street to Old Fayetteville Road.</p> <p>The project area includes the segment of Jones Ferry Road that was part of the SPOT Safety project in 2015, which involved traffic signal at Davie Road and the inclusion of the new bike lanes and buffered bike lane heading east bound.</p> <p>The Town Engineer has prepared a conceptual design to determine the feasibility of adding a new westbound bike lane or protected bike lane along sections of Jones Ferry Road between Davie Road and the Willow Creek Shopping Center.</p>	<p>NCDOT has approved the design for adding a westbound buffered bike lane from Davie Lane to the entrance to the Willow Creek Shopping Center. The project will require modifications to the center median to create additional space for the new bike lane.</p> <p>The Town has received construction document approval for the plans to modify the median and has awarded the contract. Work is anticipated to begin in February-weather permitting.</p> <p>The resurfacing, which would include the new lane alignments, will likely occur in the summer of 2025. The project is anticipated to include some micro-milling to address the pavement height issues around the drainage inlets in the bike lanes. Signal work will also be needed at the intersections. The Town is still considering whether to include green pavement markings as part of the project.</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>• Submit signal plans for NCDOT approval.</li> <li>• Complete the pavement marking plans (PMP) for the resurfacing and submit for NCDOT approval.</li> <li>• Prepare encroachment agreements as necessary.</li> </ul>	<p>The project would further improve access for residents along Jones Ferry Road to access downtown, the Willow Creek Shopping Center (grocery store/pharmacy/laundromat) and recreation areas such as University Lake.</p> <ul style="list-style-type: none"> <li>• The project is identified in the Carrboro Bike Plan and a protected westbound bike lane is one of the five priority projects in the 2020 Bike Plan Update.</li> </ul> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>✓ The project is identified in the 2020 Carrboro Bike Plan Update</li> <li>✓ Safety Projects</li> </ul>
<p><b>North/South Greensboro Street Resurfacing/Restriping</b> Portions of North &amp; South Greensboro Street are scheduled for NCDOT resurfacing in FY25-FY26. The project area was originally planned to extend from East Main Street to approximately Thomas Lane. NCDOT has recently inform staff that the resurfacing may be shifted south to extend from the South Greensboro Street roundabout to the North Greensboro Street/Estes Drive Ext. roundabout.</p>	<p>The Town has met with NCDOT to discuss opportunities to modify the cross section of Greensboro Street to improve bicycle infrastructure, particularly from the junction of North Greensboro and Hillsborough Road to West Weaver Street, and the section of South Greensboro Street from the roundabout at South Green to the Smith Level Road bridge.</p> <p>Traffic counts were conducted along the 100-300 blocks of North Greensboro Street, and a capacity</p>	<p>The project is identified in the Carrboro Bike Plan and would improve bicycle infrastructure along a major transportation corridor.</p> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• Bike Loop Detectors Project (U-4726-DF)</li> <li>• Slow Zone</li> <li>• South Greensboro Sidewalk Project (C-5650)</li> <li>• 300 South Greensboro Street sidepath (ARPA)</li> <li>• A possible contra-flow bike lane along the</li> </ul>

Project Name & Description	Status	Network
	<p>analysis completed in November 2023 to determine the feasibility of removing some/all of the center turn lane in order to provide space for bike lanes. The capacity analysis determined that a lane reallocation would not be feasible.</p> <p>Staff has also submitted a request to NCDOT to lower the speed limit from just west of Shelton Street to the Estes Drive roundabout from 30 mph to twenty-five mph.</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>• Continue work on pavement marking plan for corridor for North Greensboro Street.</li> <li>• Continue to discuss a possible restriping plan for South Greensboro Street from the roundabout to the Smith Level Road bridge to include bike lanes.</li> <li>• Continue to work with NCDOT to lower speed limits along North/South Greensboro Street.</li> <li>• Additional opportunities to provide improved crossings along South Greensboro Street may be explored as part of the 203 Project and the 300 South Greensboro sidepath project (ARPA).</li> </ul>	<p>100 block of Maple Avenue would provide a designated lane for bicycles visiting the 203 Project and/or seeking a connection from the Libba Cotten bikeway to the Roberson and/or PTA bikeway. The Maple Avenue project has also been submitted for the Regional Flexible Funds (RFF) call for projects for FY25.</p>
<b>Carrboro Updated Bicycle Plan</b>		
<p>Four projects identified in the bike plan and submitted for inclusion in the Town CIP are scheduled to get underway in and FY24-FY25. This includes:</p> <ol style="list-style-type: none"> <li>1. Beginning the design for components of Priority #1, the sidepath along Homestead Road with a signalized crossing,</li> <li>2. Priority #2, enhanced bicycle infrastructure on Shelton Street,</li> <li>3. Priority #5, a protected westbound bike lane along Jones Ferry Road, particularly under the NC 54 Bypass, and</li> <li>4. The first segment of buffered bike lanes for North Greensboro Street.</li> </ol>	<ol style="list-style-type: none"> <li>1. ARPA funding was earmarked for the design/installation of a signalized crossing at Homestead Road and Claremont Drive. A source of funding for the Homestead Road sidepath has not yet been identified. However, Homestead Road is scheduled for resurfacing in FY25/FY26, which may also offer an opportunity for installing better bicycle facilities.</li> <li>2. Staff is working with the Town Engineer to consider possible design modifications to Shelton Street to provide better cycling facilities, such as a two-way cycle track and/or a contra-flow lane.</li> </ol>	<p>Improvements to Homestead Road and the installation of a crossing to connect northern Carrboro to the downtown by way of the residential neighborhoods would also provide a significant improvement to bike-ped travel. This furthers the concept of identifying “neighborways” existing low-traffic streets that may be preferred routes for cyclists.</p> <p>Of note, the approval of the conditional rezoning at 904, 820 Homestead Road and 310 Lucas Lane for a residential development includes as a condition the construction of a pedestrian facility along the north side of Homestead. Due to</p>

Project Name & Description	Status	Network
	<p>This would involve adding additional asphalt along Shelton by either moving the ditch back or adding a curb gutter section to provide sufficient width, and other improvements. Staff met with representatives from the Carrboro United Methodist Church and Carrboro Elementary School to discuss in early November 2023.</p> <p><u>Next Step(s)</u> The Town Engineer is preparing a second iteration of the concept plan for the Shelton Street project. The Town submitted the Shelton Street project for the Regional Flexible Funds (RFF) call for projects for FY25. If the project is selected for RFF, funding would be available to proceed with construction once the plans were completed. Staff would anticipate additional engagement with stakeholders as part of that process.</p> <p>3. Design on a potential westbound Jones Ferry Road bike lane identified the need to modify the existing center median in three locations. Plans for this work have been approved by NCDOT. The Town bid the project over the summer and the Council authorized the award of the bid in October. Work is scheduled to be completed in time for NCDOT to proceed with its resurfacing in FY25.</p> <p>(See update under Jones Ferry Road resurfacing project.) The initial ARPA documentation for this project has been completed and reviewed with the Finance Department. The standard federal agreement template has been modified to better reflect ARPA requirements.</p>	<p>existing topography, the facility is anticipated to be a combination of a sidewalk and boardwalk. This facility would connect to the entrance at Claremont North.</p> <p>The installation of more complete infrastructure to Shelton Street would likewise make it safer for children to bicycle to Carrboro Elementary.</p> <p>Restriping North Greensboro Street to included buffered bike lanes would significantly improve bicycle safety along an important east/west corridor for the downtown area and the overall network.</p> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• Bike Loop Detectors Project (U-4726-DF)</li> <li>• Slow Zone</li> <li>• The Town submitted a bundle of three bike enhancement projects for the FY25 Call for Projects for Regional Flexible Funding (RFF). These include construction costs for the Shelton Street contra-flow, cycle track project, restriping East Poplar Avenue to establish a pedestrian lane, and adding a bicycle contra-flow lane to the one-block section of Maple Avenue alongside of the 203 Project, which will be converted to one-way traffic as part of the construction of the 203 Project.</li> </ul>

Project Name & Description	Status	Network
	<p>4. Staff is checking with NCDOT on the current schedule for North Greensboro Street to be resurfaced—the project may be bumped out a year in order to include South Greensboro Street after the sidewalk is finished. Work on a conceptual plan for the buffered bike lanes is underway to allow implementation (restriping) to occur as part of the NCDOT project. Initial traffic counts have been completed. The Town Engineer is working on a pavement marking plan to submit to NCDOT for review.</p>	
<b>Safety Projects</b> The following projects focus on a particular aspect of bike/ped safety.		
<p><b>Jones Ferry Road Protected Bike Lane</b>  Installation of plastic delineators within the painted buffers along the inbound bike lane on the Jones Ferry Road, to create vertical separation between the vehicle and person on a bicycle.</p> <p>Jones Ferry Road was restriped with painted bicycle buffers as part of a NCDOT SPOT safety project.</p>	<p>One-year pilot installation installed in August 2021. Following the celebration ride on October 29, 2021, a survey was posted to the Town’s website to see input on the project. The survey was closed in mid-July; results will be shared with NCDOT as part of the evaluation of the project and its installation.</p> <p>Staff has conveyed to NCDOT the Town’s interest in retaining the vertical separation when Jones Ferry Road is resurfaced next year.</p> <p>This project is moving forward. See update under NCDOT resurfacing.</p>	<p>The installation of protected bike lanes adds a major segment of bicycle infrastructure along the one of the main routes into downtown. It also connects to University Lake and the Jones Ferry Road Park and Ride Lot.</p> <ul style="list-style-type: none"> <li>• The project is identified in the Carrboro Bike Plan.</li> <li>• <u>Related Projects/Plans</u></li> <li>• Resurfacing – Jones Ferry Road</li> <li>• Bike Plan</li> </ul>
<p><b>NCDOT ADA Ramp Project</b>  NCDOT is in the process of installing updated sidewalk ramps at various locations in and around downtown.</p>	<p>NCDOT bids out ADA ramp replacements in bundles every couple of years. At the beginning of the last cycle, staff reviewed all the locations and requested crosswalks at intersections. Some of the ramps, such as the locations along South Greensboro Street were completed.</p> <p>In the fall of 2023, staff learned that NCDOT planned to rebid the remaining ramps—this includes the crossings along North Greensboro Street and other locations identified in the bullets below. Since the</p>	<p>Staff has been working with NCDOT to review the proposed locations for new ramps, and where appropriate to request additional infrastructure improvements such as new crosswalks. This collaboration has provided an opportunity to obtain a preliminary evaluation of the suitability of locations for enhanced crossings and in some case the installation of the crossing as part of the NCDOT project. NCDOT sent out a notice of the next ADA ramp cycle in late February of 2023 for Town review. Staff requested additional ramp</p>



Project Name & Description	Status	Network
	<p>project includes multiple jurisdictions, it can be difficult to get a precise schedule for when the work will be completed. NCDOT has awarded bids to two contractors. One will complete the remaining ramps in the FY23 project, with work anticipated to begin in June. The second firm will install ramps/crosswalks for the FY24 cycle, focusing on the area around Old Fayetteville and West Main Street, with an anticipated start date of March. Both contracts are available from March 2024 to March 2026.</p> <p>Locations that have been previously approved by NCDOT include:</p> <ul style="list-style-type: none"> <li>• NC 54 &amp; W Poplar Ave</li> <li>• NC 54 &amp; W Main St</li> <li>• NC 54 &amp; Old Fayetteville Rd</li> <li>• Hillsborough Rd &amp; N Greensboro St</li> <li>• E Main St &amp; N Greensboro St</li> <li>• E Main St &amp; Lloyd St</li> <li>• E Main St &amp; W Rosemary St</li> <li>• E Main St &amp; Boyd St</li> <li>• N Greensboro St &amp; Oak Ave</li> <li>• N Greensboro St &amp; Robert Hunt Dr</li> <li>• E Main St &amp; Carrboro Police Parking Lot</li> <li>• E Main St &amp; Roberson St/E Weaver St</li> <li>• E Main St &amp; Amante's Pizza</li> <li>• NC 54 Ramp at Smith Level Rd</li> <li>• W Main Street &amp; Jones Ferry Rd</li> <li>• S Greensboro St &amp; FPG</li> <li>• S Greensboro St &amp; UNC Child Development</li> <li>• Homestead Rd and Rogers Rd</li> <li>• Rogers Rd &amp; Sylvan Way</li> <li>• Rogers Rd &amp; Zeiger Lane</li> </ul>	<p>locations along local streets to further advance the Town's efforts to ADA improvements. Locations identified by staff are listed below. Staff has not received confirmation that all of these locations will be included in the project.</p> <p><u>NCDOT Streets</u></p> <ul style="list-style-type: none"> <li>• SR 1010 and NS 98601 (Fidelity St)</li> <li>• SR 1010 and NS 96513 (High St)</li> <li>• SR 1010 and 112 NC 54 Bypass—Berkshire 54 Apartments</li> <li>• SR 1010 and SR 1919/1772</li> <li>• SR 1010 and NS 96754 (Roberson St)</li> <li>• SR 1010 and NS 98836 (Boyd St)</li> <li>• SR 1009 and NS 97044 (Shelton St)</li> <li>• SR 1919 and NS 96549 (Poplar Ave)</li> </ul> <p><u>Town Streets</u></p> <ul style="list-style-type: none"> <li>• NS 97611 (Lloyd St) and NS 99117 (Cobb St)</li> <li>• NS 97611 (Lloyd St) and NS 98093 (Hosiery St)</li> <li>• NS 97611 (Lloyd St) and NS 99331 (Fowler St)</li> <li>• NS 98820 (Broad St) and NS 98094 (Hill St)</li> <li>• 346 NS 98820 (Broad St)—Henry W. Baldwin Park</li> <li>• NS 98820 (Broad St) and NS 96989 (Starlite Dr)</li> <li>• NS 98820 (Broad St) and NS 99331 (Fowler St)</li> <li>• NS 98820 (Broad St) and NS 99117 (Cobb St)</li> <li>• NS 96553 (Rosemary St) and SR 1010</li> <li>• NS 96553 (Rosemary St) and NS 96630 (Sunset Dr)</li> <li>• NS 98835 (BPW Club Rd) and NS 97459 (Orchard Ln)</li> <li>• 142 NS 98835 (BPW Club Rd)—Bridges at Chapel Hill apartments</li> <li>• 180 NS 98835 (BPW Club Rd)—Trinity at the Hill apartments (3 entrances)</li> <li>• NS 98835 (BPW Club Rd) and NS 96621 (Tar Hill Dr)</li> <li>• NS 96621 (Tar Hill Dr) at Trinity at the Hill apartments (3 entrances)</li> </ul>

Project Name & Description	Status	Network
<p><b>Slow Zone</b> Implementation of a slow zone for the downtown. Staff continues to utilize a multi-prong approach to reduce vehicular speeds in the downtown area. This includes:</p> <ul style="list-style-type: none"> <li>• Partnering with NCDOT on state resurfacing projects to narrow travel lanes to slow vehicles and to add, when possible, improved infrastructure for cyclists/pedestrians.</li> <li>• Updating pavement markings to include bike markings/infrastructure as part of Town resurfacing projects.</li> <li>• Evaluating opportunities to use RRFBs or other enhancements for crossings.</li> <li>• Continuing to collaborate with NCDOT for state ADA ramp improvements, to include crosswalks or other infrastructure as appropriate.</li> <li>• Working with Chapel Hill to monitor and modify signal timing, particularly in the downtown area to provide more opportunities for pedestrians to cross with the light cycle.</li> <li>• Continuing systematic data collection to identify locations with regular speeding and safety concerns.</li> <li>• Using public information/education campaigns as another strategy to ask drivers to be alert and slow down.</li> <li>• Considering the use of radar speed displays in the downtown area to make drivers aware of their operating speeds without the use of citations and associated police hours.</li> <li>• Submitting requests to NCDOT to lower speed limits (incrementally).</li> </ul>	<p>The combination of these projects with an educational campaign and strategic use of radar speed signs should help advance the implementation of the zone:</p> <ul style="list-style-type: none"> <li>• restriping on East Main Street (completed),</li> <li>• protected bike lanes on Jones Ferry Road heading eastbound (completed),</li> <li>• possible addition of bike lanes on Jones Ferry Road heading westbound (design approved; modifications to the center median by the bypass underway),</li> <li>• restriping along North Greensboro Street with buffered bike lanes (pavement marking plan in design),</li> <li>• 5 mph speed limit reduction along North and South Greensboro Street (under consideration; staff reached out again to NCDOT in August),</li> <li>• 5 mph speed limit reduction for downtown section of Hillsborough Road (under consideration staff reached out again to NCDOT in August),</li> <li>• possible bike lanes along the segment from the roundabout to the Smith Level Road bridge (under review with NCDOT and Chapel Hill Transit),</li> <li>• evaluation of possible signal timing changes in the downtown area. Staff has reviewed a proposal from the Town of Chapel Hill to modify the signal time and bring back the lead pedestrian interval, and</li> <li>• review of design for shared-use path along the 300 block of South Greensboro Street to connect the sidewalk for pedestrians and Old Pittsboro Road for cyclists to the bike paths at either end of Carr streets, to the 203 Project and the greater downtown area, (staff has discussed the proposed design with the property owner at 300 South Greensboro, and is preparing construction plans, and</li> <li>• possible installation of RRHB at key crossings</li> </ul>	<p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• Resurfacing projects</li> <li>• Bike Plans</li> <li>• <i>Carrboro Connects</i></li> <li>• Pedestrian Safety Projects</li> <li>• Vision Zero</li> <li>• Road to Zero</li> <li>• Traffic Calming</li> </ul>

Project Name & Description	Status	Network
	(under consideration)	
<b>Pedestrian Safety Projects (crossings)</b>	No additional updates. Staff continues to work with NCDOT and the Town Engineer to evaluate locations	<ul style="list-style-type: none"> <li>• Bike Plan. A number of the crosswalk improvements have been identified in the</li> </ul>

Project Name & Description	Status	Network
	<p>for safety improvements, including new/improved crosswalks. Certain locations may be deemed unsuitable for a crosswalk due to limited visibility/curves in the road or lack of receiving infrastructure.</p> <p>As part of the Town’s review of ARPA projects on October 11<sup>th</sup>, funding was earmarked for the design/installation of Rectangular Rapid-Flashing Beacons (RRFB) at two locations. (<a href="#">Town of Carrboro - Meeting of Town Council on 10/11/2022 at 7:00 PM (legistar.com)</a>).</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>• Begin design for the RRFB at Hillsborough Road at McDougle Elementary School</li> <li>• Begin design for the RRFB at Homestead Road at Claremont</li> </ul>	<p>Bike Plan as part of the long-range network. Signalized crossings at Homestead/ Strafford and Homestead/Claremont are recommended as part of the Homestead Road priority project in the 2020 Bike Plan Update.</p> <ul style="list-style-type: none"> <li>• Safe Routes to School Action Plan.</li> <li>• Vision Zero Initiative</li> </ul> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• ARPA funding</li> <li>• Bike Plans</li> <li>• Vision Zero</li> <li>• Road to Zero</li> </ul>
<b>Plans/Policies</b>		
<p><b>Transportation Demand Management (TDM)</b></p> <p>TDM is the application of strategies and policies to reduce reliance on single-occupancy vehicles (SOV) by encouraging other options for travel such as carpooling, public transit, biking, walking, remote or teleworking, and flexible work schedules.</p>	<p>For the last 10+ years, the Town of Carrboro has participated in Central Pines Regional Council’s (formerly Triangle J COG) TDM grant, “Triangle Transportation Choices,” as a subrecipient of the Town of Chapel Hill. FY24 was the first year that Carrboro applied for and was awarded a standalone grant for just under \$20,000. The grant involves up to 50-percent reimbursement on preapproved TDM activities designed to encourage behavioral changes to walk, bike, use transit and other alternatives to traveling by SOV. The TDM program serves as compliment to constructing transportation infrastructure.</p> <p>Staff is in the process of preparing an application for the upcoming FY25-26 cycle. This is the first year that</p>	<p>TDM programs focus on providing information and activities designed to change travel behaviors, not on the construction of new infrastructure. Proposed shared micro-mobility programs, such as bike shares can also assist with the first mile/last miles needs associated with transit use.</p> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• <i>Carrboro Connects</i></li> <li>• Orange County Transit Plan</li> <li>• Vision Zero</li> <li>• Carrboro Community Climate Action Plan</li> </ul>



Project Name & Description	Status	Network
	<p>the grant will extend for two years.</p> <p>TDM staff will continue to participate at some of the new Carrboro in Motion events to provide information relating to bike safety, transit routes and other opportunities for travel choices. The Town will also continue to partner with Chapel Hill and UNC and others at regional TDM events.</p> <p>Staff is working on some new activities for the upcoming year, including one or more programs geared toward an older audience with information on transit services throughout Orange County.</p> <p>Recent activities included:</p> <ul style="list-style-type: none"> <li>• The annual “Lighten Up” event in November. Staff were located along the western end of the Libba Cotten bikepath and distributed bike lights and safety information for traveling during the winter months.</li> <li>• The inaugural “Bicycle Petting Zoo” was held at South Green on November 18<sup>th</sup>. Partnering with the Carrboro Bike Coalition and local bike shops, the event provided an opportunity learn about different types of bicycles and associated gear.</li> <li>• Libba Cotten bike ride on January 5<sup>th</sup>.</li> </ul>	
<p><b>Safe Routes to School (SRTS)</b></p> <p>In 2012, the Town adopted a Safe Routes to School Strategic Action Plan. The plan focuses on opportunities for active travel to Carrboro Elementary and McDougale Elementary Schools. In December 2022, NCDOT’s Integrated Mobility Division (IMD) announced a Safe Routes to Schools Non-Infrastructure Grant opportunity.</p>	<p>The Town explored partnering with Chapel Hill and CHCCS on an application for a staff person at the school district level, but ultimately decided to apply for a standalone grant to 1) assist with development of a CHCCS school district wide uniform and effective program that will ensure that all children have safe, varied, healthy, and varied ways to get to and from school and that there is no disparity based on race; 2) update the Town’s Safe Routes to Schools Action plan so that current transportation needs and interests related to safe routes to schools and demographic information is available for all schools, including Morris Grove Elementary, which opened just after the</p>	<p>While the SRTS grant is a non-infrastructure grant, there is still an opportunity to conduct audits to identify where infrastructure improvements may be needed for students to walk/bike to school with their families. The audits can also assist with the development of walking school bus and bike train routes for groups of students to travel together with supervision to and from school.</p> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• Carrboro Connects</li> <li>• Vision Zero</li> </ul>

Project Name & Description	Status	Network
	<p>Town's existing plan was prepared; and 3) use for consulting services and/or contribute to a shared staff position at the municipal government level in years one and two of the three-year grant period and to serve as seed funding for a position at the school district level in year 3. In April 2023, staff received notice that the Town had been awarded a grant for \$89,349 for a period of two-years.</p> <p>In November 2023, the Town Council appointed one of the four SRTS Implementation Committee members. In January 2023, the Town received the executed agreement from NCDOT.</p> <p><u>Next Step(s)</u></p> <ul style="list-style-type: none"> <li>• Prepare and advertise a request for proposal for consultant services.</li> <li>• Appoint the remaining three members of the SRTS Implementation Committee.</li> </ul>	<ul style="list-style-type: none"> <li>• TDM – Carrboro Transportation Choices</li> <li>• Bike Plans</li> <li>• Carrboro Community Climate Action Plan</li> </ul>
<p><b>Vision Zero</b></p> <p>Vision Zero is a national program designed to eliminate fatalities from vehicles.</p> <p><a href="#">Vision Zero Network   Making our streets safer</a></p> <p>Town's participation in the NC Vision Zero Leadership Team Institute program, has led to Carrboro inclusion to the list of NC Vision Zero Communities.</p> <p><a href="#">Communities - NC Vision Zero</a></p>	<p>Carrboro currently addresses safety in a number of ways—construction of bike/ped infrastructure projects, participation in TDM, Safe Routes to School (SRTS), Watch for Me NC programs—but has not yet adopted a formal Vision Zero plan, something that was noted in the Town's last Bicycle Friendly Communities report card. With that in mind, the Town has sent a team to the second and third Annual NC Vision Zero Leadership Team Institute hosted by NC Vision Zero and UNC Chapel Hill in June. Staff from Planning, Public Works and the Fire Department attended the 2023 session. Participants were encouraged to design and implement one or more “quick-builds” projects small-scale safety projects such as temporary pavement markings. Public Works has developed a conceptual design for the intersection of the Libba Cotten bikeway and Roberson Street that would highlight the entrance/exit of the bikeway while enhancing the pedestrian crosswalks and slowing</p>	<p>Participation in the Vision Zero Leadership Team Institute should provide the Town with a better understanding of the program and how to better incorporate safety in Town transportation projects.</p> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• <i>Carrboro Connects</i></li> <li>• Bike Plan</li> <li>• Safe Routes to School Action Plan</li> <li>• Watch for Me NC</li> <li>• TDM</li> <li>• Road to Zero</li> </ul>

Project Name & Description	Status	Network
	<p>vehicular traffic with the additional of speed cushions. The conceptual design has been shared with the TAB and ArtsCenter for comment.</p> <ul style="list-style-type: none"> <li>• In September 2023, the Town Council held two worksessions related to transportation: the connector roads policy and the Residential Traffic Management Plan (RTMP). One of possible next steps identified as part of the traffic calming discussion was develop a more systematic approach for collecting traffic counts, in order to develop a better understanding of travel behavior townwide.</li> <li>• In November 2023, the Town Council authorized staff to submit a Road to Zero grant as a strategy to fund the development of a systematic traffic count plan. The Council also adopted a resolution in support of a Vision Zero Initiative.</li> <li>• In January 2024, the Town submitted an application for a Road to Zero Grant. Notice of awards is anticipated for March-April.</li> </ul> <p><u>Next Steps</u> Staff is working on an application to send a team to the 2024 Vision Zero Leadership Institute program.</p>	
<p><b>Safe Streets for All (SS4A) Grant Program</b> Part of the Infrastructure Investment and Jobs Act, the Safe Streets for All grant program provides funding for the development of a Vision Zero Plan and subsequent implementation.</p>	<p>The DCHC MPO submitted the SS4A grant application to prepare a Vision Zero program for all the partner jurisdictions, as part of the FY22 NOFO.</p> <p>The MPO was awarded the grant and has engaged the consulting firm Atkins to assist with the development of a scope and schedule for the plan, using the MPO Technical Advisory Committee and member jurisdictions and who signed on to the application as the stakeholders. The first stakeholders meeting to review/comment on the draft scope was held on July 26, 2023. The development of a plan is expected to include substantial public engagement.</p>	<p>The SS4A grant program will provide funding for another couple of year so that the joint grant scenario provides an opportunity to get a plan and seek funds for implementation—constructing bike/ped infrastructure. And as noted above, having a Vision Zero Plan should strengthen the Town’s next Bicycle Friendly Community application.</p>

Project Name & Description	Status	Network
	<p>The DCHC MPO staff advertised a request for letters of interest (RFLOI) in January; responses are due in mid-February. <a href="https://www.centralpinesnc.gov/requests-proposalsqualifications">https://www.centralpinesnc.gov/requests-proposalsqualifications</a></p>	
<p><b>Orange County Transit Plan</b>  Adopted in December 2022 by Orange County, the DCHC MPO and GoTriangle, the updated Orange County Transit Plan identifies commitments for public transit—operating and capital project expenditures—for the next fifteen to twenty years. Funding comes from three dedicated transit tax revenues: half-cent sales tax, three-dollar increase to GoTriangle Regional Vehicle Registration fee, seven-dollar County vehicle registration fee. Funds from the five-percent vehicle rental tax have been shifted from the transit plan to GoTriangle.  See also <a href="#">Orange County Transit Plan 2020 – Transit Plan 2020 (octransit2020.com)</a></p>	<p>On November 1<sup>st</sup>, the Town Council received a presentation on the status of the Orange County Transit Plan update and approved a resolution of support (<a href="#">Town of Carrboro - Meeting of Town Council on 11/1/2022 at 7:00 PM (legistar.com)</a>). The Orange County Transit Plan Update was adopted in December 2022 by the three signatory authorities: Orange County, the DCHC MPO, and GoTriangle. Durham County also adopted an update to the Durham County Transit Plan following a similar process.</p> <p>The updates to the Orange and Durham counties transit plans included consultant services to review the agreements associated with the implementation of the two transit plans. The Council received an update on the governance study on May 23, 2023.</p> <p>The agreements include a new interlocal agreement between the three signatory authorities: Orange County, the DCHC MPO, and GoTriangle, a Comprehensive Participation Agreement (CPA), new Global agreements for operating services and capital project and updated bylaws for the codifying rules and procedures for the staff working group (SWG).  <a href="https://carrboro.legistar.com/LegislationDetail.aspx?ID=6214463&amp;GUID=DCC664C5-4A73-442A-8934-82438D3A8894&amp;Options=&amp;Search=">https://carrboro.legistar.com/LegislationDetail.aspx?ID=6214463&amp;GUID=DCC664C5-4A73-442A-8934-82438D3A8894&amp;Options=&amp;Search=</a>).</p> <p>The DCHC MPO staff has turned over the administration of the transit plans—staff working group to the counties. The Orange County staff working group is in the process of developing the FY25</p>	<p>Transit funds have been allocated to Carrboro for several transportation infrastructure projects such as the South Greensboro Street sidewalk and Morgan Creek Greenway, and the signalized pedestrian crossings along NC 54. Projects that the Town submitted for the list of “unfunded priorities” were included in the plan.</p>



Project Name & Description	Status	Network
	<p>workplan, and public information plan.</p> <p>In addition, Orange County has engaged the services of Nelson-Nygard to prepare a Short-Range Transit Plan for County transit services which includes fixed route and “on demand” services.</p>	
<p><b>Micro-mobility - Bike Share</b></p> <p>For the last several months staff at the Town of Carrboro, Town of Chapel Hill and UNC-Chapel Hill have been working together to develop an RFP to seek a vendor to set up and operate a new, electric bike share program for all three jurisdictions.</p> <p>As noted in the update to the Town Council on November 9, 2021, scooters will not be included in the bike share program at this point per UNC’s policy.</p>	<p>In February 17, 2022, UNC advertised a joint RFP for a single unified bike share program for UNC, Chapel Hill, and Carrboro. Three vendors responded and after vetting, UNC began negotiations with a preferred vendor. In October, the preferred vendor indicated that it would be unable to meet its overhead costs based on the combination of user fees and hub advertisements and would therefore need to charge the parties \$200,000 to get the program underway. The RFP was clear that program expenses were to be covered by user fees/advertisements with no additional costs charged to the parties, so UNC reached out to the other responsible respondent(s) and offered them an opportunity to modify their proposals. In December 2022, UNC notified the Towns that they had decided to go with SPIN as the vendor, with a base cost of \$100,000 for the two hundred bikes identified in the RFP for the full program. UNC would cover half of the up-front cost for one hundred bikes; the Towns could participate by splitting the remaining cost for the other 100 bikes.</p> <p>There were some legal questions relating to whether the towns can pay for this service, as well as concerns with bikes being left in the public ROW. On May 23<sup>rd</sup>, the Towns met with the vendor to discuss enforcement/rebalancing and possible licensing agreements.</p> <p>The towns had been reviewing draft licensing</p>	<p>The 2020 Bicycle Plan Update included a section on the possible benefits of developing a micro-mobility program. An electric bike share system creates an opportunity for the bikes to provide transportation needs for some users as well as provide options for first mile/last mile trips for transit users.</p> <p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• TDM</li> <li>• Orange County Transit Plan</li> <li>• <i>Carrboro Connects</i></li> <li>• Bike Plan</li> </ul>

Project Name & Description	Status	Network
	agreements with SPIN; in the fall of 2023, Chapel Hill determined that it would not be able to participate in the bike share under the current structure.	
<b>Traffic Calming</b> The Town uses a petition based residential traffic calming plan to address neighborhood concerns with speeding. See also comments under Vision Zero above, relating to the possible development of a systematic approach toward traffic counts for understanding travel behaviors.		
<b>Starlite Drive</b> Staff was directed to move forward with a traffic calming plan for Starlite Drive.	<p>The traffic calming plan for Starlite Drive was installed in October 2022. The plan included the installation of a new speed table located mid-block of the main north-south segment of Starlite Drive, and a new stop sign heading westbound from Sunset Drive with associated pavement markings.</p> <p>Residents have reported that the stop signs have not been effective. Public Works staff have checked the location of the sign, and Police have increased patrols. Staff will continue to monitor and conduct additional traffic counts.</p> <p><u>Next Step(s)</u>            Traffic counts were collected in September 2023 and again in early November 2023 and indicated a reduction in travel speeds and number of trips. Staff will continue to monitor speeds with additional police patrols.</p>	Traffic calming can be an effective way to make a street more pedestrian friendly.
<b>Barred Owl Creek</b> Staff was directed to move forward with an interim traffic calming plan to address existing conditions, in the Barred Owl Creek neighborhood, particularly along Carol Street.	March 30, 2022, Public Works installed a temporary speed hump on the one hundred block of James Street. This was the remaining element of the interim traffic calming measures for the Barred Owl Creek Neighborhood discussed at the November 2021 Town/neighborhood information meeting. Staff plans to continue to conduct traffic counts to evaluate the effectiveness of the four measures: curb extensions at the intersection of Lorraine and Carol streets, two sets of neckdowns on Carol Street (100 & 300 blocks) and the speed hump on the 100 block of James Street.	Traffic calming can be an effective way to make a street more bicycle friendly.

Project Name & Description	Status	Network
	<p>The Town recently purchased additional traffic counters so that staff could conduct counts at multiple locations at the same time and at more frequent intervals.</p> <p><u>Next Step(s)</u> Staff conducted a series of traffic counts at 12 locations in the Barred Owl Creek neighborhood during October and November of 2023. This represents all of the locations that the Town and the Lloyd Farm applicants conducted counts. Staff is in the process of analyzing the data to compare the current counts with the previous ones. Additional information will be provided in the next report.</p>	
<p><b>American Rescue Plan Act (ARPA)</b>  <a href="#">Town of Carrboro - Meeting of Town Council on 10/11/2022 at 7:00 PM (legistar.com)</a>  In early November, staff from the Planning and Public Works departments met with the Town Engineer to begin to scope out and schedule transportation projects identified for funding with the Town's allocation of ARPA funds. The group has continued to meet focusing most of the attention toward the Jones Ferry Road bike lane project to align with NCDOT's resurfacing schedule. Planning staff has completed the Town project forms and has met with the Finance Department to review and discuss next steps, including modifications to the Town's federal contract template to better reflect ARPA documentation requirements.</p>		
<p><b>Sidepath Connecting Old Pittsboro Road to West Carr Street</b>  This project involves the design and construction of a 10- to 12-foot sidepath along the 300 block of South Greensboro Street, to widen the existing pedestrian facility such that it can also serve cyclists. The South Greensboro Street sidewalk project ends at the north end of Old Pittsboro Road. Cyclists are encouraged to use Old Pittsboro Road to travel northbound and there is an important connection to West Carr Street to access the bikeway to Main/Jones Ferry Road. The 203 Project will active visitors using all modes.</p>	<p>Public Works staff has prepared conceptual plans for two alternates for constructing a 10-foot sidepath along the 300 block of South Greensboro Street.</p> <p>The plan was shared with NCDOT for preliminary comments in February 2023.</p> <p>Staff has corresponded with the new owner of the property to discuss the project and potential need for easements (temporary construction and/or permanent).</p> <p><u>Next Steps</u></p> <ul style="list-style-type: none"> <li>• Develop construction level plans.</li> <li>• Prepare easement documents and record.</li> </ul>	<p><u>Related Projects/Plans</u></p> <ul style="list-style-type: none"> <li>• South Greensboro Street Sidewalk (C-5650)</li> <li>• The 203 Project</li> <li>• Bike Plan</li> <li>• <i>Carrboro Connects</i></li> <li>• Possible bicycle contra-flow lane along the one block section of Maple Avenue that is being converted to one-way traffic as part of the 203 Project—if selected for RFF funding.</li> </ul>

Project Name & Description	Status	Network
<b>RRHB at Homestead Road/Claremont Drive</b> The number one priority project from the 2020 Bike Plan Update is to design/construct a multi-use path along portions of Hillsborough Road with signalized crossings at Stafford Drive and Claremont Drive.	Design is not yet underway.	<u>Related Projects/Plans</u> <ul style="list-style-type: none"> <li>• Bike Plan</li> <li>• <i>Carrboro Connects</i></li> <li>• Safe Routes to School Action Plan</li> <li>• Pedestrian Safety Projects</li> </ul>
<b>RRHB at Hillsborough Road/McDougle Elementary School</b> This project would involve the design/construction of a signalized crossing at McDougle to improve safety, particularly during off-peak hours when a crossing guard is not present.	Design is not yet underway.	<u>Related Projects/Plans</u> <ul style="list-style-type: none"> <li>• Safe Routes to School Action Plan</li> <li>• Pedestrian Safety Projects</li> </ul>
<b>Bus Stop Improvements at Jones Ferry Road/Barnes Street</b> The project includes a new bus shelter on a concrete pad with improved lighting and bicycle facilities, include a possible electric bicycle charging station. Repairs to the retaining wall along Jones Ferry Road and other improvements to be included to the extent possible.	Town staff has met with Chapel Hill Transit to discuss the Town's interest in enhanced facilities at the Barnes Street bus stop and to review construction plans for the shelter and associated site work and amenities.  <u>Next Steps</u> Chapel Hill Transit is working with its consultant team to finish the construction plans and associated survey work for necessary easements/utility work. Staff is reviewing the ARPA project description with the updated cost estimates.	<u>Related Projects/Plans</u> <ul style="list-style-type: none"> <li>• Barnes Street Sidewalk (EB-5890); not yet initiated.</li> <li>• Orange County Transit Plan</li> <li>• <i>Carrboro Connects</i></li> </ul>



## **Race and Equity Pocket Questions**

**Title and purpose of this initiative:** Update on Transportation Projects. The purpose of this item is to provide the Town Council with a status report on a number of local transportation projects that are underway.

**Department:** Planning

### **What are the racial and equity impacts?**

There are no impacts associated with providing the Town Council with an update report like this one other than those associated with access to agendas and meetings. This report is also posted on the Town's website at <https://www.carrboronc.gov/719/Transportation> and the individual project/program updates are incorporated into the Town's Projects Report GIS story map. Pocket questions are prepared for individual projects or programs described in the report when they are brought before the Town Council for authorization at the beginning and at key intervals. Processes associated with transportation planning, prioritization, and the programming of projects utilize a variety of tools and analyses related to environmental justice and racial and equity impacts (e.g. Environmental Justice Report for the Durham Chapel Hill Carrboro Metropolitan Planning Organization, <https://www.dchcmpo.org/work-with-us/environmental-justice-ej> ).

### **Who is or will experience community burden?**

Members of the community who may be interested in the topic and/or particular projects but are unaware of the agenda item or unable to attend the meeting in person and/watch the meeting online.

### **Who is or will experience community benefit?**

Residents and transportation advocates who are interested in local and regional transportation projects and programs may benefit from receiving the update and learning where information on transportation projects/programs may be found on the Town website.

### **What are the root causes of inequity?**

Working individuals and families may find it difficult to attend public meetings, may be reticent to speak in a public setting and may have an overall distrust in government, and by association transportation projects.

### **What might be the unintended consequences of this action or strategy?**

There are no decisions related to this item; it is being provided to the Town Council for information only.



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FACING RACE, EMBRACING EQUITY

**How is your department planning to mitigate any burdens, inequities, and unintended consequences?**

The department will continue to review and modify the ways in which reports are prepared and shared and work with Communication and Engagement and other departments so that there are not disparities in access on the basis of race and seek opportunities to better disseminate information about Town Council agendas, Town projects and initiatives. The department will continue to evaluate the environmental justice and equity tools used in transportation processes for selecting and proceeding with projects and programs in relation to the racial equity lens.